



# LAND USE DRAWING INDEX

G0.01 COVER SHEET  
 G0.02 DRAWING SHEET INDEX/ MATERIALS BOARD

A1.01 SITE PLAN - ARCHITECTURAL  
 A1.02 SITE PLAN - OUTDOOR SPACE DIAGRAM  
 A1.03 SITE PLAN - SITE PATHS & LANDSCAPING  
 A2.01 FLOOR PLAN - BUILDING A - LEVEL 1  
 A2.02 FLOOR PLAN - BUILDING A - LEVELS 2 & 3  
 A2.03 FLOOR PLAN - BUILDING A - LEVEL 4  
 A2.04 FLOOR PLAN - BUILDING B - LEVEL 1  
 A2.05 FLOOR PLAN - BUILDING B - LEVELS 2 & 3  
 A2.06 FLOOR PLAN - BUILDING B - LEVEL 4  
 A2.07 FLOOR PLAN - BUILDING C  
 A3.01 BUILDING ELEVATIONS - BUILDING A  
 A3.02 BUILDING ELEVATIONS - BUILDING A  
 A3.03 BUILDING ELEVATIONS - BUILDING B  
 A3.04 BUILDING ELEVATIONS - BUILDING B  
 A3.05 BUILDING ELEVATIONS - BUILDING C

L2.00 LANDSCAPE PLAN  
 L3.00 LANDSCAPE LEGEND

C0.00 COVER SHEET  
 C0.50 DEMOLITION PLAN  
 C1.00 GRADING PLAN - OVERALL  
 C1.01 GRADING PLAN - SOUTHWEST  
 C1.02 GRADING PLAN - SOUTHEAST  
 C1.03 GRADING PLAN - NORTHWEST  
 C1.04 GRADING PLAN - NORTHEAST  
 C3.00 STORMWATER PLAN - OVERALL  
 C3.01 STORMWATER PLAN - SOUTHWEST  
 C3.02 STORMWATER PLAN - SOUTHEAST  
 C3.03 STORMWATER PLAN - NORTHWEST  
 C3.04 STORMWATER PLAN - NORTHEAST  
 C4.00 UTILITY PLAN - ENTIRE SITE  
 C4.01 UTILITY PLAN - SOUTHWEST  
 C4.02 UTILITY PLAN - SOUTHEAST  
 C4.03 UTILITY PLAN - NORTHWEST  
 C4.04 UTILITY PLAN - NORTHEAST  
 C8.00 PUBLIC COVER SHEET  
 C8.01 PUBLIC GENERAL NOTES  
 C8.02 EXISTING SITE PLAN  
 C8.03 PROPOSED SITE PLAN  
 C8.04 TYPICAL SECTIONS  
 C8.05 SW BOONES FERRY ROAD PLAN AND PROFILE - SOUTH  
 C8.06 SW BOONES FERRY ROAD PLAN AND PROFILE - NORTH  
 C8.07 STORMWATER PLAN AND PROFILE  
 C8.08 ENLARGED PLANS  
 C9.00 SW BOONES FERRY RD WATER MAIN PLAN AND PROFILE - SOUTH  
 C9.01 SW BOONES FERRY RD WATER MAIN PLAN AND PROFILE - MID  
 C9.02 SW BOONES FERRY RD WATER MAIN PLAN AND PROFILE - MID  
 C9.03 SW BOONES FERRY RD WATER MAIN PLAN AND PROFILE - NORTH

E1.02 SITE LIGHTING PHOTOMETRICS

L1.01 STREET LIGHTING PHOTOMETRICS



**FC-1**  
 FIBER CEMENT - BOARD & BATTEN  
 8" BATTEN SPACING  
 COLOR: MEDIUM GREEN/GREY



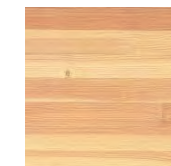
**FC-2**  
 FIBER CEMENT - VERTICAL REVEAL  
 7" REVEAL PATTERN  
 COLOR: WARM GOLDEN/ YELLOW



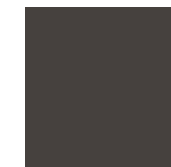
**FC-3**  
 FIBER CEMENT - LAP SIDING  
 4" REVEAL  
 COLOR: SOFT/ LIGHT GREY



**WD-1**  
 WOOD CLADDING  
 1x4 CEDAR V-GROOVE  
 COLOR: CLEAR FINISH



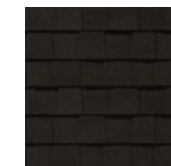
**WD-2**  
 EXPOSED STRUCTURAL MEMBERS  
 COLOR: NATURAL FINISH



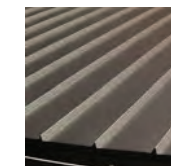
**WD-3**  
 EXPOSED STRUCTURAL MEMBERS  
 COLOR: DARK BRONZE



**M-1**  
 CANOPY  
 SMOOTH METAL PLATE  
 COLOR: DARK BRONZE



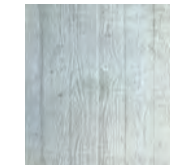
**R-1**  
 ROOFING - ASPHALT SHINGLE  
 COLOR: DARK BROWN



**R-3**  
 ROOFING - METAL STANDING SEAM  
 COLOR: DARK BRONZE



**C-1**  
 EXPOSED CONCRETE  
 SMOOTH FACE  
 COLOR: LIGHT GREY



**C-2**  
 EXPOSED CONCRETE  
 VERTICAL BOARD FORM  
 COLOR: LIGHT GREY



**C-3**  
 CONCRETE MASONRY UNIT  
 7-SCORE SPLIT FACE  
 COLOR: LIGHT GREY  
 \*USED AT TRASH ENCLOSURE ONLY



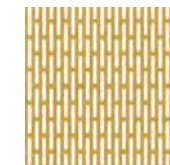
**TR-1**  
 COMPOSITE/ FIBER CEMENT TRIM  
 1" & 2" THICK PROFILE  
 COLOR: DARK BRONZE



**TR-2**  
 SHEET METAL TRIM  
 COLOR: DARK BRONZE



**TR-3**  
 COMPOSITE/ FIBER CEMENT TRIM  
 1" & 2" THICK PROFILE  
 COLOR: WARM GOLDEN/ YELLOW



**M-2**  
 METAL PATIO/ BALCONY RAILING  
 PERFORATED OBLONG SLOT PATTERN  
 COLOR: WARM GOLDEN/ YELLOW



**R-2**  
 ROOFING - SINGLE PLY MEMBRANE  
 COLOR: LIGHT GREY



**W-1**  
 VINYL WINDOWS  
 FIXED, CASEMENT, COMBINATION  
 EXTERIOR COLOR: DARK BRONZE

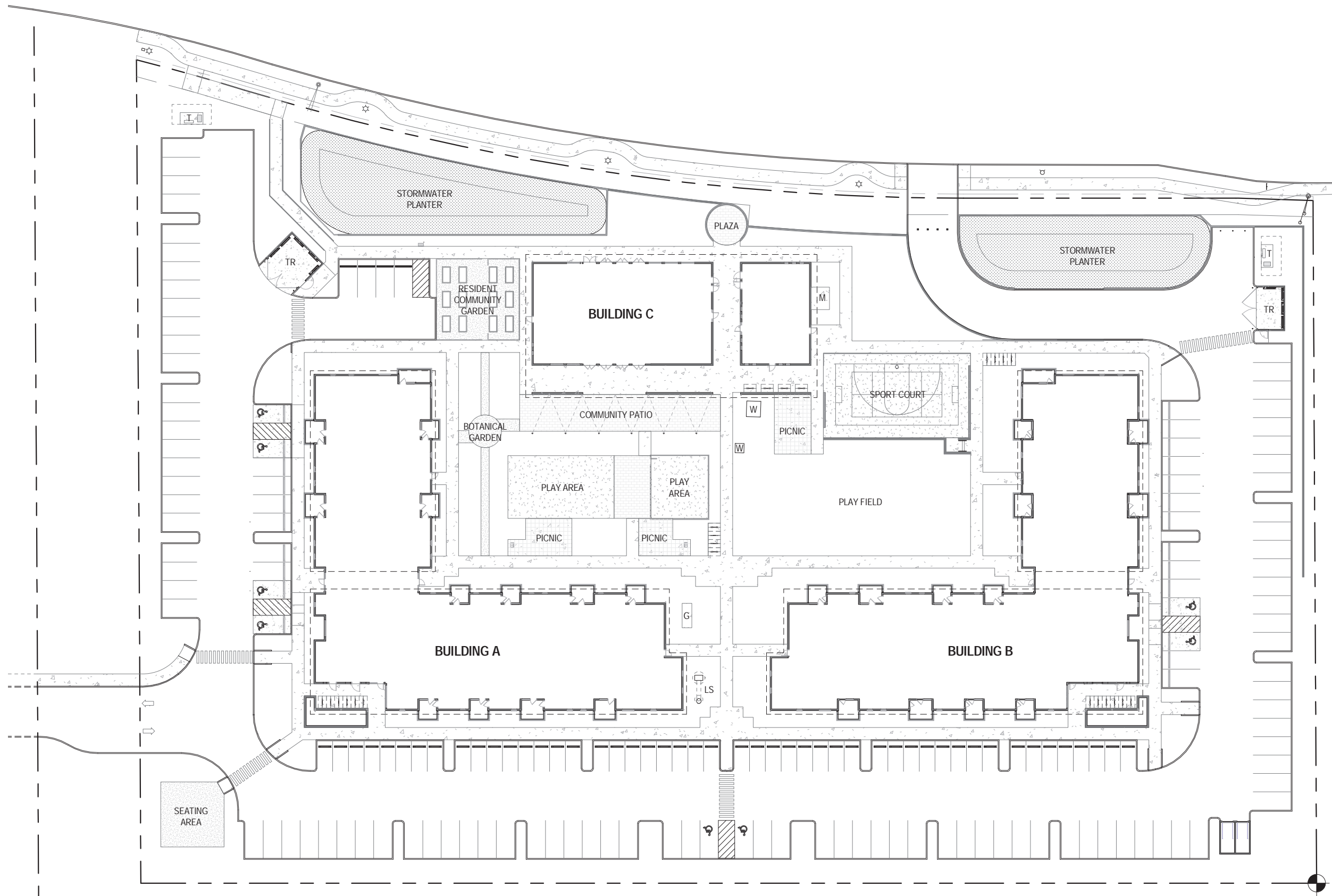
\*NOTE ALL ALUMINUM STOREFRONT  
 WILL BE DARK BRONZE AS WELL

**SITE PLAN ABBREVIATIONS:**

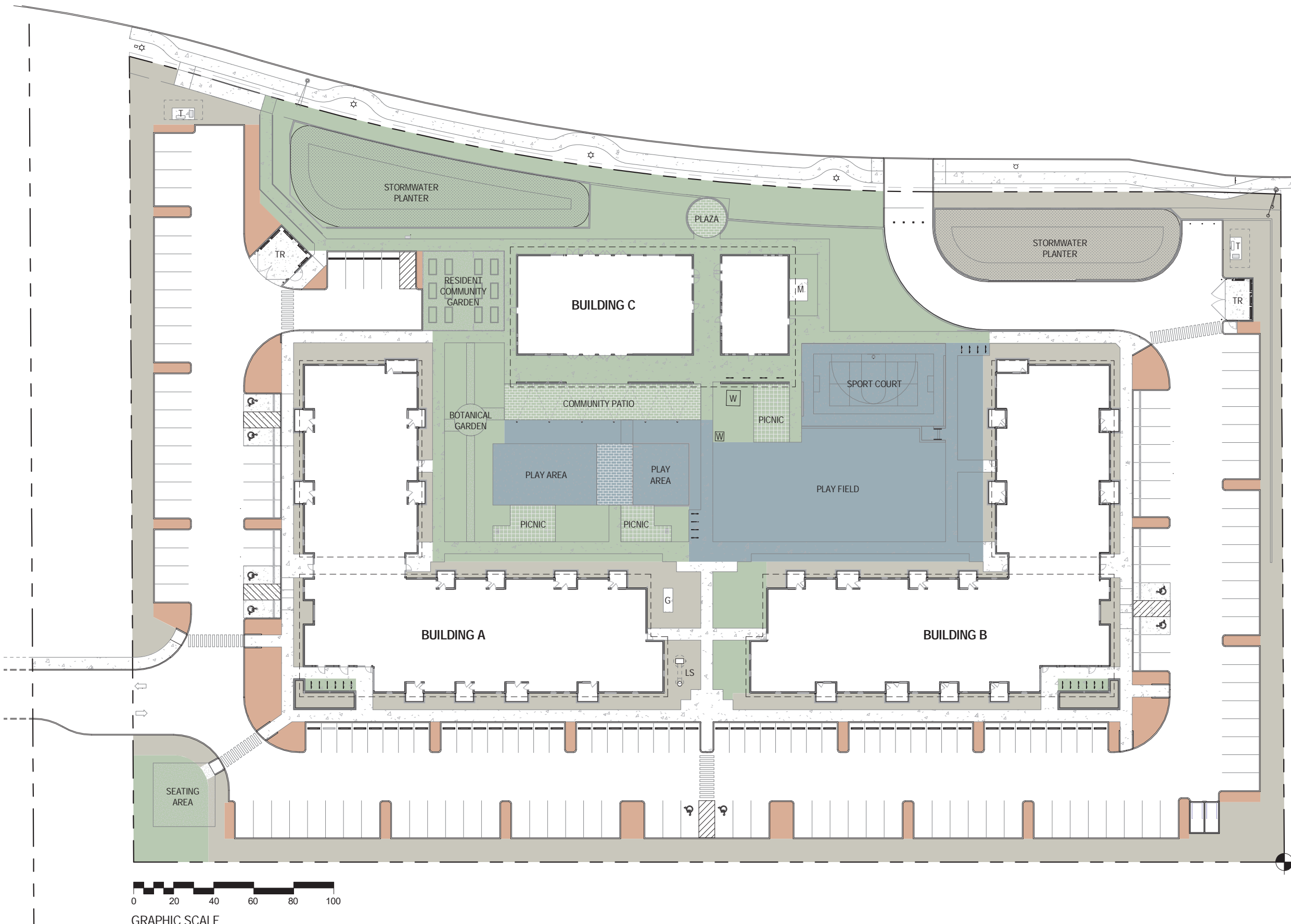
- T - TRANSFORMER
- TR - TRASH ENCLOSURE
- M - MECHANICAL UNIT
- G - GENERATOR
- LS - LIFT STATION
- W - EXISTING WELL HOUSE & TANK HOUSE

**SITE PLAN LEGEND:**

- — — — — PROPERTY LINE
- — — — — RIGHT-OF-WAY DEDICATION
- — — — — PUBLIC UTILITY EASEMENT
- - - - - ROOF EDGE ABOVE
- ||||| OUTDOOR BIKE RACKS
- ||| WHEEL STOPS
- ♿ ADA COMPLIANT PARKING
- ||||| CROSSWALK STRIPING



SITE PLAN - ARCHITECTURAL



**SITE PLAN ABBREVIATIONS:**

- T - TRANSFORMER
- TR - TRASH ENCLOSURE
- M - MECHANICAL UNIT
- G - GENERATOR
- LS - LIFT STATION
- W - EXISTING WELL HOUSE & TANK HOUSE

**SITE PLAN LEGEND:**

- — — — — PROPERTY LINE
- - - - - RIGHT-OF-WAY DEDICATION
- - - - - PUBLIC UTILITY EASEMENT
- - - - - ROOF EDGE ABOVE
- ||||| OUTDOOR BIKE RACKS
- || WHEEL STOPS
- ♿ ADA COMPLIANT PARKING
- ||||| CROSSWALK STRIPING

**TDC 73A.200 - COMMON WALL DESIGN STANDARDS:**

- SHARED OUTDOOR AREAS**  
REQUIRED: 300 SF X 116 UNITS = 34,800 SF  
PROVIDED: 35,688 SF
- CHILDREN'S PLAY AREA**  
REQUIRED: 150 SF X 116 UNITS = 17,400 SF  
PROVIDED: 17,557 SF

**TDC 73B.030 - LANDSCAPING AREA STANDARDS:**

- ADDITIONAL LANDSCAPING**  
REQUIRED: REFER TO A1.03  
PROVIDED: 30,268 SF

**TDC 73C.210 - COMMON WALL PARKING LOT LANDSCAPING REQUIREMENTS:**

- LANDSCAPING ISLAND**  
REQUIRED: 25 SF X 170 STALLS = 4,250 SF  
PROVIDED: 5,441 SF



SITE PLAN - OUTDOOR SPACE DIAGRAM

**SITE PLAN ABBREVIATIONS:**

- T - TRANSFORMER
- TR - TRASH ENCLOSURE
- M - MECHANICAL UNIT
- G - GENERATOR
- LS - LIFT STATION
- W - EXISTING WELL HOUSE & TANK HOUSE

**SITE PLAN LEGEND:**

- — — — — PROPERTY LINE
- — — — — RIGHT-OF-WAY DEDICATION
- — — — — PUBLIC UTILITY EASEMENT
- - - - - ROOF EDGE ABOVE
- ▤ OUTDOOR BIKE RACKS
- || WHEEL STOPS
- ♿ ADA COMPLIANT PARKING
- ▤▤▤▤▤▤ CROSSWALK STRIPING

**TDC 73A.200 (7) - WALKWAYS:**

- ▤ REQUIRED: 6-FEET WIDE, ADA COMPLIANT
- ▤ PROVIDED: 6-FEET WIDE, ADA COMPLIANT

**TDC 73C.200 (8) - ACCESSWAYS:**

- ▤ REQUIRED: 8-FEET WIDE, ADA COMPLIANT
- ▤ PROVIDED: 8-FEET WIDE, ADA COMPLIANT

**TDC 73B.020 - LANDSCAPING AREA STANDARDS MINIMUM:**

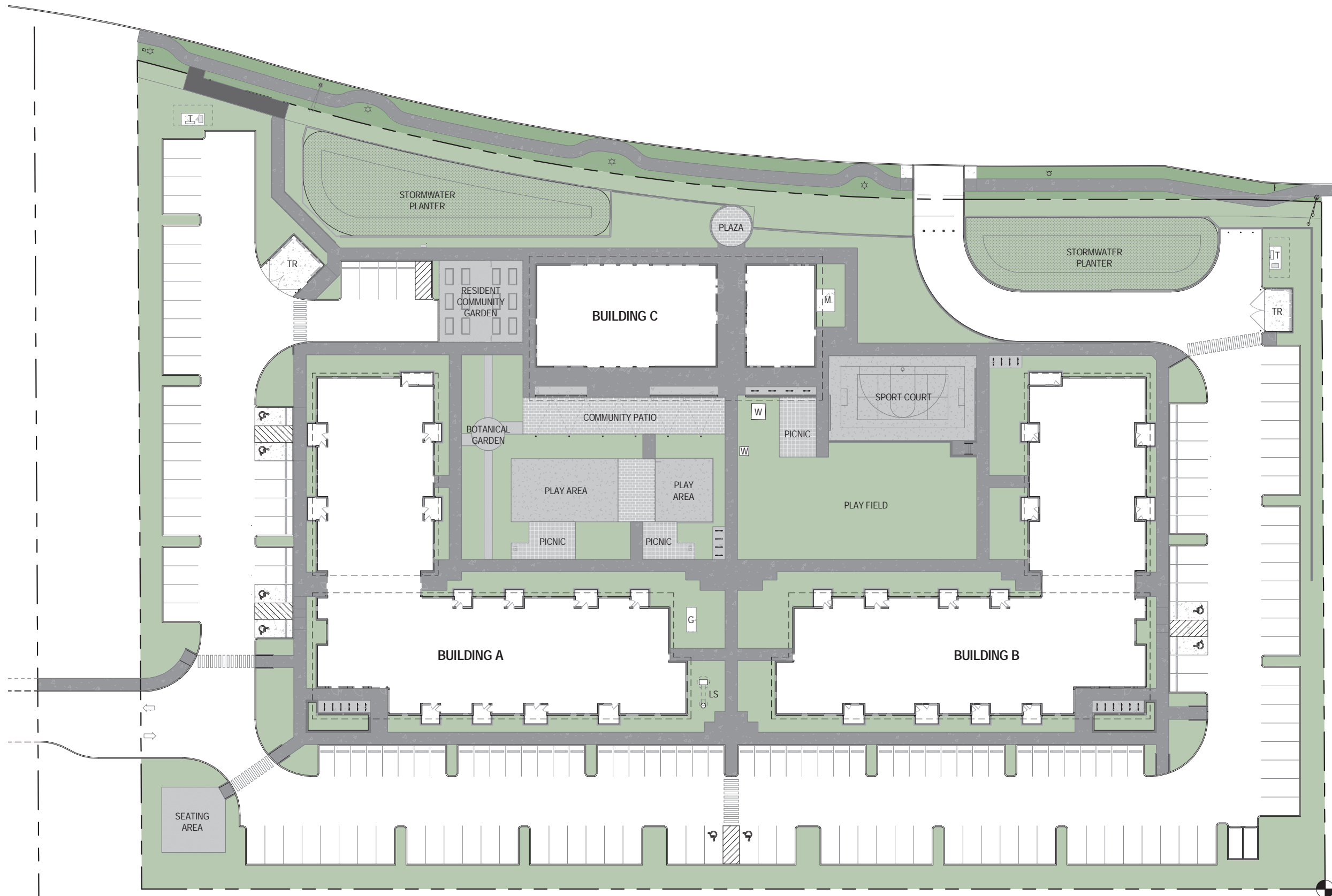
- ▤ REQUIRED: NONE (RH W/ PERMITTED USE)
- ▤ PROVIDED: 64,314 SF (NOT INCLUDING ROW)

**TDC 73B.030 - ADDITIONAL MINIMUM LANDSCAPING REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL USES:**

REQUIRED & PROVIDED: ALL AREAS NOT OCCUPIED BY BUILDINGS, PARKING SPACES, DRIVEWAYS, DRIVE ASILES, PEDESTRIAN AREAS, OR UNDISTURBED NATURAL AREAS MUST BE LANDSCAPED.

**HARDSCAPED / PATHWAY AREAS:**

- ▤ REQUIRED: ADA COMPLIANT
- ▤ PROVIDED: ADA COMPLIANT



SITE PLAN - SITE PATHS & LANDSCAPING



**TDC 73A.200 (1) - UNIT PATIO SIZES: LEVEL 1**

REQUIRED: 80 SF EACH

PROVIDED:

- UNIT 1.1 - 93 SF
- UNIT 1.2 (COURTYARD SIDE) - 84 SF
- UNIT 1.2 (PARKING LOT SIDE) - 93 SF
- UNIT 2.1 - 103 SF
- UNIT 2.2 (COURTYARD SIDE) - 103 SF
- UNIT 2.2 (PARKING LOT SIDE) - 115 SF
- UNIT 3.1 - 105 SF
- UNIT 3.2 - N/A
- UNIT 3.3 - 114 SF
- UNIT 4.1 - N/A

**TDC 73A.200 (3) - ENTRY AREAS: ENTIRE BUILDING**

REQUIRED: 58 UNITS x 24 SF = 1,392 SF

PROVIDED: 1,453 SF

- L1 COMBINED LOBBY/LOUNGE: 505 SF
- L2-L4 COMBINED LOBBY/ LOUNGE: 600 SF(200 SF PER LEVEL)
- INDIVIDUAL ENTRY: 348 SF (6 SF x 58 UNITS)

**TDC 73A.200 (6) - UNIT STORAGE: LEVEL 1**

REQUIRED: 1-BEDROOM: 24 SF/ 2-BEDROOM: 36 SF/ 3-BEDROOM: 48 SF

PROVIDED:

- UNIT 1.1 - 24 SF
- UNIT 1.2 - 24 SF
- UNIT 2.1 - 36 SF
- UNIT 2.2 - 36 SF
- UNIT 3.1 - 51 SF
- UNIT 3.2 - N/A
- UNIT 3.3 - 48 SF
- UNIT 4.1 - N/A

**TDC 73A.200 (11) - SERVICE, DELIVERY AND SCREENING**

REQUIRED: POSTAL DELIVERY MUST BE CONVENIENTLY LOCATED & EFFICIENTLY DESIGNED FOR RESIDENTS AND MAIL DELIVERY STAFF  
 PROVIDED: MAIL ROOM IS LOCATED DIRECTLY ADJAENT TO MAIN ENTRY

FLOOR PLAN - BUILDING A - LEVEL 1



**TDC 73A.200 (2) - UNIT BALCONY SIZES: LEVELS 2-4**

REQUIRED: 48 SF EACH

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 51 SF (58 SF - END UNIT)
- UNIT 2.1 - N/A
- UNIT 2.2 - 65 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 59 SF
- UNIT 3.3 - 112 SF
- UNIT 4.1 - 72 SF

**TDC 73A.200 (3) - ENTRY AREAS: ENTIRE BUILDING**

REQUIRED: 58 UNITS x 24 SF = 1,392 SF

PROVIDED: 1,453 SF

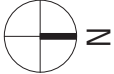
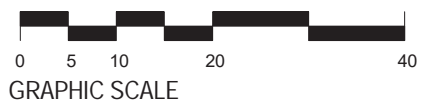
- L1 COMBINED LOBBY/LOUNGE: 505 SF
- L2-L4 COMBINED LOBBY/ LOUNGE: 600 SF (200 SF PER LEVEL)
- INDIVIDUAL ENTRY: 348 SF (6 SF x 58 UNITS)

**TDC 73A.200 (6) - UNIT STORAGE: LEVELS 2-4**

REQUIRED: 1-BEDROOM: 24 SF/ 2-BEDROOM: 36 SF/ 3-BEDROOM: 48 SF

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 26 SF
- UNIT 2.1 - N/A
- UNIT 2.2 - 37 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 51 SF
- UNIT 3.3 - 48 SF
- UNIT 4.1 - 48 SF



FLOOR PLAN - BUILDING A - LEVELS 2 & 3



**TDC 73A.200 (2) - UNIT BALCONY SIZES: LEVELS 2-4**

REQUIRED: 48 SF EACH

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 51 SF (58 SF - END UNIT)
- UNIT 2.1 - N/A
- UNIT 2.2 - 65 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 59 SF
- UNIT 3.3 - 112 SF
- UNIT 4.1 - 72 SF

**TDC 73A.200 (3) - ENTRY AREAS: ENTIRE BUILDING**

REQUIRED: 58 UNITS x 24 SF = 1,392 SF

PROVIDED: 1,453 SF

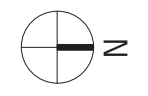
- L1 COMBINED LOBBY/LOUNGE: 505 SF
- L2-L4 COMBINED LOBBY/ LOUNGE: 600 SF(200 SF PER LEVEL)
- INDIVIDUAL ENTRY: 348 SF (6 SF x 58 UNITS)

**TDC 73A.200 (6) - UNIT STORAGE: LEVELS 2-4**

REQUIRED: 1-BEDROOM: 24 SF/ 2-BEDROOM: 36 SF/ 3-BEDROOM: 48 SF

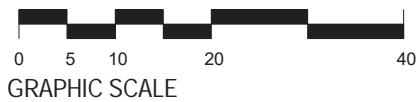
PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 26 SF
- UNIT 2.1 - N/A
- UNIT 2.2 - 37 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 51 SF
- UNIT 3.3 - 48 SF
- UNIT 4.1 - 48 SF



FLOOR PLAN - BUILDING A - LEVEL 4





**TDC 73A.200 (1) - UNIT PATIO SIZES: LEVEL 1**

REQUIRED: 80 SF EACH

PROVIDED:

- UNIT 1.1 - 93 SF
- UNIT 1.2 (COURTYARD SIDE) - 84 SF
- UNIT 1.2 (PARKING LOT SIDE) - 93 SF
- UNIT 2.1 - 103 SF
- UNIT 2.2 (COURTYARD SIDE) - 103 SF
- UNIT 2.2 (PARKING LOT SIDE) - 115 SF
- UNIT 3.1 - 105 SF
- UNIT 3.2 - N/A
- UNIT 3.3 - 114 SF
- UNIT 4.1 - N/A

**TDC 73A.200 (3) - ENTRY AREAS: ENTIRE BUILDING**

REQUIRED: 58 UNITS x 24 SF = 1,392 SF

PROVIDED: 1,453 SF

- L1 COMBINED LOBBY/LOUNGE: 505 SF
- L2-L4 COMBINED LOBBY/ LOUNGE: 600 SF(200 SF PER LEVEL)
- INDIVIDUAL ENTRY: 348 SF (6 SF x 58 UNITS)

**TDC 73A.200 (6) - UNIT STORAGE: LEVEL 1**

REQUIRED: 1-BEDROOM: 24 SF/ 2-BEDROOM: 36 SF/ 3-BEDROOM: 48 SF

PROVIDED:

- UNIT 1.1 - 24 SF
- UNIT 1.2 - 24 SF
- UNIT 2.1 - 36 SF
- UNIT 2.2 - 36 SF
- UNIT 3.1 - 51 SF
- UNIT 3.2 - N/A
- UNIT 3.3 - 48 SF
- UNIT 4.1 - N/A

**TDC 73A.200 (11) - SERVICE, DELIVERY AND SCREENING**

REQUIRED: POSTAL DELIVERY MUST BE CONVENIENTLY LOCATED & EFFICIENTLY DESIGNED FOR RESIDENTS AND MAIL DELIVERY STAFF  
 PROVIDED: MAIL ROOM IS LOCATED DIRECTLY ADJAENT TO MAIN ENTRY

FLOOR PLAN - BUILDING B - LEVEL 1



**TDC 73A.200 (2) - UNIT BALCONY SIZES: LEVELS 2-4**

REQUIRED: 48 SF EACH

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 51 SF (58 SF - END UNIT)
- UNIT 2.1 - N/A
- UNIT 2.2 - 65 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 59 SF
- UNIT 3.3 - 112 SF
- UNIT 4.1 - 72 SF

**TDC 73A.200 (3) - ENTRY AREAS: ENTIRE BUILDING**

REQUIRED: 58 UNITS x 24 SF = 1,392 SF

PROVIDED: 1,453 SF

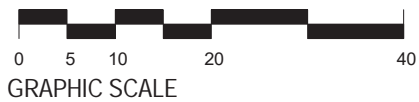
- L1 COMBINED LOBBY/LOUNGE: 505 SF
- L2-L4 COMBINED LOBBY/ LOUNGE: 600 SF (200 SF PER LEVEL)
- INDIVIDUAL ENTRY: 348 SF (6 SF x 58 UNITS)

**TDC 73A.200 (6) - UNIT STORAGE: LEVELS 2-4**

REQUIRED: 1-BEDROOM: 24 SF/ 2-BEDROOM: 36 SF/ 3-BEDROOM: 48 SF

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 26 SF
- UNIT 2.1 - N/A
- UNIT 2.2 - 37 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 51 SF
- UNIT 3.3 - 48 SF
- UNIT 4.1 - 48 SF



FLOOR PLAN - BUILDING B - LEVELS 2 & 3



**TDC 73A.200 (2) - UNIT BALCONY SIZES: LEVELS 2-4**

REQUIRED: 48 SF EACH

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 51 SF (58 SF - END UNIT)
- UNIT 2.1 - N/A
- UNIT 2.2 - 65 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 59 SF
- UNIT 3.3 - 112 SF
- UNIT 4.1 - 72 SF

**TDC 73A.200 (3) - ENTRY AREAS: ENTIRE BUILDING**

REQUIRED: 58 UNITS x 24 SF = 1,392 SF

PROVIDED: 1,453 SF

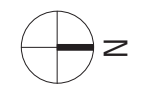
- L1 COMBINED LOBBY/LOUNGE: 505 SF
- L2-L4 COMBINED LOBBY/ LOUNGE: 600 SF(200 SF PER LEVEL)
- INDIVIDUAL ENTRY: 348 SF (6 SF x 58 UNITS)

**TDC 73A.200 (6) - UNIT STORAGE: LEVELS 2-4**

REQUIRED: 1-BEDROOM: 24 SF/ 2-BEDROOM: 36 SF/ 3-BEDROOM: 48 SF

PROVIDED:

- UNIT 1.1 - N/A
- UNIT 1.2 - 26 SF
- UNIT 2.1 - N/A
- UNIT 2.2 - 37 SF
- UNIT 3.1 - N/A
- UNIT 3.2 - 51 SF
- UNIT 3.3 - 48 SF
- UNIT 4.1 - 48 SF




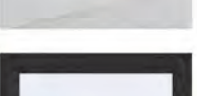


FLOOR PLAN - BUILDING B - LEVEL 4



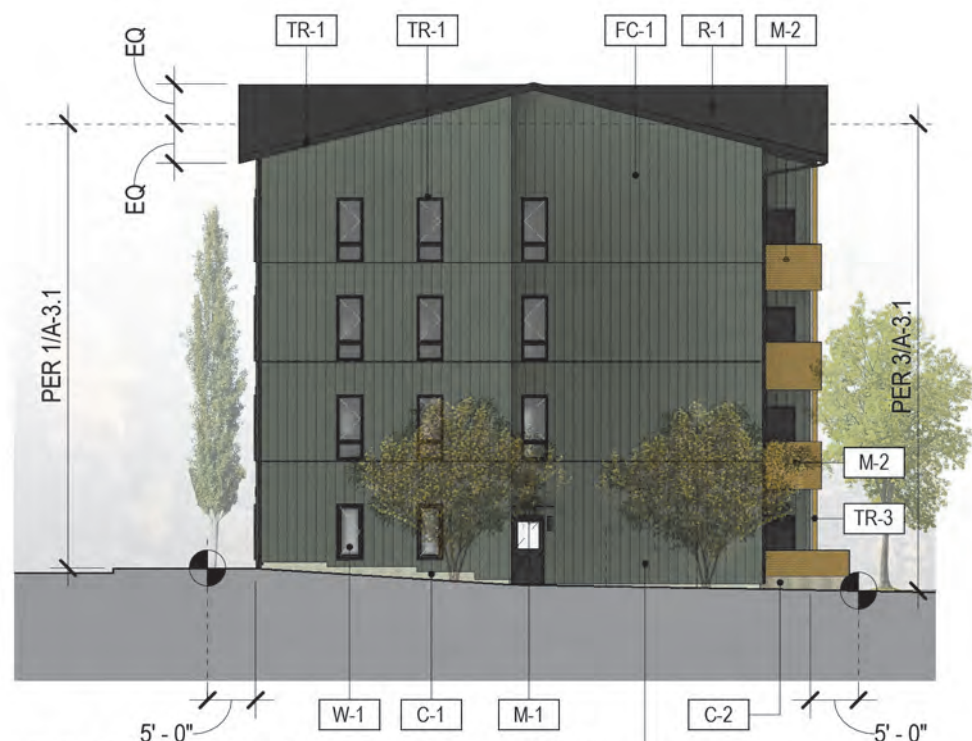
**MATERIALS KEY:**

REFER TO SHEET G0.02 FOR ADDITIONAL INFORMATION. ALL TAGS ARE TYPICAL CALLOUTS.

