

**Town of Truckee  
California**

**PLANNING COMMISSION RESOLUTION 2024-08**

**A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION APPROVING  
APPLICATION 2021-0000060/DP (SILVER CREEK ESTATES)**

**WHEREAS**, in December 2003, the Town of Truckee Planning Commission approved a Development Permit, Planned Development, Use Permit, and Tentative Map for a 167-unit residential subdivision (Winter Creek) on APN 19-450-61; and

**WHEREAS**, the Winter Creek Final Map created the subject parcel and reserved it for future development; and

**WHEREAS**, the Town has received an application requesting approval of a Development Permit for the construction of 40 multifamily residential units located on Winter Creek Loop - No Address Assigned (APN 019-820-001-000) in the RM (Residential Multifamily) zoning district.

**WHEREAS**, Development Permit approval is required for permitted uses with more than 7,500 square feet of floor area; and

**WHEREAS**, the Planning Commission is responsible for the review and consideration of Development Permits; and

**WHEREAS**, the Planning Commission held a public hearing on the matter at its regularly scheduled Planning Commission meeting beginning on May 21, 2024 and considered all information, and public comment related thereto;

**WHEREAS**, the Planning Commission requested revisions to the project to address safety concerns;

**WHEREAS**, the Applicant agreed to make revisions and the public hearing was continued to the regularly scheduled Planning Commission meeting in August 2024;

**WHEREAS**, a public notice was published in the *Sierra Sun* and mailed to property owners within 500 feet of the project site informing the public of the date, time, and location of both the May and August public hearing for the consideration of the approval or denial of the Development Permit; and

**WHEREAS**, the Planning Commission held a public hearing on the matter at its regularly scheduled Planning Commission meeting beginning and ending on August 20, 2024 and considered all information, and public comment related thereto; and

**NOW THEREFORE BE IT RESOLVED**, the Planning Commission hereby takes the following actions on Application 2021-0000060/DP (Silver Creek Estates):

1. Determines the project to be exempt from the provisions of CEQA per the Class 32 exemption for In-Fill Development Projects (Section 15332 of the CEQA Guidelines); and
2. Approves a Development Permit and the conditions of approval set forth in Exhibit C (Conditions of Approval) attached hereto and incorporated herein.

**BE IT FURTHER RESOLVED**, the Planning Commission adopts the findings set forth in Exhibit D (Findings), in support of approval of the Development Permit.

The foregoing Resolution was introduced by \_\_\_\_\_ and seconded by \_\_\_\_\_ at a Regular Meeting of the Truckee Planning Commission held on the 20th day of August 2024 and adopted by the following vote:

**AYES:**

**NOES:**

**ABSENT:**

\_\_\_\_\_  
Mitch Clarin, Chair  
Town of Truckee Planning Commission

ATTEST:

\_\_\_\_\_  
Kayley Metroka, Administrative Technician

Attachments:

Exhibit A: Project Plans  
Exhibit B: Density Bonus Incentive/Concession, Waivers/Reductions and Parking  
Exhibit C: Draft Conditions of Approval  
Exhibit D: Findings

**PLANNING COMMISSION RESOLUTION 2024-08**

**EXHIBIT A**

**A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION APPROVING  
APPLICATION 2021-0000060/DP (SILVER CREEK ESTATES)**

**PLANS**

# SILVER CREEK APARTMENTS

Winter Creek Loop  
Truckee CA 96161

## SCHEMATIC DESIGN PACKAGE v2



### SHEET INDEX

#### GENERAL

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a001 PROJECT INFORMATION, CODES

#### CIVIL

1 of 3 PRELIMINARY SITE, SNOW STORAGE, AND TREE REMOVAL PLAN  
2 of 3 PRELIMINARY UTILITY PLAN  
3 of 3 PRELIMINARY GRADING AND DRAINAGE PLAN

#### ARCHITECTURAL

a101 SCHEMATIC ARCHITECTURAL SITE PLAN  
a101.1 SCHEMATIC 2nd FLOOR SITE PLAN  
a101.2 SCHEMATIC ROOF SITE PLAN  
a101.3 SCHEMATIC OVERALL SITE ELEVATIONS  
a101.4 SCHEMATIC SITE SECTIONS  
B1-a201 BUILDING 1 SCHEMATIC FLOOR PLANS  
B1-a202 BUILDING 1 SCHEMATIC ROOF PLAN and SECTIONS  
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B3-a301 BUILDING 3 SCHEMATIC EXTERIOR ELEVATIONS  
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B8-a301 BUILDING 8 SCHEMATIC EXTERIOR ELEVATIONS and SECTIONS  
G4-a201 BUILDINGS 2, 4, 5, and 9 - 4-CAR CARRIAGE HOUSE SCHEMATIC FLOOR and ROOF PLANS  
G4-a301 BUILDINGS 2, 4, 5, and 9 - 4-CAR CARRIAGE HOUSE SCHEMATIC EXTERIOR ELEVATIONS  
G5-a201 BUILDINGS 6 and 7 - 5-CAR CARRIAGE HOUSE SCHEMATIC FLOOR and ROOF PLANS  
G5-a301 BUILDINGS 6 and 7 - 5-CAR CARRIAGE HOUSE SCHEMATIC EXTERIOR ELEVATIONS

COVER SHEET

a000



FORMGREY STUDIO  
400 South Wells Avenue, Suite B, Reno NV 89502 | www.formgrey.com | (775) 507-7200

SILVER CREEK  
APARTMENTS  
Client: Neptune Investment, LLC

Winter Creek Loop  
Truckee CA 96161



SCHEMATIC DESIGN v2

Issue Date: 07-05-24

FGS Project #: 2023-05

NOT FOR CONSTRUCTION

**DRAWING SYMBOLS**

**NORTH ARROW**  
TRUE NORTH  
PROJECT NORTH (IF SHOWN)

**ROOM**  
**ROOM NAME**  
101 ROOM NUMBER  
150 sf ROOM AREA (IF SHOWN)

**WALL / PARTITION**  
REFERENCE WALL TYPE SCHEDULE  
WALL TYPE

**DOOR**  
REFERENCE DOOR SCHEDULE  
DOOR NUMBER

**WINDOW**  
REFERENCE WINDOW SCHEDULE  
WINDOW NUMBER

**STOREFRONT SYSTEM**  
REFERENCE DOOR SCHEDULE  
STOREFRONT NUMBER

**CEILING TAG**  
REFERENCE FINISH SCHEDULE  
MATERIAL / FINISH  
C-1  
1'-0" CEILING HEIGHT - A.F.F. (ABOVE FINISH FLOOR)

**FIXTURE / EQUIPMENT TAG**  
REFERENCE EQUIPMENT SCHEDULE  
XXX TYPE PER SCHEDULE

**FIRE EXTINGUISHER**  
FIRE EXTINGUISHER SIZE & RATING  
2-A  
MOUNTING:  
S = SURFACE MOUNTED CABINET  
SH = SURFACE MOUNTED HOOK  
SR = SEMI RECESSED CABINET  
R = RECESSED CABINET

**FLOOR FINISH TRANSITION**  
REFERENCE FINISH SCHEDULE  
F-2, F-1 FLOORING TYPES PER SCHEDULE

**LEVEL / ELEVATION DATUM**  
LEVEL  
0'-0" OR ELEVATION ABOVE SEA LEVEL (IF SHOWN)

**SPOT ELEVATION**  
0'-0"

**DRAWING / VIEW TITLE**  
NUMBER ON SHEET  
DRAWING NAME  
1 NAME  
1/4" = 1'-0" DRAWING SCALE

**GRID LINE**  
1  
A

**EXTERIOR ELEVATION**  
DRAWING NUMBER  
1  
SHEET NUMBER  
a101

**INTERIOR ELEVATION**  
DRAWING NUMBER  
1  
SHEET NUMBER  
a101

**BUILDING SECTION**  
DRAWING NUMBER  
1  
SHEET NUMBER  
a101

**WALL SECTION**  
DRAWING NUMBER  
1  
SHEET NUMBER  
a101

**DETAIL CALLOUT**  
DRAWING NUMBER  
1  
SHEET NUMBER  
a101

**MATCHLINE**  
DRAWING NUMBER  
1  
SHEET NUMBER  
a101  
REFERENCED SHEET NUMBER

**REVISION**  
REVISION NUMBER

**GENERAL NOTES**

- THESE GENERAL NOTES PERTAIN TO WORK DESCRIBED ON ALL CONTRACT DOCUMENTS.
- THE CONTRACT DOCUMENTS CONSIST OF THE OWNER CONTRACTOR AGREEMENT, THE CONDITIONS OF CONTRACT (GENERAL, SUPPLEMENTARY, AND OTHER CONDITIONS), THE DRAWINGS, THE SPECIFICATIONS, AND ALL ADDENDA ISSUED PRIOR TO AND ALL MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- FORMGREY STUDIO, LLC IS THE AUTHOR OF THESE PLANS AND CLAIMS A COPYRIGHT IN THESE PLANS AND THE DESIGNS CONTAINED IN THESE PLANS. THIS CLAIM IS MADE UNDER TITLE 17 OF THE UNITED STATES CODE AND ALL APPLICABLE TREATIES AND FOREIGN LAWS. THESE COPYRIGHTED DRAWING FILES ARE TO BE USED FOR REFERENCE ONLY. FORMGREY STUDIO, LLC WILL TAKE NO RESPONSIBILITY FOR ANY CHANGES MADE TO THESE DOCUMENTS BY ANOTHER PARTY AND NO LICENSE IS GIVEN FOR TRANSFER OF THESE COPYRIGHTS TO ANOTHER PARTY.
- THE WORK COMPRISES THE COMPLETED CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS AND INCLUDES ALL LABOR NECESSARY TO PRODUCE SUCH CONSTRUCTION, AND ALL MATERIALS AND EQUIPMENT INCORPORATED OR TO BE INCORPORATED IN SUCH CONSTRUCTION.
- SHOP DRAWINGS, PRODUCT DATA AND SAMPLES ARE NOT A PART OF THE CONTRACT DOCUMENTS. THE ARCHITECT WILL REVIEW THEM, BUT ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT OF THE WORK AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF SHOP DRAWINGS, PRODUCT DATA OR SAMPLES.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSIONS HE MAY DISCOVER. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK.
- ALL WORK IS TO CONFORM WITH THE CONTRACT DOCUMENTS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONTRACT DOCUMENTS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR AND SHALL BE REVIEWED BY THE ARCHITECT.
- ALL WORK SHALL BE PERFORMED WITHIN STRICT CONFORMANCE TO THE MINIMUM STANDARDS OF THE CURRENT EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL APPLICABLE NATIONAL, STATE, AND LOCAL LAWS, REGULATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION, AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS.
- THE CONTRACTOR SHALL COORDINATE LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING AND PLUMBING INCLUDING ALL PIPING, DUCT WORK AND CONDUIT. COORDINATE ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE ABOVE EQUIPMENT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THEIR BEST SKILL AND ATTENTION, THEY SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTS AND OMISSIONS OF THEIR EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR SHALL PURSUE WORK IN A CONTINUOUS AND DILIGENT MANNER TO INSURE TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR OPERATIONS. AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL THEIR WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL THEIR TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, STRUCTURES, ADJACENT STREETS, AND IMPROVEMENTS DURING THE PERIOD OF CONSTRUCTION.
- UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIAL, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, WATER, HEAT, UTILITIES, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL SUBMIT WEEKLY JOB STATUS REPORTS TO THE ARCHITECT. THE REPORT SHALL STATE ACTUAL PROGRESS OF THE JOB AND LIST ANY CHANGES OR CONDITIONS WITHIN THE SCOPE OF THE CONTRACT DOCUMENTS AFFECTING THE JOB PROGRESS.
- WHERE CONFLICTS OCCUR, COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, TELEPHONES AND ELECTRICAL/COMMUNICATION OUTLETS AND SWITCHES WITH ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- WHERE CONFLICT IS ENCOUNTERED BETWEEN THE CONTRACT DOCUMENTS THAT WILL MATERIALLY AFFECT THE QUALITY OR EXTENT OF THE WORK, SUCH CONFLICT SHALL BE RESOLVED TO THE SATISFACTION OF THE ARCHITECT BEFORE THE AFFECTED ITEMS AND/OR MATERIALS ARE PURCHASED, FABRICATED AND/OR INSTALLED.
- WHERE PRE-MANUFACTURED OR PRE-FABRICATED ITEMS AND/OR MATERIALS ARE TO BE INSTALLED - THE CONTRACTOR SHALL VERIFY ROUGH OR FINISHED DIMENSIONS IN THE FIELD PRIOR TO PURCHASE OR FABRICATION.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS TO BE FREE FROM DEFECTS FOR A MINIMUM OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE, AND PROMPTLY REMEDY SUCH DEFECTS AND ANY SUBSEQUENT DAMAGE CAUSED BY THE DEFECTS OR REPAIR THEREOF, AT NO EXPENSE TO THE OWNER. GUARANTEE PERIODS OF GREATER THAN ONE YEAR MAY BE REQUIRED AND CONTAINED WITHIN THE CONTRACT DOCUMENTS.
- UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- WHERE ANY ITEM AND/OR MATERIAL IS INDICATED IN THE CONTRACT DOCUMENTS, AND NOT NECESSARILY DETAILED IN EACH SPECIFIC CASE, BUT IS REQUIRED FOR A COMPLETE AND PROFESSIONAL INSTALLATION - SUCH ITEM AND/OR MATERIAL SHALL BE PROVIDED AS IF SHOWN AND DETAILED IN FULL. PROVIDE MEANS TO FURNISH AND INSTALL.

