

PROJECT NAME
**124th AVENUE
BUSINESS PARK**

124th AVENUE
TUALATIN, OREGON

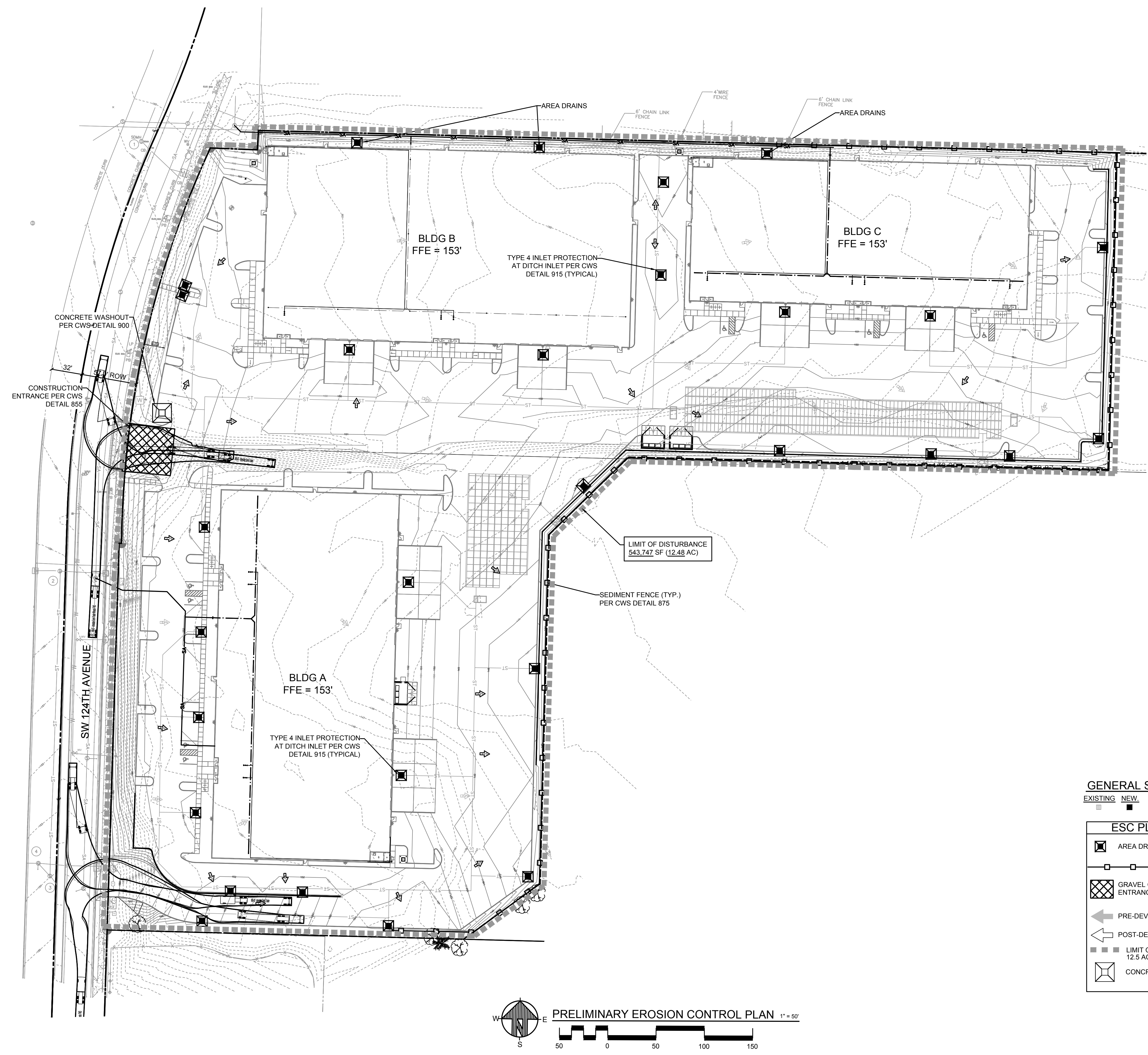
REVISIONS

DATE	DESCRIPTION

DATE	APRIL 2022	
SCALE	AS NOTED	PROJ. NO. 20200748
DRAWN	MMG	CHECKED BMD

**PRELIMINARY
EROSION CONTROL
PLAN**

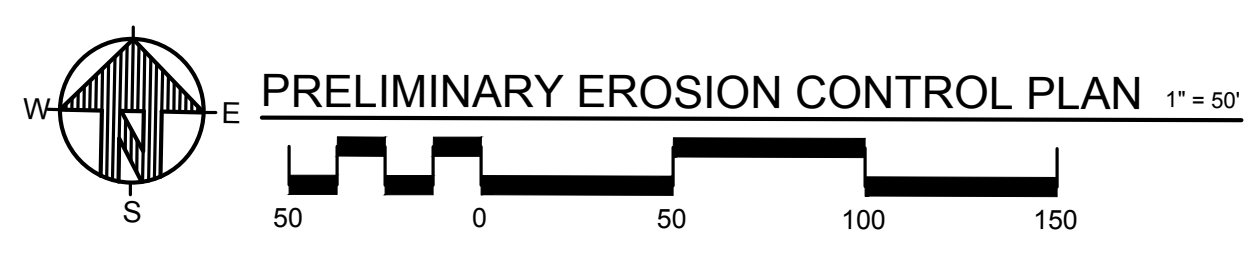
C3.0



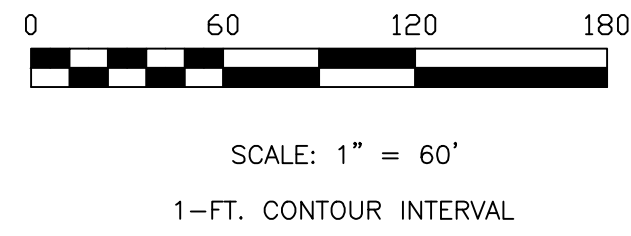
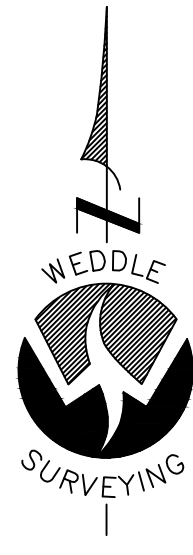
GENERAL SYMBOLS
 EXISTING NEW
 ■ CATCH BASIN (CB) -OR- AREA DRAIN (AD)

ESC PLAN LEGEND

- AREA DRAIN WITH INSERT BAG
- SEDIMENT FENCE
- ▨ GRAVEL CONSTRUCTION ENTRANCE
- ← PRE-DEV. DRAINAGE FLOW ARROW
- ⇐ POST-DEV. DRAINAGE FLOW ARROW
- LIMIT OF DISTURBED AREA 12.5 AC
- CONCRETE WASHOUT



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TOPOGRAPHIC SURVEY

SW 124 AVE

IN THE NE 1/4 AND THE NW 1/4 OF SECTION 27
T.2S., R.1W., WILLAMETTE MERIDIAN
CITY OF TUALATIN, WASHINGTON COUNTY, OREGON
JULY 19, 2021