-  FC-1
-  FC-2
-  FC-3
-  WD-3
-  C-1
-  C-2
-  TR-1 & TR-2
-  TR-3
-  M-1
-  M-2
-  R-1
-  R-2
-  W-1



**1 BUILDING A - EAST SIDE**  
SCALE: 1" = 20'-0"



**2 BUILDING A - NORTH END**  
SCALE: 1" = 20'-0"













**3 BUILDING A - WEST SIDE**  
SCALE: 1" = 20'-0"

**BUILDING ELEVATIONS - BUILDING A**

**MATERIALS KEY:**

REFER TO SHEET G0.02 FOR ADDITIONAL INFORMATION. ALL TAGS ARE TYPICAL CALLOUTS.

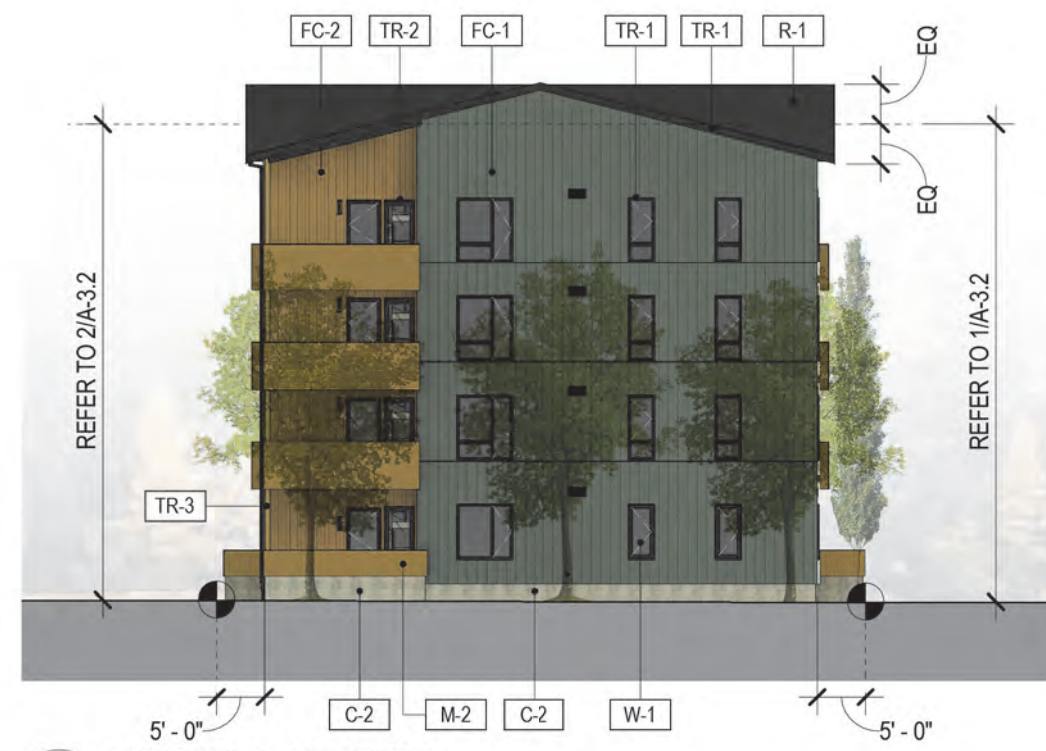
-  FC-1
-  FC-2
-  FC-3
-  WD-3
-  C-1
-  C-2
-  TR-1 & TR-2
-  TR-3
-  M-1
-  M-2
-  R-1
-  R-2
-  W-1



**1 BUILDING A - SOUTH SIDE**  
SCALE: 1" = 20'-0"



**2 BUILDING A - NORTH SIDE**  
SCALE: 1" = 20'-0"



**3 BUILDING A - WEST END**  
SCALE: 1" = 20'-0"

**MATERIALS KEY:**

REFER TO SHEET G0.02 FOR ADDITIONAL INFORMATION. ALL TAGS ARE TYPICAL CALLOUTS.

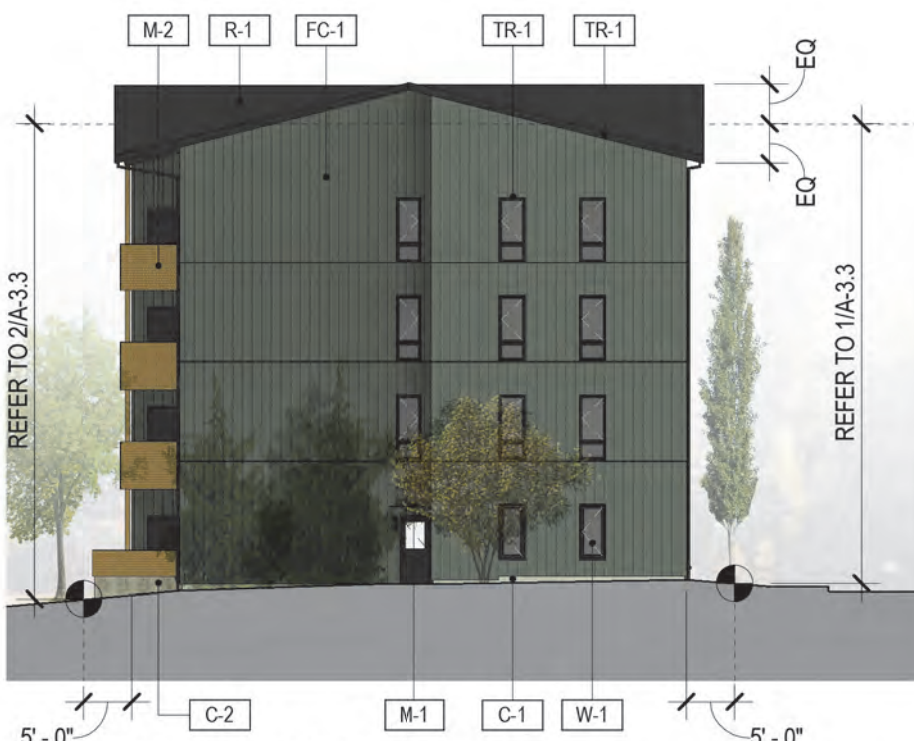
-  FC-1
-  FC-2
-  FC-3
-  WD-3
-  C-1
-  C-2
-  TR-1 & TR-2
-  TR-3
-  M-1
-  M-2
-  R-1
-  R-2
-  W-1



**1 BUILDING B - EAST SIDE**  
SCALE: 1" = 20'-0"



**2 BUILDING B - WEST SIDE**  
SCALE: 1" = 20'-0"


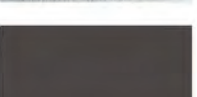
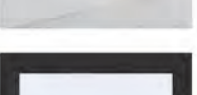


**3 BUILDING B - SOUTH END**  
SCALE: 1" = 20'-0"

**BUILDING ELEVATIONS - BUILDING B**

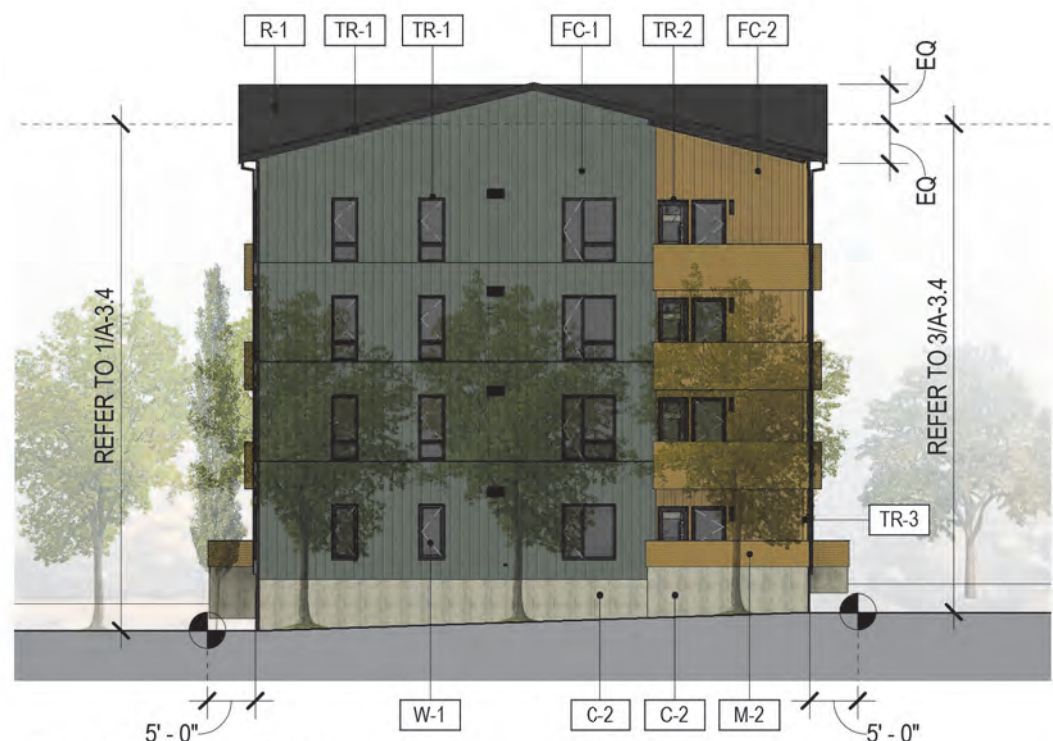
**MATERIALS KEY:**

REFER TO SHEET G0.02 FOR ADDITIONAL INFORMATION. ALL TAGS ARE TYPICAL CALLOUTS.

-  FC-1
-  FC-2
-  FC-3
-  WD-3
-  C-1
-  C-2
-  TR-1 & TR-2
-  TR-3
-  M-1
-  M-2
-  R-1
-  R-2
-  W-1



**1 BUILDING B - NORTH SIDE**  
SCALE: 1" = 20'-0"



**2 BUILDING B - WEST END**  
SCALE: 1" = 20'-0"



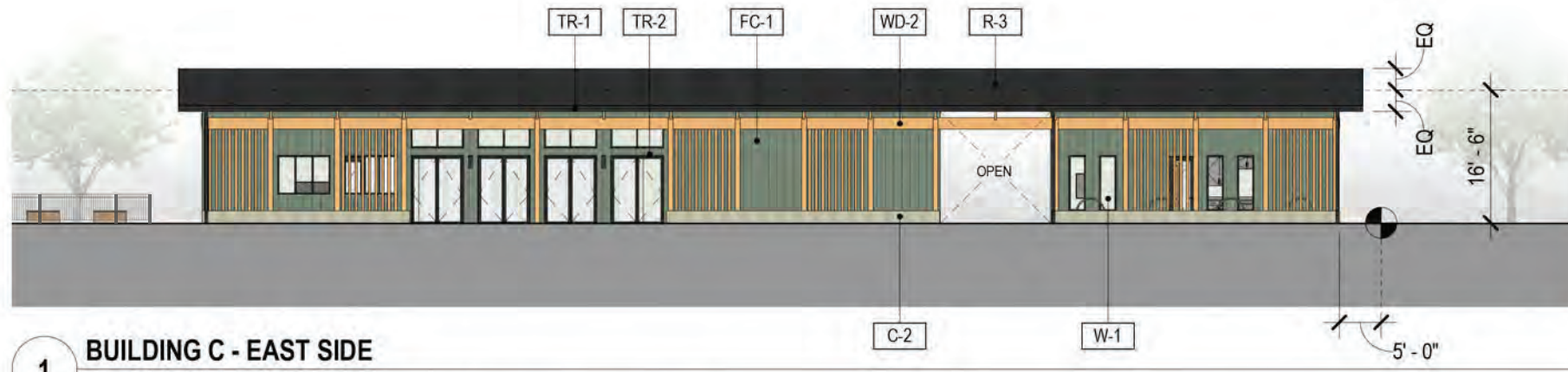
**3 BUILDING B - SOUTH SIDE**  
SCALE: 1" = 20'-0"



**MATERIALS KEY:**

REFER TO SHEET G0.02 FOR ADDITIONAL INFORMATION. ALL TAGS ARE TYPICAL CALLOUTS.

-  FC-1
-  WD-1
-  WD-2
-  C-2
-  TR-1 & TR-2
-  R-3
-  W-1



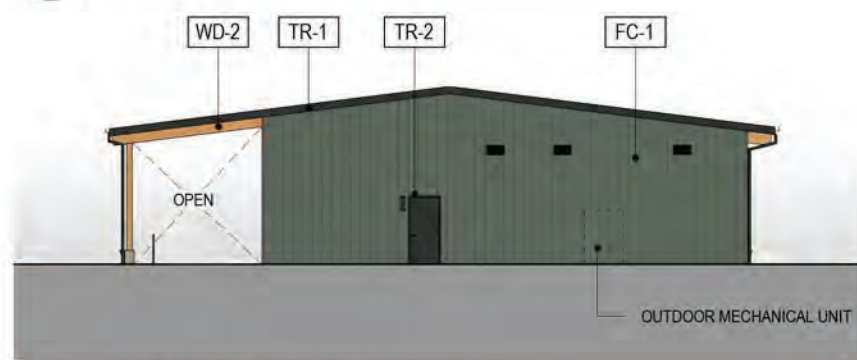
**1 BUILDING C - EAST SIDE**

SCALE: 1" = 20'-0"



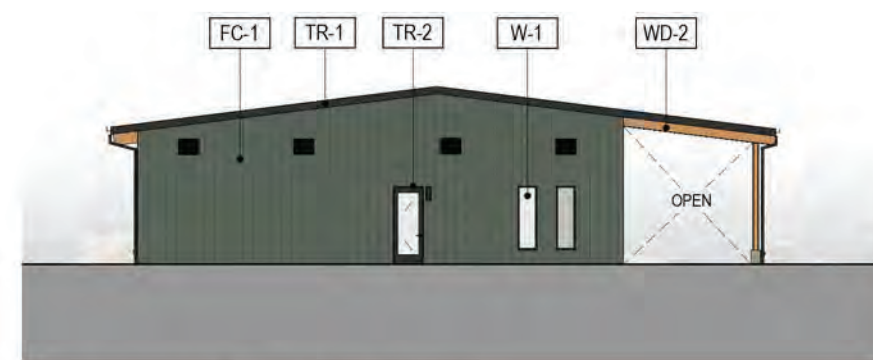
**2 BUILDING C - WEST SIDE**

SCALE: 1" = 20'-0"



**3 BUILDING C - NORTH SIDE**

SCALE: 1" = 20'-0"



**4 BUILDING C - SOUTH SIDE**

SCALE: 1" = 20'-0"



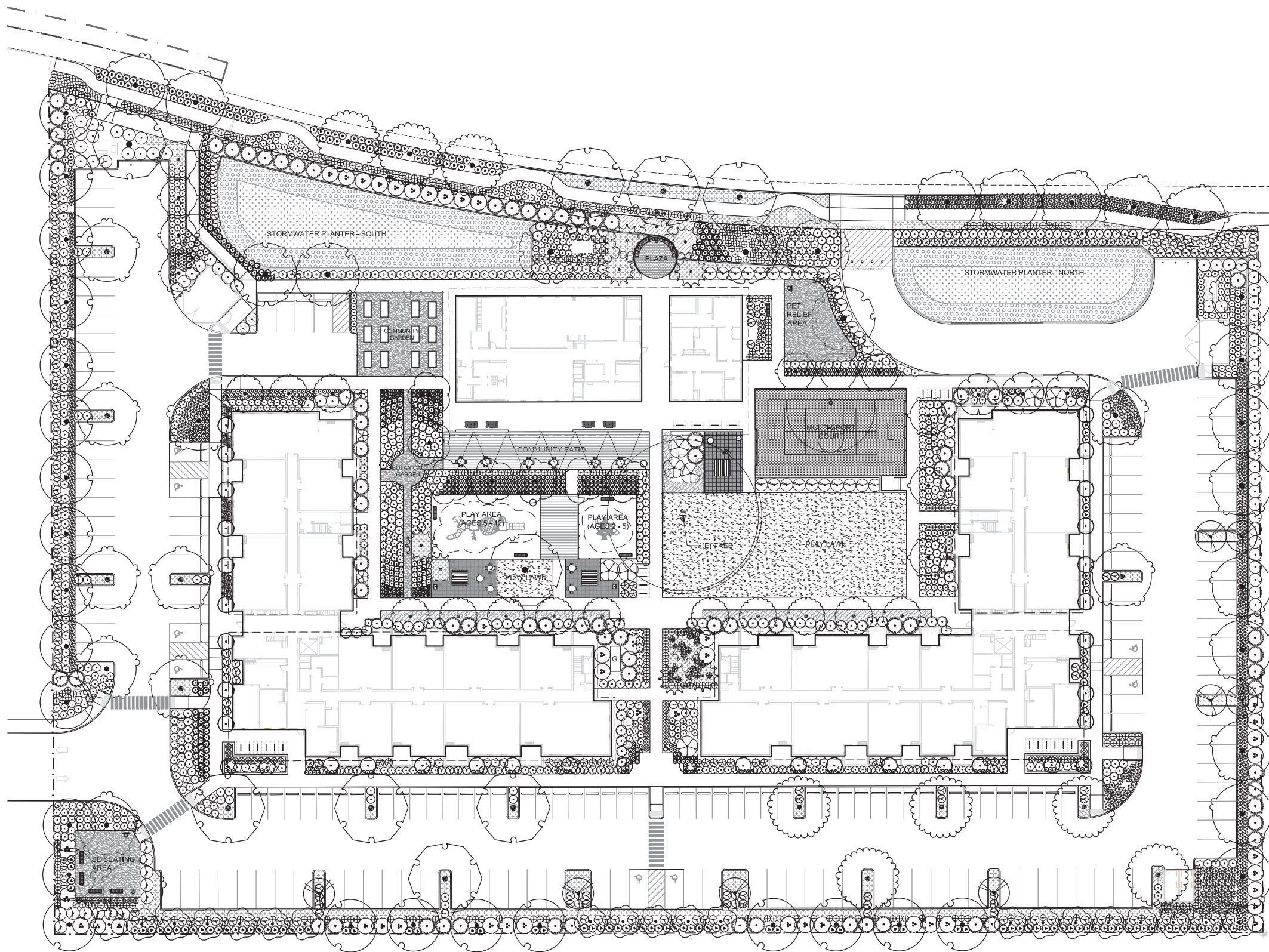
**5 BUILDING C - BREEZEWAY SOUTH**

SCALE: 1" = 20'-0"



**6 BUILDING C - BREEZEWAY NORTH**

SCALE: 1" = 20'-0"



1 LANDSCAPE PLANTING PLAN



**PLANTING NOTES**

1. FOR PLANT SCHEDULE, SEE SHEET L3.00.
2. ALL NEW PLANTING AREAS ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR.
3. VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
4. VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
5. VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
6. COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
7. REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
8. VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
9. PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
10. UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
11. LABELLING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.

PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW BOONES FERRY ROAD  
TUALATIN, OREGON 97062  
LAND USE: ARCHITECTURAL REVIEW

PLANTING  
PLAN  
PROJECT NO.  
#19031

REVISIONS:



L2.00

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS		SPICE BUSH
	ACGI	ACER GINNALA AMUR MAPLE	1-1/2" CAL	3	DROUGHT TOLERANT		CASA CAMELLIA SASANQUA 'SETSUGEKKA' SETSUGEKKA CAMELLIA
	ACTA	ACER TATARICUM 'RUGGED CHARM' RUGGED CHARM TATARIAN MAPLE	1-1/2" CAL	13	DROUGHT TOLERANT		CHTE CHOISYA TERNATA MEXICAN ORANGE
	CABE	CARPINUS BETULUS 'FASTIGIATA' PYRAMIDAL EUROPEAN HORNBEAN	1-1/2" CAL	22			DEGR DEUTZIA GRACILIS 'NIKKO' SLENDER DEUTZIA
	CEJA	CERCIDIPHYLLUM JAPONICUM KATSURA TREE	1-1/2" CAL	1			GASH GAULTHERIA SHALLON SALAL
	CHNO	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' WEeping NOOTKA CYPRESS	8' HT	10	DROUGHT TOLERANT		HAIN HAMAMELIS X INTERMEDIA 'JELENA' JELENA WITCH HAZEL
	COKC	CORNUS KOUSA CHINENSIS CHINESE DOGWOOD	1-1/2" CAL	7			HYQU HYDRANGEA QUERCIFOLIA 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA
	FROX	FRAXINUS OXYCARPA 'RAYWOOD' RAYWOOD ASH	1-1/2" CAL	6			HYOA HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' SNOW QUEEN OAKLEAF HYDRANGEA
	GIBI	GINKGO BILOBA 'AUTUMN GOLD' AUTUMN GOLD MAIDENHAIR TREE	1-1/2" CAL	8	DROUGHT TOLERANT		KEJA KERRIA JAPONICA 'PLENIFLORA' DOUBLE JAPANESE KERRIA
	GIPS	GINKGO BILOBA 'PRINCETON SENTRY' PRINCETON SENTRY MAIDENHAIR TREE	1-1/2" CAL	8	DROUGHT TOLERANT		LITE LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS JAPANESE PRIVET
	POTR	POPULUS TREMULOIDES 'MOUNTAIN SENTINEL' MOUNTAIN SENTINEL QUAKING ASPEN	1-1/2" CAL	36			LIVU LIGUSTRUM VULGARE 'LODENSE' LODENSE PRIVET
	QUFR	QUERCUS FRAINETTO 'SCHMIDT' FOREST GREEN OAK	1-1/2" CAL	8	DROUGHT TOLERANT		LOPI LONICERA PILEATA PRIVET HONEYSUCKLE
	STJA	STYRAX JAPONICUS 'SNOWCONE' JAPANESE SNOWBELL	1-1/2" CAL	10			MAAQ MAHONIA AQUIFOLIUM 'COMPACTA' COMPACT OREGON GRAPE
	ZESE	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE SAWLEAF ZELKOVA	1-1/2" CAL	27			MAXM MAHONIA X MEDIA 'WINTER SUN' WINTER SUN MAHONIA
	ZEMU	ZELKOVA SERRATA 'MUSASHINO' MUSASHINO SAWLEAF ZELKOVA	1-1/2" CAL	20			MYCA MYRICA CALIFORNICA PACIFIC WAX MYRTLE
	FRHI	FRAGARIA CHILOENSIS BEACH STRAWBERRY	1 GAL.	24" o.c.	68	NATIVE. DROUGHT TOLERANT	NAUL NANDINA DOMESTICA 'GULF STREAM' TM GULF STREAM HEAVENLY BAMBOO
	LION	LIRIOPE MUSCARI 'MONROE'S WHITE' MONROE'S WHITE LILYTURF	1 GAL.	12" o.c.	54	DROUGHT TOLERANT	PEAL PENNSETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS
	MANE	MAHONIA NERVOSA OREGON GRAPE	1 GAL.	24" o.c.	333	NATIVE DROUGHT TOLERANT	POMU POLYSTICHUM MUNITUM WESTERN SWORD FERN
	MARE	MAHONIA REPENS CREEPING MAHONIA	1 GAL.	24" o.c.	1,264	NATIVE DROUGHT TOLERANT	PRAU PRUNUS LAUROCERASUS 'MOUNT VERNON' MOUNT VERNON ENGLISH LAUREL
	RODF	ROSA X 'MEIGALPIO' TM RED DRIFT GROUND COVER ROSE	1 GAL.	30" o.c.	68	DROUGHT TOLERANT	RISA RIBES SANGUINEUM 'WHITE ICICLE' WHITE ICICLE FLOWERING CURRRANT
							ROUT ROSA NUTKANA NOOTKA ROSE
							ROD2 ROSA X 'MEIGALPIO' TM RED DRIFT GROUND COVER ROSE
							RO43 ROSA X 'NOARE' TM FLOWER CARPET RED GROUND COVER ROSE
							ROTF ROSA X 'THE FAIRY' THE FAIRY SHRUB ROSE
							SAUS SARCOCOCCA RUSCIFOLIA FRAGRANT SWEETBOX
							SPJA SPIRAEA JAPONICA 'LITTLE PRINCESS' LITTLE PRINCESS JAPANESE SPIREA
							SPJW SPIRAEA JAPONICA 'WALBUMA' MAGIC CARPET JAPANESE SPIREA
							SYLB SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY
							VAVA VACCINIUM OVATUM EVERGREEN HUCKLEBERRY
							VIPT VIBURNUM PPLICATUM TOMENTOSUM 'MARIESII' MARIE DOUBLEFILE VIBURNUM
							VIIN VIBURNUM TINUS 'SPRING BOUQUET' SPRING BOUQUET LAURUSTINUS
							WEFL WEIGELA FLORIDA 'BOKRASPIWT' SPILLED WINE WEIGELA

PLANT SCHEDULE - STORMWATER FACILITIES - SOUTH

	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
ZONE A (BOTTOM)	TOTAL AREA: 2,232 SF			
	CAREX OBNUPTA / SLOUGH SEDGE	PLUGS, 6" HT. MIN.	6 PLUGS / SF	4,464
	JUNCUS PATENS / CALIFORNIA GRAY RUSH	PLUGS, 6" HT. MIN.	6 PLUGS / SF	4,464
	SCIRPUS MICROCARPUS / SMALL-FRUITED BULRUSH	PLUGS, 6" HT. MIN.	6 PLUGS / SF	4,464
ZONE B (SIDE SLOPES)	TOTAL AREA: 2,960 SF			
	TREES:			
	ACER MACROPHYLLUM / BIGLEAF MAPLE	2 GAL. / 3' HT. MIN.	10'-0" O.C.	8
	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	2 GAL. / 3' HT. MIN.	10'-0" O.C.	7
	ACER CIRCINATUM / VINE MAPLE	2 GAL. / 3' HT. MIN.	10'-0" O.C.	8
	ABIES GRANDIS / GRAND FIR	2 GAL. / 3' HT. MIN.	10'-0" O.C.	7
	SHRUBS:			
	CORNUS SERICEA / RED TWIG DOGWOOD	1 GAL. / 18" HT. MIN.	10'-0" O.C.	30
	MAHONIA AQUIFOLIUM / OREGON GRAPE	1 GAL. / 24" HT. MIN.	6'-0" O.C.	30
	OEMLERIA CERASIFORMIS / INDIAN PLUM	1 GAL. / 24" HT. MIN.	6'-0" O.C.	30
	SPIRAEA DOUGLASII / WESTERN SPIREA	1 GAL. / 24" HT. MIN.	6'-0" O.C.	29
	SYMPHORICARPUS ALBUS / SNOWBERRY	1 GAL. / 24" HT. MIN.	6'-0" O.C.	29
	SEEDING: FREEBOARD AREA SEED MIX: SEE SPECS			
<b>STORMWATER BASIN - SOUTH: CWS PLANTING REQUIREMENTS</b>				
TOTAL TREATMENT AREA ZONE A		= 2,232 SF		
TOTAL NUMBER OF PLUGS, ZONE A (TOTAL SF X 6)		= 13,392		
TOTAL TREATMENT AREA ZONE B		= 2,882 SF		
TOTAL NUMBER OF TREES, ZONE B (TOTAL SF X .01)		= 29		
TOTAL NUMBER OF SHRUBS, ZONE B (TOTAL SF X .05)		= 144		
TOTAL FREEBOARD AREA SEEDING		= 2,882 SF		