**SITE DATE / ZONING SUMMARY**

ADDRESS: WINTER CREEK LOOP, TRUCKEE CA 96161  
 APN: 019-820-001-000  
 AREA: +/- 1.71 acres  
 ZONING: RM-15 MULTI-FAMILY RESIDENTIAL  
 JURISDICTION: TOWN OF TRUCKEE  
 ACTUAL BUILDING HEIGHT: 42 FEET MAX.  
 STORES: 2 and 3  
 UNIT COUNT: 40  
 PROPOSED DENSITY: 17 DWELLING UNITS / ACRE

**AREA BREAKDOWN (Gross Building)**

BLDG. NUMBER	NAME	GROSS AREA
1	CONDITIONED SPACES	7,870.17 SF
1	COVERED BALCONIES	376.00 SF
1	COVERED BREEZEWAYS	462.82 SF
1	COVERED PATIOS	188.00 SF
		8,896.99 SF
2, 4, 5, & 9	CONDITIONED SPACES	3,696.00 SF
2, 4, 5, & 9	COVERED STAIRS	603.41 SF
2, 4, 5, & 9	COVERED WALKWAYS	1,067.40 SF
2, 4, 5, & 9	GARAGES	3,696.00 SF
		9,062.81 SF
3	CONDITIONED SPACES	7,868.17 SF
3	COVERED BALCONIES	376.00 SF
3	COVERED BREEZEWAYS	464.89 SF
3	COVERED PATIOS	188.00 SF
		8,897.06 SF
6 & 7	CONDITIONED SPACES	2,310.00 SF
6 & 7	COVERED STAIRS	302.13 SF
6 & 7	COVERED WALKWAYS	643.70 SF
6 & 7	GARAGES	2,310.00 SF
		5,565.84 SF
8	CONDITIONED SPACES	4,108.44 SF
8	COVERED BALCONIES	109.83 SF
8	COVERED BREEZEWAYS	263.85 SF
8	COVERED PATIOS	109.83 SF
		4,591.96 SF
GRAND TOTAL		37,014.65 SF

**OVERALL UNIT TYPE SUMMARY**

UNIT TYPE	BUILDING NO.	COUNT
1 BEDROOM UNIT	1	6
1 BEDROOM UNIT	3	4
1 BEDROOM UNIT	6 & 7	4
1 BEDROOM UNIT: 14		14
2 BEDROOM UNIT	1	6
2 BEDROOM UNIT	3	6
2 BEDROOM UNIT	8	3
2 BEDROOM UNIT: 15		15
ACCESSIBLE 1 BEDROOM UNIT	3	1
ACCESSIBLE 1 BEDROOM UNIT: 1		1
ACCESSIBLE 2 BEDROOM UNIT	8	1
ACCESSIBLE 2 BEDROOM UNIT: 1		1
ACCESSIBLE STUDIO	3	1
ACCESSIBLE STUDIO: 1		1
STUDIO	2, 4, 5, & 9	8
STUDIO: 8		8
Grand total: 40		40

**DESIGN CRITERIA**

**APPLICABLE CODES:**

BUILDING CODES: 2022 CALIFORNIA BUILDING CODE (CBC)  
 2022 CALIFORNIA RESIDENTIAL CODE (CRC)  
 2022 CALIFORNIA MECHANICAL CODE (CMC)  
 PLUMBING CODE: 2022 CALIFORNIA PLUMBING CODE (CPC)  
 ENERGY CODE: 2022 CALIFORNIA ENERGY CODE (CEC)  
 ELECTRICAL CODE: 2022 CALIFORNIA ELECTRICAL CODE (CEC)  
 FIRE CODES: 2022 FIRE CODE, AS AMENDED BY TRUCKEE FIRE PROTECTION DISTRICT  
 ACCESSIBILITY: ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
 2010 AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES  
 FAIR HOUSING ACT  
 OTHER CODES: 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE (IWUIC)  
 1997 UNIFORM HOUSING CODE  
 2021 INTERNATIONAL SOLAR ENERGY PROVISIONS

**CODE ANALYSIS SUMMARY:**

OCCUPANCY GROUP: RESIDENTIAL R-2  
 TYPE OF CONSTRUCTION: TYPE V-B  
 REQUIRED SEPARATIONS: 1-HOUR AT DWELLING UNIT SEPARATIONS (WALLS AND FLOOR/CEILING)  
 1-HOUR AT CORRIDOR WALLS  
 1-HOUR AT EXTERIOR EXIT STAIRWAYS  
 1-HOUR AT VERTICAL SHAFTS  
 FIRE SPRINKLERS: YES - NFPA 13R  
 ALARM SYSTEM: YES  
 NO. OF STORIES: 2 and 3  
 ALLOWABLE BUILDING HEIGHT: 42 FEET  
 ALLOWABLE AREA: 21,000 R<sup>2</sup> PER STORY

**BUILDING SUMMARY BY GROSS AREA**

(including covered patios, balconies, breezeways):

BLDG. 1 (12 UNITS):	8,896 GROSS S.F.
BLDG. 2 (4-CAR GARAGE with 2 CARRIAGE UNITS ABOVE):	2,266 GROSS S.F.
BLDG. 3 (12 UNITS):	8,896 GROSS S.F.
BLDG. 4 (4-CAR GARAGE with 2 CARRIAGE UNITS ABOVE):	2,266 GROSS S.F.
BLDG. 5 (4-CAR GARAGE with 2 CARRIAGE UNITS ABOVE):	2,266 GROSS S.F.
BLDG. 6 (5-CAR GARAGE with 2 CARRIAGE UNITS ABOVE):	2,783 GROSS S.F.
BLDG. 7 (5-CAR GARAGE with 2 CARRIAGE UNITS ABOVE):	2,783 GROSS S.F.
BLDG. 8 (4 UNITS):	4,592 GROSS S.F.
BLDG. 9 (4-CAR GARAGE with 2 CARRIAGE UNITS ABOVE):	2,266 GROSS S.F.
<b>TOTAL ALL BUILDINGS:</b>	<b>37,015 GROSS S.F.</b>

**PROJECT TEAM**

**OWNER**  
 NEPTUNE INVESTMENT, LLC REZA SHERA  
 261 N. HIGHWAY 101 (855) 401-9090  
 SOLANA BEACH CA 92075 rezashera@gmail.com

**ARCHITECT**  
 FORMGREY STUDIO, LLC NATHANIEL B. HUDSON, AIA, NCARB  
 400 S WELLS AVE., SUITE B (775) 507-7200  
 RENO NV 89502 nhudson@formgrey.com

**GENERAL CONTRACTOR**  
 TBD

**CIVIL**  
 SCO PLANNING & ENGINEERING, INC. (530) 272-5841  
 140 LITTON DRIVE, SUITE 240 MARTIN WOOD, P.L.S.: martinwood@scopeinc.net  
 GRASS VALLEY CA 95645 JASON BARNUM, P.E.: jason@scopeinc.net

**STRUCTURAL**  
 TBD

**MECHANICAL**  
 TBD

**ELECTRICAL**  
 TBD

**LANDSCAPE**  
 A THYME TO PLANT, INC. SHANA BEHAN / JUAN MUNOZ  
 (530) 548-5029  
 shana@athymetoplantthahoe.com

**PROJECT DESCRIPTION**

40 DWELLING UNITS CONSISTING OF THREE APARTMENT BUILDINGS AND SIX MULTI-CAR CARRIAGE HOUSES WITH DWELLING UNITS ABOVE. SITE IMPROVEMENTS AND LANDSCAPING.

PROJECT INFORMATION, CODES

a001



FORMGREY STUDIO  
 400 South Wells Avenue, Suite B, Reno NV 89502 | www.formgrey.com | (775) 507-7200

SILVER CREEK APARTMENTS  
 Client: Neptune Investment, LLC

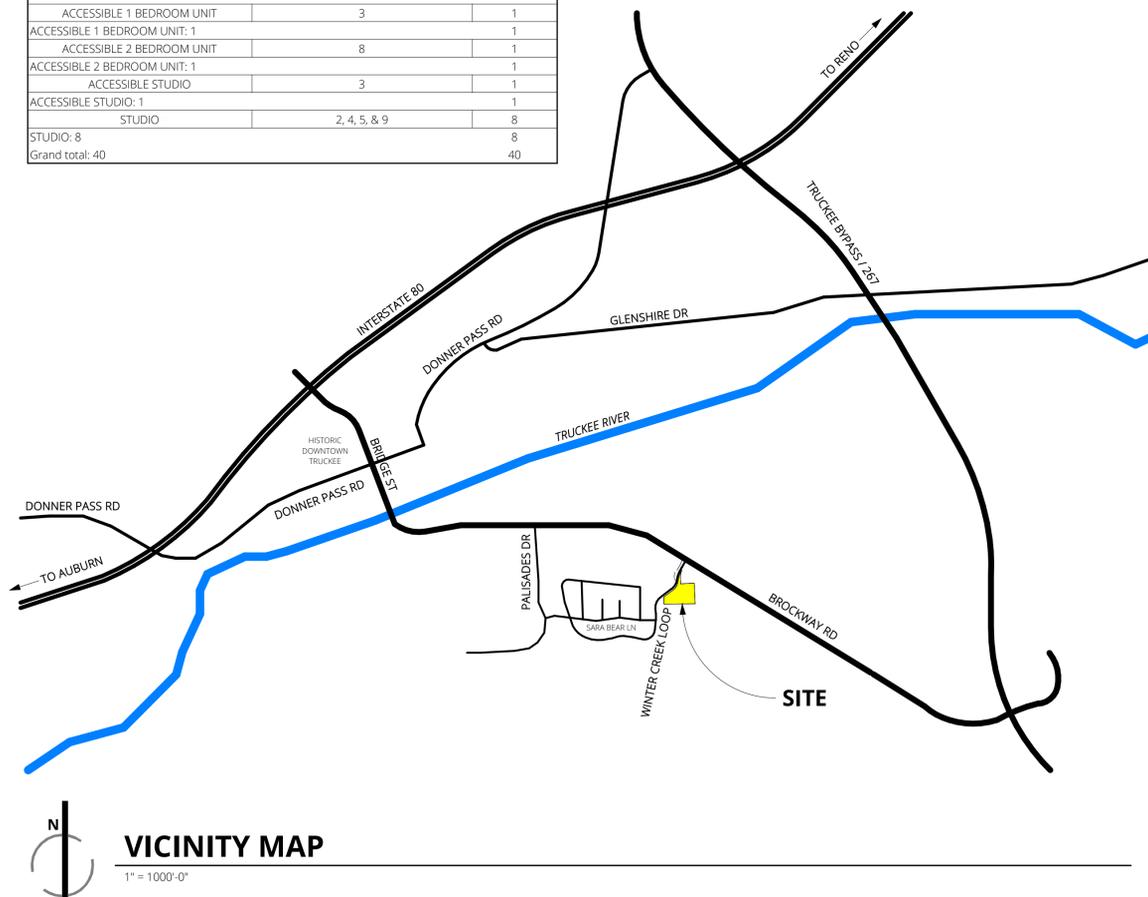
Winter Creek Loop  
 Truckee CA 96161

SCHEMATIC DESIGN v2

Issue Date: 07-05-24

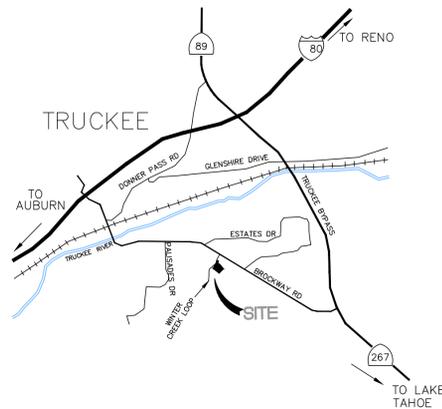
FGS Project #: 2023-05

NOT FOR CONSTRUCTION



VICINITY MAP

1" = 1000'-0"



**VICINITY MAP**  
NO SCALE

LAND USE	Proposed		
	Sq. Ft.	AC	%
Bldg Footprint	13,980	0.41	18.7
Asphalt *	27,782	0.64	37.3
Concrete	5,647	0.13	7.6
Trail	1,030	0.02	1.4
Landscape/OS	26,048	0.60	35.0
<b>TOTAL</b>	<b>74,487</b>	<b>1.71</b>	<b>100</b>

PARKING STATISTICS	Proposed	Required
	Covered Parking	26
Standard Parking	37	TBD
Compact Parking	9	N/A
ADA Parking	4	3
<b>TOTAL</b>	<b>76</b>	<b>76</b>

**OWNER**  
NEPTUNE INVESTMENT, LLC  
251 N. HIGHWAY 101  
SOLANA BEACH, CA 92075  
ATTN: REZA SHERA (858) 401-9090

**SITE ADDRESS**  
WINTER CREEK LOOP  
TRUCKEE, CA, 96161

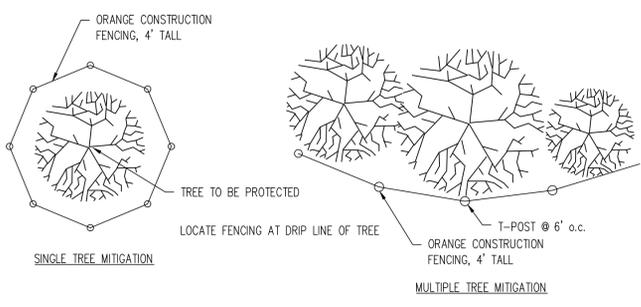
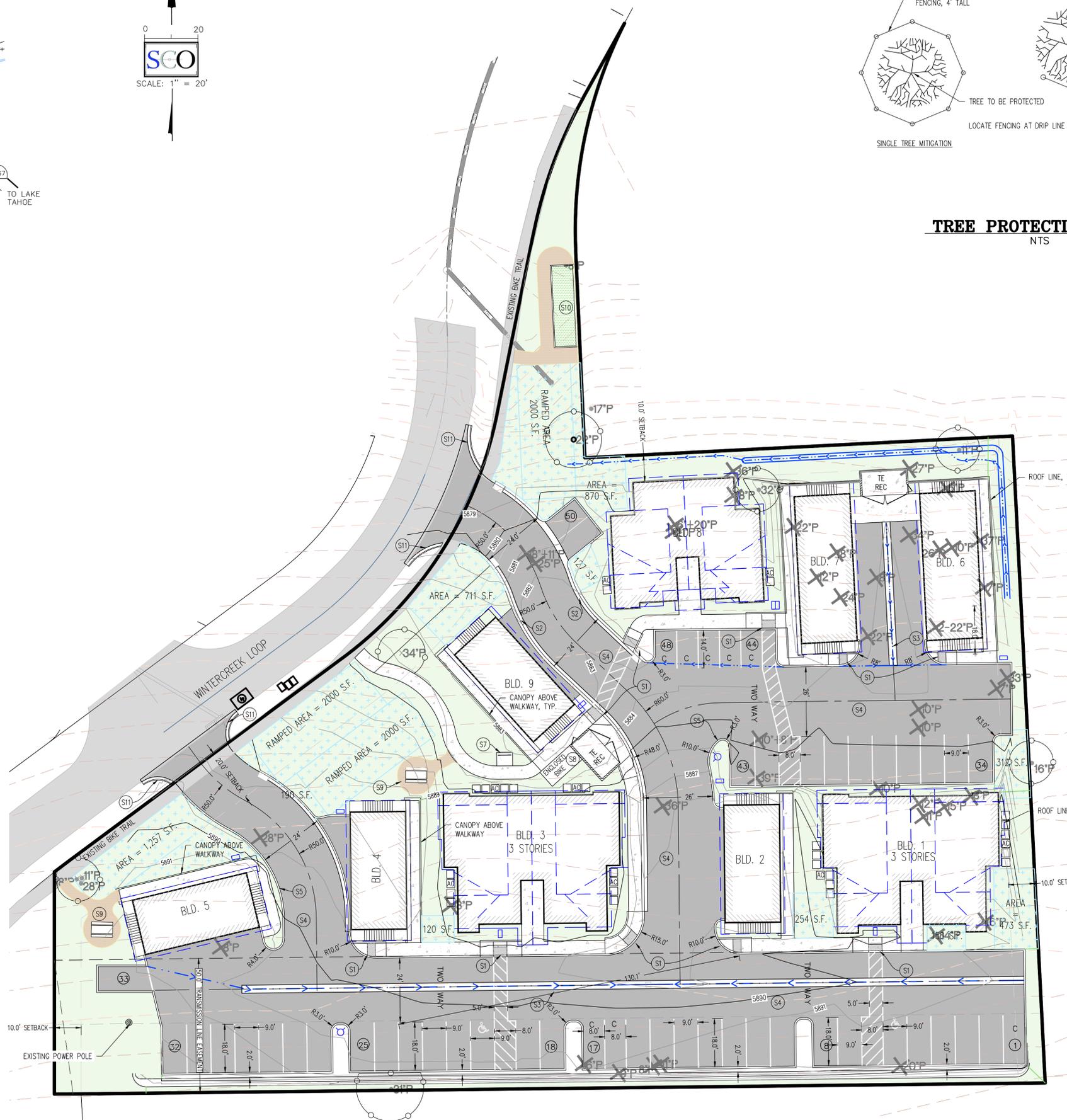
**PLANNING/ENGINEERING**  
SCO PLANNING & ENGINEERING, INC.  
140 LITTON DRIVE, SUITE 240  
GRASS VALLEY, CA 95645  
(530) 272-5841  
CONTACT: MARTIN WOOD, P.L.S. or JASON BARNUM, P.E.