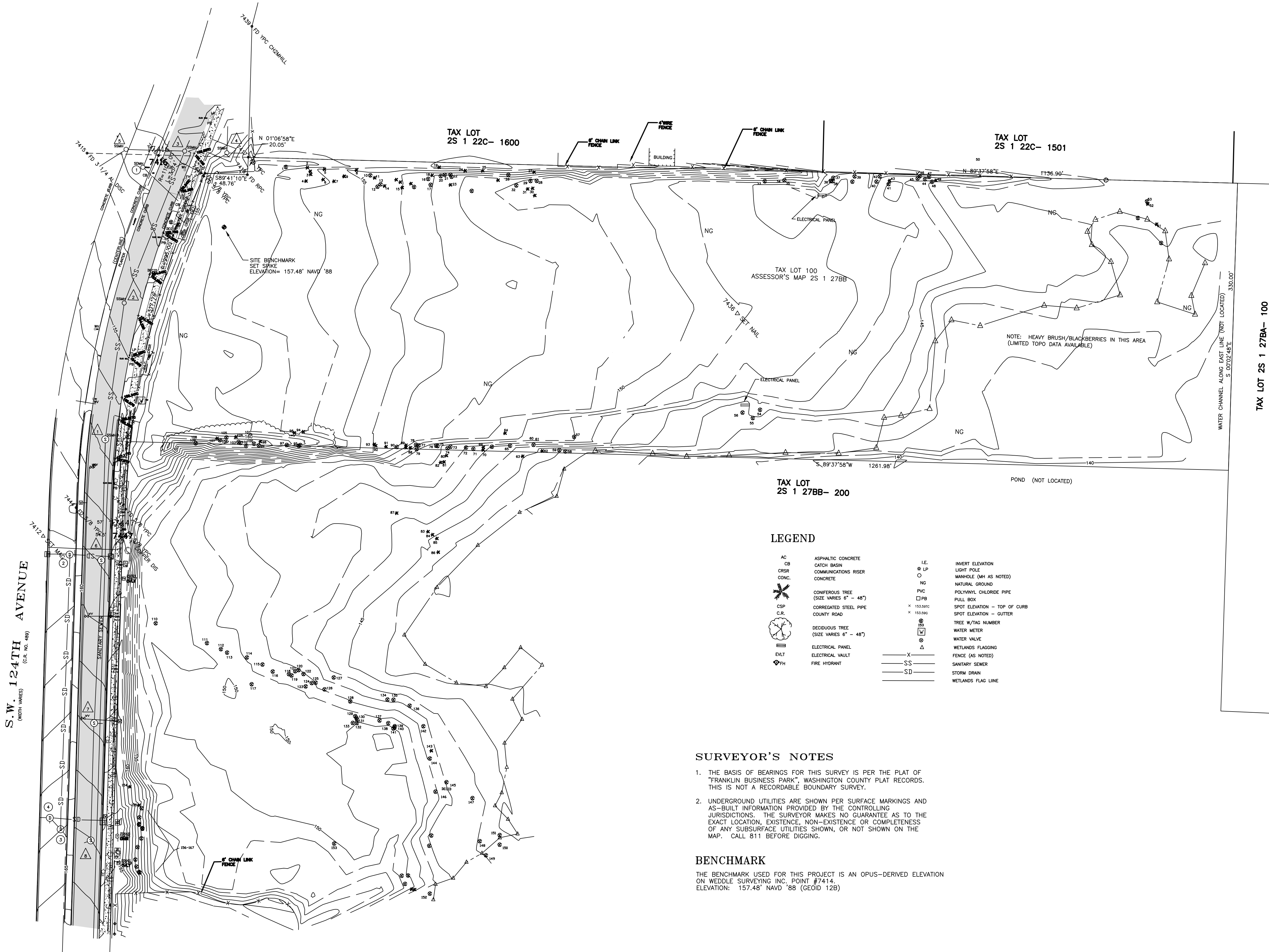
PREPARED FOR
VLMK ENGINEERING + DESIGN
C/O HAVLIN KEMP
503-222-4453

SANITARY SEWER NOTES

- △ RM=156.79'
I.E. 10" PVC (THRU S-N) = 140.49'
- △ RM=154.24'
I.E. 10" PVC (THRU S-N) = 139.34'
- △ RM=151.82'
I.E. 10" PVC (THRU SW-NE) = 138.67'
I.E. 8" CSP IN (W) = 136.77'
- △ RM=154.84'
I.E. 10" PVC (THRU E-N) = 138.49'
- △ RM=152.73'
I.E. 8" PVC IN (SW) = 139.03'
I.E. 8" CSP OUT (E) = 139.03'
- △ RM=150.88'
I.E. 10" PVC IN (S) = 141.28'
I.E. IN (W) = 141.31'
I.E. 10" PVC OUT (N) = 141.01'
- △ RM=151.82'
I.E. 10" PVC IN (E) = 150.82'
I.E. 10" PVC IN (S) = 150.77'
I.E. 10" PVC OUT (N) = 150.66'
- △ RM=154.02'
I.E. 10" PVC IN (SW) = 155.01'
I.E. 10" PVC OUT (N) = 154.84'

STORM DRAIN NOTES

- ① RM=152.33'
I.E. 12" CONC. IN (SE) = 147.4'
I.E. 12" PVC. OUT (NE) = 147.4'
- ② RM=159.22'
I.E. 12" CONC. IN (E) = 155.96'
I.E. 12" CONC. IN (W) = 155.91'
I.E. 12" CONC. OUT (S) = 154.89'
- ③ RM=153.99'
I.E. 12" CONC. IN (NW) = 153.86'
I.E. 12" CONC. IN (N) = 153.90'
I.E. 12" CONC. OUT (SE) (CAPPED) = 153.57'
- ④ RM=153.86'
I.E. 12" CONC. IN (E) = 159.86'
I.E. 12" CONC. IN (W) = 159.81'
I.E. 12" CONC. IN (S) = 159.23'
I.E. 12" CONC. OUT (SE) = 156.38'



LEGEND

AC	ASPHALTIC CONCRETE	⊖	INVERT ELEVATION
CB	CATCH BASIN	○ LP	LIGHT POLE
COMB	COMMUNICATIONS RISER	○ MH	MANKOLE (MH AS NOTED)
CONC.	CONCRETE	NG	NATURAL GROUND
✖	CONIFEROUS TREE (SIZE VARIES 6" - 48")	PVC	POLYVINYL CHLORIDE PIPE
CSP	CORRUGATED STEEL PIPE	PB	PULL BOX
C.R.	COUNTY ROAD	× 153.5910	SPOT ELEVATION - TOP OF CURB
⊙	DECIDUOUS TREE (SIZE VARIES 6" - 48")	× 153.5940	SPOT ELEVATION - GUTTER
⊖	ELECTRICAL PANEL	⊖	TREE W/TAG NUMBER
EVT	ELECTRICAL VAULT	⊖	WATER METER
FH	FIRE HYDRANT	⊖	WATER VALVE
		⊖	WETLANDS FLAGGING
		⊖	FENCE (AS NOTED)
		SS	SANITARY SEWER
		SD	STORM DRAIN
		SD	WETLANDS FLAG LINE

SURVEYOR'S NOTES

1. THE BASIS OF BEARINGS FOR THIS SURVEY IS PER THE PLAT OF "FRANKLIN BUSINESS PARK", WASHINGTON COUNTY PLAT RECORDS. THIS IS NOT A RECORDABLE BOUNDARY SURVEY.
2. UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.

BENCHMARK

THE BENCHMARK USED FOR THIS PROJECT IS AN OPUS-DERIVED ELEVATION ON WEDDLE SURVEYING INC. POINT #7414. ELEVATION: 157.48' NAVD '88 (GEOID 12B)