PLANT SCHEDULE - STORMWATER FACILITIES - NORTH

	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY
ZONE A (BOTTOM)	TOTAL AREA: 1,783 SF			
	CAREX OBNUPTA / SLOUGH SEDGE	PLUGS, 6" HT. MIN.	6 PLUGS / SF	3,566
	JUNCUS PATENS / CALIFORNIA GRAY RUSH	PLUGS, 6" HT. MIN.	6 PLUGS / SF	3,566
	SCIRPUS MICROCARPUS / SMALL-FRUITED BULRUSH	PLUGS, 6" HT. MIN.	6 PLUGS / SF	3,566
ZONE B (SIDE SLOPES)	TOTAL AREA: 2,327 SF			
	TREES:			
	ACER MACROPHYLLUM / BIGLEAF MAPLE	2 GAL. / 3' HT. MIN.	10'-0" O.C.	6
	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	2 GAL. / 3' HT. MIN.	10'-0" O.C.	6
	ACER CIRCINATUM / VINE MAPLE	2 GAL. / 3' HT. MIN.	10'-0" O.C.	6
	ABIES GRANDIS / GRAND FIR	2 GAL. / 3' HT. MIN.	10'-0" O.C.	5
	SHRUBS:			
	CORNUS SERICEA / RED TWIG DOGWOOD	1 GAL. / 18" HT. MIN.	10'-0" O.C.	23
	MAHONIA AQUIFOLIUM / OREGON GRAPE	1 GAL. / 24" HT. MIN.	6'-0" O.C.	23
	OEMLERIA CERASIFORMIS / INDIAN PLUM	1 GAL. / 24" HT. MIN.	6'-0" O.C.	23
	SPIRAEA DOUGLASII / WESTERN SPIREA	1 GAL. / 24" HT. MIN.	6'-0" O.C.	23
	SYMPHORICARPUS ALBUS / SNOWBERRY	1 GAL. / 24" HT. MIN.	6'-0" O.C.	24
	SEEDING: FREEBOARD AREA SEED MIX: SEE SPECS			
<b>STORMWATER BASIN - NORTH: CWS PLANTING REQUIREMENTS</b>				
TOTAL TREATMENT AREA ZONE A		= 1,783 SF		
TOTAL NUMBER OF PLUGS, ZONE A (TOTAL SF X 6)		= 10,698		
TOTAL TREATMENT AREA ZONE B		= 2,264 SF		
TOTAL NUMBER OF TREES, ZONE B (TOTAL SF X .01)		= 23		
TOTAL NUMBER OF SHRUBS, ZONE B (TOTAL SF X .05)		= 113		
TOTAL FREEBOARD AREA SEEDING		= 2,264 SF		

PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW BOONES FERRY ROAD  
TUALATIN, OREGON 97062  
LAND USE: ARCHITECTURAL REVIEW

PLANT  
SCHEDULE

PROJECT NO.  
#19031

REVISIONS:

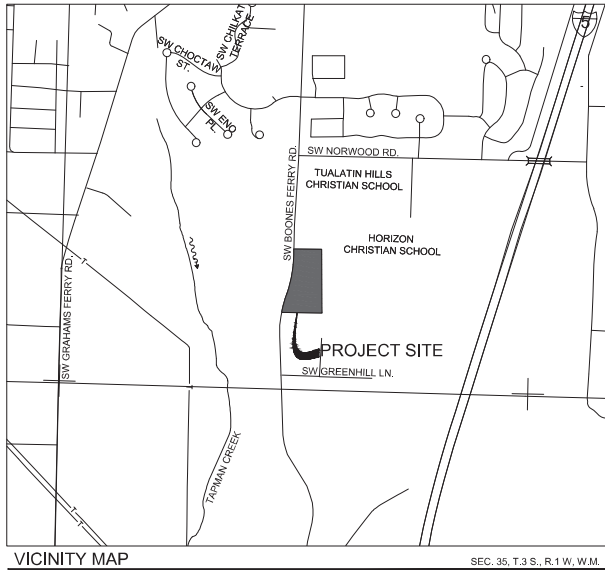


L3.00

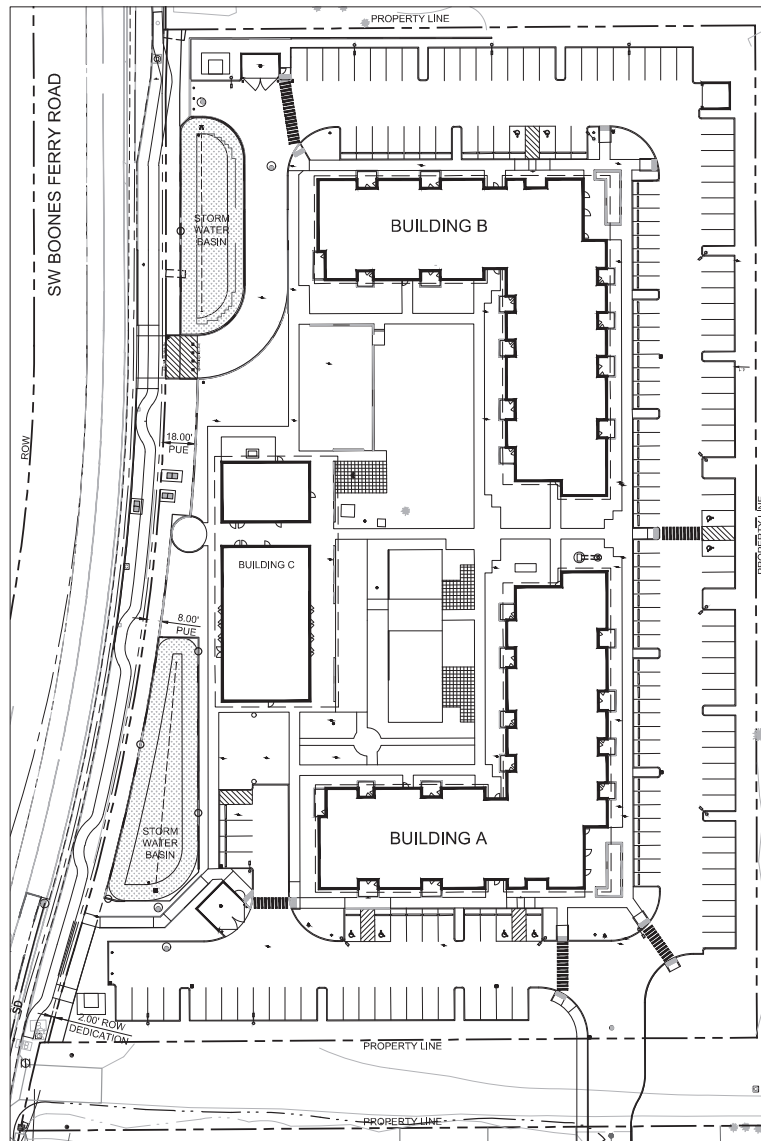
COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.

# PLAMBECK GARDENS

## CIVIL PLANS



VICINITY MAP  
NTS  
SEC. 35, T.3 S., R.1 W., W.M.



SITE MAP  
NTS

### GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE CITY OF TUALATIN, WASHINGTON COUNTY, THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 852-001-0010 THROUGH OAR 852-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503-246-6699.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITY CONNECTION POINTS PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF VEGA CIVIL ENGINEERING, LLC. POTHOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- VEGA CIVIL ENGINEERING, LLC, ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

### GRADING & PAVING NOTES

- ALL SURFACES SHALL HAVE A MINIMUM 1.5% SLOPE UNLESS OTHERWISE NOTED ON THE PLANS. ALL SURFACES SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY AND MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY VEGA CIVIL ENGINEERING, LLC IF THE GRADING PLAN DOES NOT PROVIDE POSITIVE DRAINAGE OR IF SLOPE CALLOUTS DO NOT MATCH SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND THE PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- THE CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING, NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE LIMITS OF DEMOLITION. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY A QUALIFIED SURVEYOR, BASED ON INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER.
- ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN.
- ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL BE PERMITTED UNDER A SEPARATE PERMIT AS SHOWN ON THE PLANS.

### UTILITY NOTES

- MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM CITY ENGINEER PRIOR TO INSTALLATION.
- ALL ON-SITE WATER, STORM AND SANITARY SEWER PIPE MATERIALS, AND FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
- ON-SITE WATER MAINS SHALL BE PVC PIPE, CONFORMING TO AWWA C900 OR APPROVED SPEC SUBSTITUTIONS. ON-SITE WATER MAINS SHALL BE MECHANICALLY RESTRAINED.
- ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS "N-12" OR APPROVED EQUAL) CONFORMING TO AASHTO M252 WITH WATER-TIGHT JOINTS, OR APPROVED SUBSTITUTIONS.
- ON-SITE STORM SEWER PIPE WITH LESS THAN 2' OF COVER SHALL BE HDPE PIPE.
- ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.
- ON-SITE SANITARY SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034, SDR 35, OR APPROVED SUBSTITUTE.
- ALL WATER AND SANITARY SEWER FACILITIES AND THE INSTALLATION THEREOF, SHALL FOLLOW THE CURRENT OREGON STATE PLUMBING SPECIALTY CODE AND THE CURRENT EDITION OF APWA WITH CITY OF TUALATIN DURING CONSTRUCTION.
- ALL TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
- CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE CITY OF TUALATIN ENGINEERING DESIGN MANUAL AND STANDARD DRAWINGS.
- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO FINISHED GRADE.
- ALL WATER LINES SHALL BE THOROUGHLY FLUSHED, CHLORINATED AND TESTED IN ACCORDANCE WITH THE OREGON STATE HEALTH DEPARTMENT PRIOR TO ANY METER HOOK-UP SERVICE.
- BEGIN LAYING STORM AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE BY THE USE OF A LASER.
- CONTRACTOR TO MAINTAIN A MINIMUM 5' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN ALL EXISTING AND PROPOSED WATER AND SANITARY SEWER LINES.
- FOR CROSSINGS OF WATER LINES AND SANITARY SEWER LINES, THE OREGON STATE HEALTH DEPARTMENT CRITERIA SHALL APPLY.
- PG&E AND OTHER PRIVATE UTILITY COMPANIES SHALL OBTAIN PERMITTING FROM CITY OF TUALATIN TO INSTALL CONDUIT IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL VACUUM OUT ALL TRAPPED INLETS AND MANHOLES AT THE END OF CONSTRUCTION.
- CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.

### PROJECT CONTACTS

OWNER:  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
6380 SW GARTOOL HIGHWAY #151  
PORTLAND, OR 97239  
(503) 293-4038  
CONTACT: JILIAN SAURAGE FELTON

ENGINEER:  
VEGA CIVIL ENGINEERING, LLC  
1300 SE STARK STREET #201  
PORTLAND, OR 97214  
(503) 662-1901  
CONTACT: MARTHA WILLIAMSON, PE

SURVEYOR:  
REPRETO & ASSOCIATES, INC.  
12730 SE STARK ST  
PORTLAND, OR 97233  
(503) 405-1507  
CONTACT: STEVEN P. BUCKLES

OTAK  
806 SW 3RD AVE., STE. 800  
PORTLAND, OR 97204  
(503) 287-6825

### LEGEND

EXISTING	DESCRIPTION	PROPOSED
	MANHOLE	
	CATCH BASIN	
	WATER METER	
	GUY WIRE ANCHOR	
	STREETLIGHT	
	UTILITY POLE	
	SIGN	
	TREE	
	PROPERTY LINE	
	CENTERLINE	
	SAWCUT LINE	
	EDGE OF PAVEMENT	
	CURB	
	X" SD	X" SD
	X" SS	X" SS
	X" W	FIRE
	X" W	WATER
	OH	OVERHEAD UTILITY
	G	GAS
	CH	POWER
	UT	TELECOM
	CONCRETE SIDEWALK	
	MINOR CONTOUR	144
	MAJOR CONTOUR	145
	LIMITS OF GRIND AND INLAY	

### ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LT	LEFT
BC	BOTTOM OF CURB	MAX	MAXIMUM
BGS	BELOW GROUND SURFACE	MIN	MINIMUM
BPZ	BACK OF PEDESTRIAN ZONE	NO	NUMBER
BZ	BUILDING ZONE	NTS	NOT TO SCALE
CL	CENTERLINE	ODOT	OREGON DEPARTMENT OF TRANSPORTATION
CONC	CONCRETE	PC	POINT OF CURVATURE
CONST	CITY OF TUALATIN	PROP	PROPOSED
COT	CITY OF TUALATIN	PT	POINT OF TANGENCY
d	DISTANCE	PVMT	PAVEMENT
DTL	DETAIL	R	RADIUS
EXIST(E)	EXISTING	ROW	RIGHT OF WAY
EG	EXISTING GROUND	RT	RIGHT
FF	FINISHED FLOOR	SD	STORM DRAIN
FS	FIRE SERVICE	STA	STATION
FPZ	FRONT OF PEDESTRIAN ZONE	STD	STANDARD
FZ	FURNISHING ZONE	TC	TOP OF CURB
GGUT	GUTTER	TP	TOP OF PAVEMENT
GB	GRADE BREAK	TYP	TYPICAL
H	HORIZONTAL	V	VERTICAL
HP	HIGH POINT		
IE	INVERT ELEVATION		
L	LENGTH		

PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.662.1901 | www.vega-civil.com

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

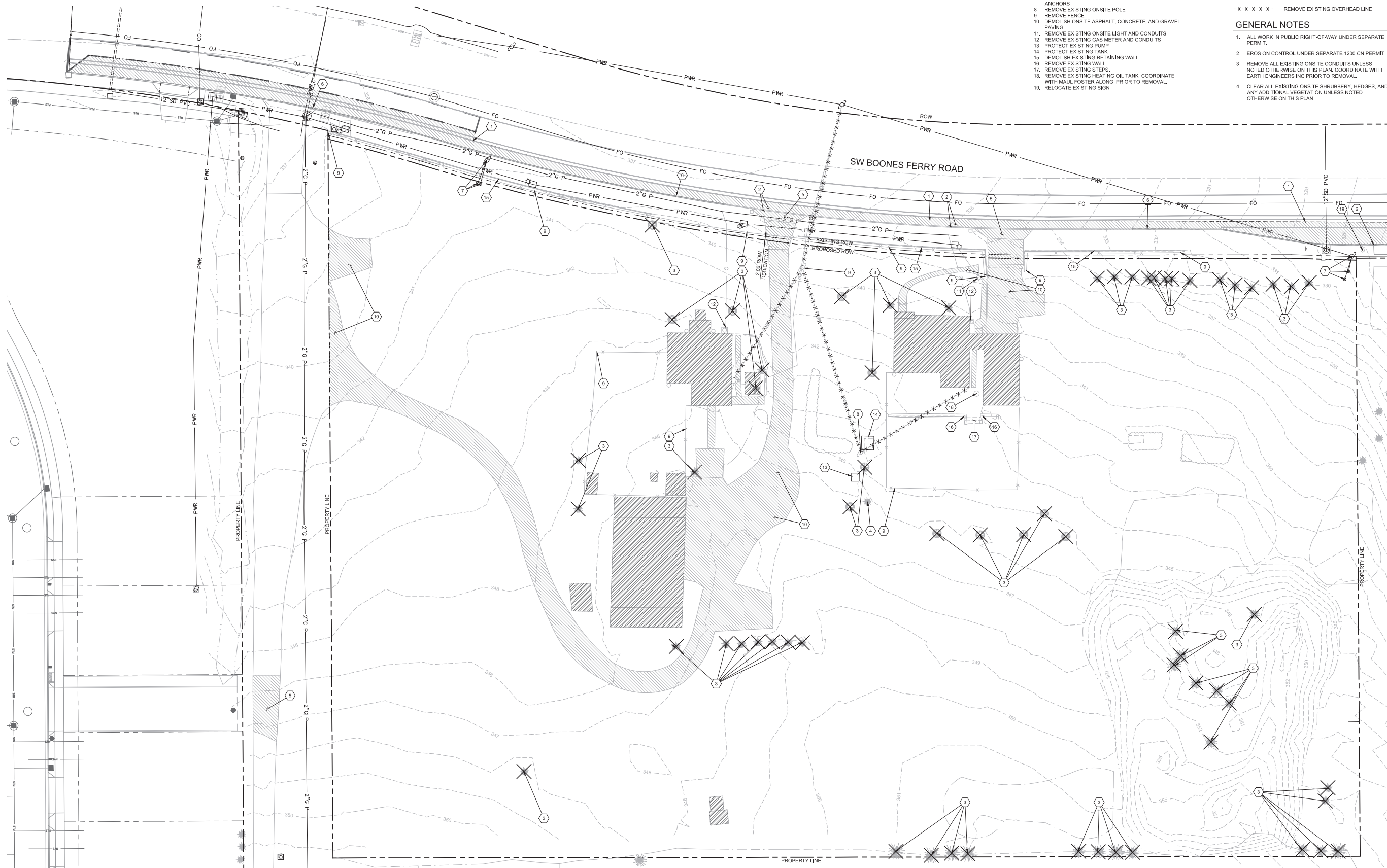
COVER SHEET

PROJECT NO.  
#19031

REVISIONS:

C0.00

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



**CONSTRUCTION NOTES**

1. SAWCUT, TYPICAL.
2. REMOVE EXISTING CURB AND ASPHALT PAVING.
3. REMOVE EXISTING TREE.
4. PROTECT EXISTING TREE, SEE ARBORIST REPORT AND LANDSCAPE PLANS.
5. DEMOLISH EXISTING DRIVEWAY.
6. PROTECT EXISTING CURB.
7. PROTECT EXISTING UTILITY POLE AND GUY WIRE ANCHORS.
8. REMOVE EXISTING ONSITE POLE.
9. REMOVE FENCE.
10. DEMOLISH ONSITE ASPHALT, CONCRETE, AND GRAVEL PAVING.
11. REMOVE EXISTING ONSITE LIGHT AND CONDUITS.
12. REMOVE EXISTING GAS METER AND CONDUITS.
13. PROTECT EXISTING PUMP.
14. PROTECT EXISTING TANK.
15. DEMOLISH EXISTING RETAINING WALL.
16. REMOVE EXISTING WALL.
17. REMOVE EXISTING STEPS.
18. REMOVE EXISTING HEATING OIL TANK. COORDINATE WITH MAUL FOSTER ALONG PRIOR TO REMOVAL.
19. RELOCATE EXISTING SIGN.

**SHEET LEGEND**

- DEMOLISH EXISTING ASPHALT PAVING, CONCRETE, AND CURBS TO CUT LINE.
- DEMOLISH EXISTING BUILDINGS.
- REMOVE EXISTING TREE.
- REMOVE EXISTING OVERHEAD LINE.

**GENERAL NOTES**

1. ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER SEPARATE PERMIT.
2. EROSION CONTROL UNDER SEPARATE 1200-CN PERMIT.
3. REMOVE ALL EXISTING ONSITE CONDUITS UNLESS NOTED OTHERWISE ON THIS PLAN. COORDINATE WITH EARTH ENGINEERS INC PRIOR TO REMOVAL.
4. CLEAR ALL EXISTING ONSITE SHRUBBERY, HEDGES, AND ANY ADDITIONAL VEGETATION UNLESS NOTED OTHERWISE ON THIS PLAN.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**CARLETON HART ARCHITECTURE P.C.**  
 830 SW 10th Avenue #200 Portland Oregon 97205  
 503.243.2252 | www.carletonhart.com

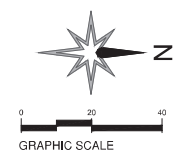
**VEGA**  
 CIVIL ENGINEERING LLC  
 503.682.9011 | www.vega-civil.com

**PLAMBECK GARDENS**  
 COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
 23500 & 23550 SW Boones Ferry Road  
 Tualatin, Oregon 97062  
 LAND USE: ARCHITECTURAL REVIEW

DEMOLITION PLAN

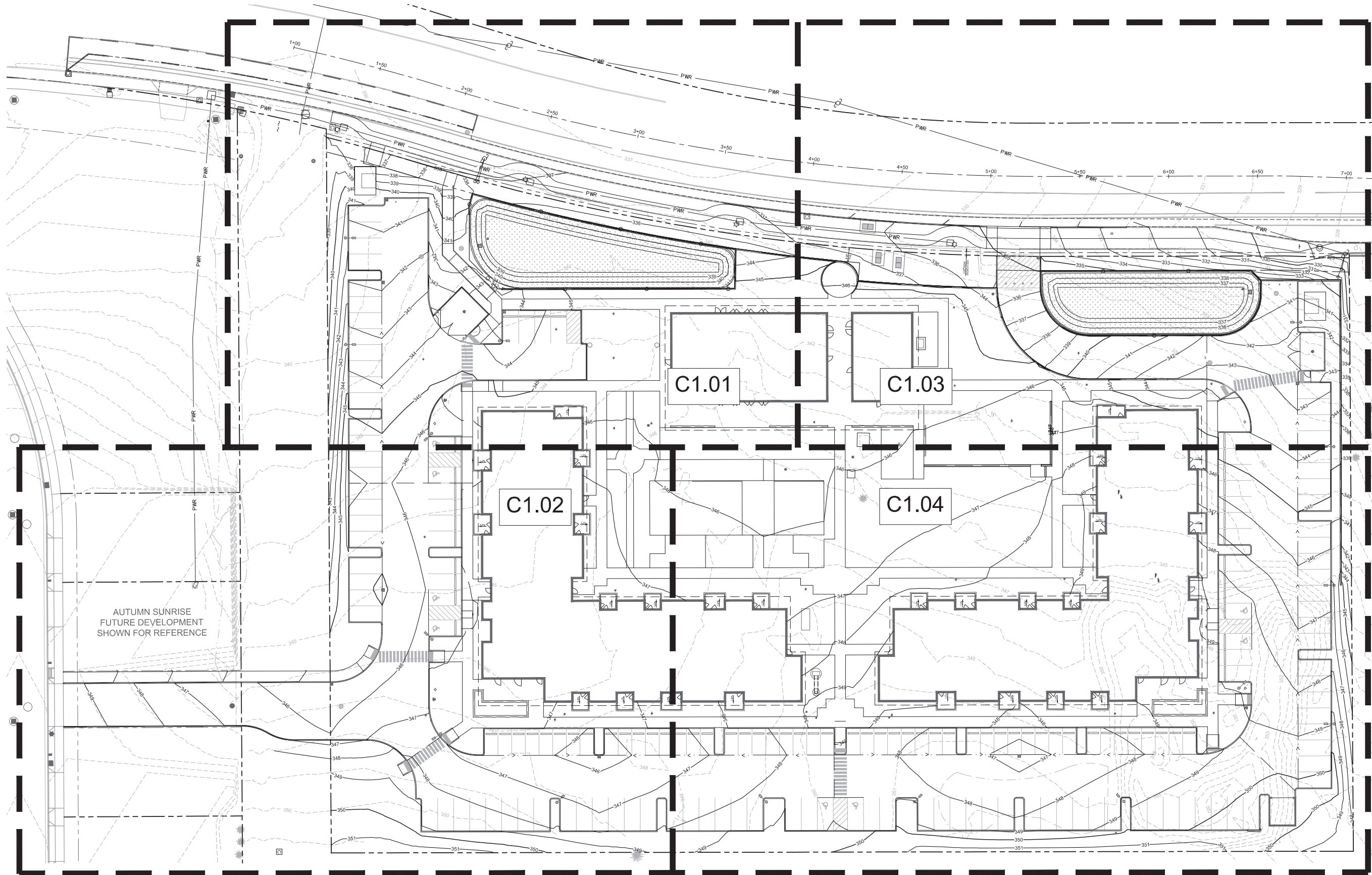
PROJECT NO.  
#19031

REVISIONS:



**C0.50**

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | www.vegacivil.com

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

GRADING PLAN -  
OVERALL

PROJECT NO.  
#19031

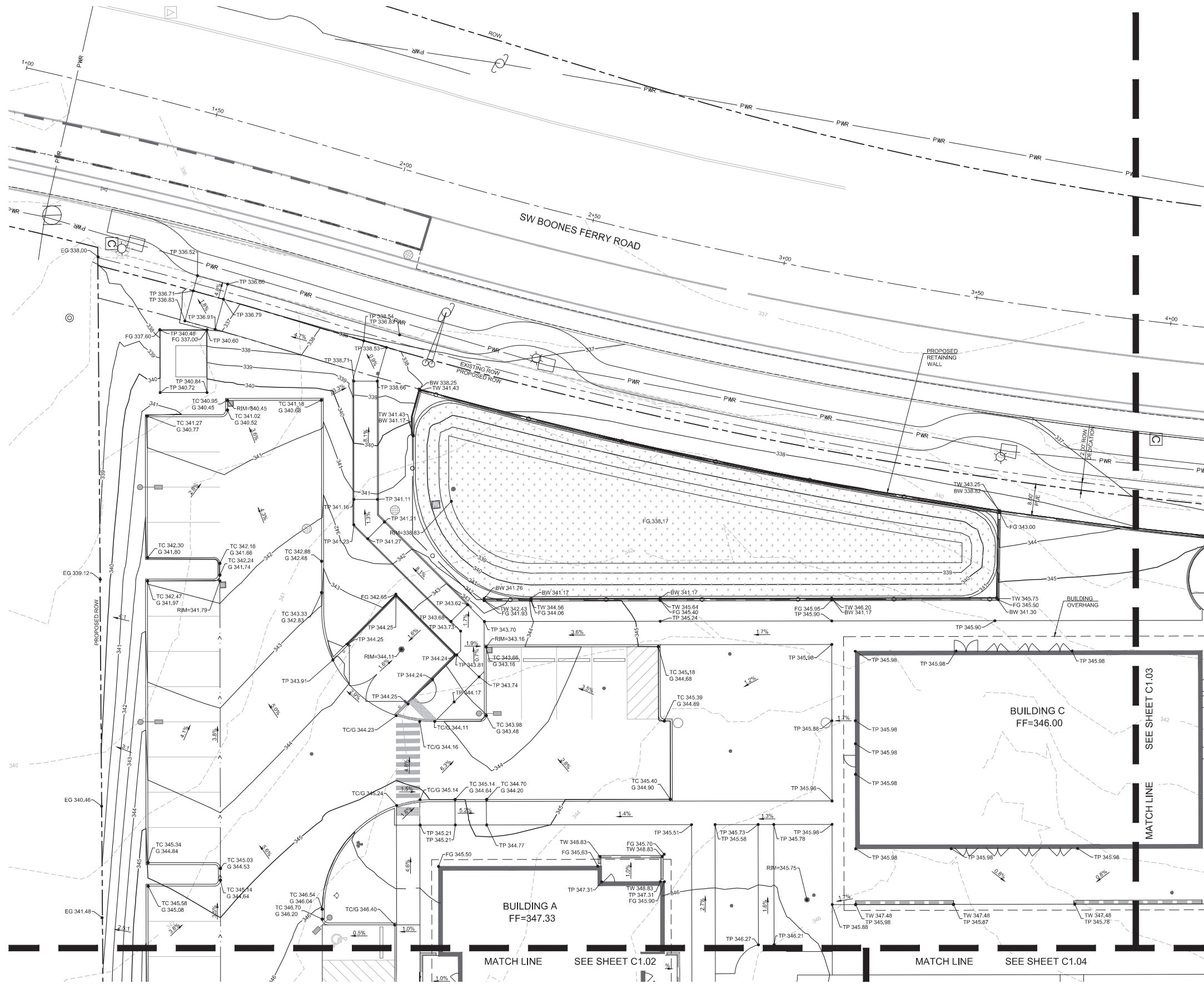
REVISIONS:



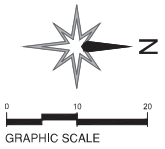
GRAPHIC SCALE  
0 20 40

C1.00

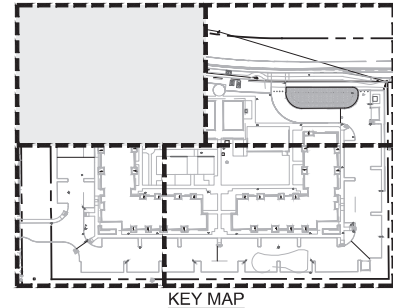
COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



GRADING PLAN - SOUTHWEST



- GENERAL NOTES**
- SEE SHEET C2.01 FOR PAVING AND LAYOUT.
  - SEE PUBLIC SHEETS FOR IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY.
- LEGEND**
- STORMWATER BASIN
  - SITE WALL, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS
  - GB GRADE BREAK
  - HP HIGH POINT
  - FLOW LINE
  - FLUSH CURB PER DETAIL 15/C6.00
  - SANITARY/STORM CLEANOUT PER DETAIL 5/C6.01
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING GRADE
  - FINISHED GRADE
  - FINISHED FLOOR ELEVATION
  - GRADE AT GUTTER
  - GRADE AT TOP OF CURB
  - GRADE AT TOP OF PAVEMENT
  - GRADE AT TOP OF WALL
  - GRADE AT BOTTOM OF WALL
  - RIM ELEVATION
  - EXISTING
  - SLOPE ARROW