**ASSESSOR'S PARCEL NUMBER**  
019-820-001-000

**ACREAGE**  
1.71± ACRES

**ZONING**  
MULTI-FAMILY RESIDENTIAL

**PROPOSED DENSITY**  
17 UNITS/ ACRE - 40 MULTI-FAMILY



**TREE PROTECTION DETAIL**  
NTS

**LEGEND**

- PROPERTY LINE
- EXISTING FENCE
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING TREE TO REMAIN (P) PINE (F) FIRE, DIAMETER INDICATED
- Trees to be removed - ± 42 TREES OF 53 TREES
- TREE PROTECTION - SEE TREE PROTECTION DETAIL THIS PAGE
- SNOW STORAGE AREA (TYPICAL)

**SNOW STORAGE CALCULATIONS:**

TOTAL ASPHALT = 27,780 S.F.  
REQUIRED SNOW STORAGE AREA = 13,890 S.F. (50%)  
ON SITE SNOW RAMPED AREAS = 6,000 S.F.  
ON SITE SNOW STORAGE = 10,570 S.F. (76.1% OF REQUIRED STORAGE)  
SNOW STORAGE OFF HAUL = 3,320 S.F. (23.9% OF REQUIRED)

**SNOW STORAGE NOTES:**

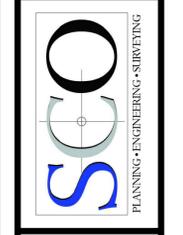
- SNOW POLES TO BE INSTALLED AT TOP BACK OF CURB, LOCATIONS TO BE APPROVED BY TOWN BEFORE INSTALLATION.

**SITE ITEMS:**

- S1 ADA RAMP
- S2 MODIFIED TYPE E CURB AND GUTTER
- S3 3" CONCRETE VALLEY GUTTER
- S4 NEW AC SECTION 3" ON 8" MIN.
- S5 TYPE A1-6 CURB
- S6 DEPRESS CURB AND SIDEWALK FOR ACCESS TO PARKING AREA
- S7 BIKE PARKING RACK
- S8 ENCLOSED BIKE STORAGE
- S9 GATHERING/PICNIC AMENITY AREA
- S10 SMALL BOCCO COURT AMENITY AREA
- S11 MOUNTABLE AC DIKE TO MATCH WINTERCREEK LOOP

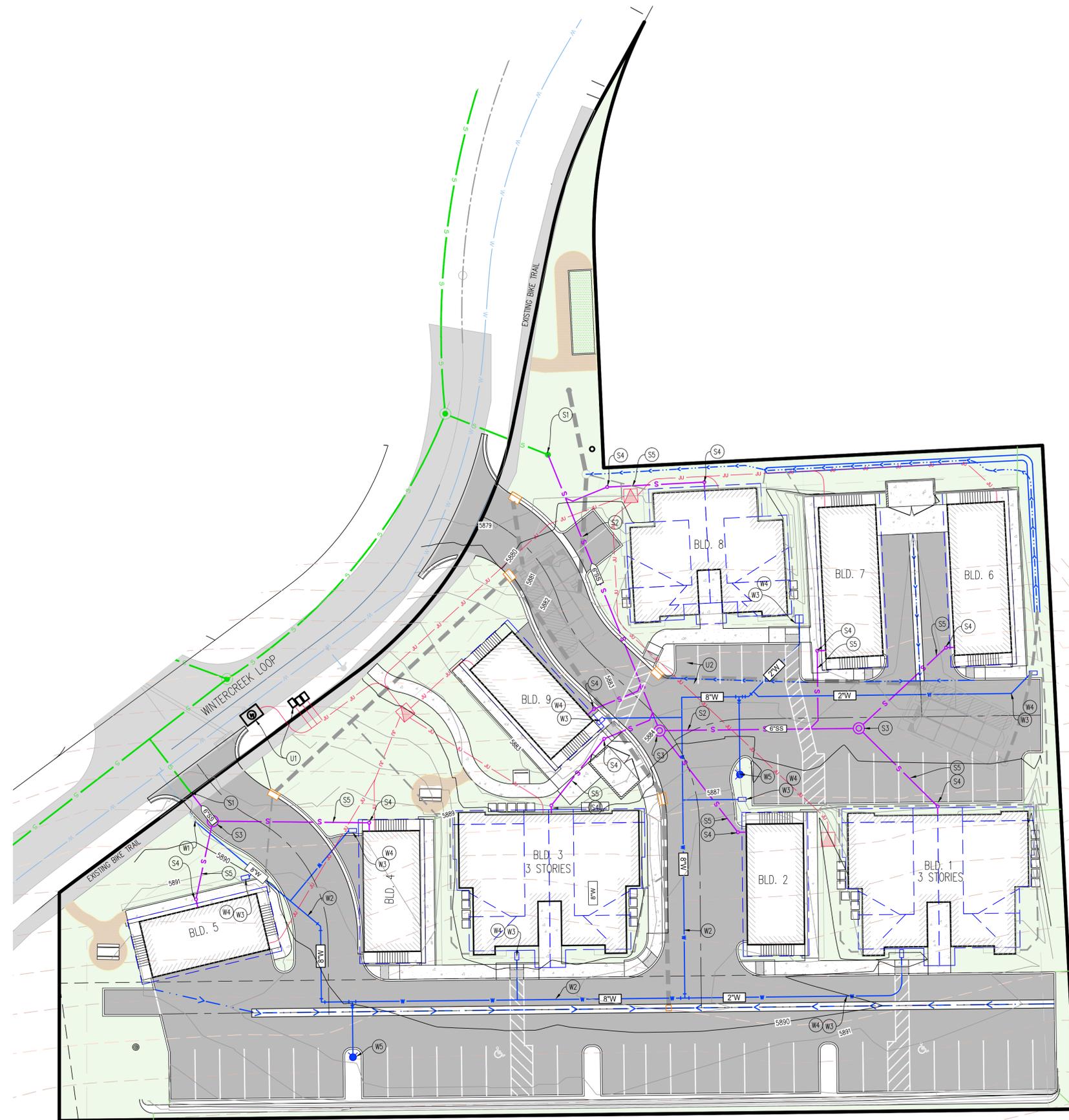
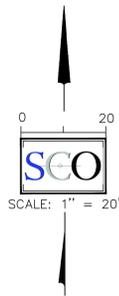
NO.	REVISIONS	DATE	DESIGNED: JTB	DRAWN: JTB	PROJ. NO: 202310	DATE: JULY, 2024	DWG: SEE DAY STAMP

CIVIL IMPROVEMENT PLANS  
 SILVER CREEK  
 SITE, SNOW STORAGE AND TREE REMOVAL PLAN  
 GRASS VALLEY CALIFORNIA



GRASS VALLEY  
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TRUCKEE  
(530) 582-4048





**LEGEND**

- PROPERTY LINE
- WATER LINE PIPE (SIZE AS NOTED)
- SEWER LINE (SIZE AS NOTED)
- GAS LINE
- JOINT TRENCH (DRY UTILITIES)
- ELECTRIC LINE
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- FLOW LINE
- DOUBLE WATER SERVICE
- SINGLE WATER SERVICE
- FIRE HYDRANT
- 4" SINGLE SEWER LATERAL CLEAN OUT TO GRADE
- SEWER MANHOLE
- ELECTRIC TRANSFORMER & VAULT
- COMCAST BOX & TDPUD ELECTRIC BOX
- SUDDENLINK & AT&T BOX
- CONCRETE HARDSCAPE
- ASPHALT PAVEMENT

**UTILITY NOTES & FACILITIES:**

MAINTAIN MINIMUM SEPARATION FOR ALL UTILITIES PER UTILITY COMPANY STANDARD SPECIFICATIONS AND TDPUD STD. DWG. NO. UT-S3.

CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF ACTUAL LOCATION AND DEPTH DIFFERS SIGNIFICANTLY FROM LOCATION AND DEPTH SHOWN ON PLANS.

CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO OBTAIN FINAL CONSTRUCTION DRAWINGS AND STANDARD SPECIFICATIONS. ALL UNDERGROUND CONDUIT AND PIPING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE CALIFORNIA PLUMBING CODE AS WELL AS PLANS/STANDARDS AND DETAILS OF THE LOCAL UTILITY COMPANY HAVING JURISDICTION.

NATURAL GAS PIPING TO THE GAS METER SHALL BE INSTALLED BY SW GAS (ALL TRENCHING AND BACKFILL BY CONTRACTOR). NATURAL GAS PIPING BEYOND THE METER SHALL BE INSTALLED BY THE CONTRACTOR PER THE APPROVED PLUMBING PLAN. ALL UNDERGROUND PIPE TO BE INSTALLED WITH TRACER WIRE PLACED 12" ABOVE PIPE WITH YELLOW WARNING TAPE LABELED "DANGER GAS PIPE".

U1 CONNECT TO EXISTING SERVICE VAULTS  
 U2 INSTALL JOINT TRENCH

**WATER NOTES & FACILITIES:**

WHERE WATERLINE INTERSECTS ABOVE SD OR SEWER LINE CONTRACTOR SHALL INSTALL A FULL STICK OF WATER PIPE SHOULD BE CENTERED ON THE STORM DRAIN OR SEWER, WHEN THE WATER PIPE IS BELOW THE STORM DRAIN OR SEWER.

MAINTAIN MINIMUM SEPARATION FOR ALL UTILITIES PER TDPUD STD. DWG. NO. W-44.2. PROVIDE 24" MINIMUM CLEARANCE FROM WATER FACILITIES TO ANY OTHER UTILITY. THIS INCLUDES ALL ELECTRIC, GAS, TELEPHONE AND CABLE FACILITIES, ABOVE OR BELOW GROUND.

SEE W-6.3 AND W-8.2 FOR THRUST BLOCK AND MECHANICAL PIPE RESTRAINT NOTES.

CONTRACTOR SHALL ADJUST ALL (E) UTILITY BOXES, VAULTS AND MANHOLES WHICH OCCUR WITHIN NEW PAVEMENT TO 1/2" TO 1/4" BELOW FINISH GRADE. CONTRACTOR SHALL UPGRADE ALL BOXES, VAULTS AND LIDS TO H-20 TRAFFIC RATED WHERE BOXES VAULTS AND LIDS OCCUR WITHIN VEHICLE TRAFFIC AREAS.

SEE LANDSCAPE PLANS FOR IRRIGATION PIPE, VALVES AND SLEEVE LOCATIONS.

W1 CONNECT TO EXISTING LATERAL  
 W2 INSTALL 8" PVC C900 WATERLINE  
 W3 INSTALL PE DOMESTIC SERVICE TO BUILDING WITH WATER METER  
 W4 INSTALL FIRE SERVICE  
 W5 INSTALL FIRE HYDRANT ASSEMBLY

**SEWER NOTES & FACILITIES:**

ALL SEWER INSTALLATION SHALL MEET OR EXCEED DISTRICT CODE ORDINANCE 1-2021.

SEWER LATERAL NOTE: ALL 4" SEWER LATERALS SHALL BE CONSTRUCTED 2% MIN SLOPE PER FIG. 8 SHT. C8.5. ONCE BEYOND CROSSING WITH OTHER UTILITIES SUCH AS WATER AND STORM DRAIN LATERALS CAN BE STEEPENED TO HAVE CLEANOUTS TO GRADE AND LATERAL AT 48" MIN DEPTH TYPICAL ALL LOTS.

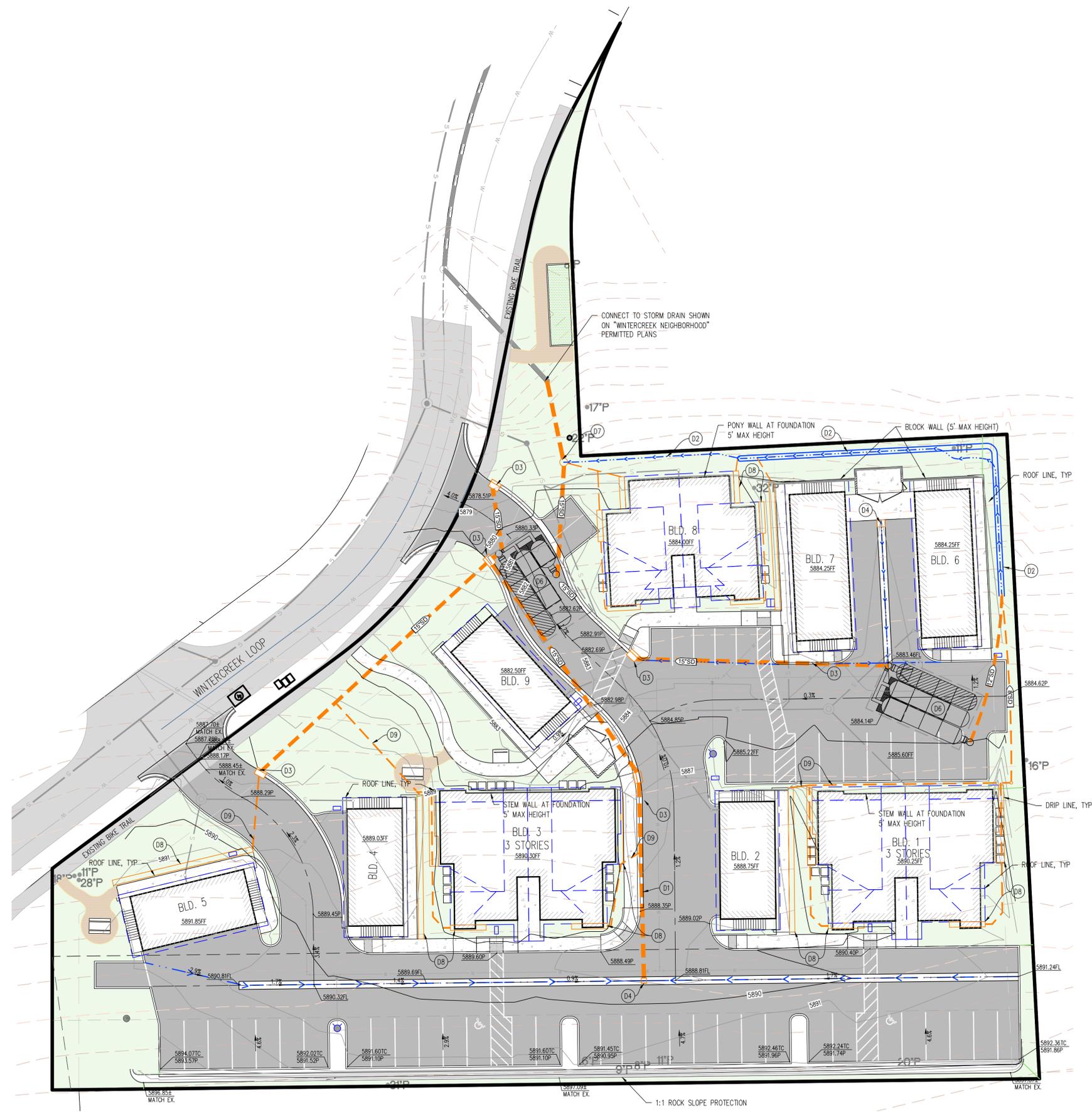
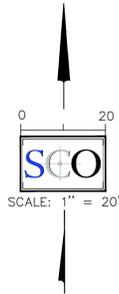
ALL SEWER LATERALS 2% MIN TO MANHOLE OR WYE. PER TSD FIG 8 NOTE.