REGISTERED
PROFESSIONAL
LAND SURVEYOR

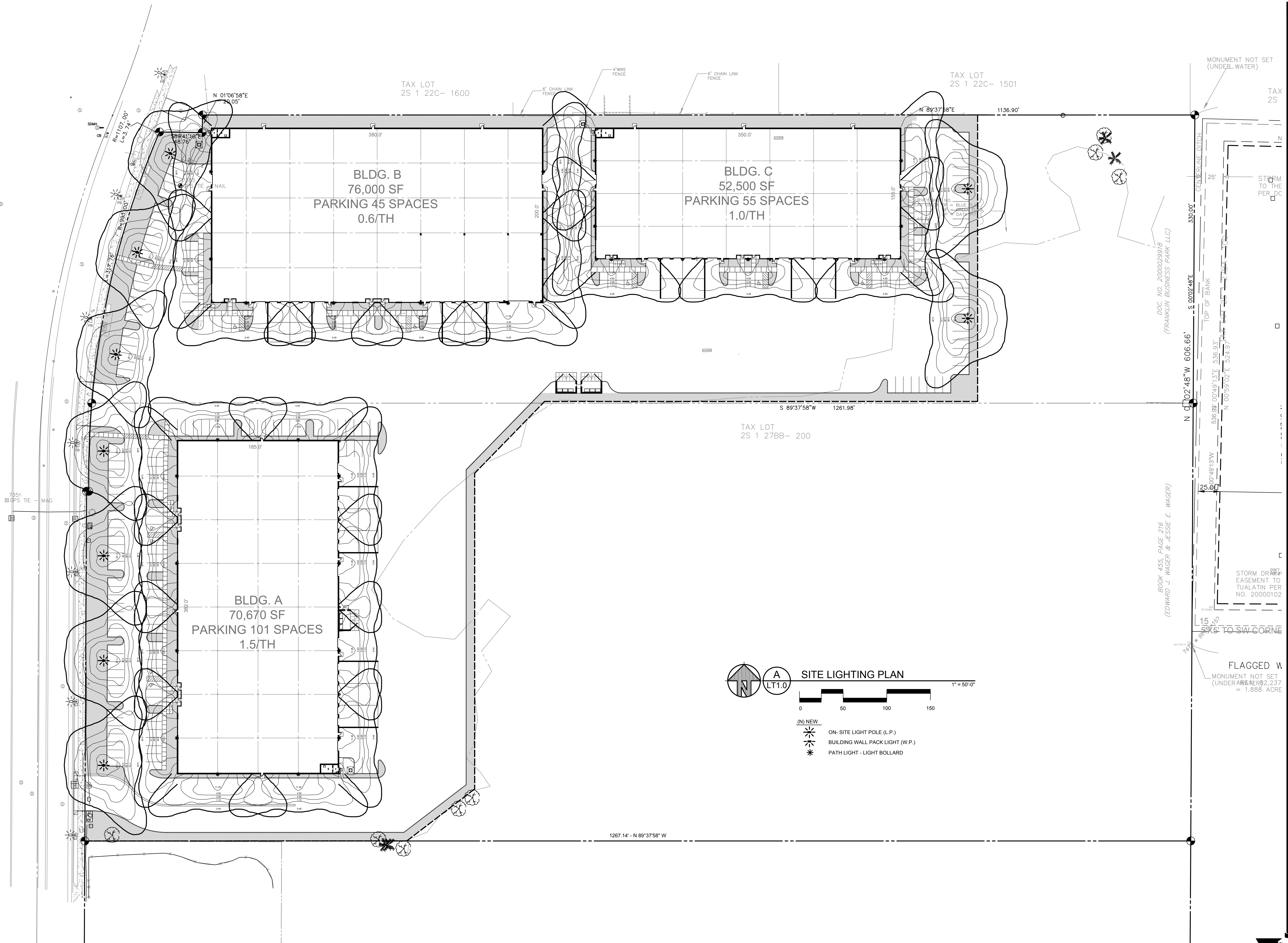
OREGON
JULY 25, 1995
MICHAEL D. RENNICK
2718
EXPIRES: DECEMBER 31, 2022

WEDDLE SURVEYING INC.
Excellence is our benchmark.

6950 SW HAMPTON ST., STE. 170, TIGARD, OR 97223
PH: (503) 941-9585 FAX: (503) 941-9640
www.weddlesurveying.net

SVY1.0

JOB NO. 4747



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**124th AVENUE
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TUALATIN, OREGON

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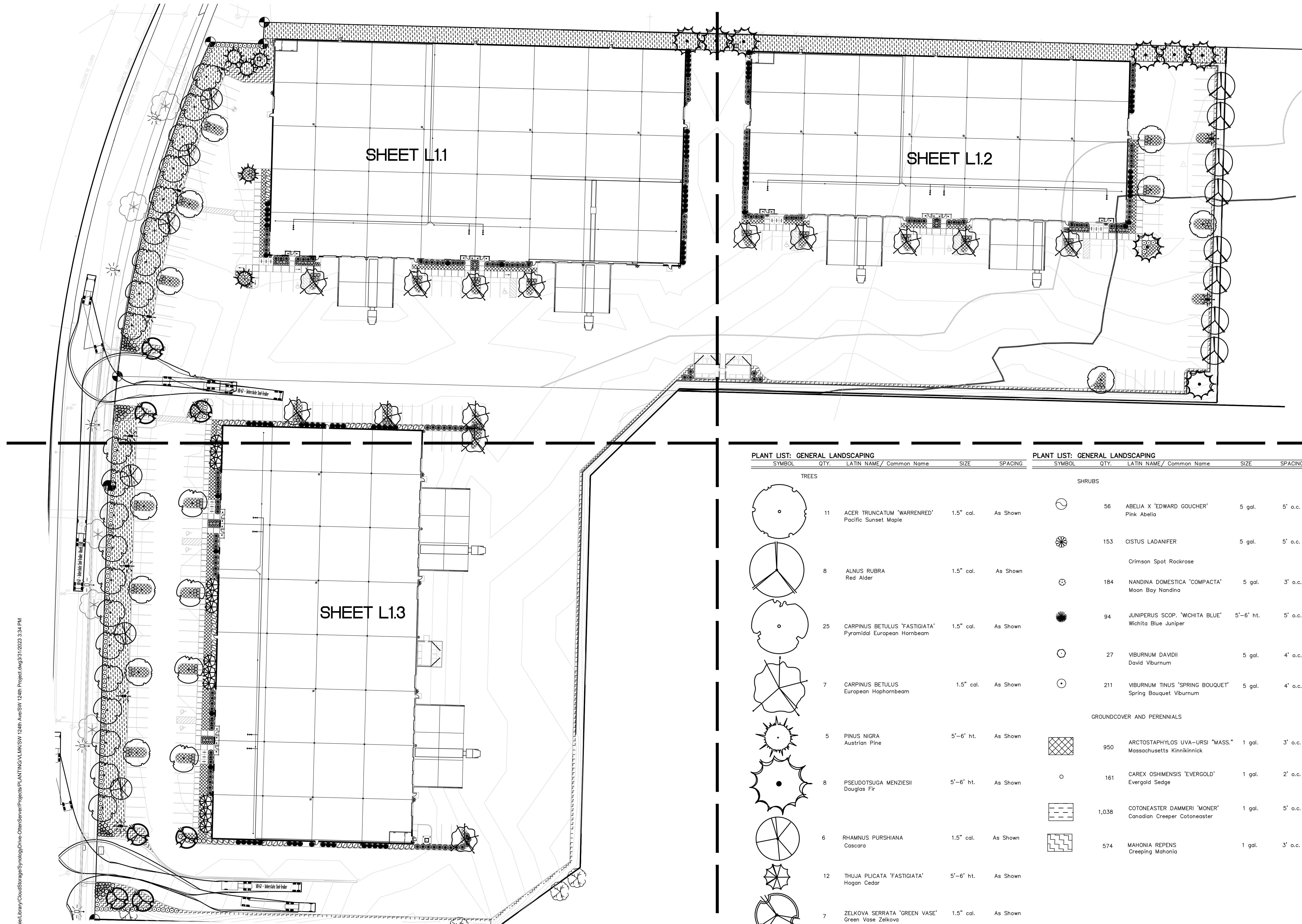
DATE: DECEMBER 2021

SCALE: AS NOTED	PROJ. NO: 20200748
DRAWN: KAN	CHECKED: HGK

**SITE LIGHTING
PLAN**



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PLANT LIST: GENERAL LANDSCAPING

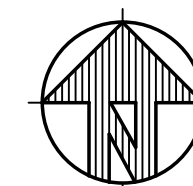
SYMBOL	QTY.	LATIN NAME / Common Name	SIZE	SPACING
TREES				
	11	ACER TRUNCATUM 'WARRENRED' Pacific Sunset Maple	1.5" cal.	As Shown
	8	ALNUS RUBRA Red Alder	1.5" cal.	As Shown
	25	CARPINUS BETULUS 'FASTIGIATA' Pyramidal European Hornbeam	1.5" cal.	As Shown
	7	CARPINUS BETULUS European Hophornbeam	1.5" cal.	As Shown
	5	PINUS NIGRA Austrian Pine	5'-6" ht.	As Shown
	8	PSEUDOTSUGA MENZIESII Douglas Fir	5'-6" ht.	As Shown
	6	RHAMNUS PURSHIANA Cascara	1.5" cal.	As Shown
	12	THUJA PLICATA 'FASTIGIATA' Hogan Cedar	5'-6" ht.	As Shown
	7	ZELKOVA SERRATA 'GREEN VASE' Green Vase Zelkova	1.5" cal.	As Shown