PRELIMINARY  
NOT FOR  
CONSTRUCTION

**CARLETON HART ARCHITECTURE P.C.**  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com

**VEGA**  
CIVIL ENGINEERING LLC  
503.682.9011 | www.vega-civil.com

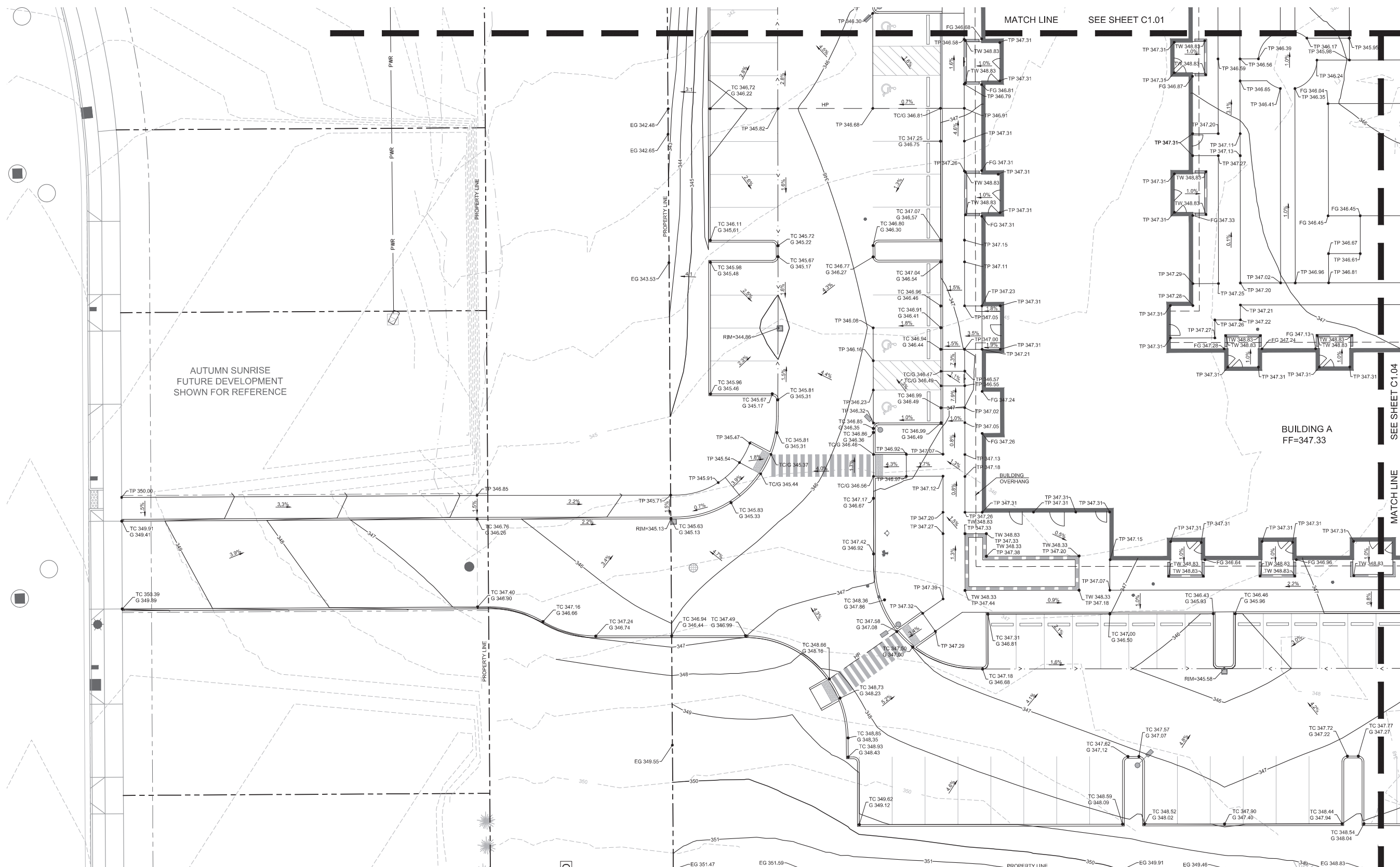
**PLAMBECK GARDENS**  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

GRADING PLAN - SOUTHWEST

PROJECT NO.  
#19031

REVISIONS:

C1.01



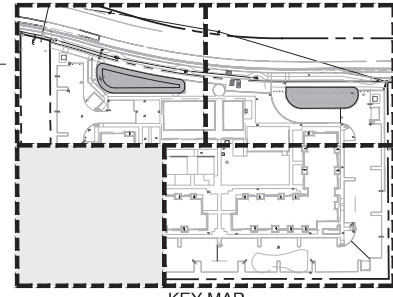
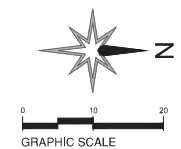
GRADING PLAN - SOUTHEAST

LEGEND

- SITE WALL, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS
- GB GRADE BREAK
- HP HIGH POINT
- FLOW LINE
- FLUSH CURB PER DETAIL 15/C6.00
- SANITARY/STORM CLEANOUT PER DETAIL 5/C6.01
- 345 EXISTING CONTOUR
- 345 PROPOSED CONTOUR
- EG XXXXX EXISTING GRADE
- FG XXXXX FINISHED GRADE
- FF XXXXX FINISHED FLOOR ELEVATION
- G XXXXX GRADE AT GUTTER
- TC XXXXX GRADE AT TOP OF CURB
- TP XXXXX GRADE AT TOP OF PAVEMENT
- TW XXXXX GRADE AT TOP OF WALL
- BW XXXXX GRADE AT BOTTOM OF WALL
- (E) EXISTING RIM ELEVATION
- (E) EXISTING SLOPE ARROW

GENERAL NOTES

1. SEE SHEET C2.02 FOR PAVING AND LAYOUT.
2. SEE PUBLIC SHEETS FOR IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY.



KEY MAP

AUTUMN SUNRISE  
FUTURE DEVELOPMENT  
SHOWN FOR REFERENCE

BUILDING A  
FF=347.33

MATCH LINE SEE SHEET C1.01

SEE SHEET C1.04

MATCH LINE

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.





CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

GRADING PLAN -  
NORTHWEST  
PROJECT NO.  
#19031

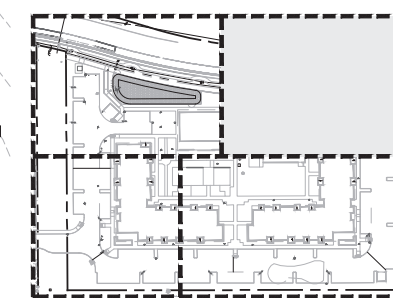
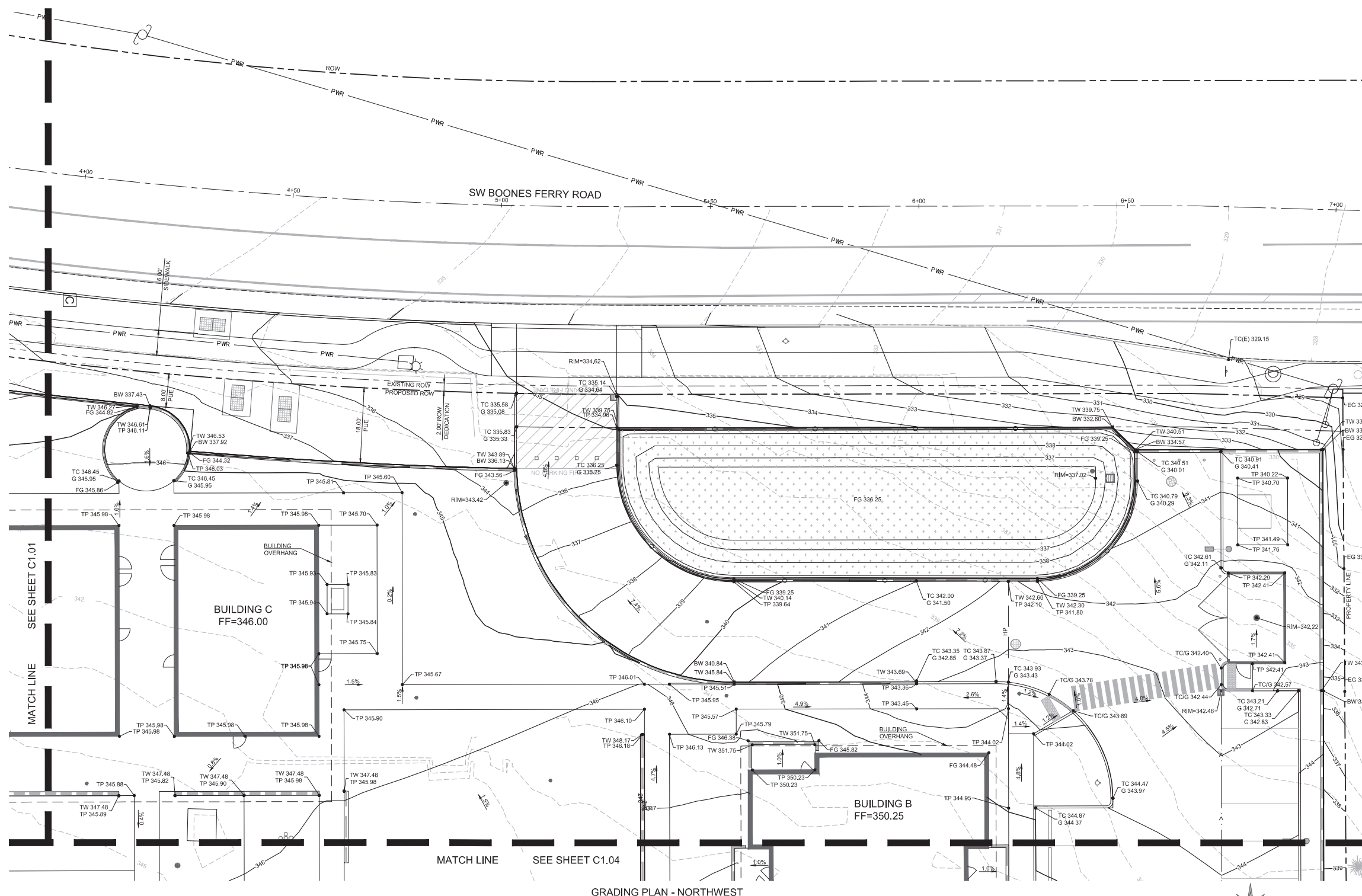
REVISIONS:

GENERAL NOTES

- SEE SHEET C2.03 FOR PAVING AND LAYOUT.
- SEE PUBLIC SHEETS FOR IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY.

LEGEND

	STORMWATER BASIN
	SITE WALL, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS
	GRADE BREAK
	HIGH POINT
	FLOW LINE
	FLUSH CURB PER DETAIL 15/C6.00
	SANITARY/STORM CLEANOUT PER DETAIL 5/C6.01
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING GRADE
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	GRADE AT GUTTER
	GRADE AT TOP OF CURB
	GRADE AT TOP OF PAVEMENT
	GRADE AT TOP OF WALL
	GRADE AT BOTTOM OF WALL
	RIM ELEVATION
	EXISTING
	SLOPE ARROW



GRADING PLAN - NORTHWEST

SEE SHEET C1.01

SEE SHEET C1.04

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | www.vega-civil.com

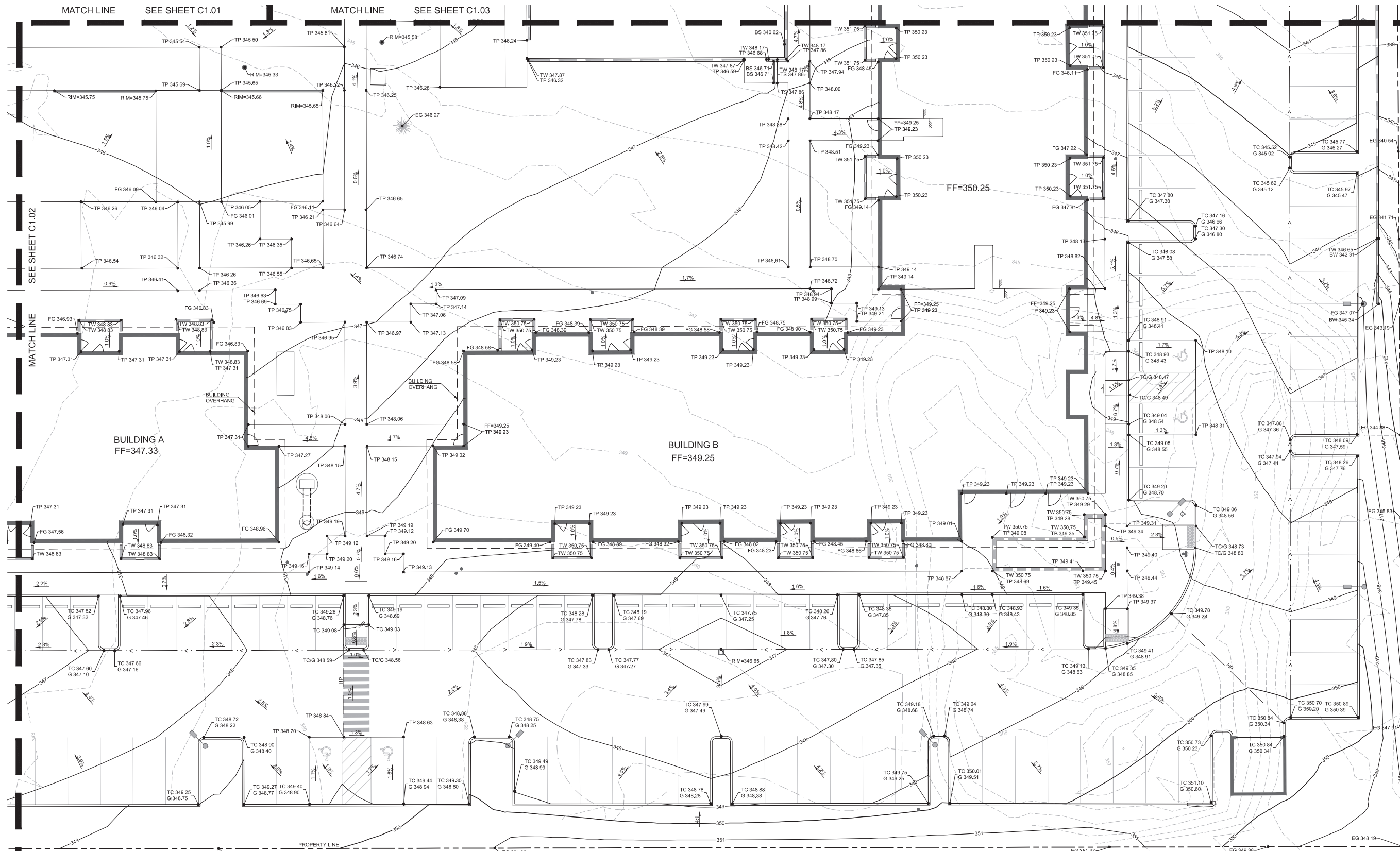
PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

GRADING PLAN -  
NORTHEAST

PROJECT NO.  
#19031

REVISIONS:

C1.04

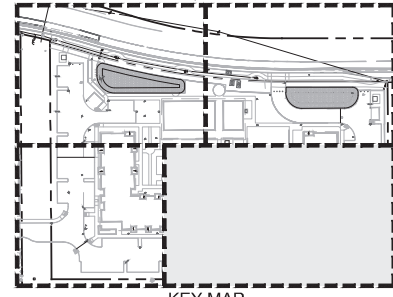
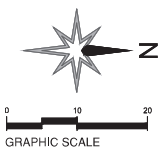


GRADING PLAN - NORTHEAST

**LEGEND**

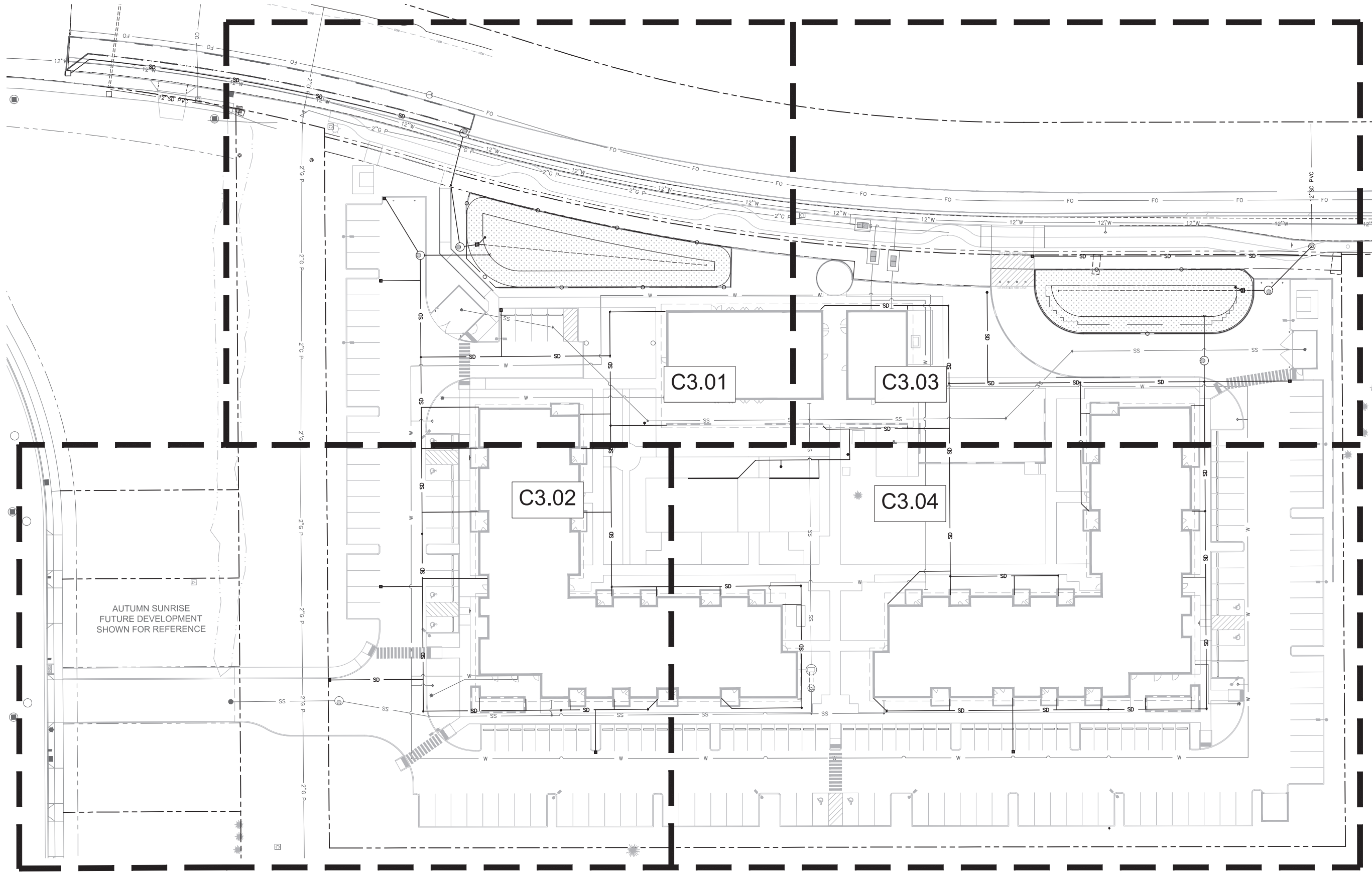
	STORMWATER BASIN
	SITE WALL, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS
	GRADE BREAK
	HIGH POINT
	FLOW LINE
	FLUSH CURB PER DETAIL 15/C6.00
	SANITARY/STORM CLEANOUT PER DETAIL 5/C6.01
	EXISTING CONTOUR
	PROPOSED CONTOUR
	STEPPED SLAB PER ARCHITECTURAL AND STRUCTURAL PLANS
	EXISTING GRADE
	FINISHED GRADE
	FINISHED FLOOR ELEVATION
	GRADE AT GUTTER
	GRADE AT TOP OF CURB
	GRADE AT TOP OF PAVEMENT
	GRADE AT TOP OF WALL
	GRADE AT BOTTOM OF WALL
	RIM ELEVATION
	EXISTING SLOPE ARROW

- GENERAL NOTES**
- SEE SHEET C2.04 FOR PAVING AND LAYOUT.
  - SEE PUBLIC SHEETS FOR IMPROVEMENTS IN PUBLIC RIGHT-OF-WAY.



KEY MAP

COPYRIGHT © CARLETON HART ARCHITECTURE. ALL RIGHTS RESERVED. OUTPUT: PRELIMINARY.



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



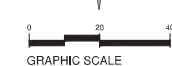
VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | www.vegacivil.com

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

STORMWATER PLAN -  
OVERALL

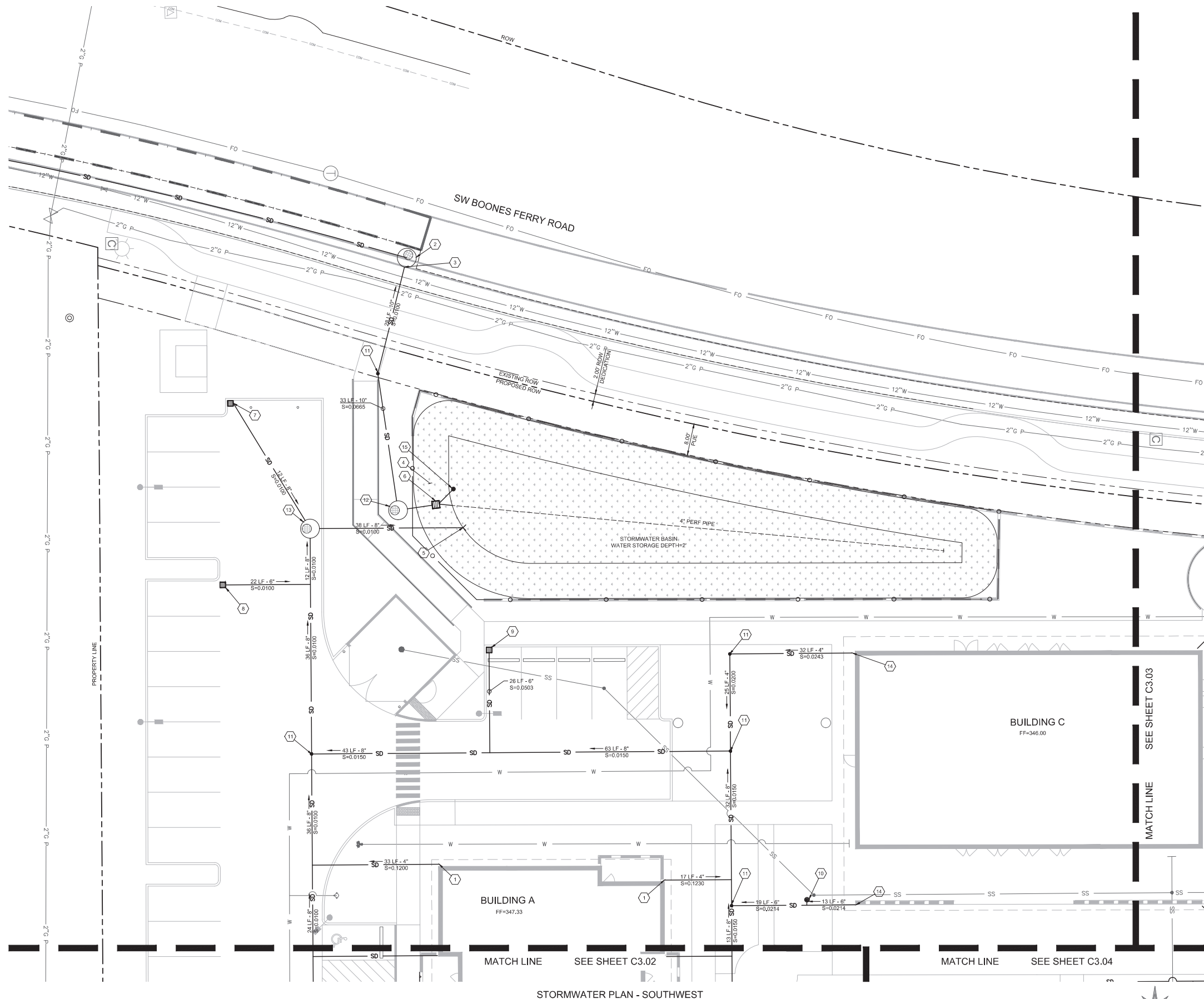
PROJECT NO.  
#19031

REVISIONS:

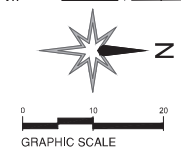


C3.00

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



STORMWATER PLAN - SOUTHWEST

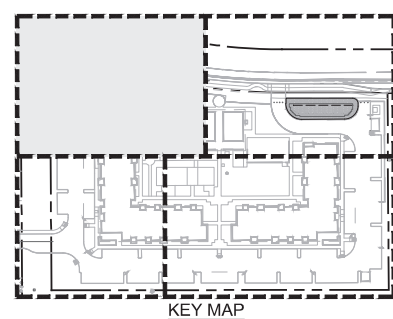


**GENERAL NOTES**

1. ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER SEPARATE CITY OF TUALATIN PUBLIC WORKS PERMIT AND WASHINGTON COUNTY FACILITIES PERMIT. REFERENCE PUBLIC PLANS.
2. INSTALL "NO DUMPING / LEADS TO GROUNDWATER" MARKER AT ALL ONSITE CATCH BASINS PER DETAIL 11/C6.00.
3. FOR OTHER UTILITIES SEE SHEET C4.01.
4. COORDINATE ALL RETAINING WALL PENETRATIONS WITH STRUCTURAL.

**STORMWATER NOTES**

1. ROOF DRAIN CONNECTION FROM BUILDING A.  
IE=343.33
2. 48" STORMWATER MANHOLE AT CONNECTION TO NEW PUBLIC STORM MAIN. UNDER SEPARATE PUBLIC WORKS PERMIT. SEE C8.00 SHEETS.
3. STORMWATER CONNECTION TO PUBLIC MANHOLE.  
IE=332.99  
RIM=336.40
4. STORMWATER BASIN PER DETAIL 8/C6.01  
AREA MANAGED=61,351 SF  
BOTTOM AREA=2,016 SF  
BOTTOM ELEVATION=338.17  
WATER STORAGE DEPTH=2.0'
5. OUTFALL TO STORMWATER BASIN.  
IE=338.17
6. DITCH INLET PER CWS STANDARD DRAWING NO. 390  
FLOW INVERT=340.00  
IE=335.83  
IE.OUT=333.83
7. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=340.47  
IE=338.95
8. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=340.44  
IE=339.94
9. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=343.09  
IE=341.09
10. 12" DOMED LANDSCAPE AREA DRAIN PER DETAIL 3/C6.01  
RIM=345.75  
IE=342.75
11. STORMWATER CLEANOUT TO GRADE PER DETAIL 5/C6.01.
12. FLOW CONTROL MANHOLE PER CWS STANDARD DRAWING NO. 270.  
RIM=341.17  
10" OVERFLOW=339.71  
1" ORIFICE=333.47  
IE=333.47
13. WATER QUALITY MANHOLE PER CWS STANDARD DRAWINGS NO. 290 AND 260.  
RIM=340.42  
IE=338.58
14. ROOF DRAIN CONNECTION FROM BUILDING C.  
IE=342.03
15. 12" STEEL GIBSON CATCH BASIN WITH DOMED TOP AND 0.72" ORIFICE FLOW CONTROL PER DETAIL 13/C6.01.  
RIM=338.17  
IE=337.17