WHERE SEWER LATERALS CROSS WATER LINE MAINTAIN 2% OFF OF WYE AND RISE AFTER CROSSING

S1 CONNECT TO EXISTING LATERAL  
 S2 INSTALL 6" SEWER MAIN  
 S3 INSTALL SANITARY SEWER MANHOLE  
 S4 INSTALL CLEANOUT TO GRADE  
 S5 INSTALL SEWER LATERAL

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CIVIL IMPROVEMENT PLANS SILVER CREEK UTILITY PLAN								
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2 OF 3								

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**LEGEND**

- PROPERTY LINE
- STORM DRAIN PIPE
- FIRE HYDRANT
- DRAINAGE INLET
- STORM DRAIN MANHOLE
- 4" SINGLE SEWER LATERAL CLEAN OUT TO GRADE
- SEWER MANHOLE
- CONCRETE HARDSCAPE
- ASPHALT PAVEMENT

**DRAINAGE FACILITIES:**

- D1 HDPE STORM DRAIN PIPE TO SIZE SHOWN.
- D2 TYPE 1/1R DITCH SEE DITCH SHALL BE ROCK LINED PER TYPE 1R WHEN SLOPES EXCEED 5%.
- D3 TYPE E/ROTATED TYPE E DRAINAGE INLET
- D4 24" SQUARE DRAINAGE INLET
- D5 NOT IN USE.
- D6 STORMTECH CHAMBERS STRUCTURE.
- D7 36" CMP DRAINAGE INLET
- D8 ARMORED DRIP LINE AT ROOF SHED.
- D9 PERFORATED (SOLID UNDER HARDSCAPE) ROOF DRAIN PIPE INTERCONNECTED WITH NECESSARY FITTINGS AND AREA DRAINS

**PRELIMINARY EARTHWORK**

CUT: 5912 C.Y.  
 FILL: 684 C.Y.  
 HARDSCAPE/ BUILDING SECTIONS AND CLEARING LOSS: 770 C.Y.  
 NET EARTHWORK: 5998 C.Y. EXPORT

	DESIGNED: JTB	DATE	NO. REVISIONS	DATE	NO. REVISIONS
	DRAWN: JTB				
	PROJ. NO: 202310				
	DATE: JULY, 2024				
	DWG: SEE DAY STAMP				

CIVIL IMPROVEMENT PLANS  
 SILVER CREEK  
 GRADING AND DRAINAGE PLAN

GRASS VALLEY

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**3 OF 3**

DEFENSIBLE SPACE (Chapter 6)	TABLE 503.1 IGNITION-RESISTANT CONSTRUCTION					
	Fire Hazard Severity (Chapter 4)					
	Moderate Hazard		High Hazard		Extreme Hazard	
	Water Supply		Water Supply		Water Supply	
	Conforming	Nonconforming	Conforming	Nonconforming	Conforming	Nonconforming
Nonconforming	IR 2	IR 1	IR 1	IR 1 NC	IR 1 NC	Not Permitted
Conforming	IR 3	IR 2	IR 2	IR 1	IR 1	IR 1 NC
1.5 Conforming	Not Required	IR 3	IR 3	IR 2	IR 2	IR 1

Note: IR 1 NC shall have exterior walls of 1 hour fire resistive construction and exterior siding material shall be noncombustible

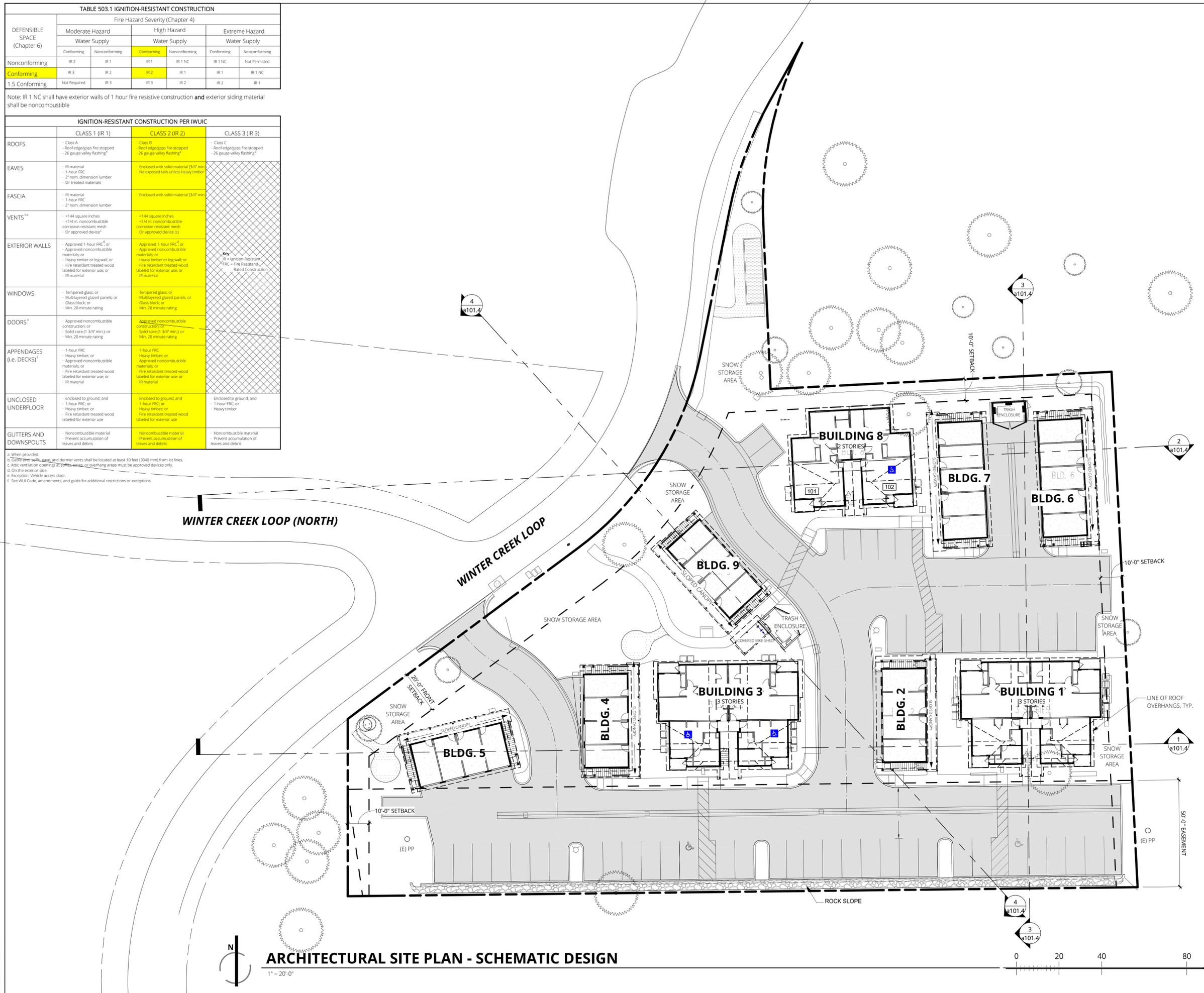
	IGNITION-RESISTANT CONSTRUCTION PER IWUC		
	CLASS 1 (IR 1)	CLASS 2 (IR 2)	CLASS 3 (IR 3)
ROOFS	Class A Roof edge/gaps fire stopped 26 gauge valley flashing <sup>2</sup>	Class B Roof edge/gaps fire stopped 26 gauge valley flashing <sup>2</sup>	Class C Roof edge/gaps fire stopped 26 gauge valley flashing <sup>2</sup>
EAVES	IR material 1-hour FRC 2" nom. dimension lumber Or treated materials	Enclosed with solid material (3/4" min.) No exposed tails unless heavy timber	
FASCIA	IR material 1-hour FRC 2" nom. dimension lumber	Enclosed with solid material (3/4" min.)	
VENTS <sup>3,c</sup>	<144 square inches <1/4 in. noncombustible corrosion-resistant mesh Or approved device <sup>4</sup>	<144 square inches <1/4 in. noncombustible corrosion-resistant mesh Or approved device (c)	
EXTERIOR WALLS	Approved 1-hour FRC <sup>5</sup> or Approved noncombustible materials; or Heavy timber or log wall; or Fire retardant treated wood labeled for exterior use; or IR material	Approved 1-hour FRC <sup>5</sup> or Approved noncombustible materials; or Heavy timber or log wall; or Fire retardant treated wood labeled for exterior use; or IR material	Key IR - Ignition Resistant FRC - Fire Resistant Rated Construction
WINDOWS	Tempered glass; or Multilayered glazed panels; or Glass block; or Min. 20 minute rating	Tempered glass; or Multilayered glazed panels; or Glass block; or Min. 20 minute rating	
DOORS <sup>6</sup>	Approved noncombustible construction; or Solid core (1/2" min.); or Min. 20 minute rating	Approved noncombustible construction; or Solid core (1/2" min.); or Min. 20 minute rating	
APPENDAGES (i.e. DECKS) <sup>7</sup>	1-hour FRC Heavy timber; or Approved noncombustible materials; or Fire retardant treated wood labeled for exterior use; or IR material	1-hour FRC Heavy timber; or Approved noncombustible materials; or Fire retardant treated wood labeled for exterior use; or IR material	
UNCLOSED UNDERFLOOR	Enclosed to ground; and 1-hour FRC; or Heavy timber; or Fire retardant treated wood labeled for exterior use	Enclosed to ground; and 1-hour FRC; or Heavy timber; or Fire retardant treated wood labeled for exterior use	Enclosed to ground; and 1-hour FRC; or Heavy timber
GUTTERS AND DOWNSPOUTS	Noncombustible material Prevent accumulation of leaves and debris	Noncombustible material Prevent accumulation of leaves and debris	Noncombustible material Prevent accumulation of leaves and debris

a. When provided.  
b. On the exterior side.  
c. Attic ventilation openings at eaves or overhang areas must be approved devices only.  
d. On the exterior side.  
e. Exception: Vehicle access door.  
f. See WUI Code, amendments, and guide for additional restrictions or exceptions.

**SITE PLAN NOTES**

APN: 019-820-001-000  
OWNER: NEPTUNE INVESTMENT, LLC

1. THERE IS AN AVAILABLE PUBLIC WATER SYSTEM.
2. THIS IS NOT A LEGAL SURVEY. PROPERTY DESCRIPTION INFORMATION ON THIS SHEET FOR GENERAL USE ONLY.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM PERIMETER OF BUILDING, MINIMUM SLOPE 5% FOR 10' MIN. AWAY FROM BLDG.
4. SLOPE ALL CONCRETE 2% UNLESS NOTED OTHERWISE.
5. CONNECT UTILITY EXTENSIONS TO EXISTING UTILITIES. CONTRACTOR TO VERIFY LOCATIONS OF EXTENSIONS.
6. LIMITS OF CONSTRUCTION, STORAGE AREA, & VEGETATION OF CONCERN TO BE COORDINATED W/ OWNER OR ARCHITECT
7. INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PER REQUIRED BMP'S PRIOR TO BEGINNING CONSTRUCTION.
8. FOR REMAINING SITE INFORMATION REFER TO CIVIL AND LANDSCAPE DRAWINGS.