PLANT LIST: GENERAL LANDSCAPING

SYMBOL	QTY.	LATIN NAME / Common Name	SIZE	SPACING
SHRUBS				
	56	ABELIA X 'EDWARD GOUCHER' Pink Abelia	5 gal.	5' o.c.
	153	CISTUS LADANIFER Crimson Spot Rockrose	5 gal.	5' o.c.
	184	NANDINA DOMESTICA 'COMPACTA' Moon Bay Nandina	5 gal.	3' o.c.
	94	JUNIPERUS SCOP. 'WICHITA BLUE' Wichita Blue Juniper	5'-6" ht.	5' o.c.
	27	VIBURNUM DAVIDII David Viburnum	5 gal.	4' o.c.
	211	VIBURNUM TINUS 'SPRING BOUQUET' Spring Bouquet Viburnum	5 gal.	4' o.c.
GROUNDCOVER AND PERENNIALS				
	950	ARCTOSTAPHYLOS UVA-URSI 'MASS.' Massachusetts Kinnikinnick	1 gal.	3' o.c.
	161	CAREX OSHIMENSIS 'EVERGOLD' Evergold Sedge	1 gal.	2' o.c.
	1,038	COTONEASTER DAMMERI 'MONER' Canadian Creeper Cotoneaster	1 gal.	5' o.c.
	574	MAHONIA REPENS Creeping Mahonia	1 gal.	3' o.c.

OVERALL LANDSCAPE PLAN

SCALE 1" = 40'-0"



**OVERALL
 LANDSCAPE PLAN**

L1.0

GENERAL NOTES:
 1. Contractor is to verify all plant quantities.
 2. Adjust plantings in the field as necessary.
 3. Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System is to be design/ build by Landscape Contractor. Guarantee system for a minimum one year. Show drip systems as alternate bid only.
 4. All plants are to be fully foliated, well branched and true to form.
 5. Contractor is to notify Landscape Architect or Owner's Representative of any site changes or unforeseen conditions that may be detrimental to plant health, or cause future problems to any structural elements of the project.

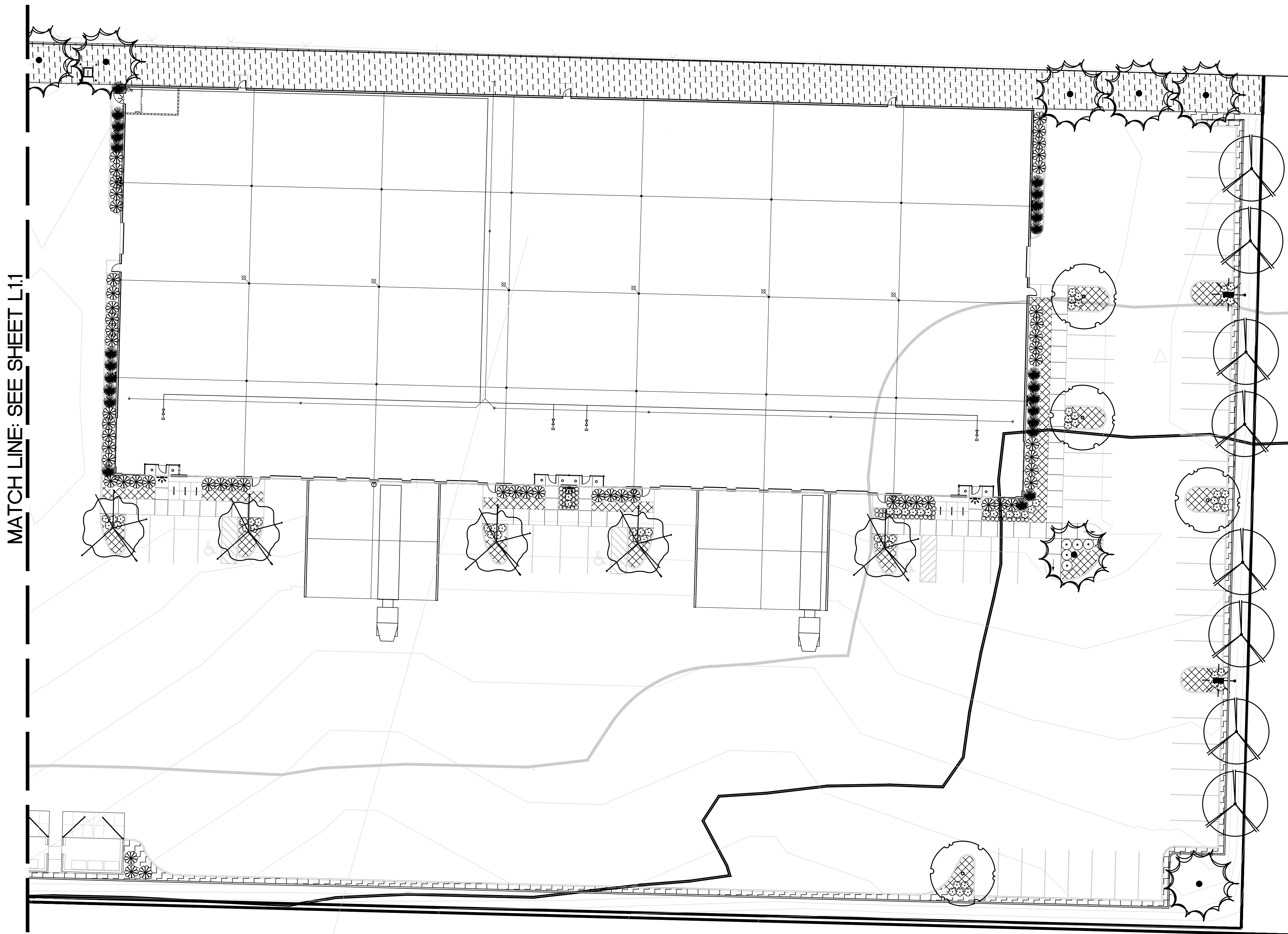
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ENLARGED
LANDSCAPE PLAN
(NORTHEAST)

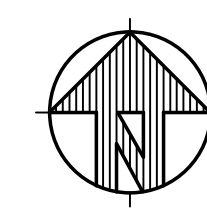
L1.2



MATCH LINE: SEE SHEET L1.1

LANDSCAPE PLAN

SCALE 1" = 20'-0"



OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 – 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliaged, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tops, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds. Landscape Contractor is to verify with the General Contractor if the on-site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitability of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing:
2 part native topsoil (no subsoil)
1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:

- Small shrubs – 1/8 lb./ plant
- Shrubs – 1/3 to 1/2 lb./ plant
- Trees – 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

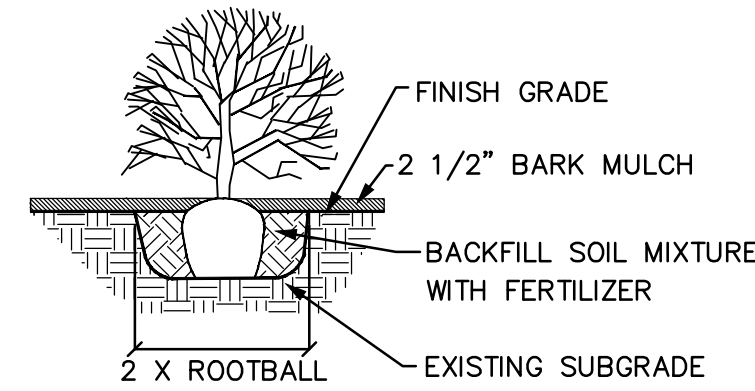
When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright. Tree stakes shall be removed after one year.