KEY MAP

PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



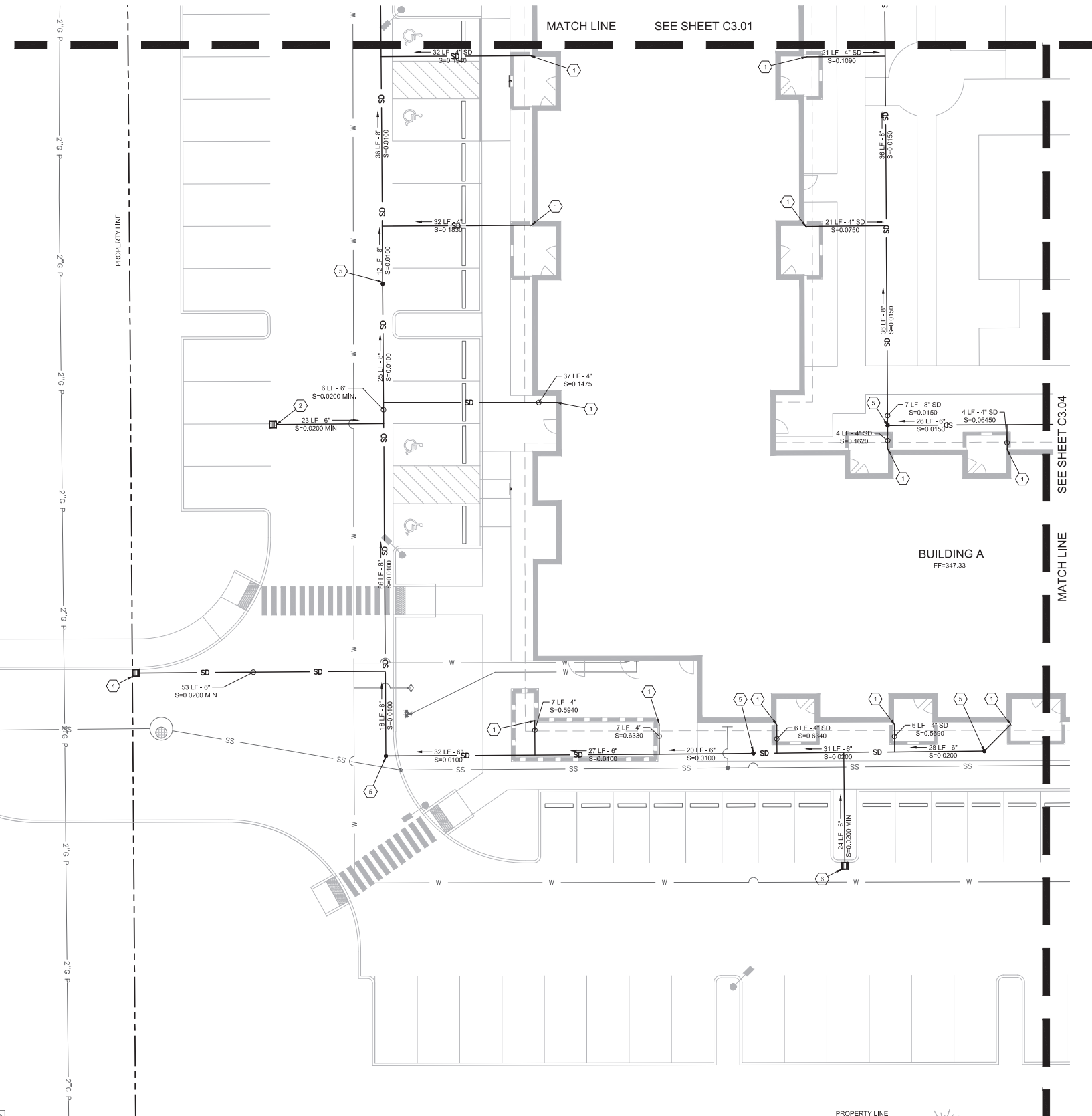
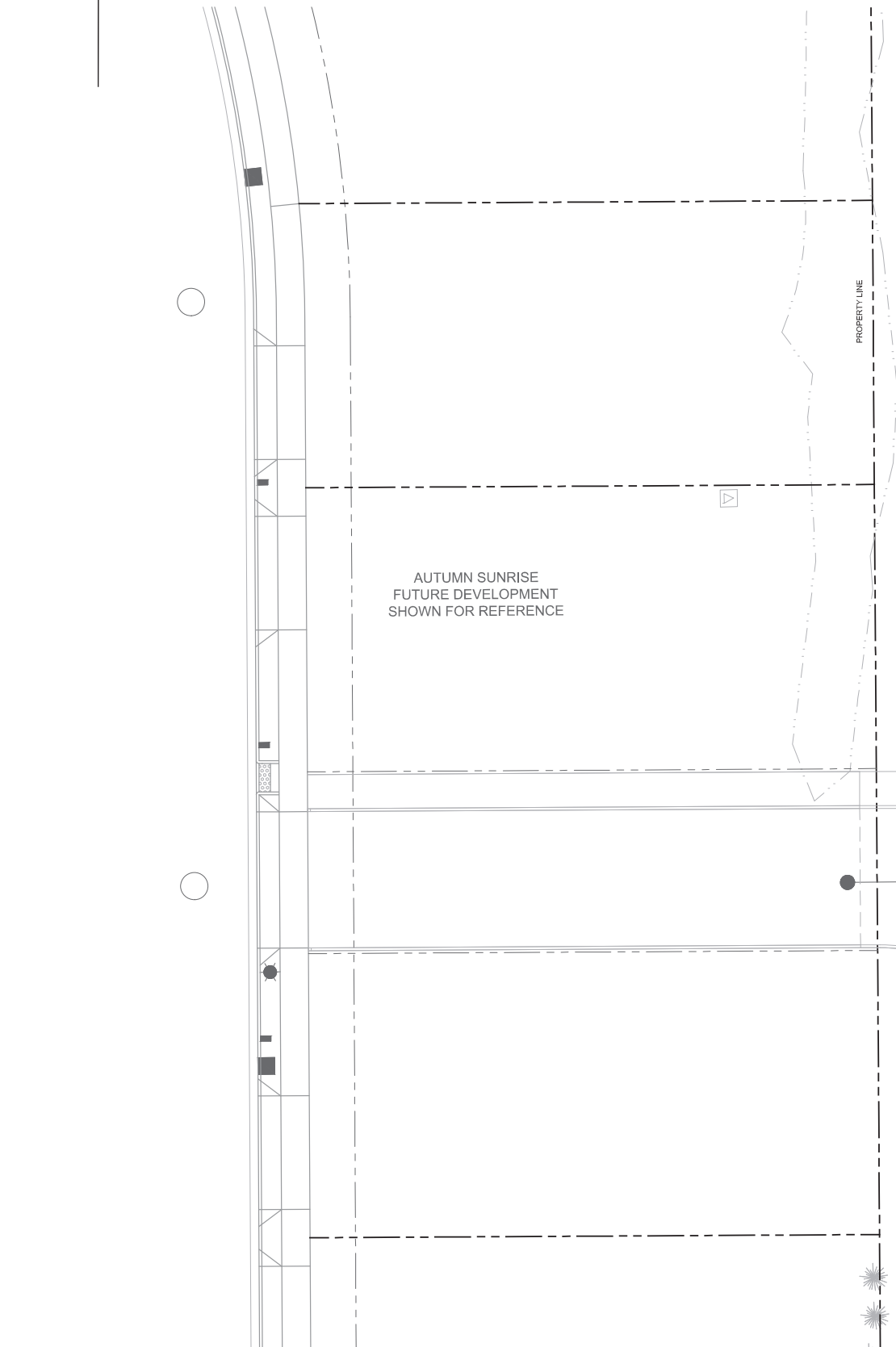
PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

STORMWATER PLAN - SOUTHWEST

PROJECT NO.  
#19031

REVISIONS:

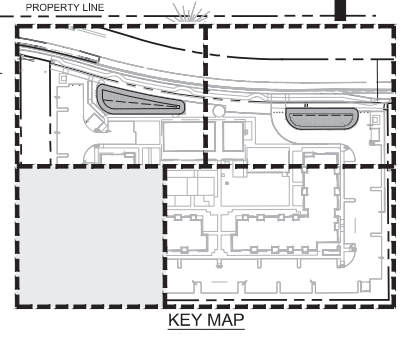
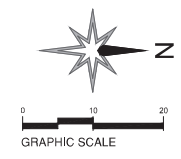
C3.01



STORMWATER PLAN - SOUTHEAST

- STORMWATER NOTES**
1. ROOF DRAIN CONNECTION FROM BUILDING A.  
IE=343.33
  2. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=344.86  
IE=342.86
  3. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=345.58  
IE=343.58
  4. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=346.30  
IE=341.30
  5. STORMWATER CLEANOUT TO GRADE PER DETAIL 5/C6.01  
RIM=345.58  
IE=343.58
  6. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=345.58  
IE=343.58

- GENERAL NOTES**
1. INSTALL "NO DUMPING / LEADS TO GROUNDWATER" MARKER AT ALL ONSITE CATCH BASINS PER DETAIL 11/C6.00.
  2. FOR OTHER UTILITIES SEE SHEET C4.02.
  3. COORDINATE ALL RETAINING WALL PENETRATIONS WITH STRUCTURAL PLANS.



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.662.3901 | WWW.VEGACIVIL.COM

**PLAMBECK GARDENS**  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

STORMWATER PLAN - SOUTHEAST

PROJECT NO.  
#19031

REVISIONS:

C3.02



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

STORMWATER PLAN - NORTHWEST

PROJECT NO.  
#19031

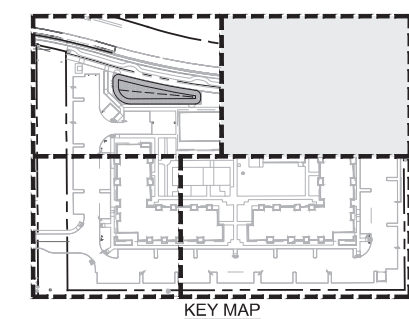
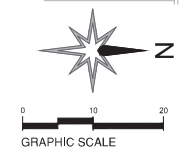
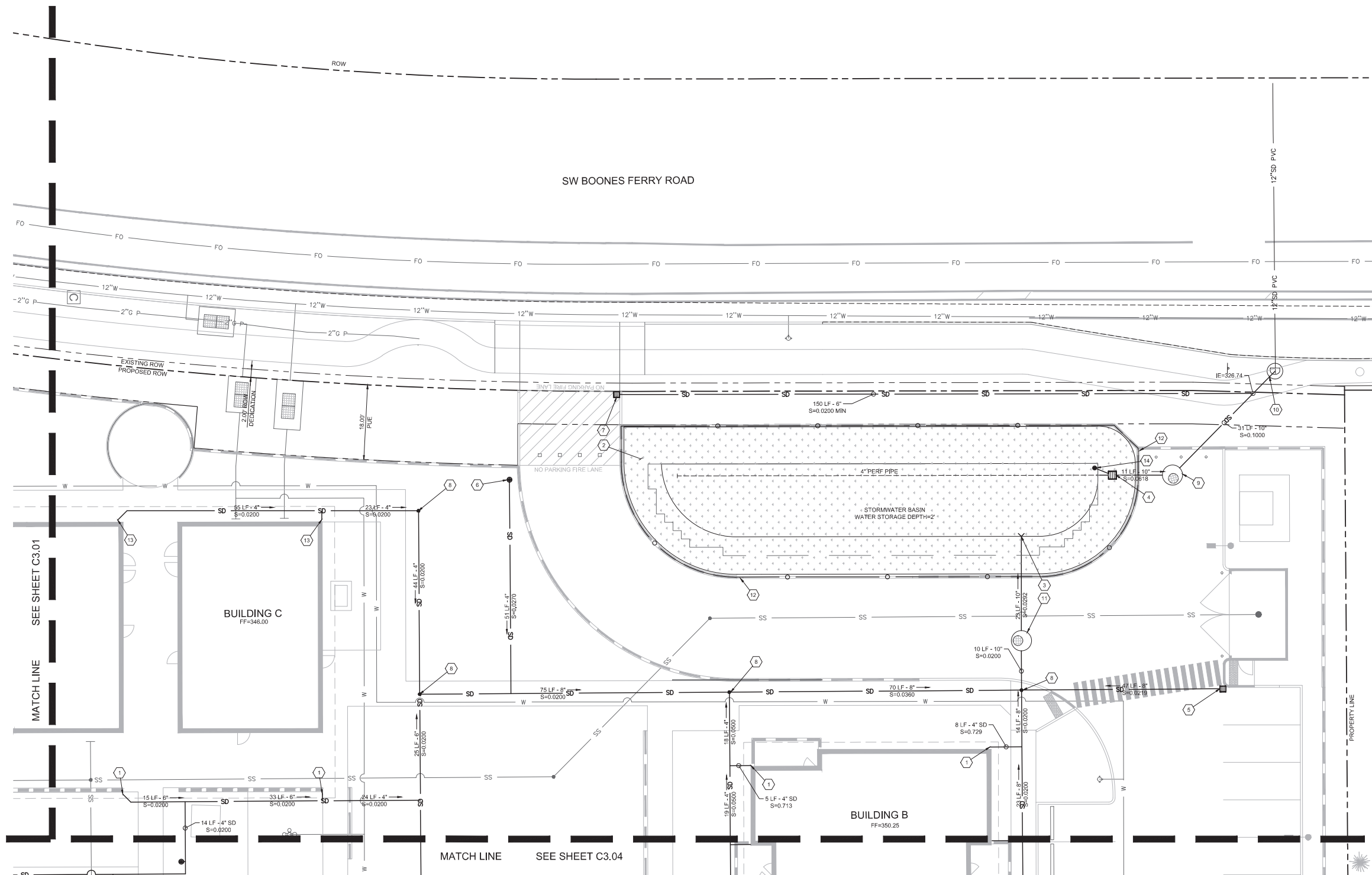
REVISIONS:

GENERAL NOTES

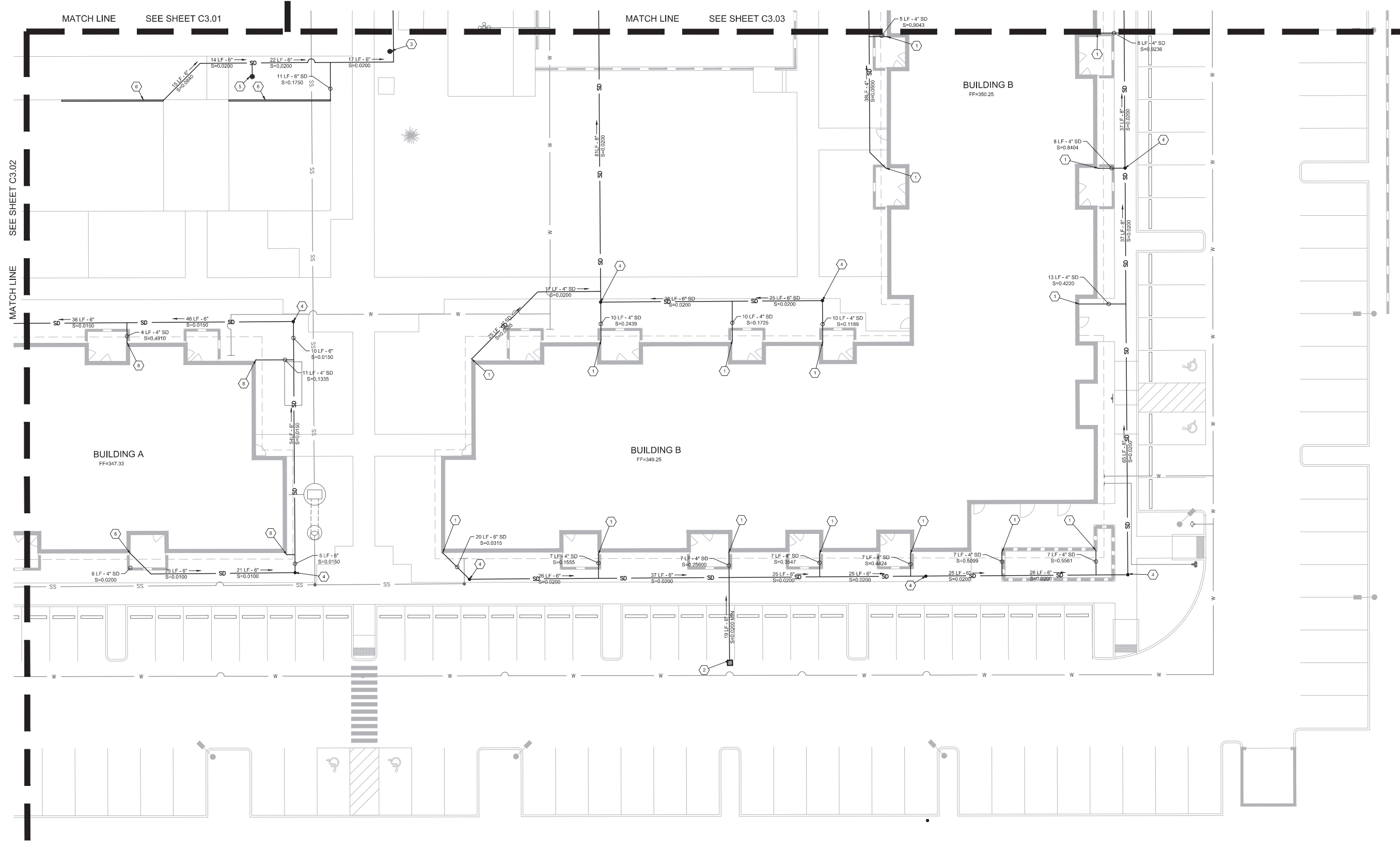
- ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER SEPARATE CITY OF TUALATIN PUBLIC WORKS PERMIT AND WASHINGTON COUNTY FACILITIES PERMIT. REFERENCE PUBLIC PLANS.
- INSTALL "NO DUMPING / LEADS TO GROUNDWATER" MARKER AT ALL ONSITE CATCH BASINS PER DETAIL 11/C6.00.
- FOR OTHER UTILITIES SEE SHEET C4.01.
- COORDINATE ALL RETAINING WALL PENETRATIONS WITH STRUCTURAL PLANS.

STORMWATER NOTES

- ROOF DRAIN CONNECTION FROM BUILDING B.  
IE=343.00
- STORMWATER BASIN WITH 550 OLDCASTLE CUDO STORAGE CHAMBERS PER DETAIL 7/C6.01  
AREA MANAGED=66,479 SF  
BOTTOM AREA=2,200 SF  
BOTTOM ELEVATION=336.25  
WATER STORAGE DEPTH=2.0'
- OUTFALL TO STORMWATER BASIN.  
IE=336.25
- DITCH INLET PER CWS STANDARD DRAWING NO. 380  
FLOW INVERT=337.95  
IE IN=329.83  
IE OUT=329.83
- 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=342.46  
IE=340.46
- 12" DOMED AREA DRAIN PER DETAIL 3/C6.01  
RIM=343.42  
IE=340.92
- 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=333.17  
IE=332.17
- STORMWATER CLEANOUT TO GRADE PER DETAIL 5/C6.01  
RIM=340.50  
10" OVERFLOW=337.20  
3.0" ORIFICE=336.88  
0.5" ORIFICE=329.00  
IE IN=329.00
- CONNECT TO EXISTING STORM FACILITY  
RIM=328.89  
IE(E)=323.05  
NEW 12" IE=326.04
- WATER QUALITY MANHOLE PER CWS STANDARD DRAWING NO. 250 AND 260  
RIM=342.91  
IE=336.91
- CURB SCURPER PER DETAIL 10/C6.01
- ROOF DRAIN CONNECTION FROM BUILDING C.  
IE=342.50
- 12" STEEL GIBSON CATCH BASIN WITH DOMED TOP AND 0.71" ORIFICE FLOW CONTROL PER DETAIL 13/C6.01  
RIM=336.25  
IE=335.25



COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



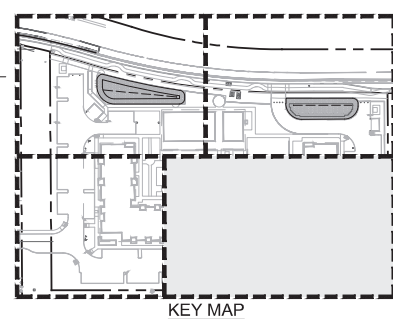
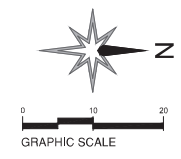
STORMWATER PLAN - NORTHEAST

STORMWATER NOTES

1. ROOF DRAIN CONNECTION FROM BUILDING B.  
IE=344.75
2. 18" SQUARE PARKING LOT CATCH BASIN PER DETAIL 4/C6.01  
RIM=346.65  
IE=344.65
3. 12" DOMED LANDSCAPE AREA DRAIN PER DETAIL 3/C6.01  
RIM=345.85  
IE=343.95
4. STORMWATER CLEANOUT TO GRADE PER DETAIL 5/C6.01
5. 12" DOMED LANDSCAPE AREA DRAIN PER DETAIL 3/C6.01  
RIM=345.33  
IE=343.33
6. TRENCH DRAIN. SEE ARCHITECTURAL PLANS  
RIM=343.65  
IE=344.15
7. TRENCH DRAIN. SEE ARCHITECTURAL PLANS  
RIM=345.75  
IE=344.25
8. ROOF DRAIN CONNECTION FROM BUILDING A.  
IE=345.83

GENERAL NOTES

1. INSTALL "NO DUMPING / LEADS TO GROUNDWATER" MARKER AT ALL ONSITE CATCH BASINS PER DETAIL 11/C6.00.
2. FOR OTHER UTILITIES SEE SHEET C4.02.
3. COORDINATE ALL RETAINING WALL PENETRATIONS WITH STRUCTURAL PLANS.



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | www.vegacivil.com

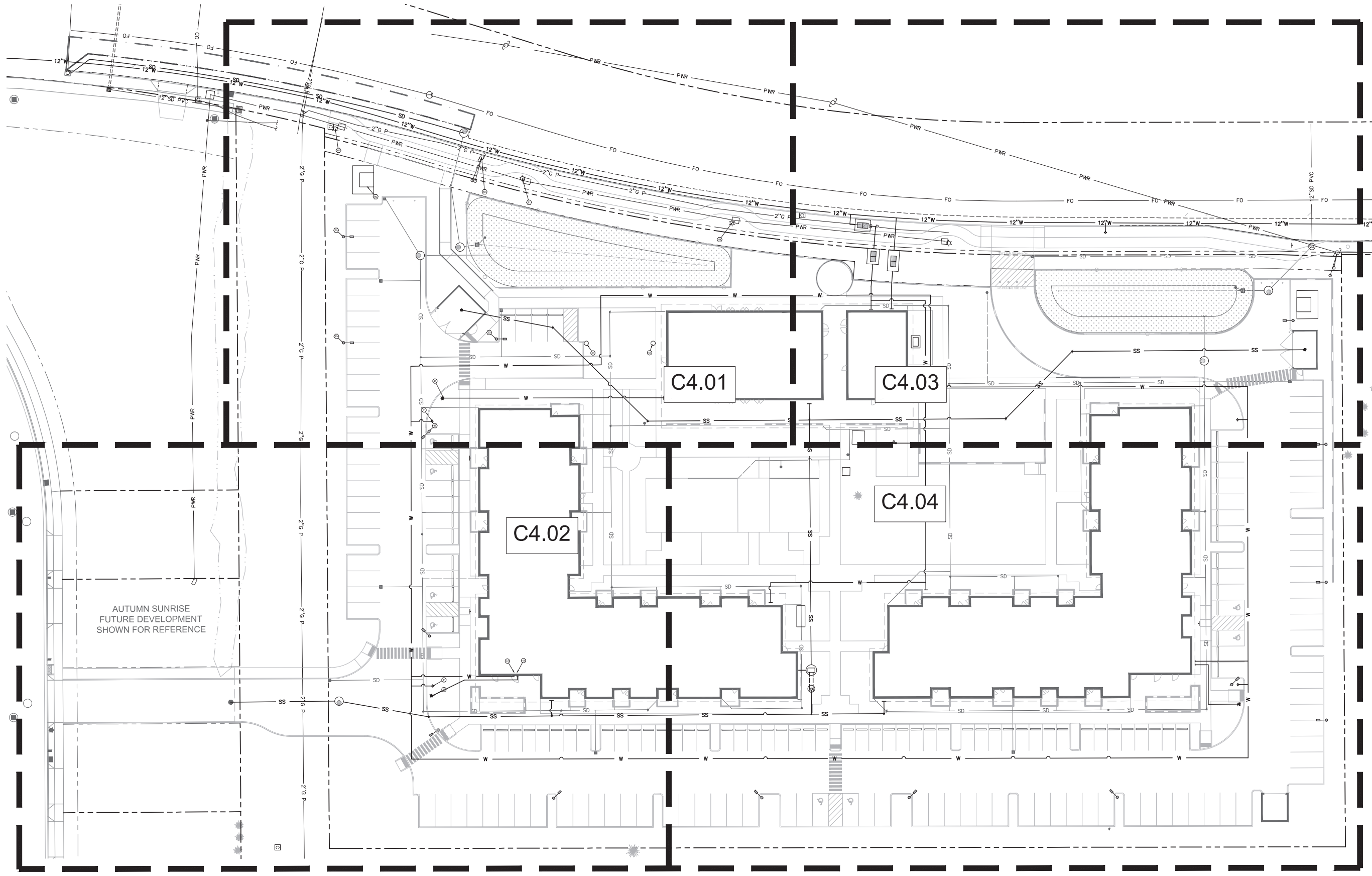
PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

STORMWATER PLAN - NORTHEAST

PROJECT NO.  
#19031

REVISIONS:

C3.04



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



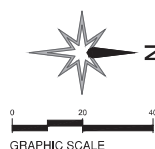
VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | www.vegacivil.com

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

UTILITY PLAN - ENTIRE  
SITE

PROJECT NO.  
#19031

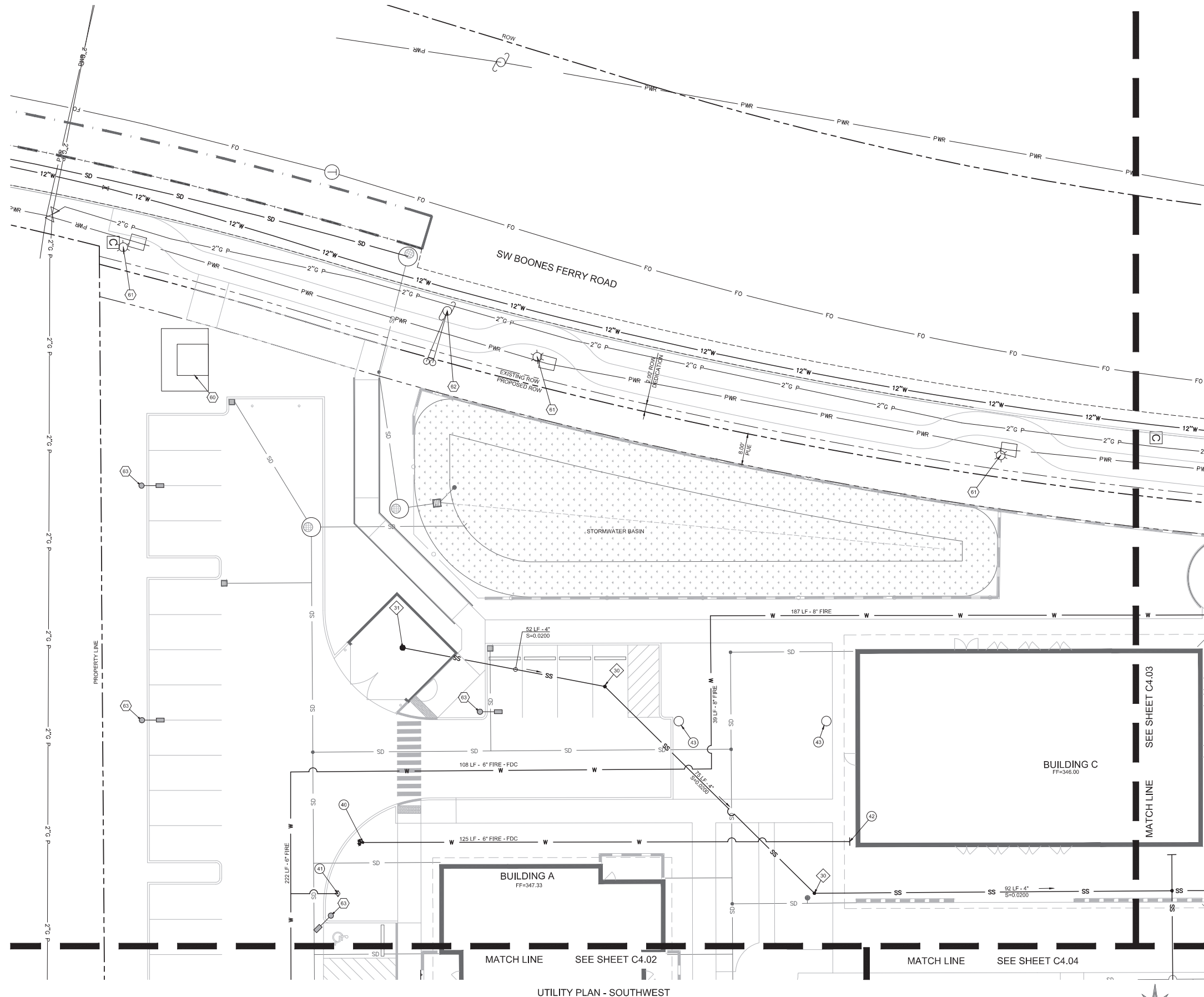
REVISIONS:



C4.00

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.





**GENERAL NOTES**

1. ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER SEPARATE CITY OF TUALATIN PUBLIC WORKS PERMIT. REFER TO PUBLIC DRAWINGS FOR EXTENT OF WORK.

**SANITARY NOTES**

30. SANITARY CLEANOUT TO GRADE PER DETAIL 5/06.01.  
 31. INSTALL TRAPPED TRASH DRAIN WITH AIRTIGHT CLEANOUT PER DETAIL 11/C6.01.  
 RIM=343.95  
 4" IS=340.17

**WATER NOTES**

40. FIRE DEPARTMENT CONNECTION. ATTACH SIGN "FDC - BUILDING C".  
 41. NEW ONSITE FIRE HYDRANT. PER CITY OF TUALATIN STANDARD.  
 42. FDC CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR COORDINATION.  
 43. FROST PROOF YARD HYDRANT. SEE LANDSCAPE PLANS.

**OTHER UTILITY NOTES**

60. TRANSFORMER. SEE ELECTRICAL PLANS.  
 61. PROTECT EXISTING STREET LIGHT.  
 62. PROTECT EXISTING UTILITY POLE AND GUY WIRE ANCHORS.  
 63. SITE LIGHT. REFER TO ELECTRICAL DRAWINGS.