SCHMATIC  
ARCHITECTURAL SITE  
PLAN

a101



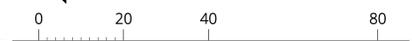
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APARTMENTS  
Client: Neptune Investment, LLC

Winter Creek Loop  
Truckee CA 96161

ARCHITECTURAL SITE PLAN - SCHEMATIC DESIGN

1" = 20'-0"



SCHEMATIC DESIGN v2

Issue Date: 07-05-24

FGS Project #: 2023-05

NOT FOR CONSTRUCTION

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NOTE: SHADED AREAS DENOTE AFFORDABLE UNITS #:  
 BUILDING 2: 201 & 202  
 BUILDING 4: 201 & 202  
 BUILDING 6: 202

SCHEMATIC 2nd FLOOR SITE PLAN

a101.1



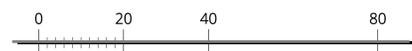
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Winter Creek Loop  
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ARCHITECTURAL 2nd FLOOR SITE PLAN - SCHEMATIC DESIGN

1" = 20'-0"



SCHEMATIC DESIGN v2

Issue Date: 07-05-24

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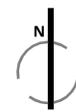
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WINTER CREEK LOOP (NORTH)

WINTER CREEK LOOP



**SITE ROOF PLAN - SCHEMATIC DESIGN**

1" = 20'-0"



SCHEMATIC ROOF  
SITE PLAN

a101.2



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Truckee CA 96161

**SCHEMATIC DESIGN v2**

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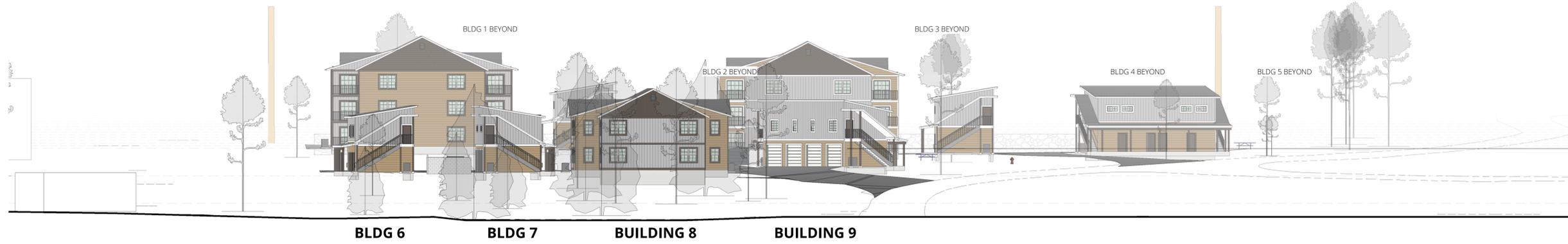
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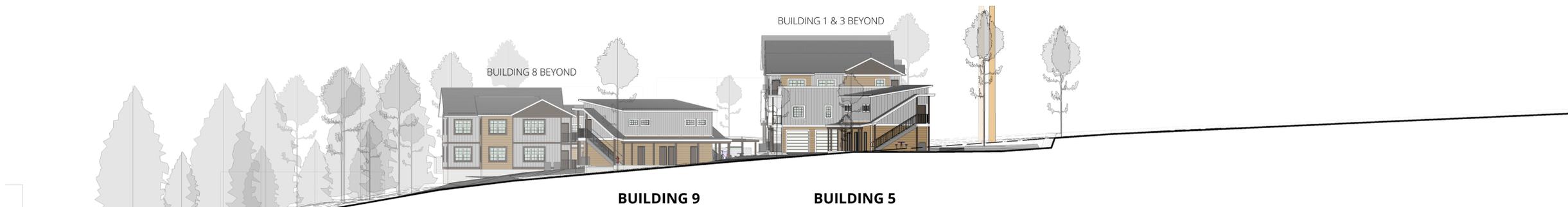
**4 SITE SOUTH ELEVATION**  
1" = 20'-0"



**3 SITE EAST ELEVATION**  
1" = 20'-0"



**2 SITE NORTH ELEVATION**  
1" = 20'-0"



**1 SITE WEST ELEVATION**  
1" = 20'-0"

SCHMATIC OVERALL  
SITE ELEVATIONS

a101.3



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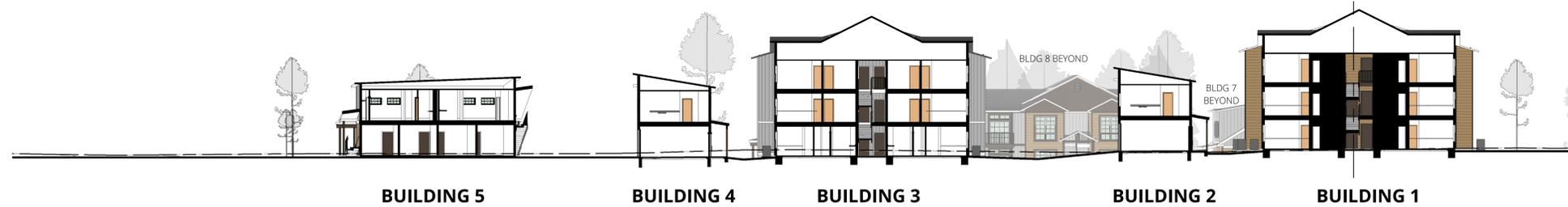
**4 SITE SECTION 4**  
1" = 20'-0"



**3 SITE SECTION 3**  
1" = 20'-0"



**2 SITE SECTION 2**  
1" = 20'-0"



**1 SITE SECTION 1**  
1" = 20'-0"

SCHMATIC SITE SECTIONS  
**a101.4**



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**SCHMATIC DESIGN v2**

Issue Date: 07-05-24

FGS Project #: 2023-05

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**FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD, AND FACE-OF-BLOCK TO FACE-OF-BLOCK (U.N.O.)
2. ALL LUMBER TO BE FOREST STEWARDSHIP COUNCIL CERTIFIED DOUGLAS FIR#2 OR BETTER (U.N.O.)
3. ALL FINISH MATERIALS NOT SPECIFIED TO BE COORDINATED WITH OWNER AND/OR ARCHITECT.
4. PROVIDE SOLID BLOCKING BEHIND ALL FIXTURES AND WALL MOUNTED ACCESSORIES.
5. ANY WALLS THAT ARE MODIFIED, REPLACE GYP. BD. W/ 5/8" TYPE 'X' GYP. BD.
6. WHERE (E) STUD WIDTHS VARY FROM NEW WALL TYPE STUD WIDTH, MATCH (E) STUD WIDTH.
7. PROVIDE WALL & FLOOR STOPS AT DOORS AS REQUIRED.
8. (E) WALLS REQUIRING OPENINGS TO BE INFILLED SHALL MATCH (E) CONSTRUCTION & FIRE RATING.
9. ALL PLYWOOD SHEATHING SHALL BE FOREST STEWARDSHIP COUNCIL CERTIFIED (U.N.O.).

**BLDG 1 AREA SUMMARY (Gross Building)**

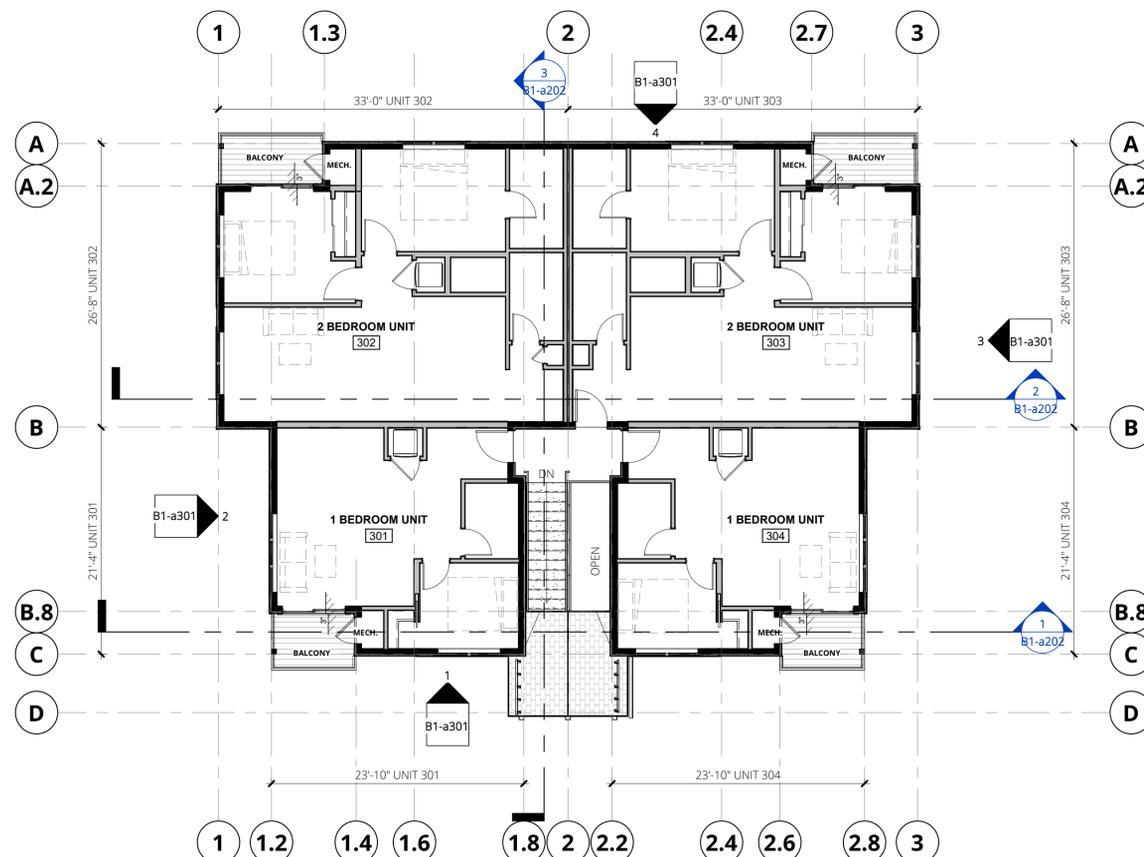
NAME	GROSS AREA
CONDITIONED SPACES	7,870.17 SF
COVERED BALCONIES	376.00 SF
COVERED BREEZEWAYS	462.82 SF
COVERED PATIOS	188.00 SF
	8,896.98 SF

**BUILDING 1 UNIT SUMMARY**

UNIT NO.	TYPE	NET AREA
101	1 BEDROOM UNIT	435.72 SF
102	2 BEDROOM UNIT	780.28 SF
103	2 BEDROOM UNIT	780.28 SF
104	1 BEDROOM UNIT	434.21 SF
201	1 BEDROOM UNIT	435.72 SF
202	2 BEDROOM UNIT	780.28 SF
203	2 BEDROOM UNIT	780.28 SF
204	1 BEDROOM UNIT	434.21 SF
301	1 BEDROOM UNIT	435.72 SF
302	2 BEDROOM UNIT	780.28 SF
303	2 BEDROOM UNIT	780.28 SF
304	1 BEDROOM UNIT	434.21 SF

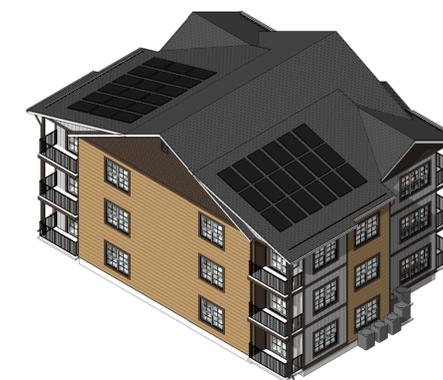
**BUILDING 1 UNIT COUNT**

TYPE	Count
1 BEDROOM UNIT	6
2 BEDROOM UNIT	6
	12



**3rd FLOOR PLAN - BUILDING 1**

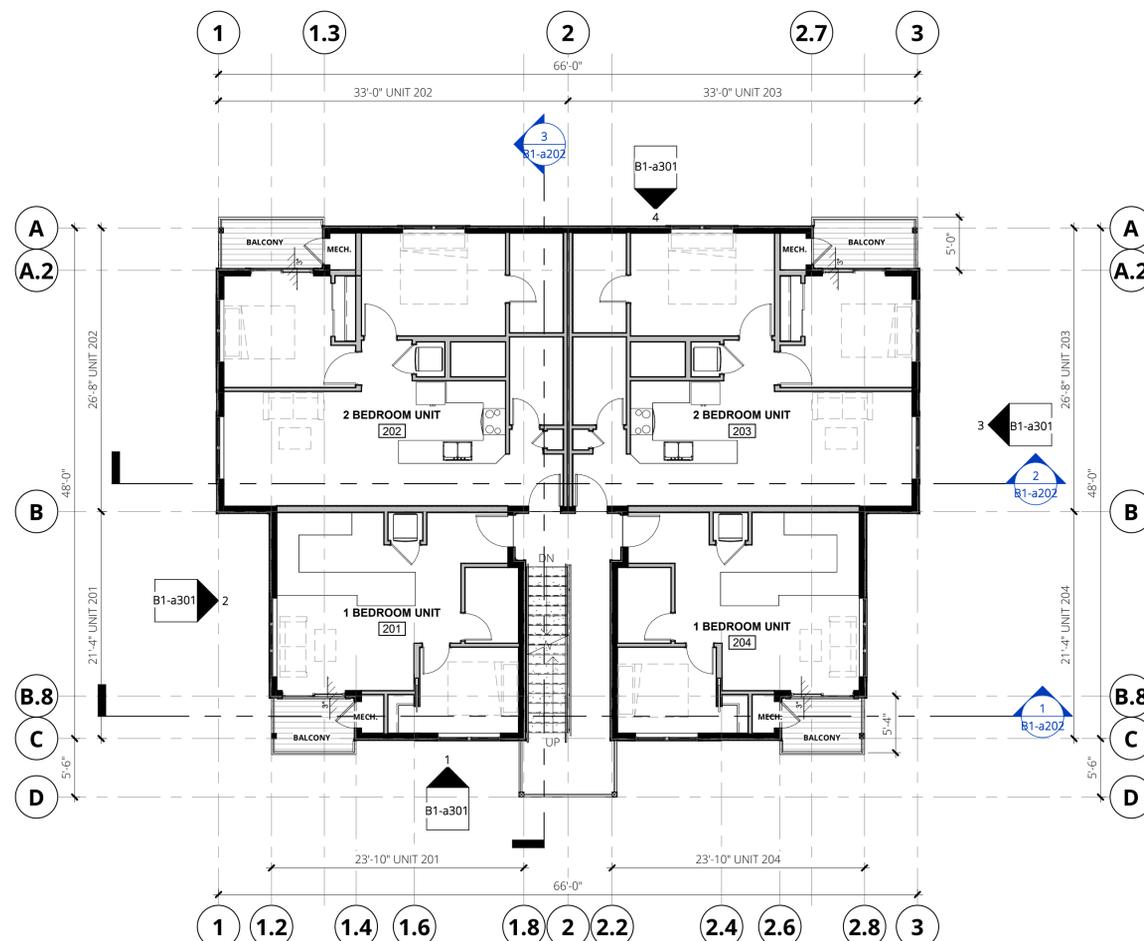
1/8" = 1'-0"