MULCHING OF PLANTINGS: Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

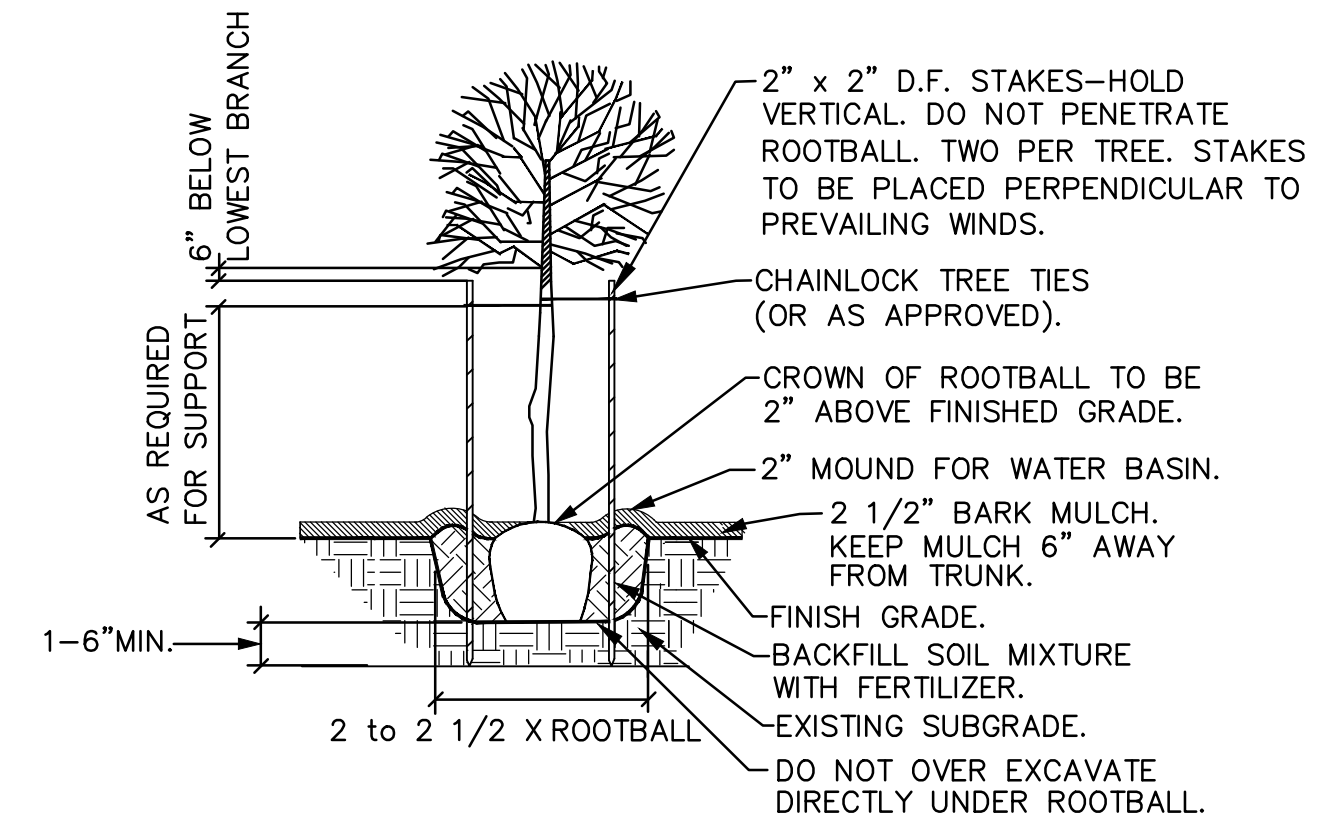
GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

CLEAN-UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.



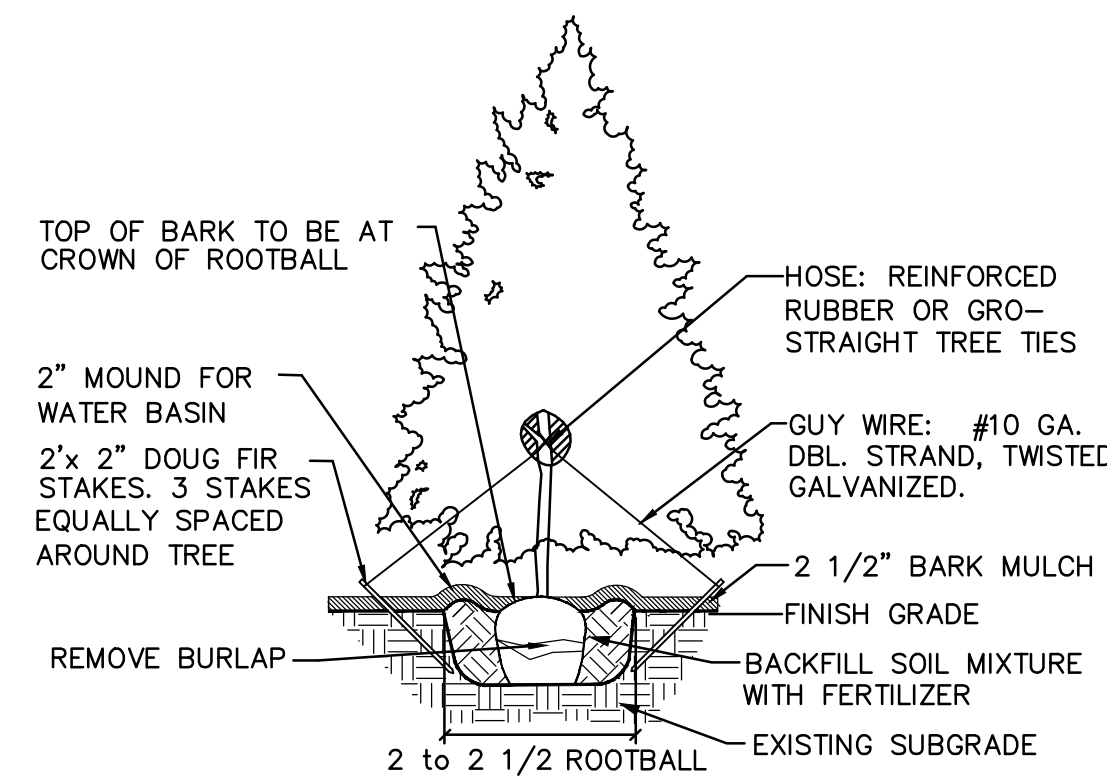
SHRUB PLANTING DETAIL

NOT TO SCALE



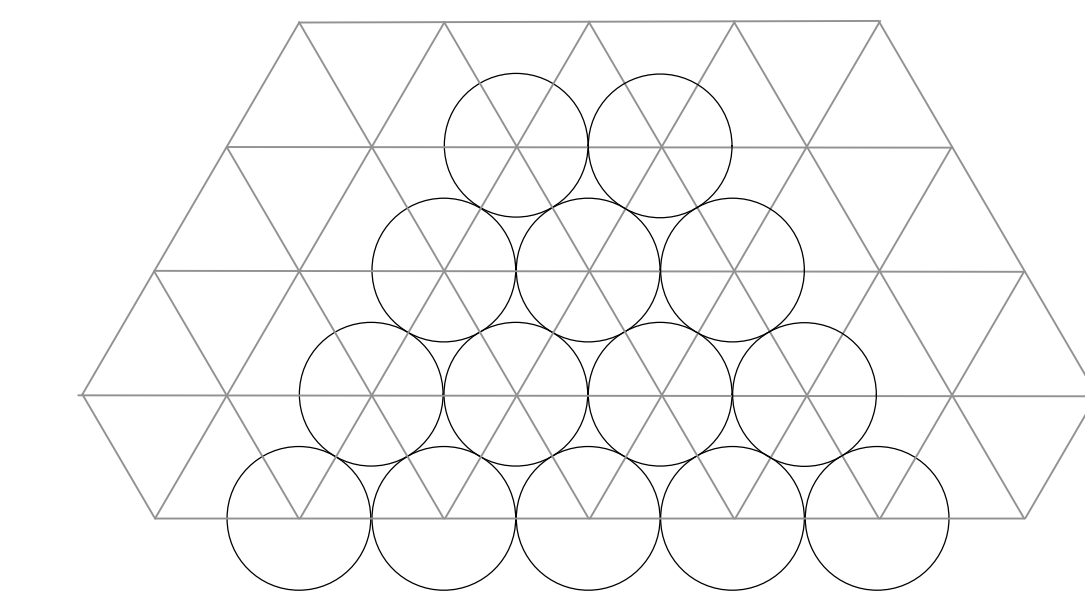
GENERAL DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