PRELIMINARY  
NOT FOR  
CONSTRUCTION



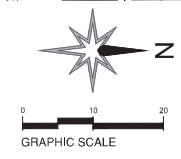
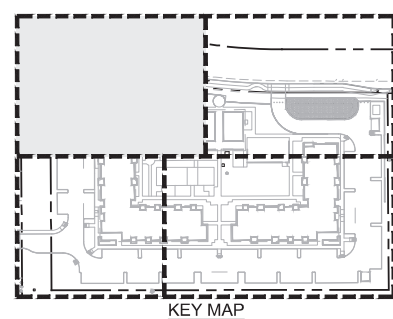
CARLETON HART ARCHITECTURE P.C.  
 830 SW 10th Avenue #200 Portland Oregon 97205  
 503.243.2252 | www.carletonhart.com

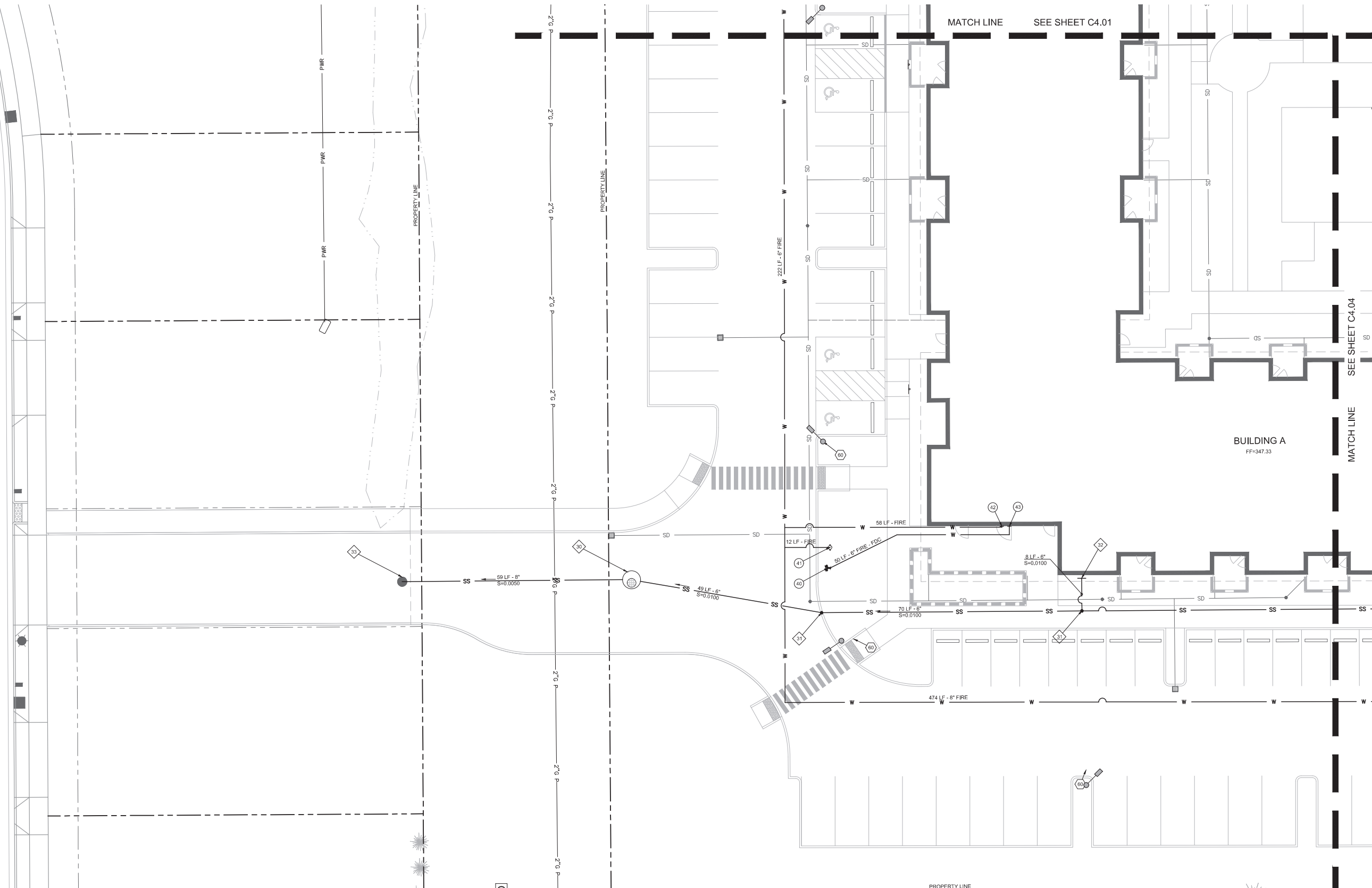


PLAMBECK GARDENS  
 COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
 23500 & 23550 SW Boones Ferry Road  
 Tualatin, Oregon 97062  
 LAND USE: ARCHITECTURAL REVIEW

UTILITY PLAN -  
SOUTHWEST  
 PROJECT NO.  
#19031

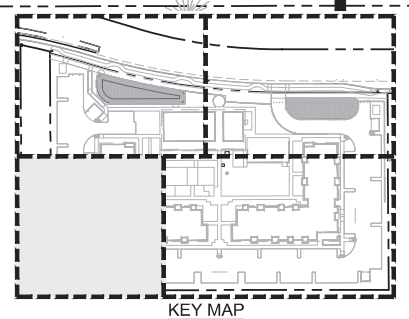
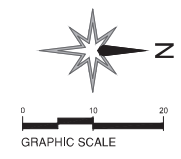
REVISIONS:





UTILITY PLAN - SOUTHEAST

- ◇ SANITARY NOTES**
- 30. NEW SANITARY MANHOLE:  
RIM=345.71  
6" IE, IN(IN)=341.77  
8" IE, OUT(S)=341.77
  - 31. SANITARY CLEANOUT TO GRADE PER DETAIL S/C6.01.
  - 32. SANITARY CONNECTION FROM BUILDING A.  
6" IE=343.48
  - 33. CONNECT TO FUTURE MANHOLE INSTALLED WITH AUTUMN SUNRISE DEVELOPMENT. CONTRACTOR TO CONFIRM IE IN FIELD AND NOTIFY ENGINEER OF DISCREPANCIES.  
IE=341.5
- ④ WATER NOTES**
- 40. FIRE DEPARTMENT CONNECTION. ATTACH SIGN "FDC - BUILDING A".
  - 41. NEW ONSITE FIRE HYDRANT, PER DETAIL CITY OF TUALATIN STANDARD.
  - 42. NEW FIRE PROTECTION CONNECTION TO BUILDING. SEE PLUMBING FOR CONTINUATION.
  - 43. FDC CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR COORDINATION.
- ⑥ OTHER UTILITY NOTES**
- 60. SITE LIGHT, PER ELECTRICAL PLANS.



KEY MAP

PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | WWW.VEGACIVIL.COM

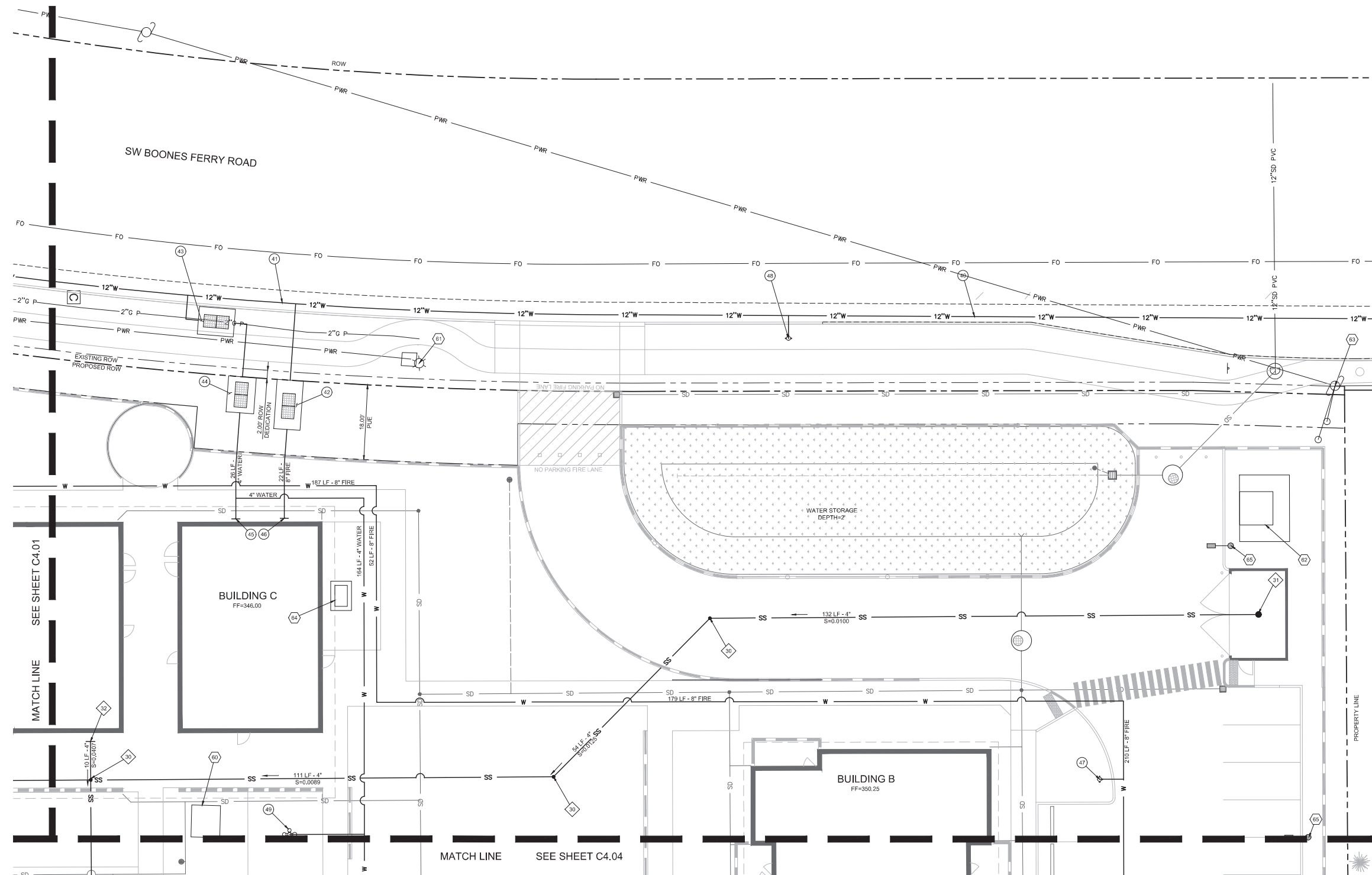
**PLAMBECK GARDENS**  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

UTILITY PLAN -  
SOUTHEAST

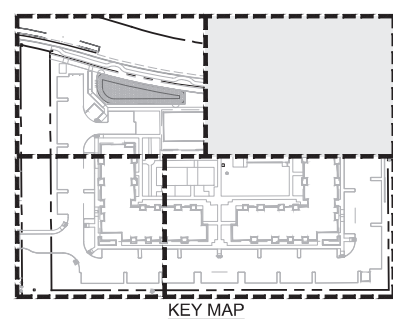
PROJECT NO.  
#19031

REVISIONS:

C4.02



- GENERAL NOTES**
1. ALL WORK IN PUBLIC RIGHT-OF-WAY UNDER SEPARATE CITY OF TUALATIN PUBLIC WORKS PERMIT. REFER TO PUBLIC IMPROVEMENT DRAWINGS FOR EXTENT OF WORK.
- SANITARY NOTES**
30. SANITARY CLEANOUT TO GRADE PER DETAIL 5/C6.01.
  31. TRAPPED TRASH DRAIN WITH AIRTIGHT CLEANOUT PER DETAIL 1/C6.01.
  - RIM=342.25
  - 4" IE=338.75
  - 6" IE=338.15
  32. SANITARY CONNECTION FROM COMMUNITY BUILDING.
- WATER NOTES**
40. NEW 12" PUBLIC WATER MAIN CONNECTING FROM SW NORWOOD ROAD, PER SEPARATE PUBLIC PERMIT.
  41. FIRE PROTECTION CONNECTION TO PROPOSED WATER MAIN, PER SEPARATE PUBLIC PERMIT.
  42. 8" DCVA (FIRE PROTECTION) IN 5106-WA BACKFLOW VAULT PER CITY OF TUALATIN STD. DWG. NO. 614, AND DETAIL 1/C6.01.
  43. 4" PUBLIC WATER METER IN 687-WA BACKFLOW VAULT PER CITY OF TUALATIN STD. DWG. NO. 613, PER SEPARATE PUBLIC PERMIT.
  44. 4" DCVA (DOMESTIC WATER) IN 687-WA BACKFLOW VAULT PER CITY OF TUALATIN STD. DWG. NO. 634 AND DETAIL 2/C6.01.
  45. DOMESTIC WATER CONNECTION TO BUILDING, SEE PLUMBING PLAN FOR CONTINUATION.
  46. FIRE PROTECTION CONNECTION TO BUILDING, SEE PLUMBING PLAN FOR CONTINUATION.
  47. NEW ON-SITE FIRE HYDRANT, PER CITY OF TUALATIN STANDARD.
  48. NEW PUBLIC FIRE HYDRANT.
  49. HAND WASHING STATION, SEE ARCHITECTURAL PLANS FOR LOCATION.
- OTHER UTILITY NOTES**
60. EXISTING TANK AND PUMP TO REMAIN, SEE ARCHITECTURAL PLANS FOR NEW PUMP HOUSE.
  61. PROTECT EXISTING STREET LIGHT.
  62. TRANSFORMER, PER ELECTRICAL PLANS.
  63. PROTECT EXISTING UTILITY POLE AND GUY WIRE ANCHORS.
  64. MECHANICAL UNIT FOR BUILDING C.
  65. SITE LIGHT, PER ELECTRICAL PLANS.



PRELIMINARY  
NOT FOR  
CONSTRUCTION



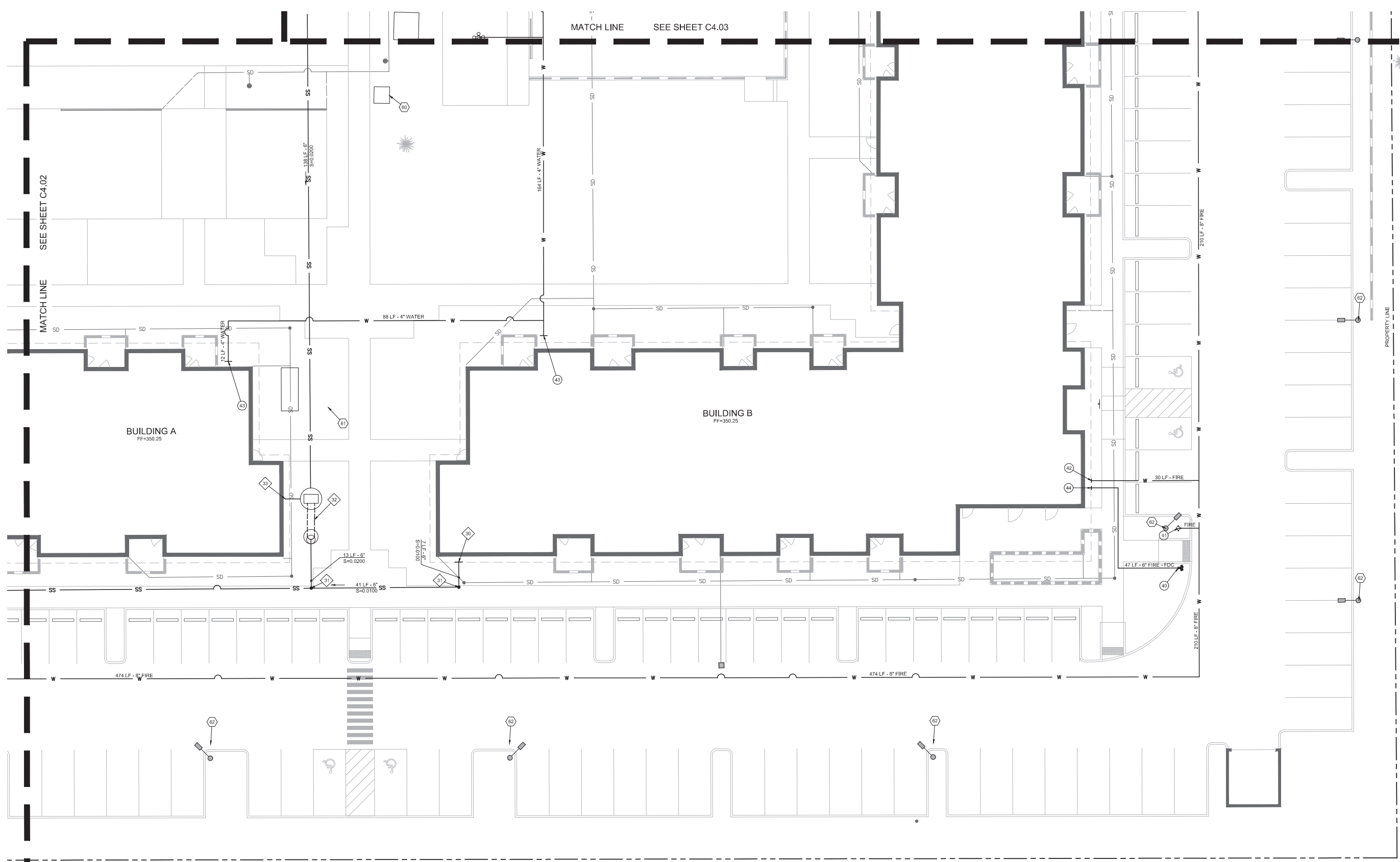
CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

UTILITY PLAN -  
NORTHWEST  
PROJECT NO.  
#19031

REVISIONS:



UTILITY PLAN - NORTHEAST

◆ SANITARY NOTES

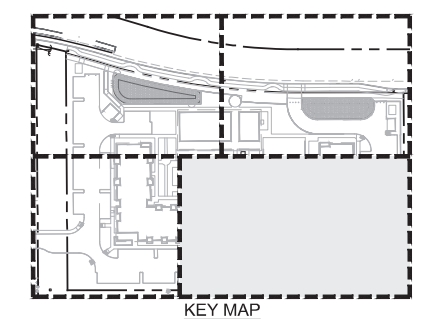
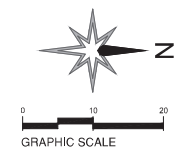
- 30. SANITARY CONNECTION FROM BUILDING B.  
6" IE=345.26
- 31. SANITARY CLEANOUT TO GRADE PER DETAIL 5/06.01.
- 32. SANITARY LIFT STATION FOR COMMUNITY BUILDING. 10 FRAME DRIVER SUBMERSIBLE CHOPPER PUMP, MOTOR TYPE XP1FM, 3.0 HP, 15.5 FEET HEAD.  
RBM=348.91  
6" IE, IN(W)=333.01  
6" IE, OUT(E)=344.67
- 33. SANITARY VENT CONNECTION TO BUILDING. SEE PLUMBING PLANS.

☐ WATER NOTES

- 40. FIRE DEPARTMENT CONNECTION. ATTACH SIGN "FDC - BUILDING B".
- 41. NEW ON-SITE FIRE HYDRANT. PER CITY OF TUALATIN STANDARD.
- 42. NEW FIRE PROTECTION CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- 43. NEW DOMESTIC WATER CONNECTION TO BUILDING. SEE PLUMBING PLAN FOR CONTINUATION.
- 44. FDC CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR COORDINATION.

⊕ OTHER UTILITY NOTES

- 60. EXISTING TANK AND PUMP TO REMAIN. SEE ARCHITECTURAL PLANS FOR NEW PUMP HOUSE.
- 61. GENERATOR FOR LIFT STATION. SEE ELECTRICAL PLANS.
- 62. SITE LIGHT. PER ELECTRICAL PLANS.



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.682.9011 | WWW.VEGACIVIL.COM

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

UTILITY PLAN -  
NORTHEAST

PROJECT NO.  
#19031

REVISIONS:

C4.04

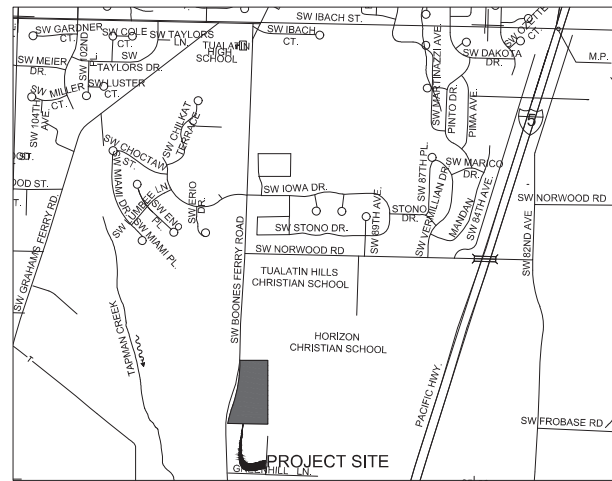


CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

# PUBLIC IMPROVEMENTS FOR 23500 AND 23550 SW BOONES FERRY ROAD



VICINITY MAP  
NTS  
SEC. 35, T.3 S., R.1 W. W.M.



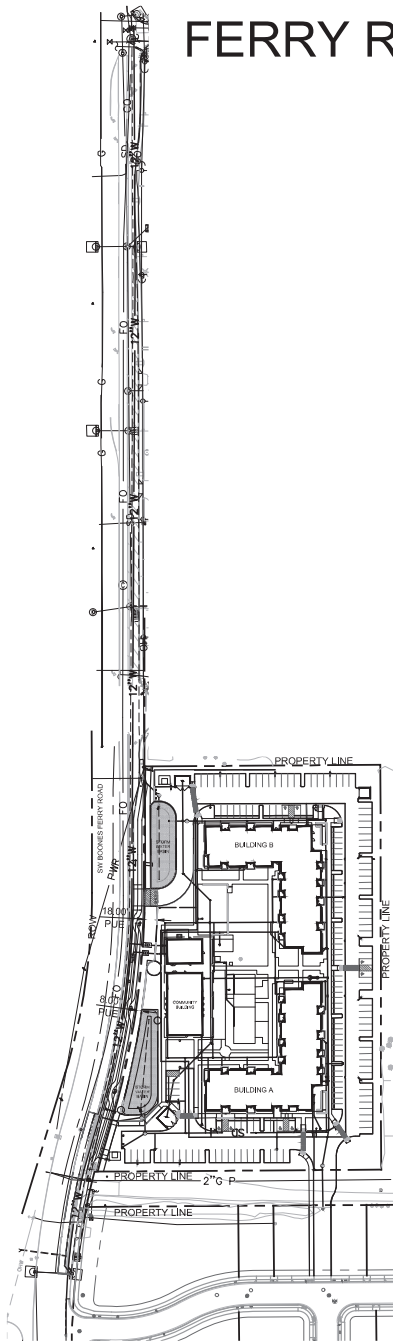
**ATTENTION:**  
OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987).

"THIS DESIGN COMPLIES WITH ORS 92.044 (7) IN THAT NO UTILITY INFRASTRUCTURE IS DESIGNED TO BE WITHIN ONE (1) FOOT OF A SURVEY MONUMENT LOCATION SHOWN ON A SUBDIVISION OR A PARTITION PLAT. NO DESIGN EXCEPTIONS OR FINAL FIELD LOCATION CHANGES SHALL BE PERMITTED IF THAT CHANGE WOULD CAUSE ANY UTILITY INFRASTRUCTURE TO BE PLACED WITHIN THE PROHIBITED AREA."

POTENTIAL UNDERGROUND FACILITY OWNERS

**Dig Safely.**  
Call the Oregon One-Call Center  
DIAL 811 or 1-800-332-2344

EMERGENCY TELEPHONE NUMBERS		NOTICE TO EXCAVATORS:	
NW NATURAL GAS	M-F 7am-6pm 503-226-4211 Ext.4313	ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).	
AFTER HOURS	503-226-4211		
PGE	503-464-7777		
CENTURYLINK	1-800-573-1311		
CITY BUREAU OF MAINTENANCE	503-823-1700		
CITY WATER	503-823-4874		
VERIZON	1-800-483-1000		



SITE MAP



EXISTING	DESCRIPTION	PROPOSED
	MANHOLE	
	CATCH BASIN	
	WATER METER	
	GUY WIRE ANCHOR	
	STREETLIGHT	
	UTILITY POLE	
	SIGN	
	TREE	
	PROPERTY LINE	
	CENTERLINE	
	SAWCUT LINE	
	EDGE OF PAVEMENT	
	CURB	
	STORM DRAIN	
	SANITARY SEWER	
	FIRE	
	WATER	
	OVERHEAD UTILITY	
	GAS	
	POWER	
	TELECOM	
	CONCRETE SIDEWALK	
	MINOR CONTOUR	
	MAJOR CONTOUR	

ABBREVIATIONS	
AC	ASPHALTIC CONCRETE
BC	BOTTOM OF CURB
BGS	BELOW GROUND SURFACE
BPZ	BACK OF PEDESTRIAN ZONE
BFZ	BUILDING FRONTAGE ZONE
CL	CENTERLINE
CONC	CONCRETE
CONST	CONSTRUCT
COP	CITY OF PORTLAND
U	UTILITY
DTL	DETAIL
EXIST(E)	EXISTING
EG	EXISTING GROUND
FF	FINISHED FLOOR
FS	FIRE SERVICE
FPZ	FRONT OF PEDESTRIAN ZONE
FZ	FURNISHING ZONE
GICUT	GUTTER
GB	GRADE BREAK
H	HORIZONTAL
HP	HIGH POINT
IE	INVERT ELEVATION
L	LENGTH
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
NO	NUMBER
NTS	NOT TO SCALE
ODOT	OREGON DEPARTMENT OF TRANSPORTATION
PBOT	PORTLAND BUREAU OF TRANSPORTATION
PC	POINT OF CURVATURE
PROP	PROPOSED
PT	POINT OF TANGENCY
PVMT	PAVEMENT
PZ	PEDESTRIAN ZONE
R	RADIUS
ROW	RIGHT OF WAY
RT	RIGHT
SD	STORM DRAIN
STA	STATION
STD	STANDARD
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TYP	TYPICAL
V	VERTICAL

**PROJECT CONTACTS**

<b>OWNER:</b> COMMUNITY PARTNERS FOR AFFORDABLE HOUSING 6380 SW CAPITOL HIGHWAY #151 PORTLAND, OR 97239 (503) 293-4038 CONTACT: JULIAN SAURAGE FELTON	<b>ENGINEER:</b> VEGA CIVIL ENGINEERING, LLC 1300 SE STARK STREET #201 PORTLAND, OR 97214 (503) 662-1901 CONTACT: MARTHA WILLIAMSON, PE
--	--

**SURVEYOR:**  
OTAK  
808 SW 3RD AVE., STE. 800  
PORTLAND, OR 97204  
(503) 287-8825

PUBLIC COVER SHEET

PROJECT NO.  
#19031

REVISIONS:

COPYRIGHT - CARLETON HART ARCHITECTURE. ALL RIGHTS RESERVED. DO NOT REPRODUCE WITHOUT PERMISSION.

PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

PUBLIC GENERAL  
NOTES

PROJECT NO.  
#19031

REVISIONS:

C8.01

GENERAL NOTES

GENERAL

- ELEVATIONS ARE BASED ON POINT #508, NGVD 29 DATUM, LOCATED AT THE WEST CURB OF SW BOONES FERRY. ELEVATION: 334.12'. EXISTING UTILITIES AND SITE FEATURES SHOWN ON THESE PLANS ARE BASED ON A SURVEY BY OTAK AT (503) 287-8825.

PAVING

- NOTE: MILL & FILL: AFTER 'T' CUT PATCH BACKS, MILL 2" DEPTH AND MACHINE LAY HOT MIX WITH THE ASSOCIATED ROAD WORK. FINAL DETERMINATION OF MILL & FILL AREA IS AT THE DISCRETION OF THE COUNTY INSPECTOR.
- PAVING GEOTEXTILE MAY BE REQUIRED BY INSPECTION STAFF ON THE BOTTOM OF THE FINAL LIFT AT ANY JOINTS BETWEEN THE EXISTING PAVEMENT AND NEW PAVEMENT SECTIONS BY THREE INCHES ON EACH SIDE OF THE JOINT, AS LONG AS THE JOINT IS LESS THAN 1/8" WIDE. PAVING GEOTEXTILE SHOULD ALSO BE PLACED OVER ANY CRACKS THAT ARE OBSERVED IN THE EXISTING PAVEMENT AFTER MILLING AND BEFORE PLACEMENT OF THE NEW OVERLAY. FOLLOW MANUFACTURERS RECOMMENDATIONS FOR JOINTS/CRACKS WIDER THAN 1/8".
- REPLACE STRIPING DAMAGED BY CONSTRUCTION PER ODOT STD. DWGS. TM500 SERIES, PAVEMENT MARKINGS.



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

EXISTING SITE PLAN

PROJECT NO.  
#19031

REVISIONS:

C8.02

STORM NOTES

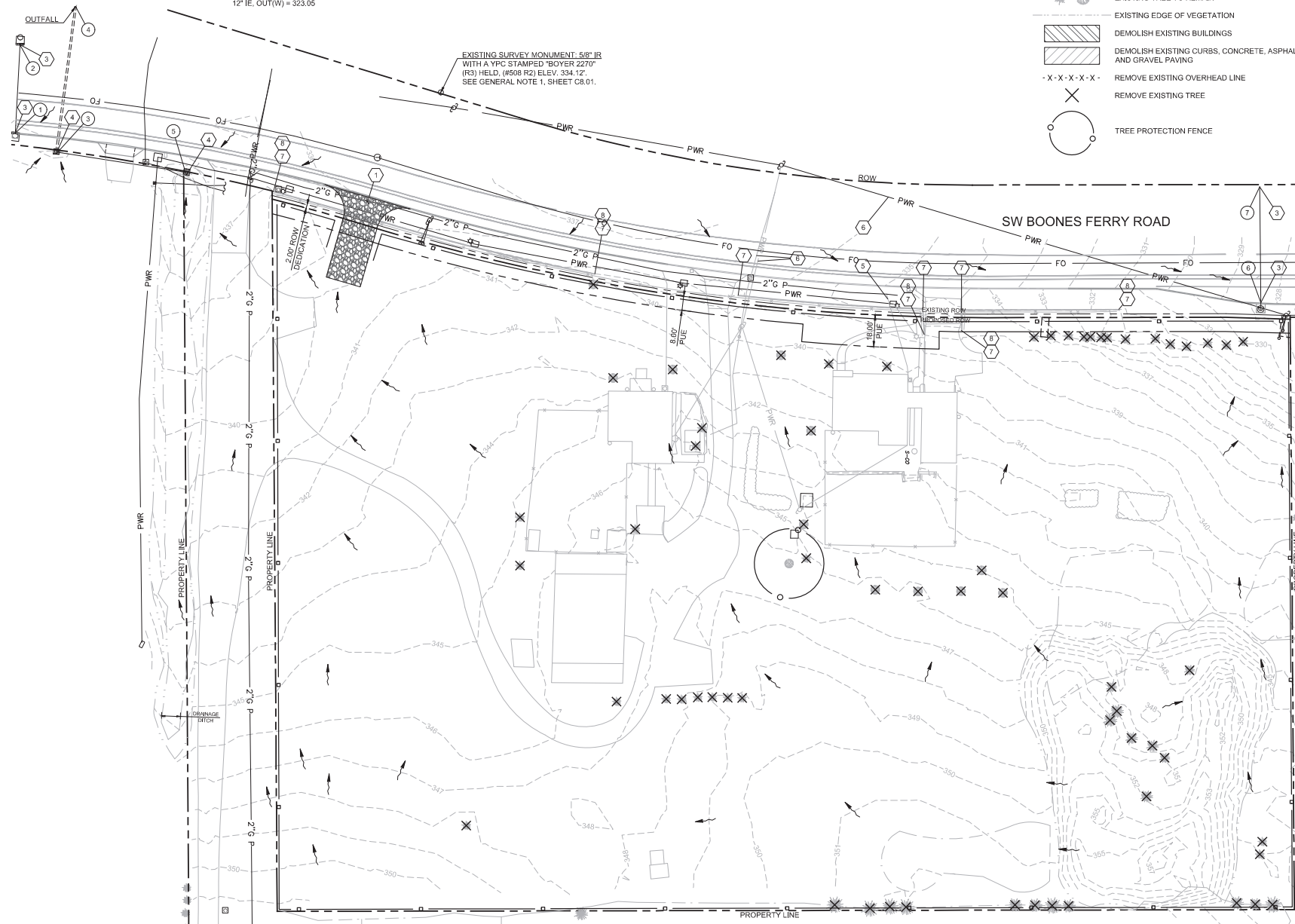
- CG-30 CATCH BASIN #451882  
LID = 335.41  
GUTTER = 334.71  
PER AS-BUILT #100096:  
10" PVC IE, OUT(W) = 329.37  
CURB INLET #451883  
LID = 334.99  
GUTTER = 334.34  
12" PVC IE, OUT(S) = 327.43
- 10" PVC IE, IN(E) = 328.43  
DITCH INLET #451877  
RIM = 335.67  
GUTTER = 334.69  
12" PVC IE, IN(N) = 331.08  
12" CPPL IE, OUT(W) = 330.55  
OUTFALL  
12" CCPL
- IE = 329.42  
DITCH INLET #451676  
12" PVC  
IE = 331.79  
CG-48 STORM MAINTENANCE HOLE  
AND CURB INLET #451739  
GUTTER = 328.35  
PER AS-BUILT #100096:  
RIM = 328.89  
12" IE, OUT(W) = 323.05
- 12" KNOCKOUT, IN(E) = 326.04  
MODIFIED CG-48 STORM  
MAINTENANCE HOLE AND CURB  
INLET #451739  
PER AS-BUILT #100096:  
RIM = 328.57  
12" IE, IN(E) = 322.78  
12" IE, OUT(N) = 322.40

EROSION CONTROL AND DEMOLITION NOTES

- INSTALL TEMPORARY CONSTRUCTION ENTRANCE PER CWS STD. DWG. NO. 855.
- INSTALL SEDIMENT FENCE PER CWS STD. DWG. NO. 875.
- INSTALL TEMPORARY WATTLE INLET PROTECTION AT EXISTING INLET PER CWS STD. DWG. NO. 905.
- INSTALL TEMPORARY BIO-FILTER BAG INLET PROTECTION AT EXISTING INLET PER CWS STD. DWG. NO. 915.
- REMOVE EXISTING GAS LINE TO SITE.
- REMOVE EXISTING OVERHEAD LINE.
- REMOVE EXISTING WALL.
- REMOVE EXISTING FENCE.