**ISOMETRIC - NORTHWEST VIEW**

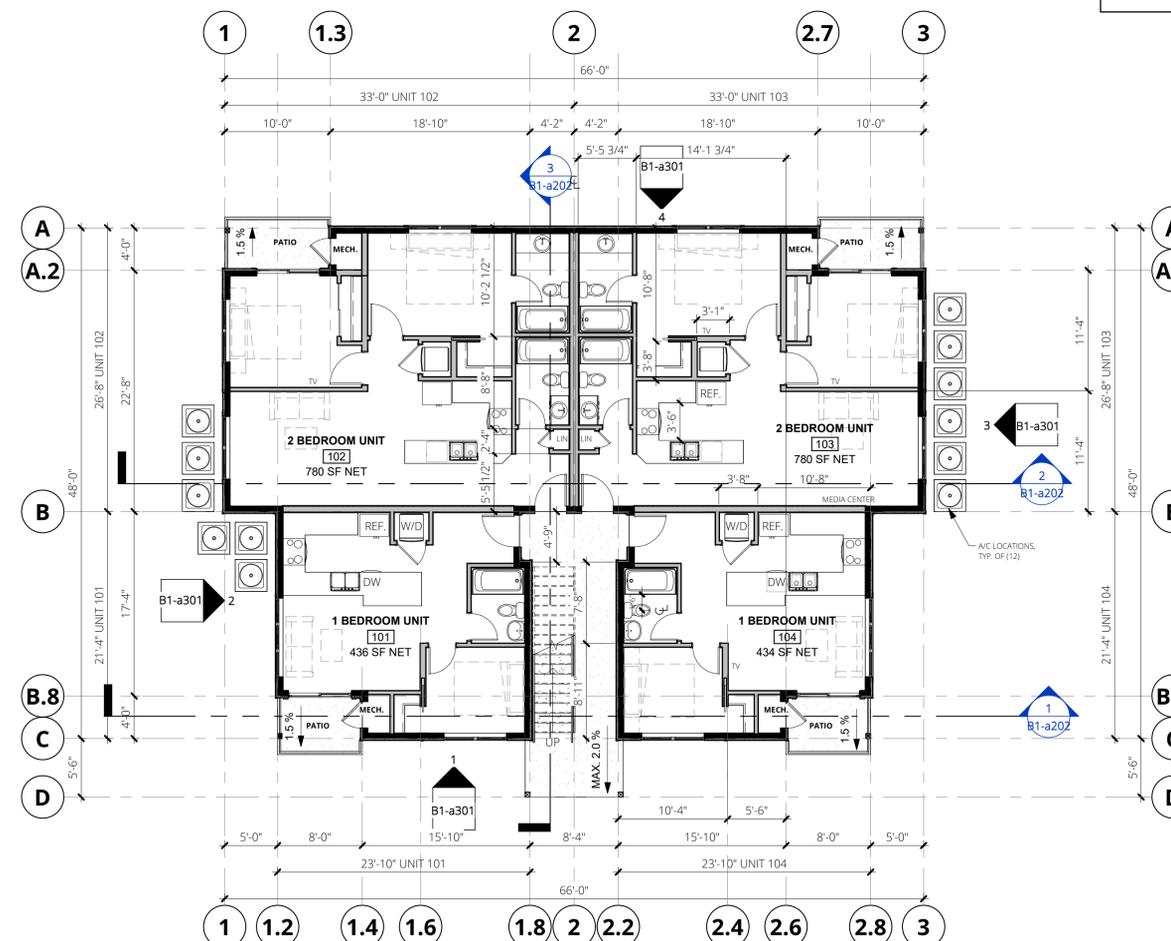


**ISOMETRIC - SOUTHEAST VIEW**



**2nd FLOOR PLAN - BUILDING 1**

1/8" = 1'-0"



**1st FLOOR PLAN - BUILDING 1**

1/8" = 1'-0"

**BUILDING 1  
SCHEMATIC FLOOR  
PLANS**

**B1-a201**



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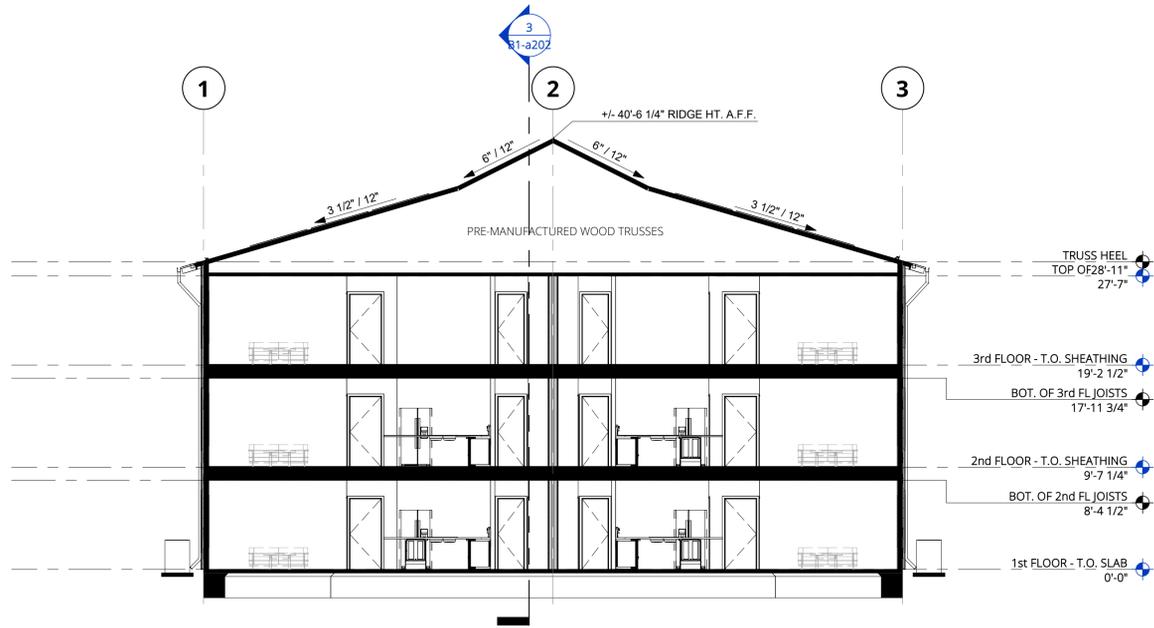
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**SCHEMATIC DESIGN v2**

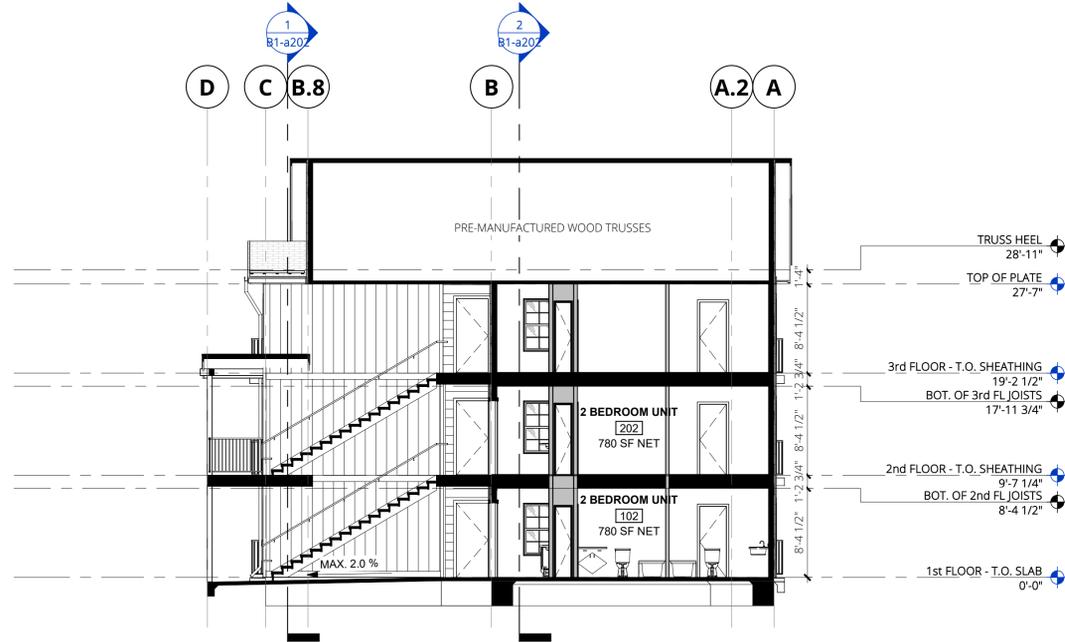
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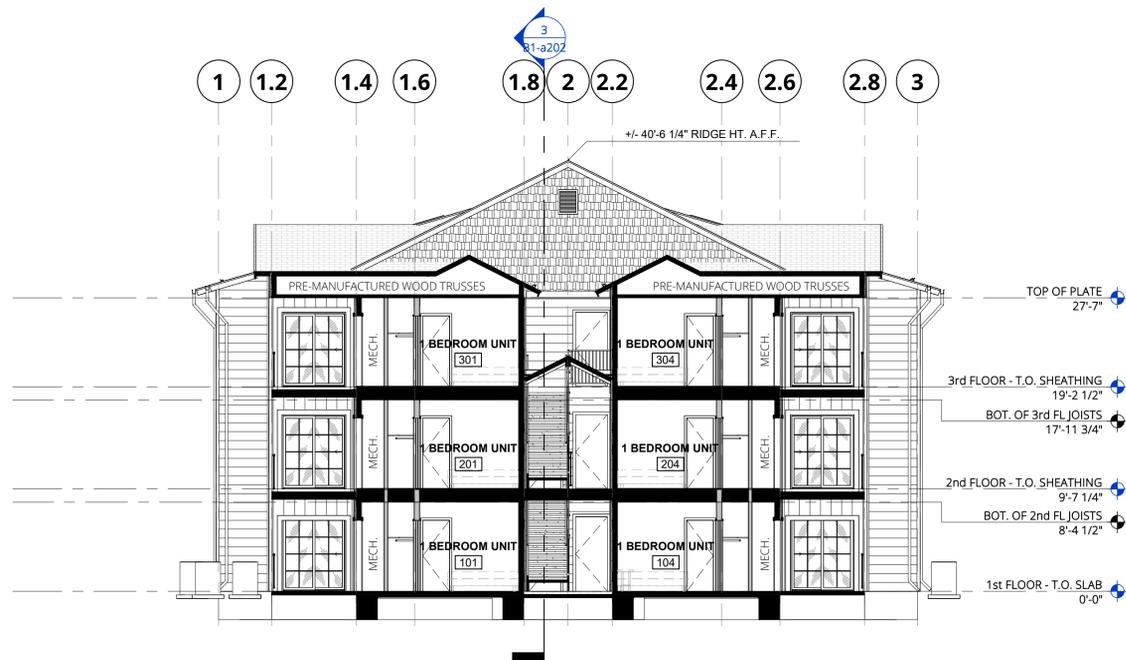
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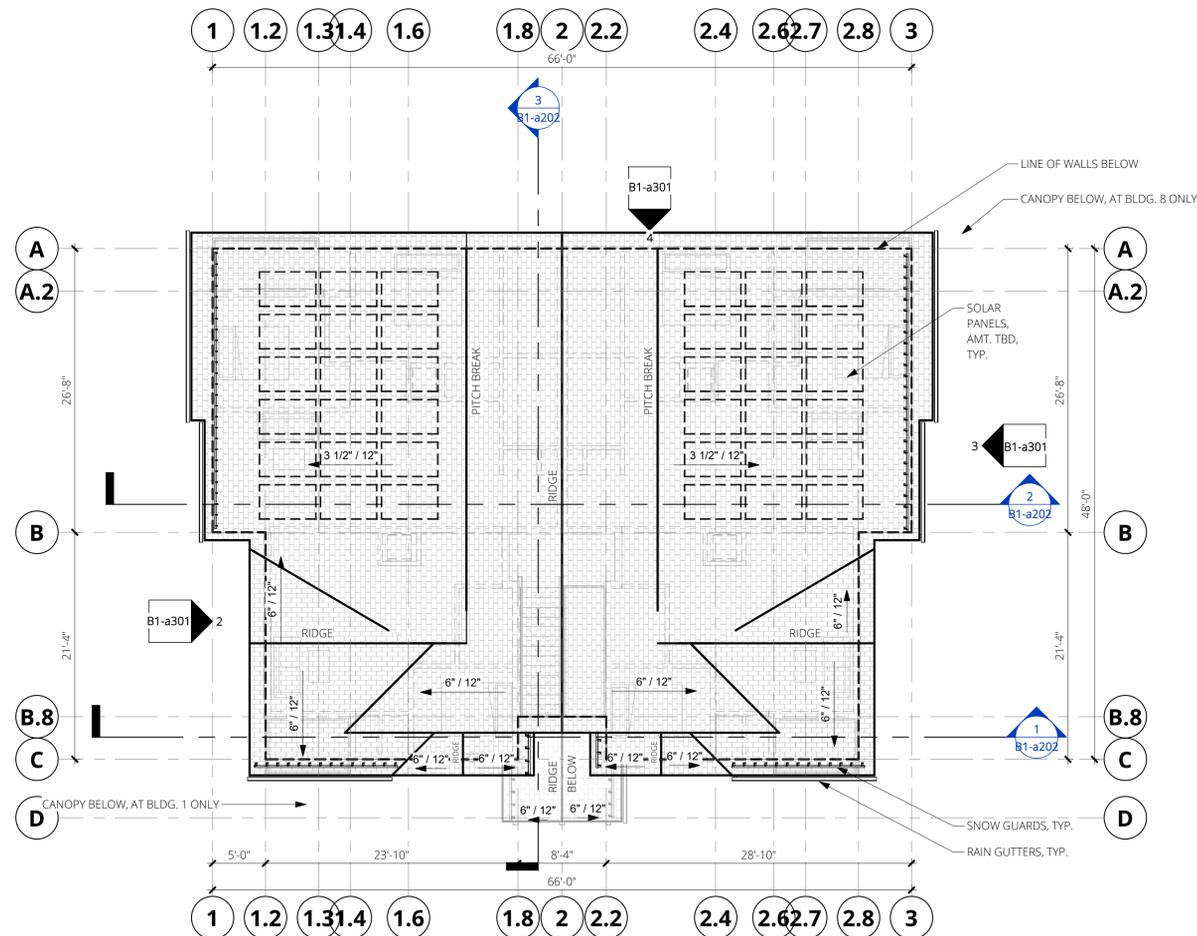
**2 SCHEMATIC BUILDING SECTION 2**  
1/8" = 1'-0"



**3 SCHEMATIC BUILDING SECTION 3**  
1/8" = 1'-0"



**1 SCHEMATIC BUILDING SECTION 1**  
1/8" = 1'-0"



**ROOF PLAN - BUILDING 1**  
1/8" = 1'-0"

BUILDING 1  
SCHEMATIC ROOF  
PLAN & SECTIONS  
**B1-a202**



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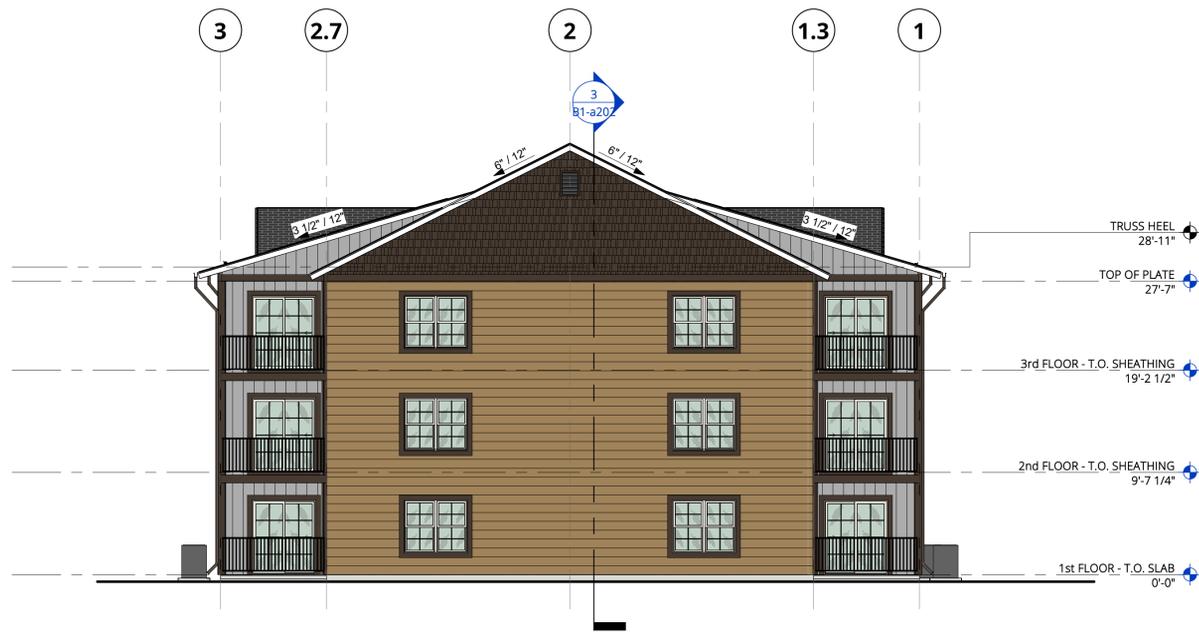
Winter Creek Loop  
Truckee CA 96161