EVERGREEN TREE STAKING DETAIL

NOT TO SCALE



GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

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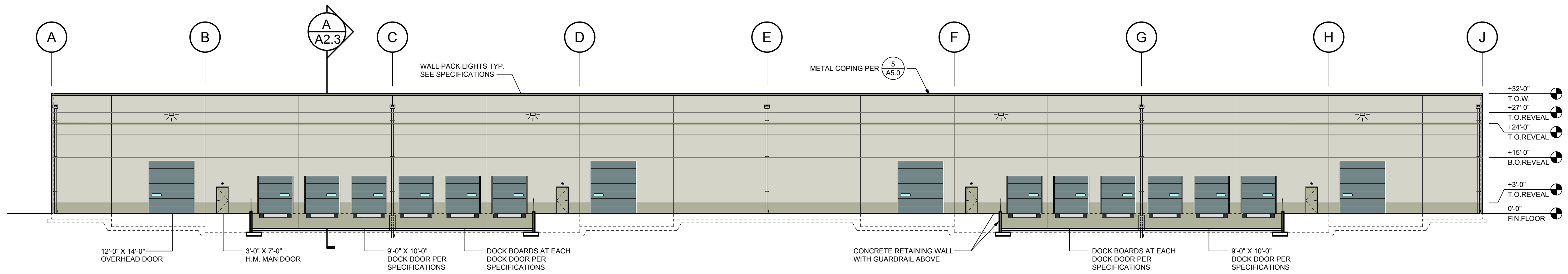
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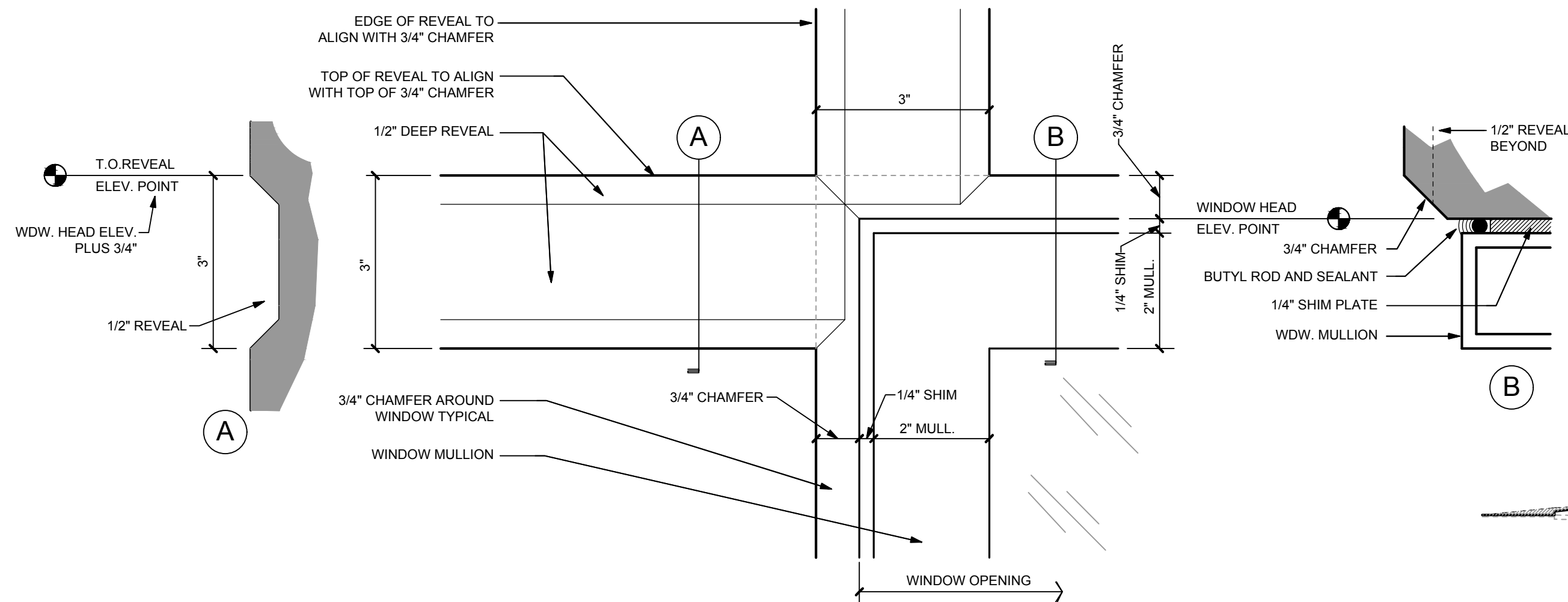
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CHECKED	HGK

**EXTERIOR
ELEVATIONS
BUILDING A**

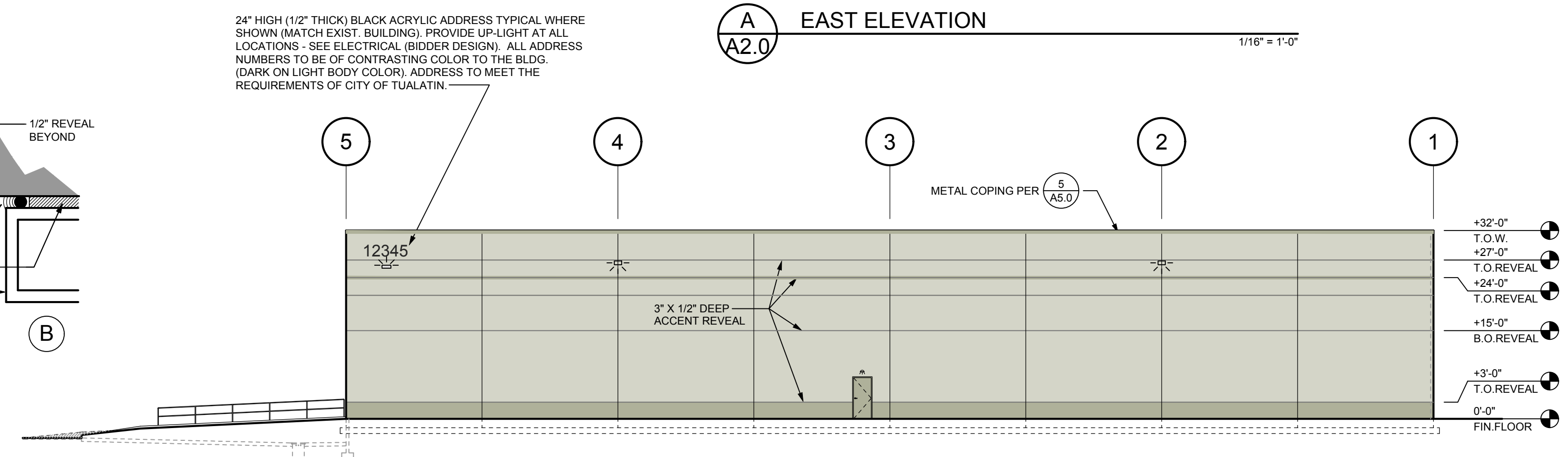
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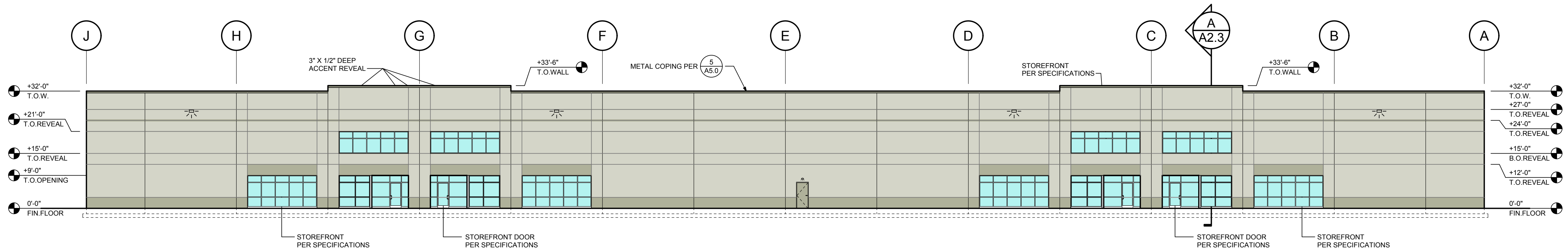
A EAST ELEVATION
1/16" = 1'-0"