LEGEND

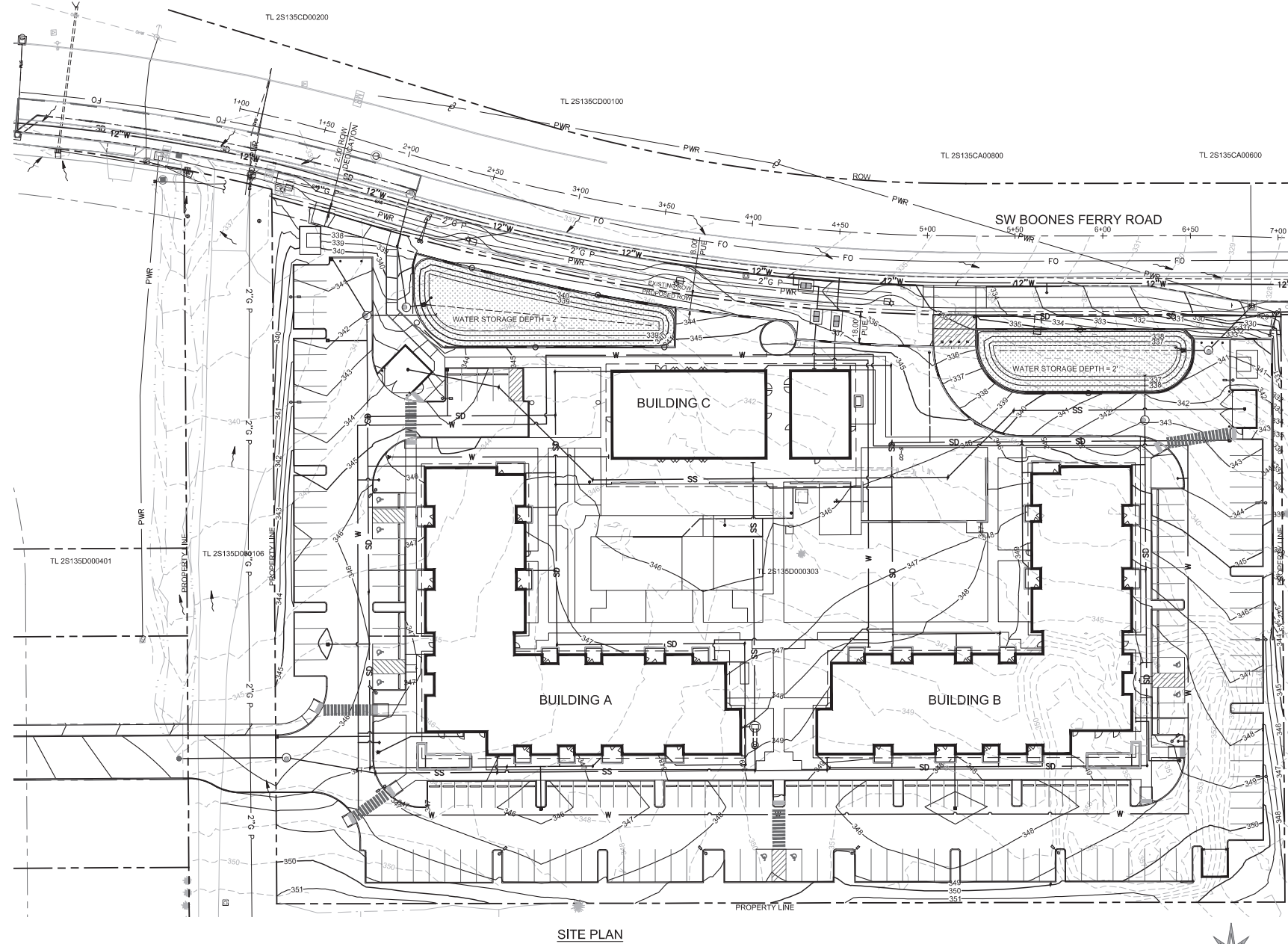
- EXISTING DRAINAGE FLOW DIRECTION
- EXISTING CONTOUR
- PROPERTY LINE
- SEDIMENT FENCE
- EXISTING TREE TO REMAIN
- EXISTING EDGE OF VEGETATION
- DEMOLISH EXISTING BUILDINGS
- DEMOLISH EXISTING CURBS, CONCRETE, ASPHALT,  
AND GRAVEL PAVING
- REMOVE EXISTING OVERHEAD LINE
- REMOVE EXISTING TREE
- TREE PROTECTION FENCE



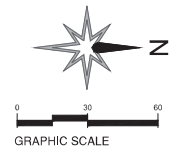
EXISTING CONDITIONS SITE PLAN



COPYRIGHT © CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



SITE PLAN



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

PROPOSED SITE PLAN

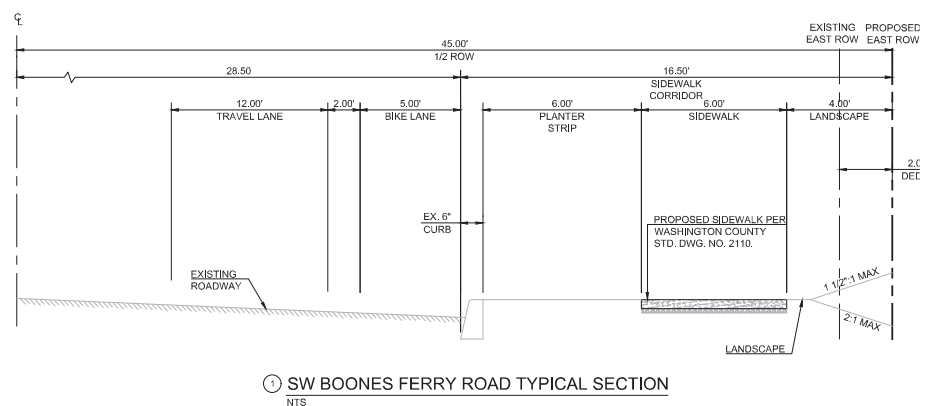
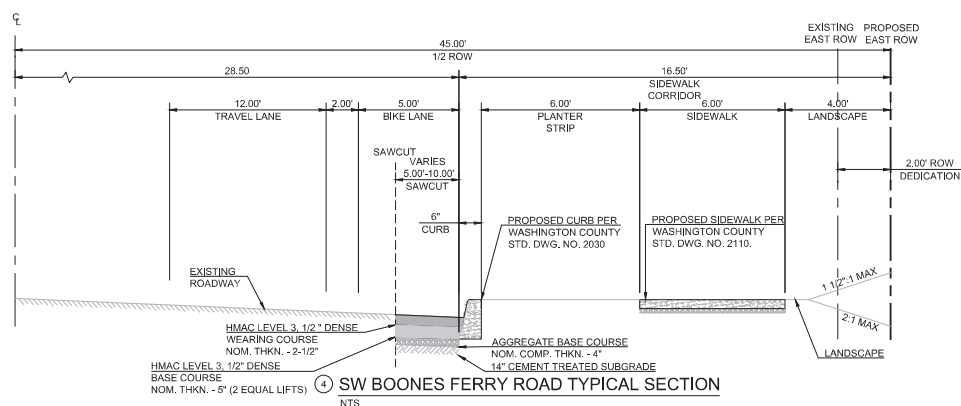
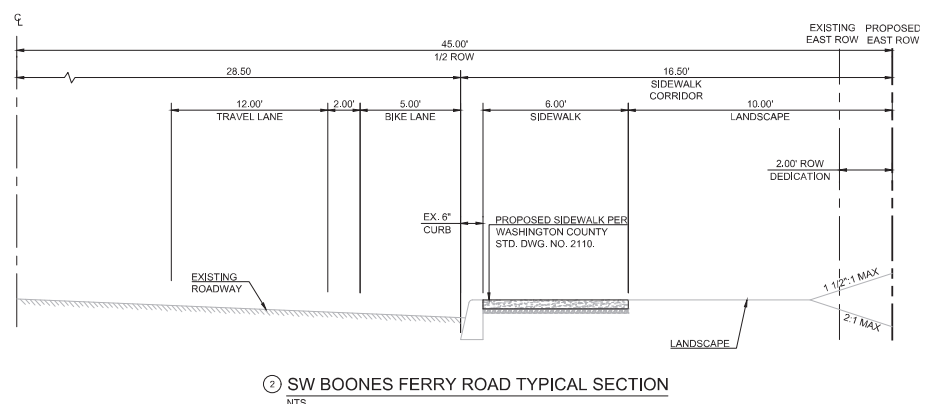
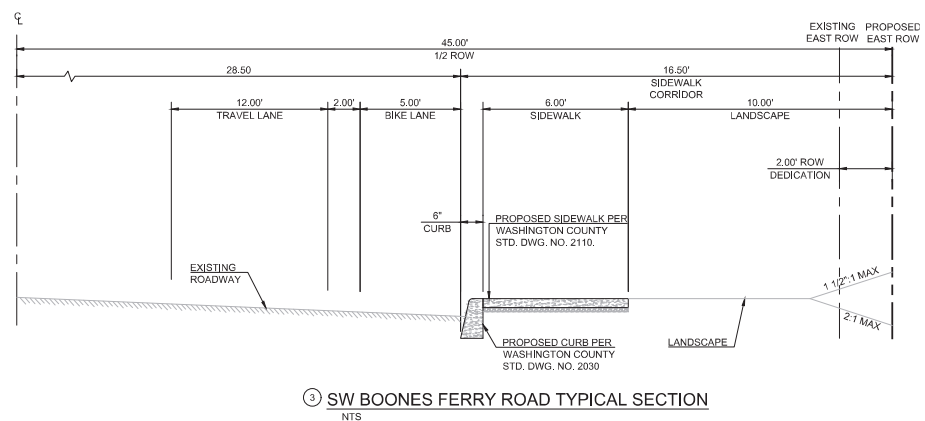
PROJECT NO.  
#19031

REVISIONS:

C8.03

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.





TYPICAL SECTIONS

PROJECT NO.  
#19031

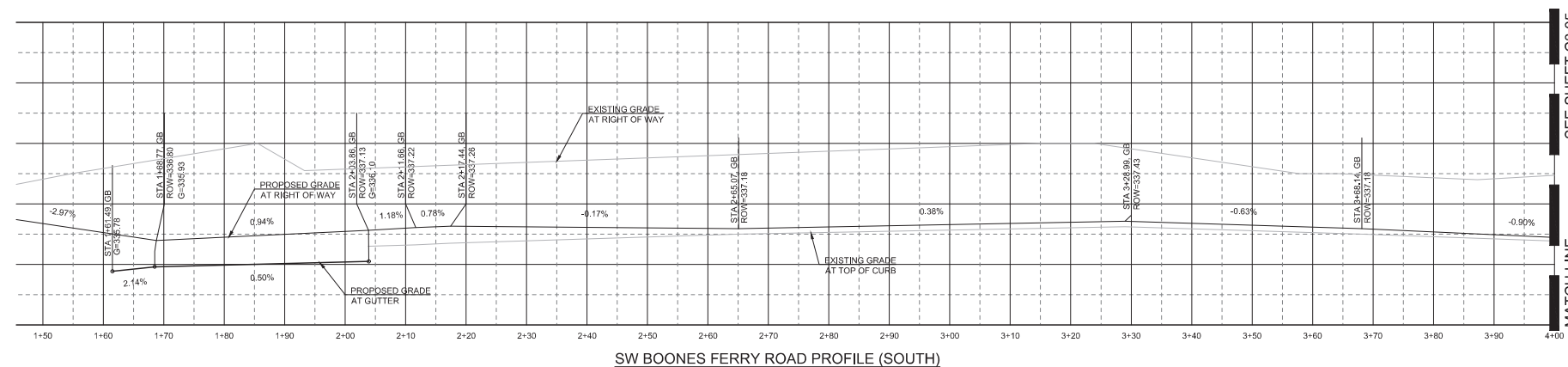
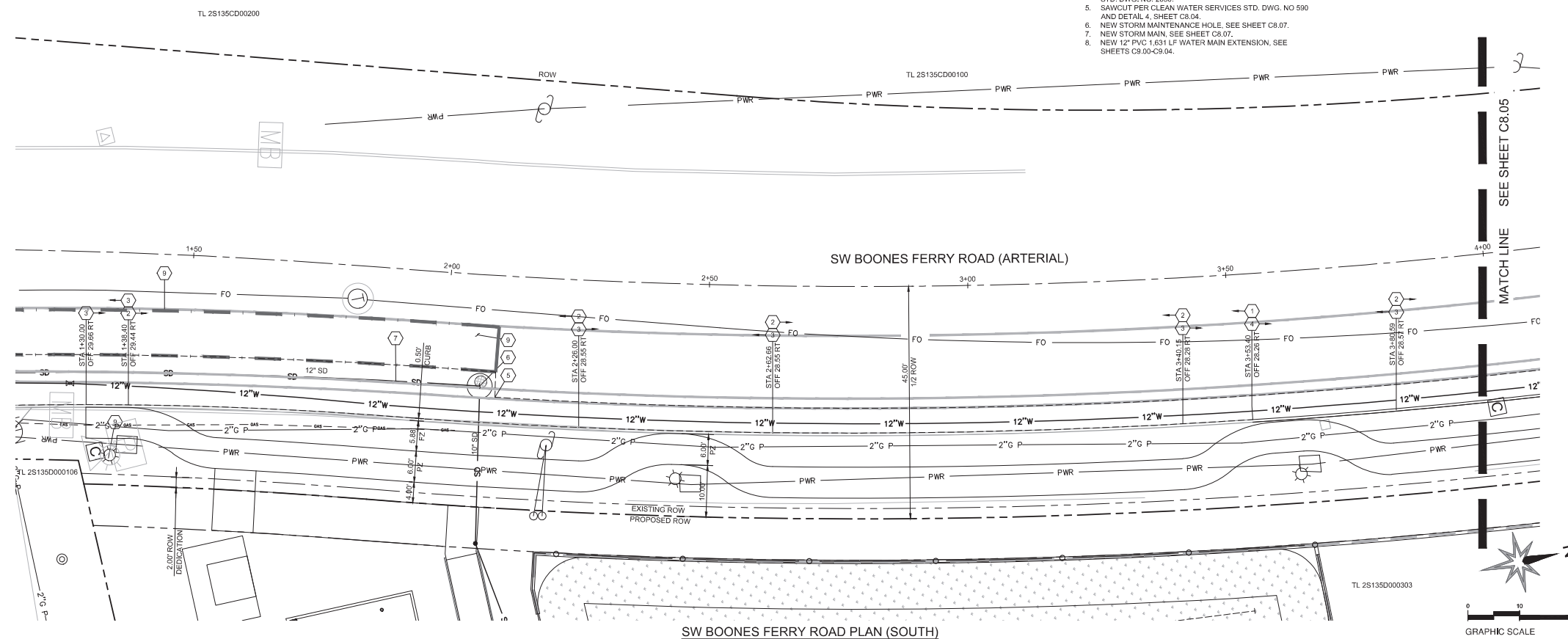
REVISIONS:

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



CONSTRUCTION NOTES

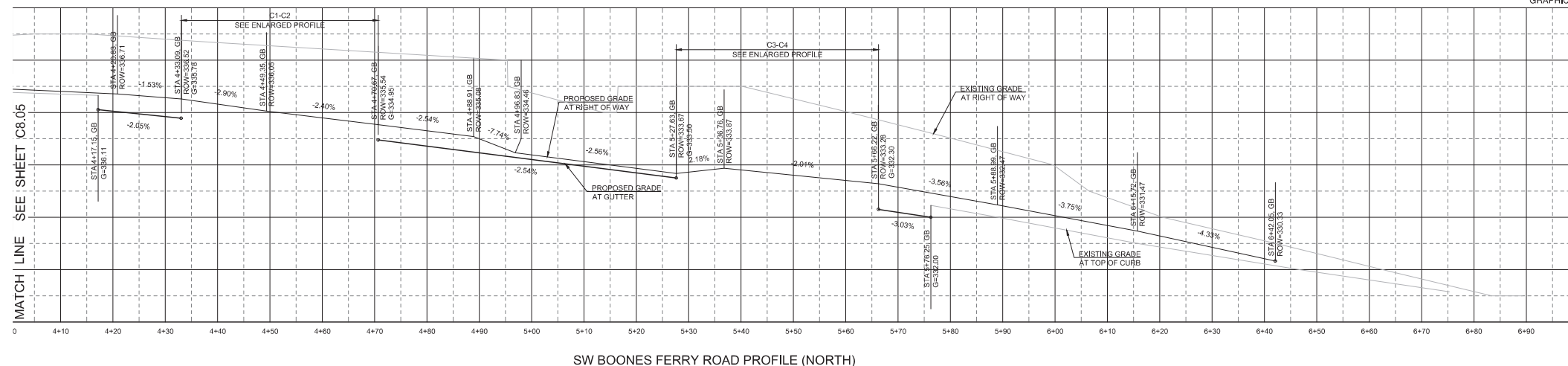
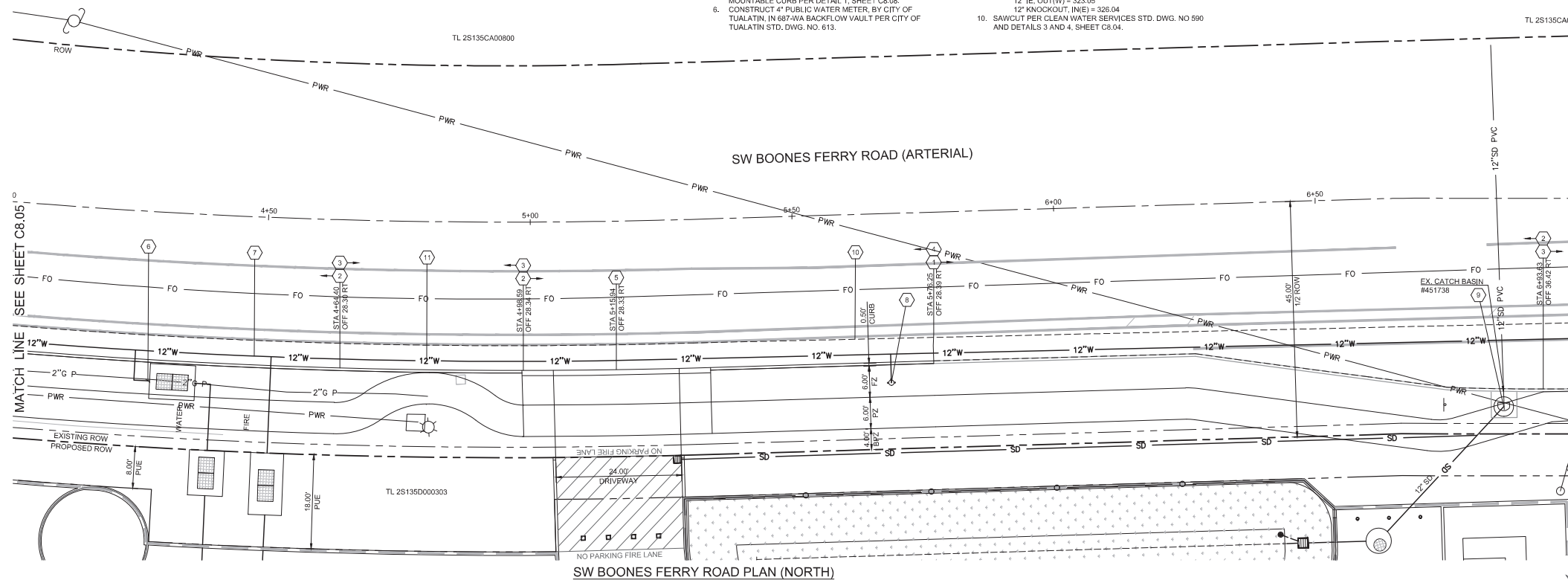
1. PROTECT EXISTING CURB.
2. CONSTRUCT SEPARATED SIDEWALK PER WASHINGTON COUNTY STD. DWG. 2110.
3. CONSTRUCT CURB TIGHT SIDEWALK PER WASHINGTON COUNTY STD. DWG. NO. 2110.
4. CONSTRUCT CONCRETE CURB PER WASHINGTON COUNTY STD. DWG. NO. 2030.
5. SAWCUT PER CLEAN WATER SERVICES STD. DWG. NO 590 AND DETAIL 4, SHEET C8.04.
6. NEW STORM MAINTENANCE HOLE, SEE SHEET C8.07.
7. NEW STORM MAIN, SEE SHEET C8.07.
8. NEW 12" PVC 1.631 LF WATER MAIN EXTENSION, SEE SHEETS C8.00-C8.04.
9. MILL & FILL: AFTER 1" CUT PATCH BACKS, MILL 2" AND MACHINE LAY HOT MIX WITH THE ASSOCIATE WORK. FINAL DETERMINATION OF MILL & FILL ARE THE DISCRETION OF THE COUNTY INSPECTOR.





CONSTRUCTION NOTES

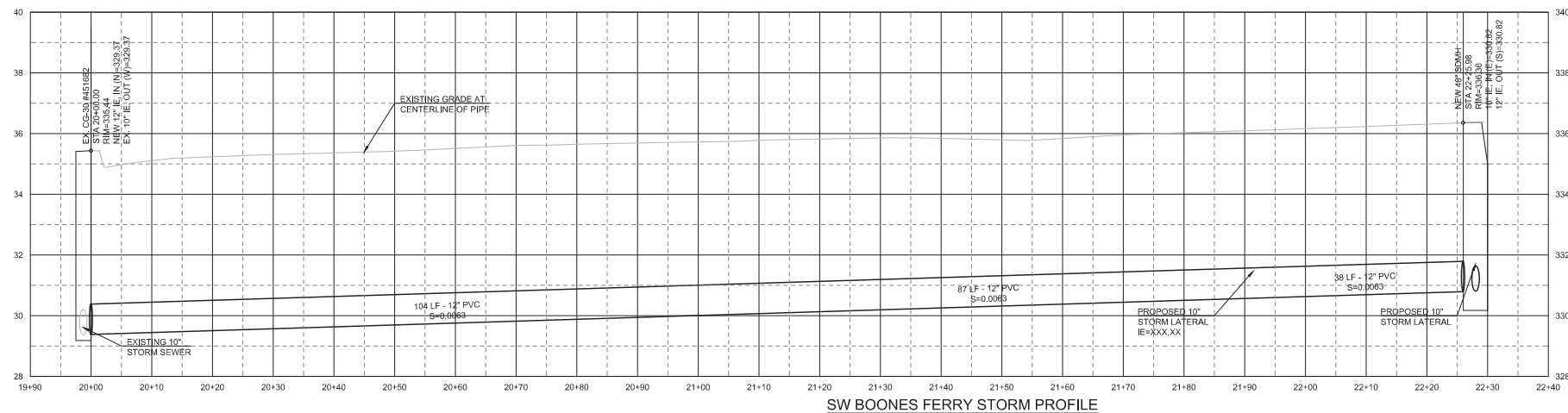
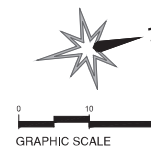
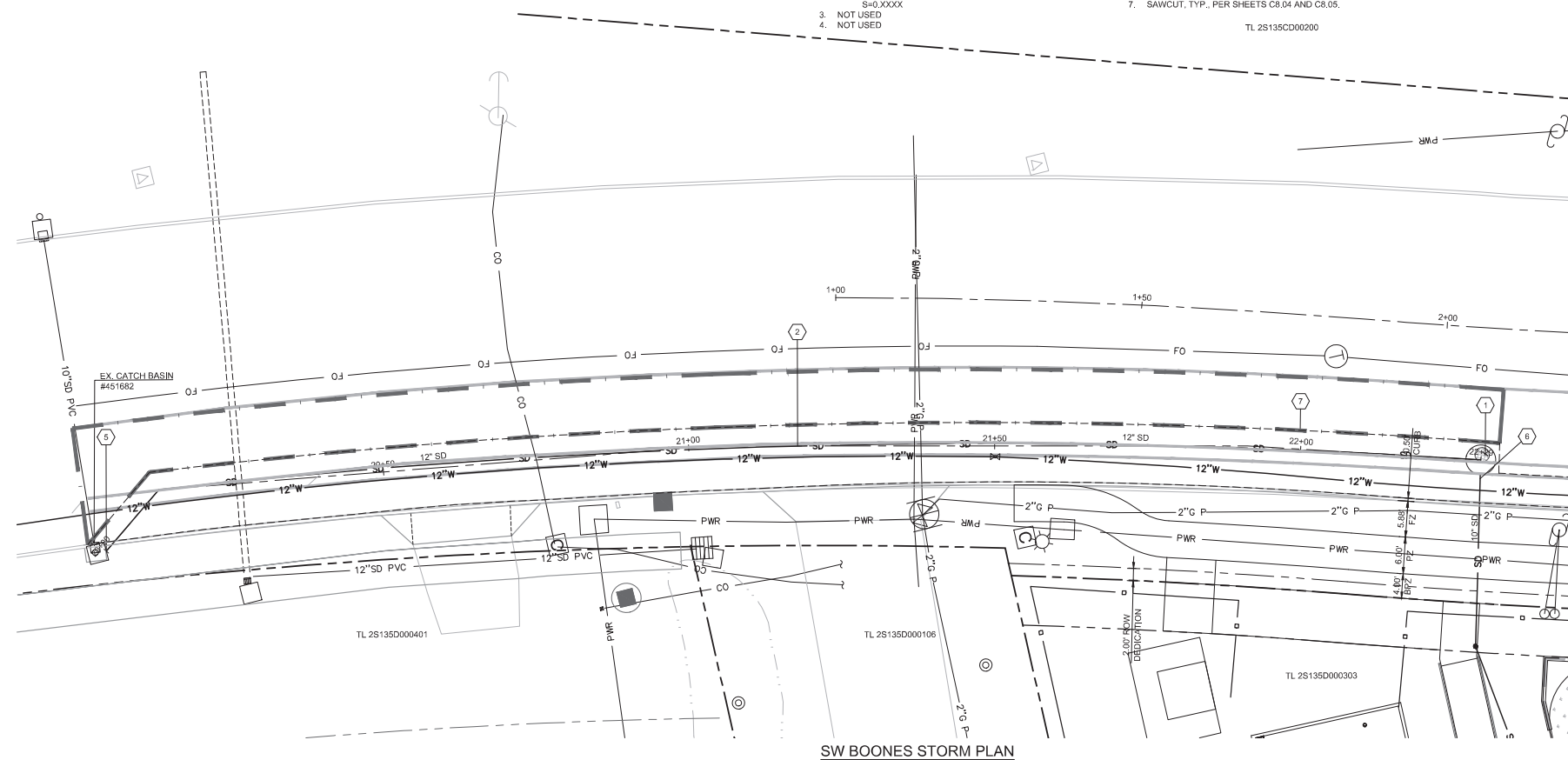
- PROTECT EXISTING CURB.
- CONSTRUCT SEPARATED SIDEWALK PER WASHINGTON COUNTY STD. DWG. 2110.
- CONSTRUCT CURB TIGHT SIDEWALK PER WASHINGTON COUNTY STD. DWG. NO. 2110.
- CONSTRUCT CONCRETE CURB PER WASHINGTON COUNTY STD. DWG. NO. 2030.
- CONSTRUCT 24.00' EMERGENCY FIRE ACCESS DRIVE WITH MOUNTABLE CURB PER DETAIL 1, SHEET C8.08.
- CONSTRUCT 4" PUBLIC WATER METER, BY CITY OF TUALATIN, IN 687-WA BACKFLOW VAULT PER CITY OF TUALATIN STD. DWG. NO. 613.
- CONSTRUCT 8" FIRE PROTECTION CONNECTION TO PROPOSED WATER MAIN.
- INSTALL FIRE HYDRANT, PER CITY OF TUALATIN STD. DWG. NO. 610.
- CONNECT TO EXISTING 12" KNOCKOUT AT EAST INVERT OF C8-48 STORM MAINTENANCE HOLE #451738, PER AS-BUILT #100096:  
RIM=328.89  
12" IE, OUT(W) = 323.05  
12" KNOCKOUT, (IN)E) = 326.04
- SAWCUT PER CLEAN WATER SERVICES STD. DWG. NO 590 AND DETAILS 3 AND 4, SHEET C8.04.
- NEW 12" PVC 1.631 LF WATER MAIN EXTENSION, SEE SHEETS C9.00-C9.04
- RELOCATE EXISTING SIGN AND POST.