SCHEMATIC DESIGN v2

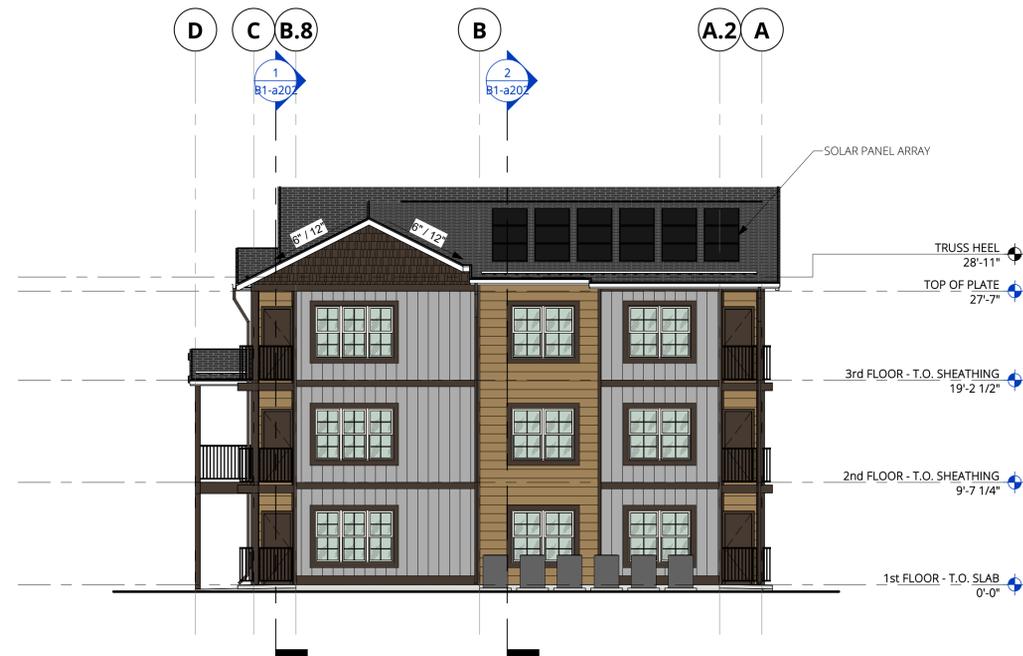
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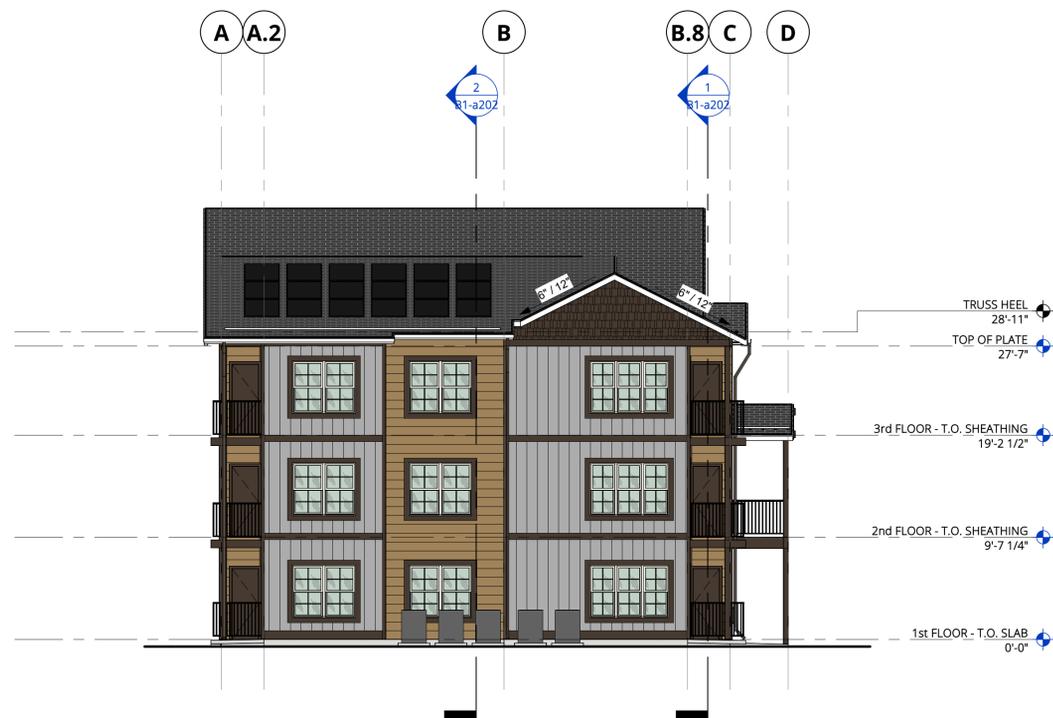
**NOT FOR CONSTRUCTION**



**4 REAR ELEVATION**  
1/8" = 1'-0"



**3 RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**2 LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

BUILDING 1  
SCHEMATIC EXTERIOR  
ELEVATIONS

**B1-a301**



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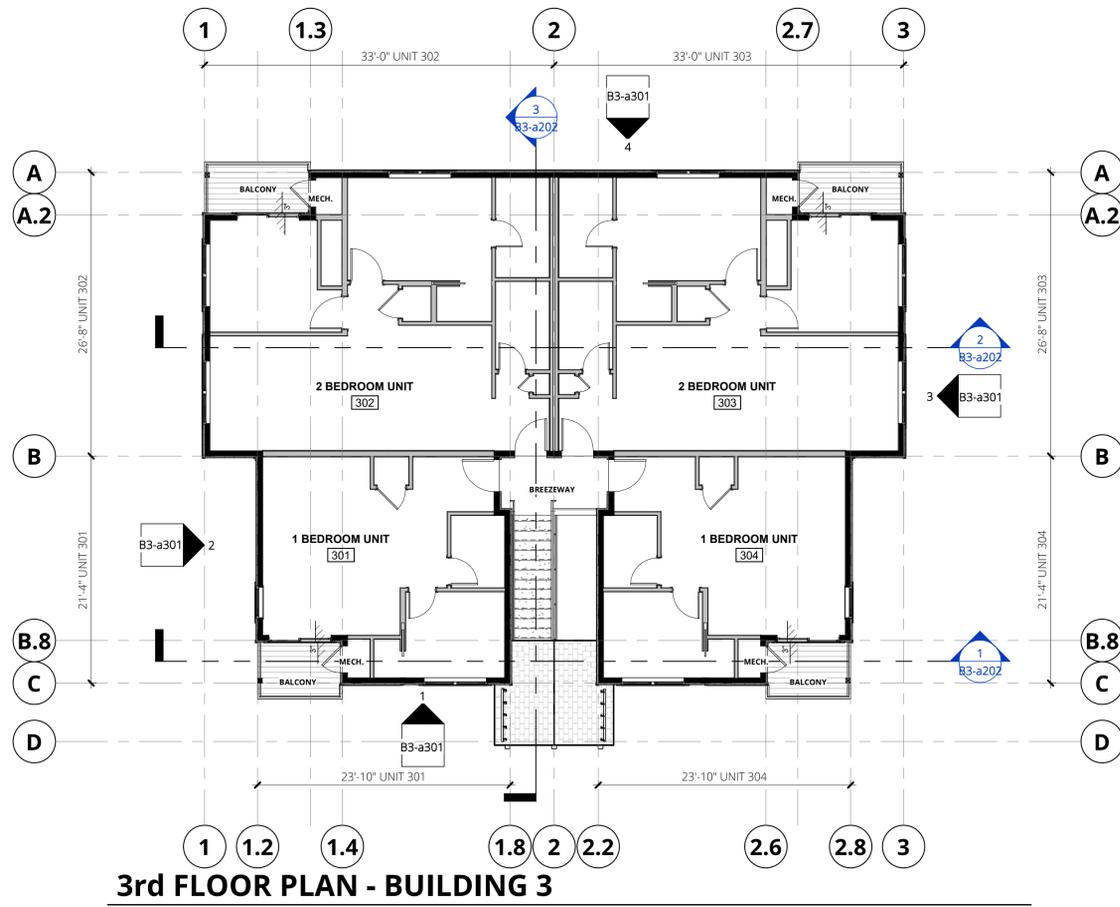
**SCHEMATIC DESIGN v2**

Issue Date: 07-05-24

FGS Project #: 2023-05

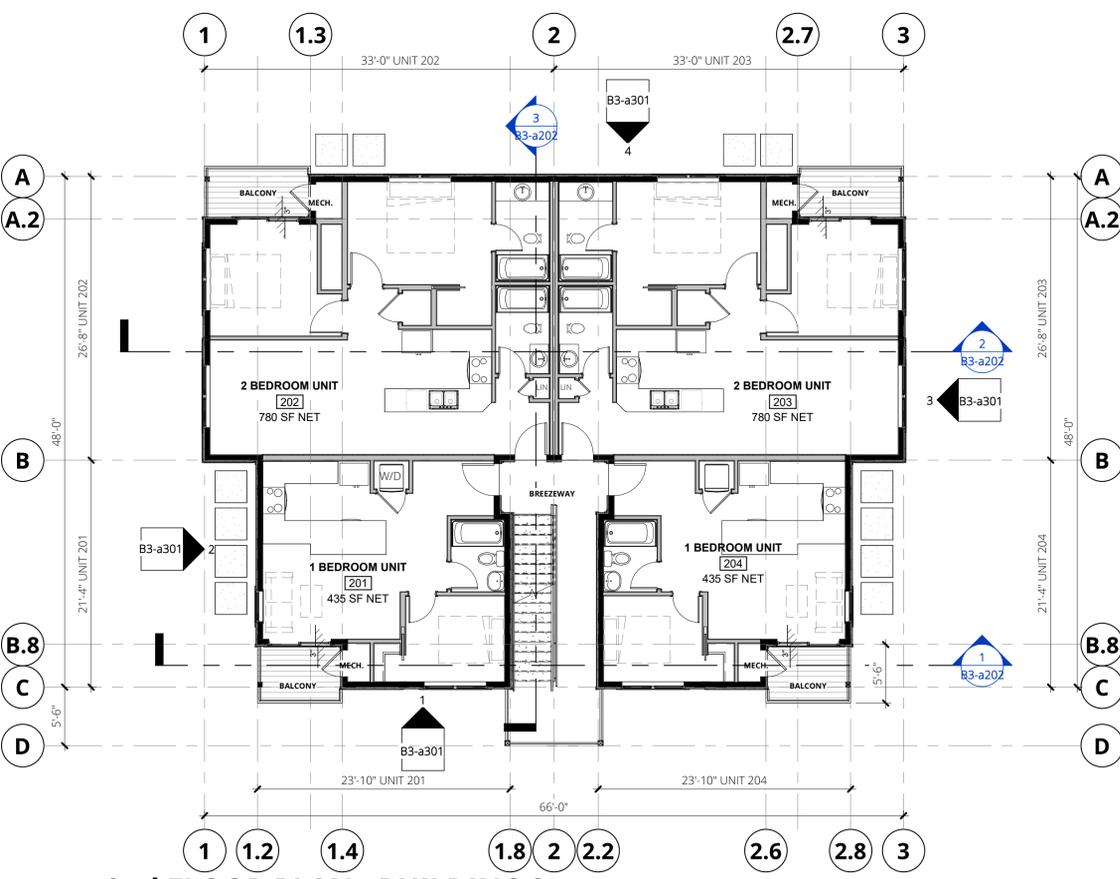
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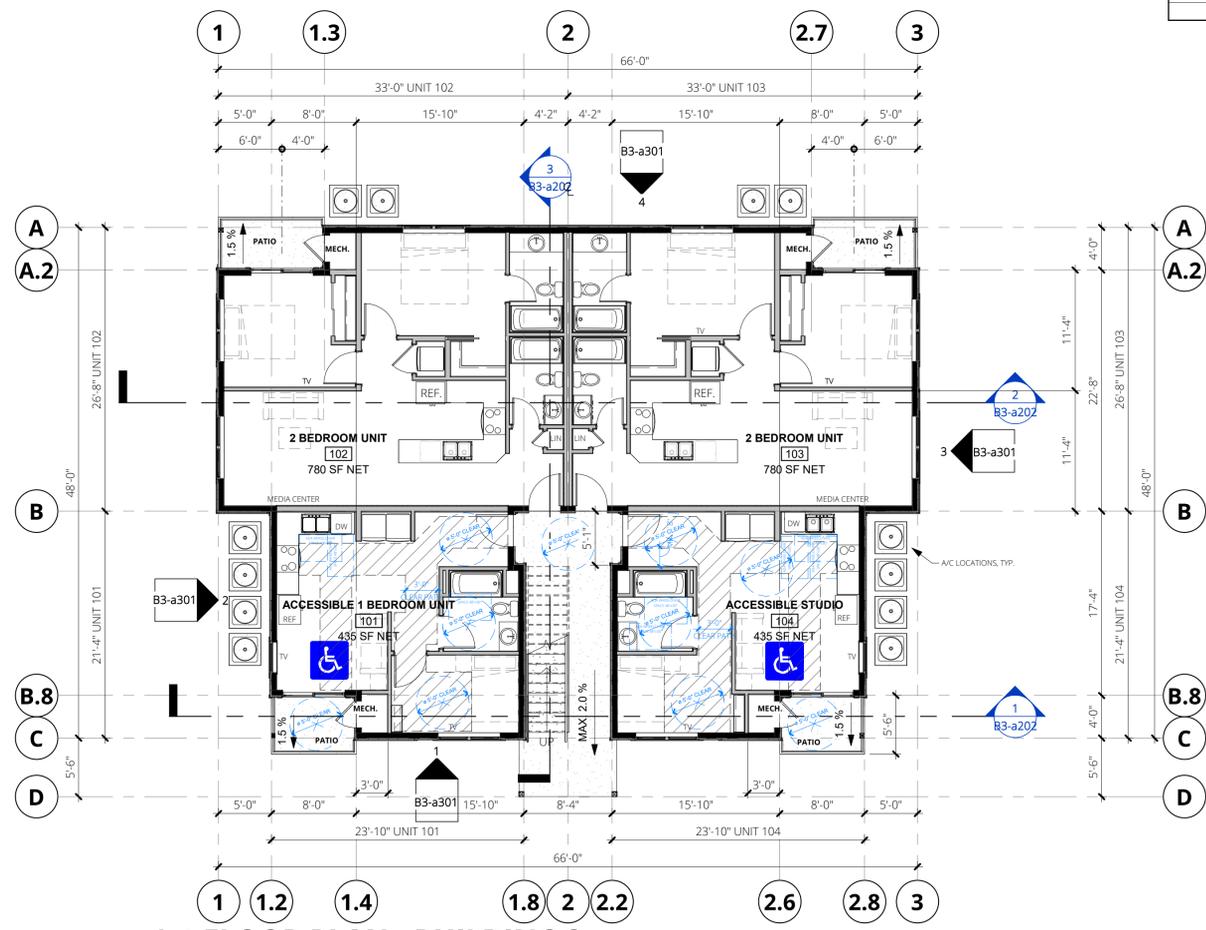
**3rd FLOOR PLAN - BUILDING 3**