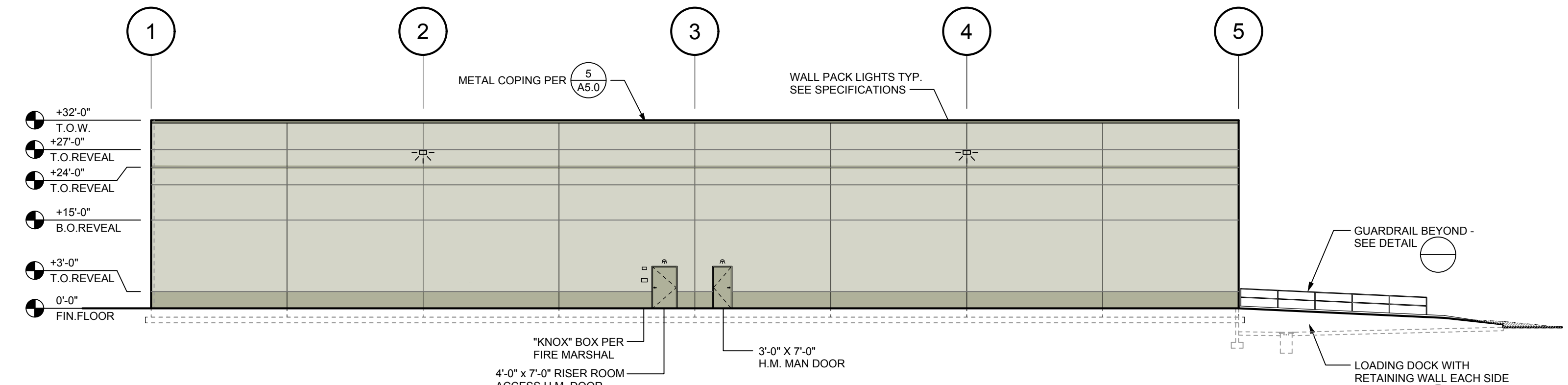
1 REVEAL AT MULLION DETAIL
6" = 1'-0"



B NORTH ELEVATION
1/16" = 1'-0"



C WEST ELEVATION
1/16" = 1'-0"



D SOUTH ELEVATION
1/16" = 1'-0"

Sherwin-Williams "THATCH ROOF" 8695D	Sherwin-Williams "TWISTED BRANCH" 8696N	Sherwin-Williams "ALDEN CHARCOAL" 8555D	Sherwin-Williams "DOMINO" AC141N
Aluminum Storefront Framing "Class 2 Clear Anodized"	Storefront Glazing "PPG Solarcool Pacifica Blue Tint"		

ITEM	COLOR
TYPICAL WALL PANEL	(P1)
MAN DOORS	(P2)
DOOR ARMOR	(P3)
GRADE & DOCK DOORS	(P3)
WALL CAP FLASHING	(P2)
DOWNSPOUTS & SCUPPERS	(P1)
DOCK WALL RAILING	(P4)
DOCK WALLS	(P2)
ACCENT ABOVE WINDOW	(P2)
LOWER WALL PANEL 3'-0" A.F.F.	(P2)

GLAZING LEGEND

PPG SOLARCOOL, PACIFICA (BLUE)
PROVIDE TEMPERED GLAZING IN ACCORDANCE WITH OSSC SECTION 2406.