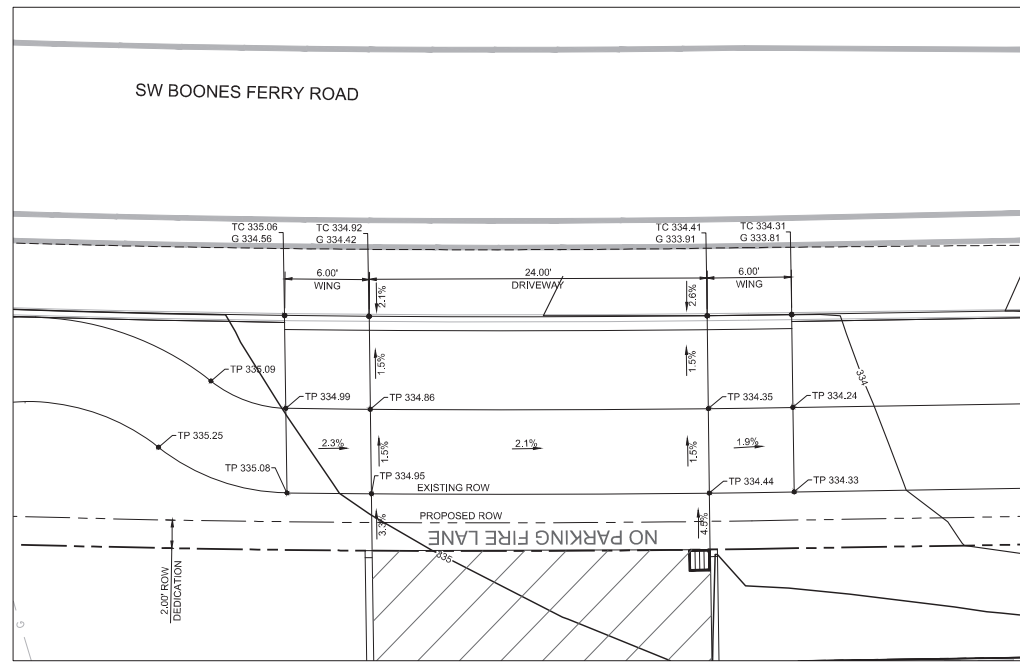


CONSTRUCTION NOTES

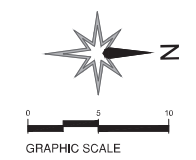
- CONSTRUCT NEW STORM MAINTENANCE HOLE PER CLEAN WATER SERVICES STD. DWG. NO. 010 AND 120.  
STA 22+26.00  
RIM=XXX.XX  
NEW 10" IE, (N/E)=XXX.XX  
NEW 12" IE, (O/T)=XXXX.XX
- CONSTRUCT NEW STORM MAIN FROM NEW STORM MAINTENANCE HOLE TO NEW PUBLIC CLEANOUT.  
12" LF - 12" PVC  
S=0.XXXX
- NOT USED
- NOT USED
- CONSTRUCT NEW 12" STORM LATERAL CONNECTION PER CLEAN WATER SERVICES STD. DWG. NO. 520. (SEE LATERAL TABLE).  
STA 20+00.00  
IE=XXX.XX
- CONSTRUCT NEW 10" STORM LATERAL CONNECTION PER CLEAN WATER SERVICES STD. DWG. NO. 520. (SEE LATERAL TABLE).  
IE=XXX.XX
- SAWCUT, TYP., PER SHEETS C8.04 AND C8.05.  
TL 2S135CD00200



COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



1 ENLARGED DRIVEWAY PLAN - NORTH



PRELIMINARY  
NOT FOR  
CONSTRUCTION



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



VEGA  
CIVIL ENGINEERING LLC  
503.662.3911 | WWW.VEGACIVIL.COM

PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

ENLARGED PLANS

PROJECT NO.  
#19031

REVISIONS:

COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.

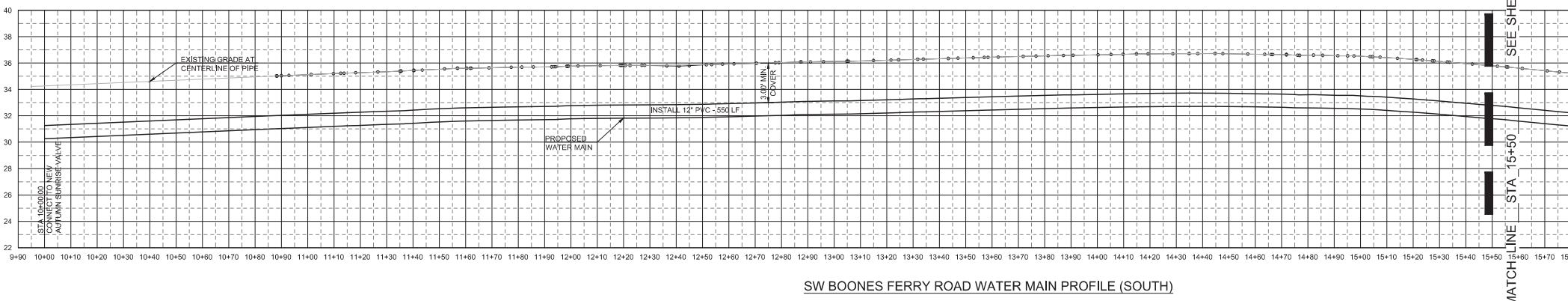
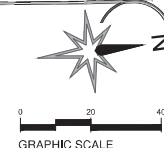


CONSTRUCTION NOTES

1. PROTECT EXISTING CURB.
2. SAWCUT, TYP., PER SHEETS C8.04, C8.05, AND C8.06.

WATER MAIN PIPE AND FITTING NOTES

1. AUTUMN SUNRISE FUTURE DEVELOPMENT WATER VALVE.
2. CONSTRUCT NEW 12" WATER MAIN EXTENSION FROM SW NORWOOD RD TO PROPOSED TEMPORARY BLOW-OFF VALVE. STA 10+00.00 TO STA 15+50.00 850 LF - 12" PVC
3. 6" WATER CONNECTION TO PROPOSED WATER MAIN, BY CITY OF TUALATIN, UNDER SEPARATE PERMIT.
4. 4" PUBLIC WATER METER, BY CITY OF TUALATIN, SEE SHEET C8.06.



COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

SW BOONES FERRY RD  
WATER MAIN  
PLAN AND PROFILE - MID  
PROJECT NO.  
#19031

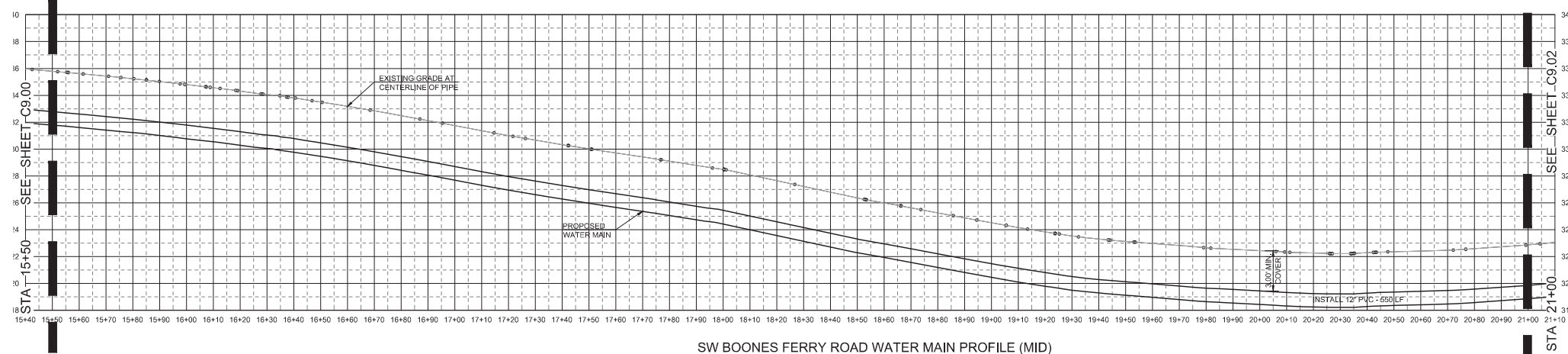
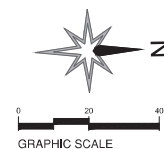
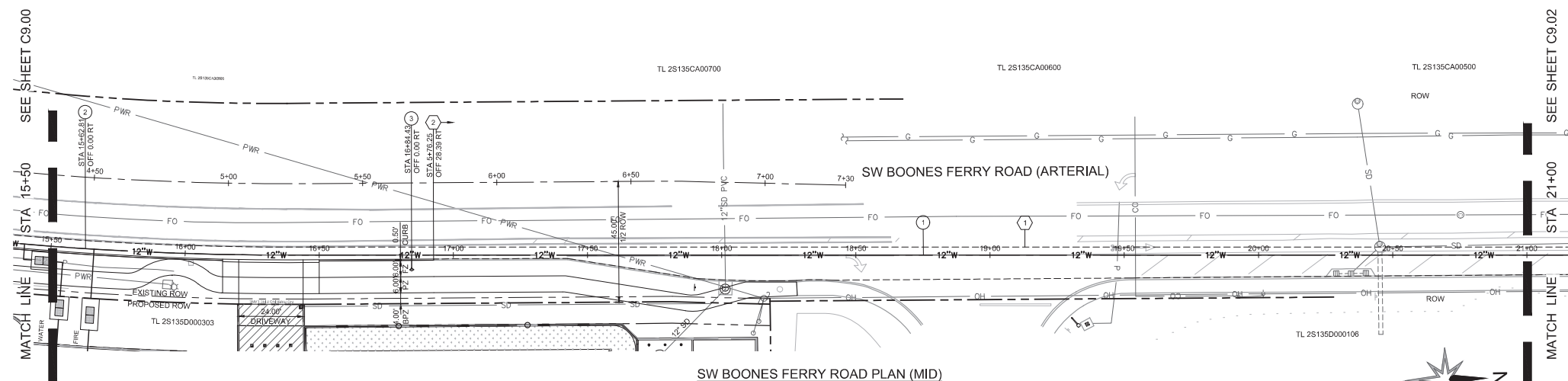
REVISIONS:

CONSTRUCTION NOTES

- SAWCUT, TYP., PER CLEAN WATER SERVICES STD. DWG. NO. 590.
- PROTECT EXISTING CURB.

WATER MAIN PIPE AND FITTING NOTES

- CONSTRUCT NEW 12" WATER MAIN EXTENSION FROM SW NORWOOD RD TO PROPOSED TEMPORARY BLOW-OFF VALVE. STA 15+50.00 TO STA 21+00.00. 550 LF - 12" PVC.
- 8" FIRE PROTECTION CONNECTION TO PROPOSED WATER MAIN, BY CITY OF TUALATIN, UNDER SEPARATE PERMIT.
- NEW FIRE HYDRANT CONNECTION, UNDER SEPARATE PERMIT.





CARLETON HART ARCHITECTURE P.C.  
830 SW 10th Avenue #200 Portland Oregon 97205  
503.243.2252 | www.carletonhart.com



PLAMBECK GARDENS  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW Boones Ferry Road  
Tualatin, Oregon 97062  
LAND USE: ARCHITECTURAL REVIEW

SW BOONES FERRY RD  
WATER MAIN  
PLAN AND PROFILE - MID  
PROJECT NO.  
#19031

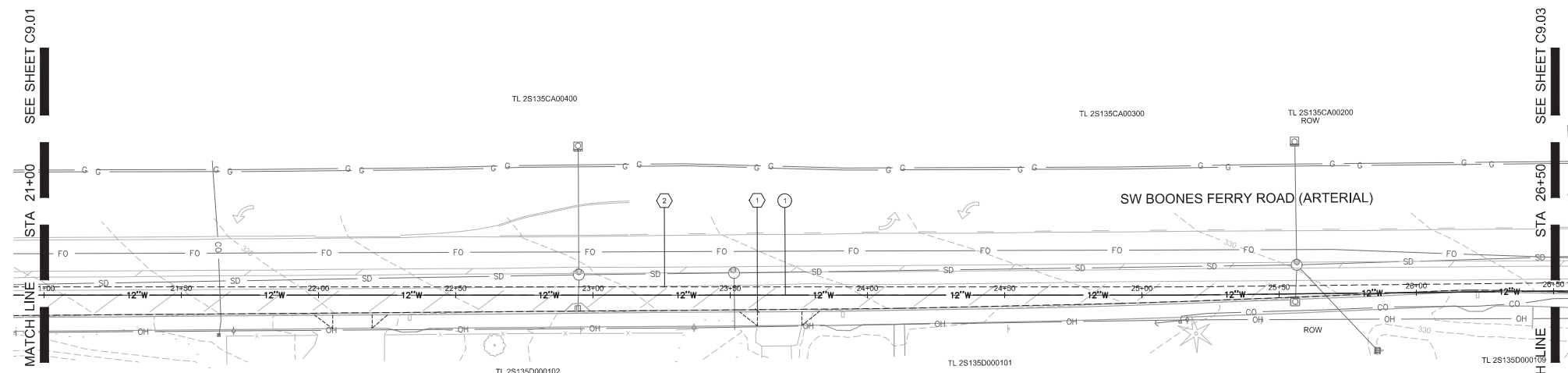
REVISIONS:

CONSTRUCTION NOTES

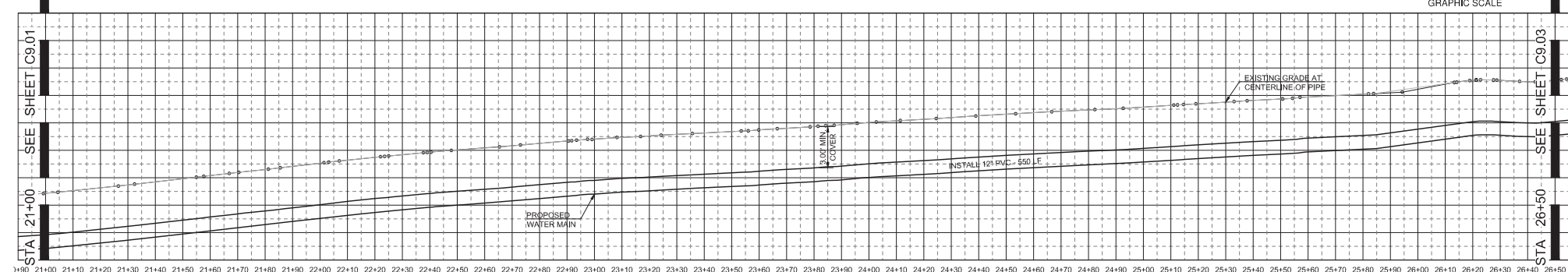
- PROTECT EXISTING CURBS.
- SAWCUT, TYP., PER CLEAN WATER SERVICES STD. DWG. NO. 590.

WATER MAIN PIPE AND FITTING NOTES

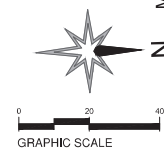
- CONSTRUCT NEW 12" WATER MAIN EXTENSION FROM SW NORWOOD RD TO PROPOSED TEMPORARY BLOW-OFF VALVE. STA 21+00.00 TO 26+50.00. 550 LF - 12" PVC



SW BOONES FERRY ROAD PLAN (MID)



SW BOONES FERRY ROAD WATER MAIN PROFILE (MID)



COPYRIGHT - CARLETON HART ARCHITECTURE. DO NOT REPRODUCE WITHOUT PERMISSION.



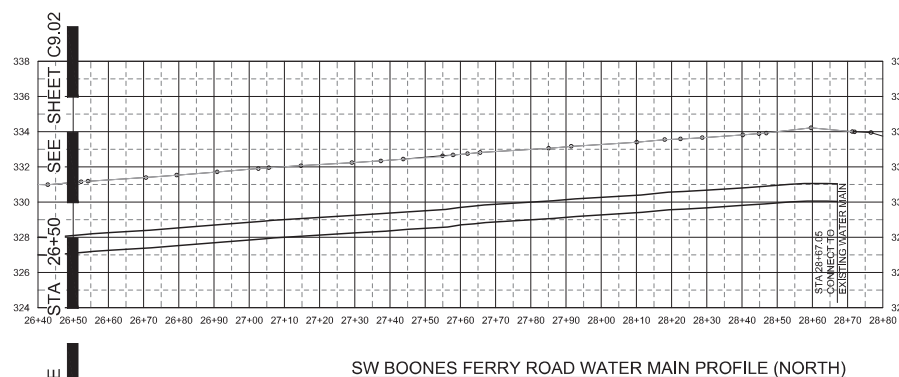
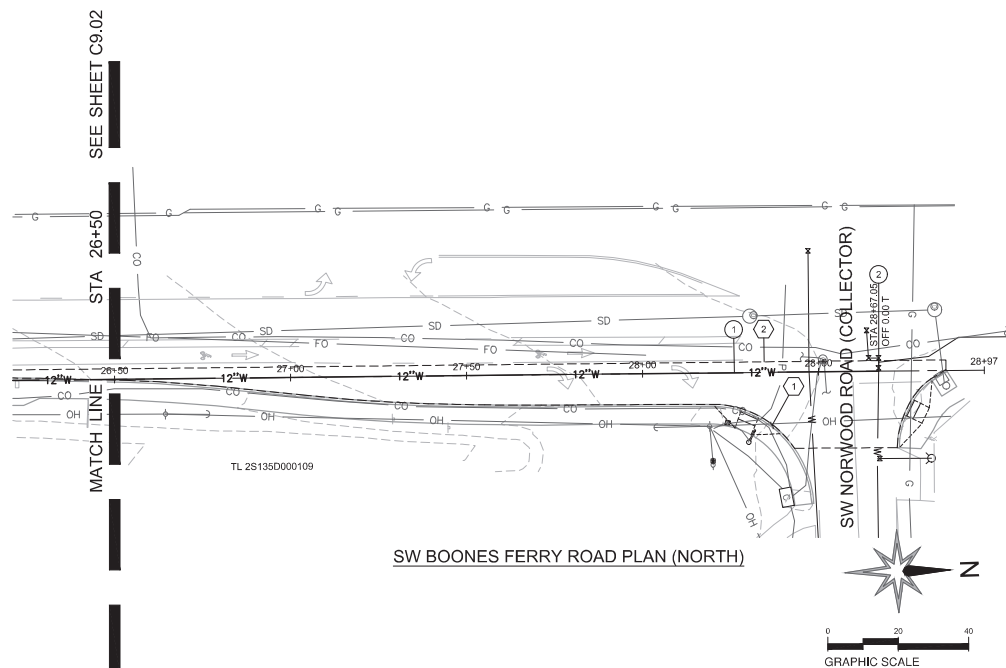


CONSTRUCTION NOTES

1. PROTECT EXISTING CURB.
2. SAWCUT, TYP., PER CLEAN WATER SERVICES STD. DWG. NO. 590.

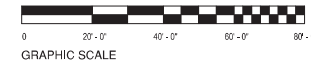
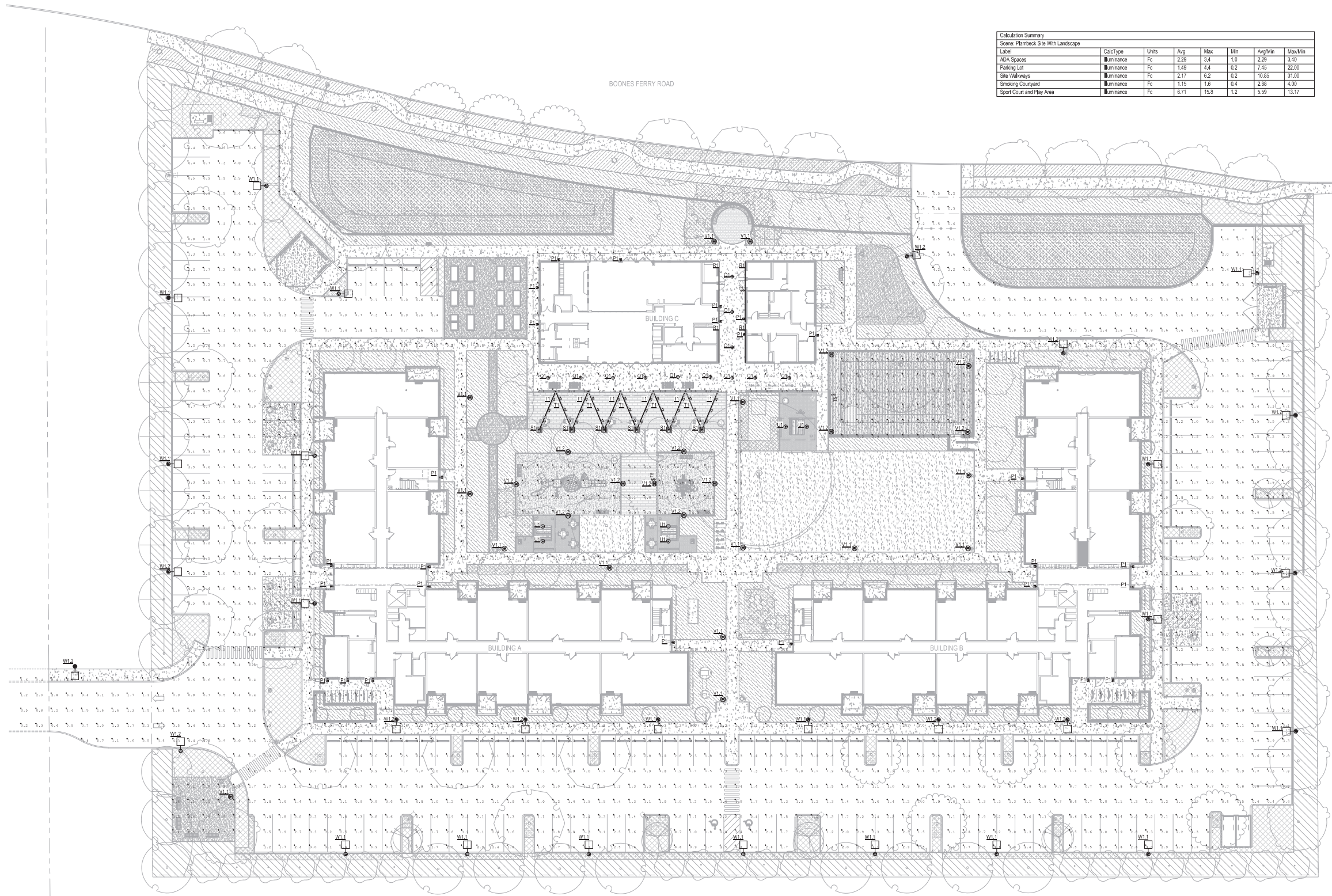
WATER MAIN PIPE AND FITTING NOTES

1. CONSTRUCT NEW 12" WATER MAIN EXTENSION FROM SW NORWOOD RD TO PROPOSED TEMPORARY BLOW-OFF VALVE. STA 21+25.00 TO 28+50.00. 525 LF - 12" PVC.
2. CONNECT TO EXISTING WATER MAIN.



SITE LUMINAIRE SCHEDULE												
LUMINAIRE INFORMATION			OPTIONS				ELECTRICAL INFORMATION		BASIS OF DESIGN		NOTES	
MARK	DESCRIPTION	LAMP	DIMMING	CCT	LUMENS	FINISH	MOUNTING	VA	VOLTS	SIZE	MANUFACTURER	MODEL NUMBER
P1	WALL SCONCE	LED	0-10V	4000 K	1500 lm	BY ARCHITECT	WALL	16 W	120 V	4" W	PORTFOLIO	LERWMB-15-D010
Q1	EXTERIOR GLOBE PENDANT	LED	0-10V	4000 K	1320 lm	BY ARCHITECT	PENDANT	21 W	120 V	12" D	TECH LIGHTING	7000PROT-940-12-X-UNV
RT	SURFACE MOUNT LINEAR WALL WASHER	LED	0-10V	4000 K	250 lm	BY ARCHITECT	SURFACE	10 W	120 V	PER DRAWINGS	FOCAL POINT	SEEM 1
ST	SITE LIGHT COLUMN	LED	0-10V	4000 K	710 lm	BY ARCHITECT	COLUMN	21 W	120 V	118" H	LIGMAN	WANCOVER 55
T1	CATENARY LIGHTING	LED	0-10V	4000 K	50 lm	BY ARCHITECT	CATENARY	2 W	120 V	3" L x 1.75" D	TOKSTAR	EXHIBITOR
U1	PICNIC AREA DOWNLIGHT	LED	0-10V	4000 K	2284 lm	BY ARCHITECT	SURFACE	20 W	120 V	6.3" D	LIGMAN	JET CEILING
V1.1	PATH POLE LIGHT	LED	0-10V	4000 K	4500 lm	BY ARCHITECT	POLE	48 W	120 V	15H	INVUE	LUXESCAPE SPIDER
V1.2	PATH POLE LIGHT	LED	0-10V	4000 K	9500 lm	BY ARCHITECT	POLE	90 W	120 V	15H	INVUE	LUXESCAPE SPIDER
W1.1	SITE POLE LIGHT	LED	0-10V	4000 K	6900 lm	BY ARCHITECT	POLE	54 W	120 V	20H	LIGMAN	LINEAR PT 4
W1.2	SITE POLE LIGHT	LED	0-10V	4000 K	6000 lm	BY ARCHITECT	POLE	54 W	120 V	20H	LIGMAN	LINEAR PT 4

Calculation Summary						
Scene: Flambeck Site With Landscape						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
ADA Spaces	Illuminance	Fc	2.29	3.4	1.0	2.29
Parking Lot	Illuminance	Fc	1.49	4.4	0.2	7.45
Site Walkways	Illuminance	Fc	2.17	6.2	0.2	10.85
Smoking Courtyard	Illuminance	Fc	1.15	1.8	0.4	2.88
Sport Court and Play Area	Illuminance	Fc	6.71	15.8	1.2	5.99



GENERAL NOTES:

KEYNOTES: ◆

PRELIMINARY  
NOT FOR  
CONSTRUCTION

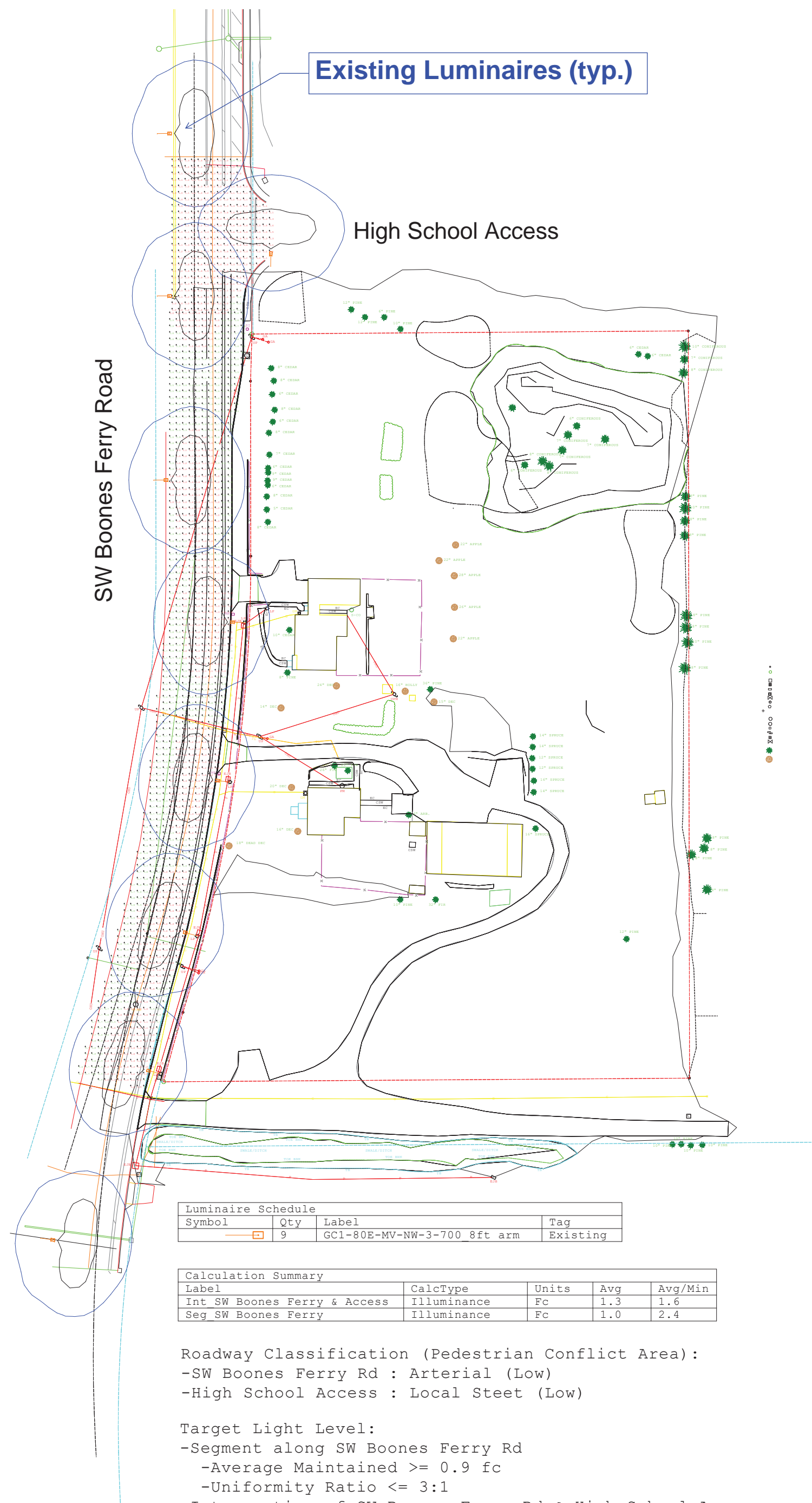
**CARLETON HART ARCHITECTURE P.C.**  
830 SW 10th Avenue #200 Portland, Oregon 97205  
503.243.2252 | www.carletonhart.com

**SAMATA**  
CONSULTING ENGINEERS, LLC

**PLAMBECK GARDENS**  
COMMUNITY PARTNERS FOR AFFORDABLE HOUSING  
23500 & 23550 SW BOONES FERRY ROAD  
TUALATIN, OREGON 97062  
LAND USE: ARCHITECTURAL REVIEW

SITE PLAN -  
PHOTOMETRICS  
PROJECT NO.  
#19031


REVISIONS:



**Existing Luminaires (typ.)**

High School Access

SW Boones Ferry Road

Luminaire Schedule			
Symbol	Qty	Label	Tag
	9	GC1-80E-MV-NW-3-700 8ft arm	Existing

Calculation Summary				
Label	CalcType	Units	Avg	Avg/Min
Int SW Boones Ferry & Access	Illuminance	Fc	1.3	1.6
Seg SW Boones Ferry	Illuminance	Fc	1.0	2.4

Roadway Classification (Pedestrian Conflict Area):  
 -SW Boones Ferry Rd : Arterial (Low)  
 -High School Access : Local Steet (Low)

Target Light Level:  
 -Segment along SW Boones Ferry Rd  
   -Average Maintained  $\geq$  0.9 fc  
   -Uniformity Ratio  $\leq$  3:1  
 -Intersection of SW Boones Ferry Rd & High School Access  
   -Average Maintained  $\geq$  1.3 fc  
   -Uniformity Ratio  $\leq$  3:1

# Plambeck Gardens Frontage Lighting Evaluation

Prepared by  
 Global Transportation Engineering  
 2/9/2022