REVISIONS

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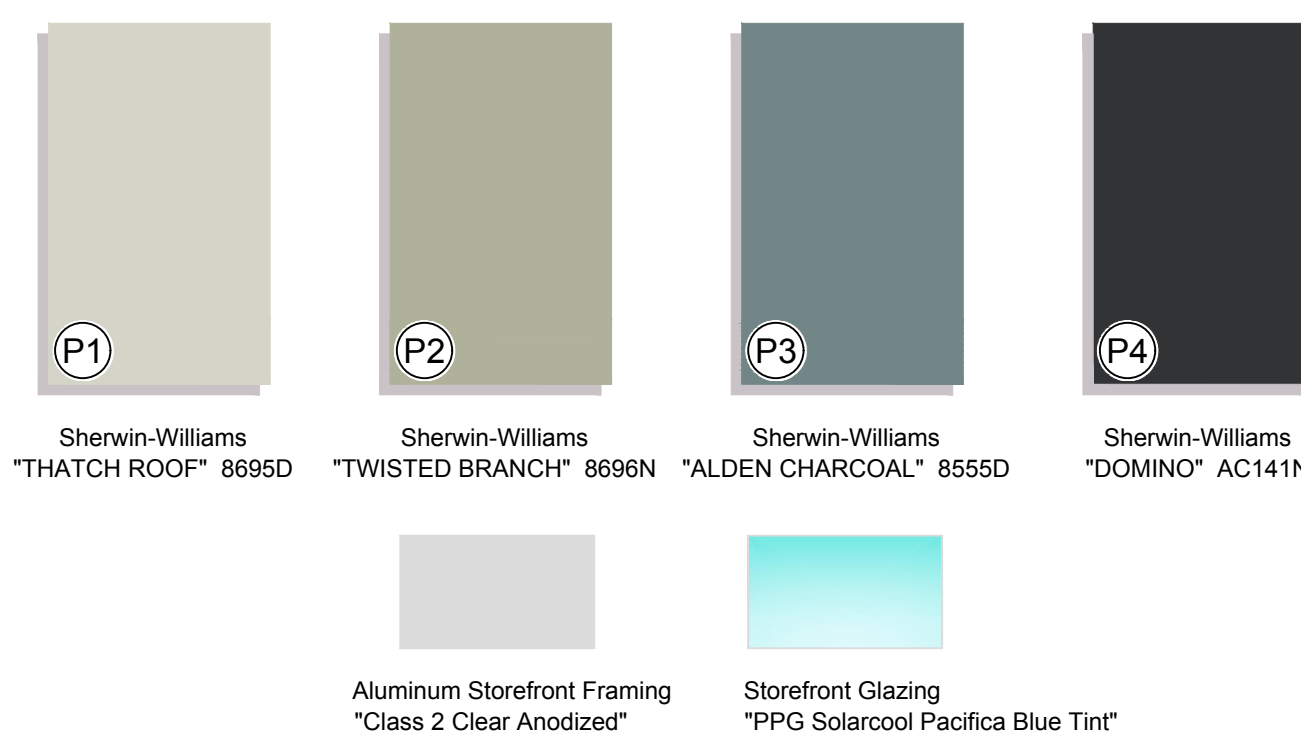
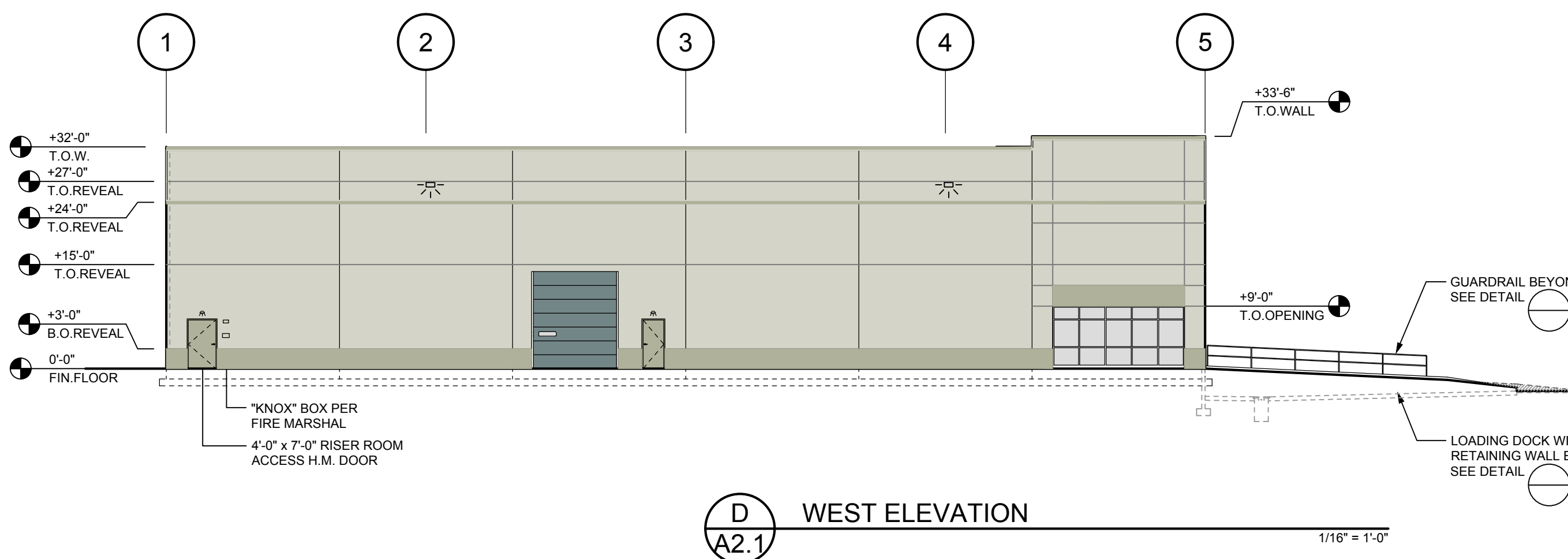
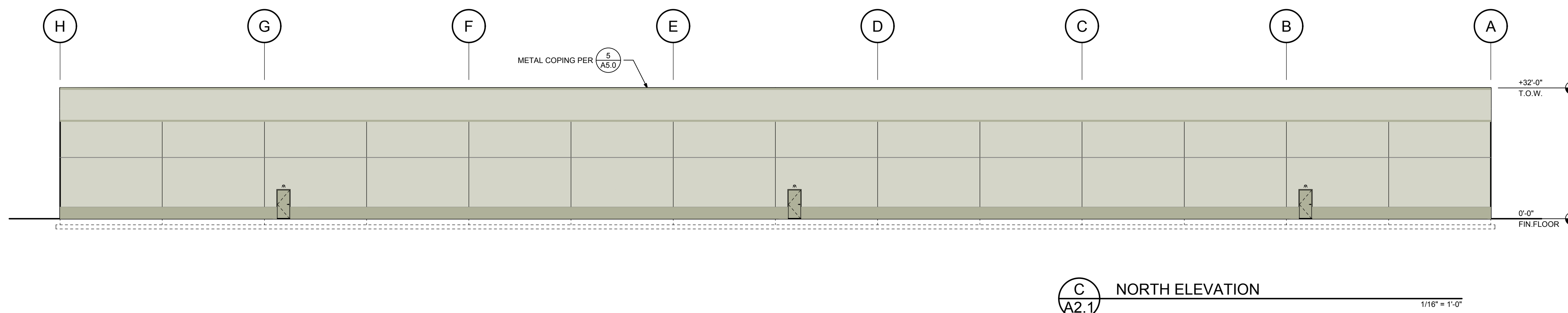
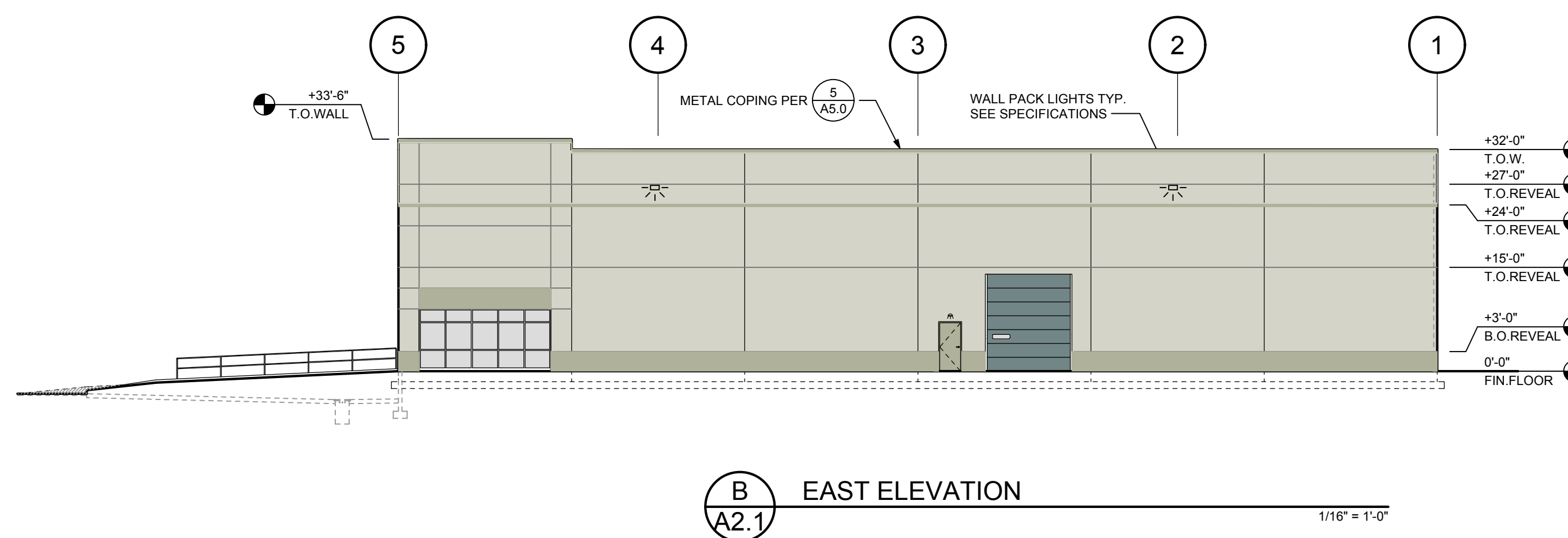
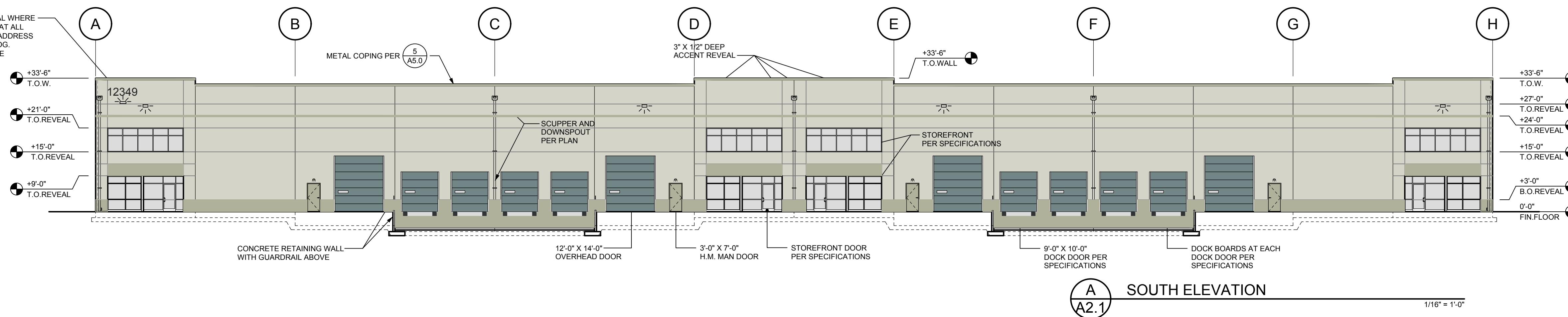
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DRAWN: KAN	CHECKED: HGK

**EXTERIOR
ELEVATIONS
BUILDING C**

A2.2

24" HIGH (1/2" THICK) BLACK ACRYLIC ADDRESS TYPICAL WHERE SHOWN (MATCH EXIST. BUILDING). PROVIDE UP-LIGHT AT ALL LOCATIONS - SEE ELECTRICAL (BIDDER DESIGN). ALL ADDRESS NUMBERS TO BE OF CONTRASTING COLOR TO THE BLDG. (DARK ON LIGHT BODY COLOR). ADDRESS TO MEET THE REQUIREMENTS OF CITY OF TUALATIN.



ITEM	COLOR
TYPICAL WALL PANEL	(P1)
MAN DOORS	(P2)
DOOR ARMOR	(P3)
GRADE & DOCK DOORS	(P3)
WALL CAP FLASHING	(P2)
DOWNSPOUTS & SCUPPERS	(P1)
DOCK WALL RAILING	(P4)
DOCK WALLS	(P2)
ACCENT ABOVE WINDOW	(P2)
LOWER WALL PANEL 3'-0" A.F.F.	(P2)

GLAZING LEGEND

PPG SOLARCOOL, PACIFICA (BLUE)
PROVIDE TEMPERED GLAZING IN ACCORDANCE WITH OSSC SECTION 2406.