1/8" = 1'-0"



**2nd FLOOR PLAN - BUILDING 3**

1/8" = 1'-0"

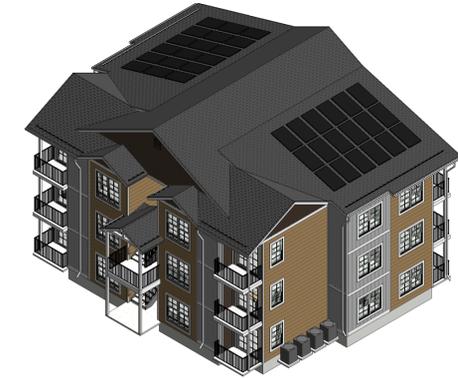


**1st FLOOR PLAN - BUILDING 3**

1/8" = 1'-0"



**ISOMETRIC - NORTHWEST VIEW**



**ISOMETRIC - SOUTHEAST VIEW**

**FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD, AND FACE-OF-BLOCK TO FACE-OF-BLOCK (U.N.O.)
2. ALL LUMBER TO BE FOREST STEWARDSHIP COUNCIL CERTIFIED DOUGLAS FIR#2 OR BETTER (U.N.O.)
3. ALL FINISH MATERIALS NOT SPECIFIED TO BE COORDINATED WITH OWNER AND/OR ARCHITECT.
4. PROVIDE SOLID BLOCKING BEHIND ALL FIXTURES AND WALL MOUNTED ACCESSORIES.
5. ANY WALLS THAT ARE MODIFIED, REPLACE GYP. BD. W/ 5/8" TYPE 'X' GYP. BD.
6. WHERE (E) STUD WIDTHS VARY FROM NEW WALL TYPE STUD WIDTH, MATCH (E) STUD WIDTH.
7. PROVIDE WALL & FLOOR STOPS AT DOORS AS REQUIRED.
8. (E) WALLS REQUIRING OPENINGS TO BE INFILLED SHALL MATCH (E) CONSTRUCTION & FIRE RATING.
9. ALL PLYWOOD SHEATHING SHALL BE FOREST STEWARDSHIP COUNCIL CERTIFIED (U.N.O.).

**BLDG 3 AREA SUMMARY (Gross Building)**

NAME	GROSS AREA
CONDITIONED SPACES	7,868.17 SF
COVERED BALCONIES	376.00 SF
COVERED BREEZEWAYS	464.89 SF
COVERED PATIOS	188.00 SF
<b>TOTAL</b>	<b>8,897.06 SF</b>

**BUILDING 3 UNIT SUMMARY**

UNIT NO.	TYPE	NET AREA
101	ACCESSIBLE 1 BEDROOM UNIT	435.38 SF
102	2 BEDROOM UNIT	780.28 SF
103	2 BEDROOM UNIT	780.28 SF
104	ACCESSIBLE STUDIO	435.38 SF
<hr/>		
201	1 BEDROOM UNIT	435.38 SF
202	2 BEDROOM UNIT	780.28 SF
203	2 BEDROOM UNIT	780.28 SF
204	1 BEDROOM UNIT	435.38 SF
<hr/>		
301	1 BEDROOM UNIT	435.38 SF
302	2 BEDROOM UNIT	780.28 SF
303	2 BEDROOM UNIT	780.28 SF
304	1 BEDROOM UNIT	435.38 SF

**BUILDING 3 UNIT COUNT**

TYPE	Count
1 BEDROOM UNIT	4
2 BEDROOM UNIT	6
ACCESSIBLE 1 BEDROOM UNIT	1
ACCESSIBLE STUDIO	1
<b>TOTAL</b>	<b>12</b>

**BUILDING 3 SCHEMATIC FLOOR PLANS**

**B3-a201**



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**SILVER CREEK APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

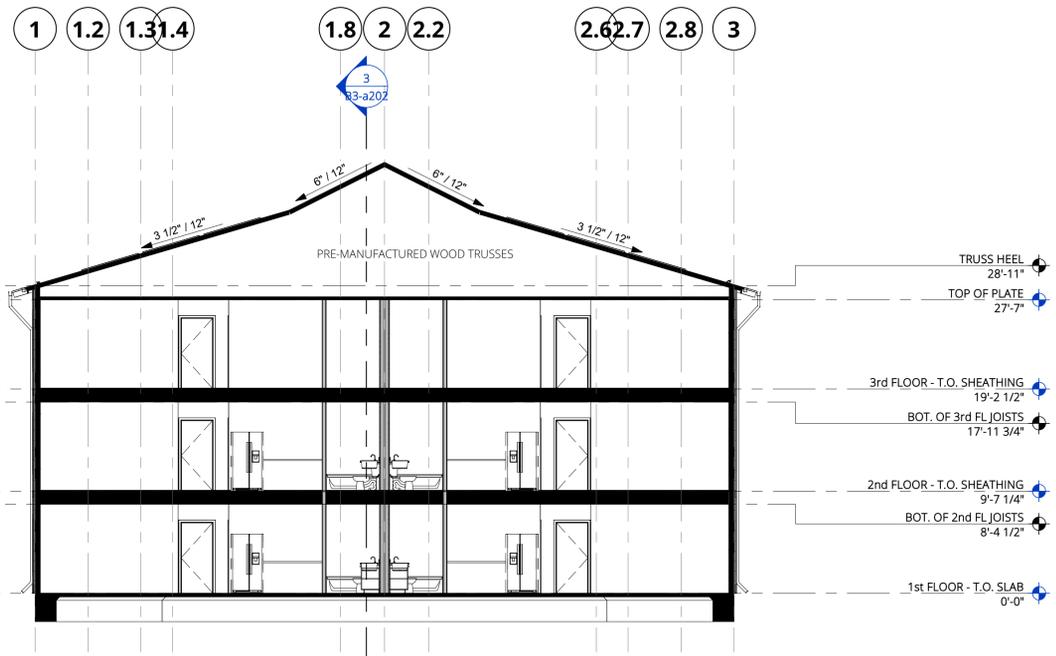
Winter Creek Loop  
Truckee CA 96161

**SCHEMATIC DESIGN v2**

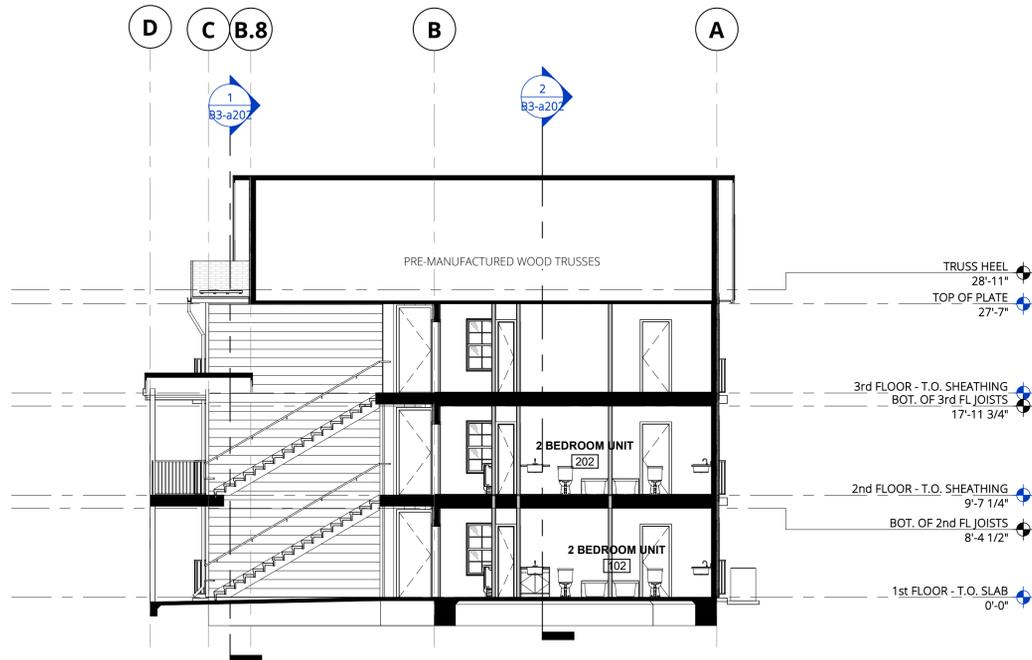
Issue Date: 07-05-24

FGS Project #: 2023-05

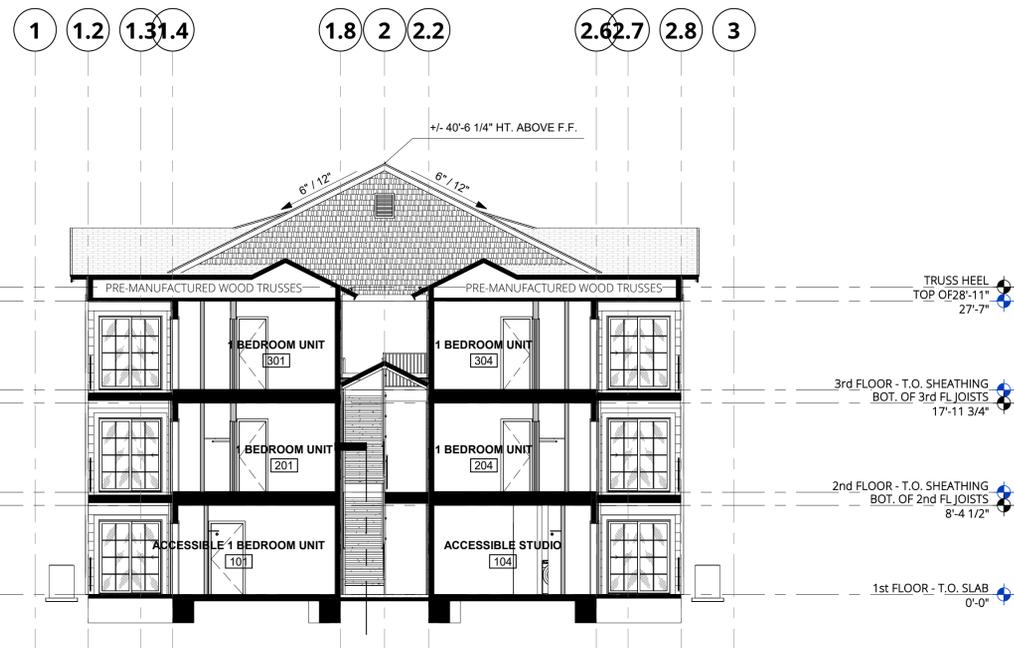
**NOT FOR CONSTRUCTION**



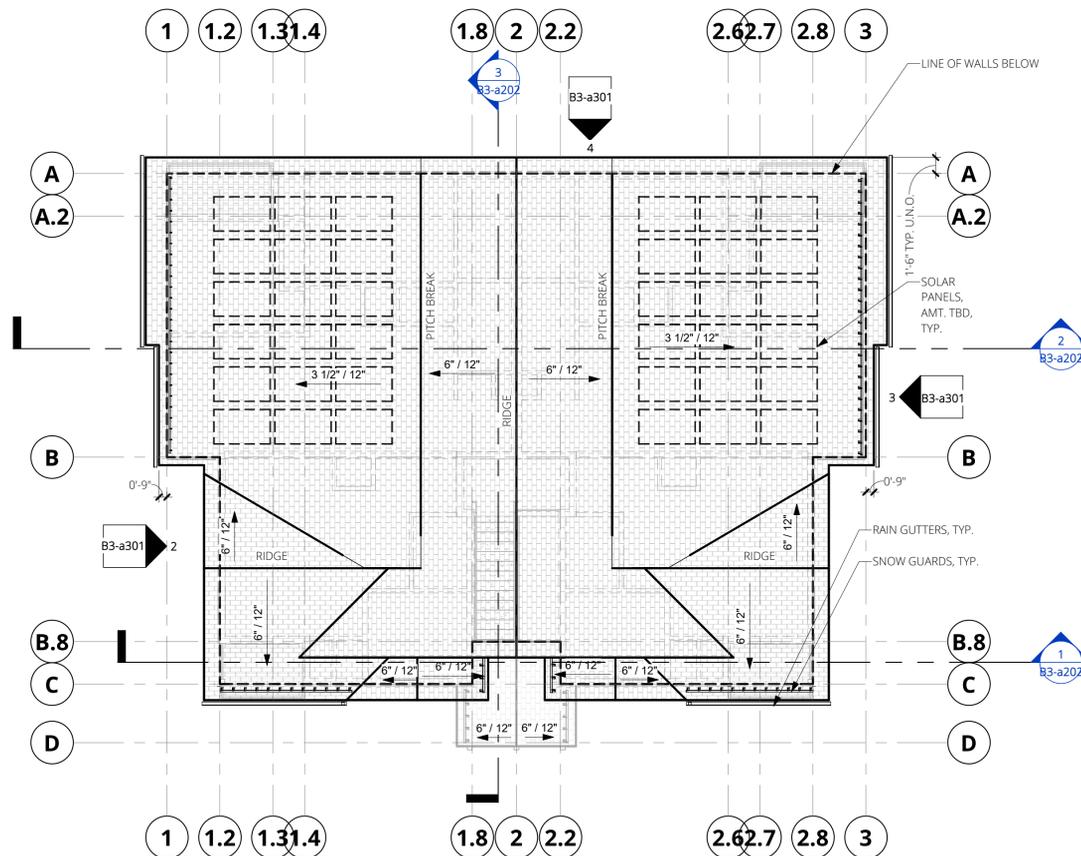
**2 SCHEMATIC BUILDING SECTION 2**  
1/8" = 1'-0"



**3 SCHEMATIC BUILDING SECTION 3**  
1/8" = 1'-0"



**1 SCHEMATIC BUILDING SECTION 1**  
1/8" = 1'-0"



**ROOF PLAN - BUILDING 3**  
1/8" = 1'-0"

BUILDING 3  
SCHEMATIC ROOF  
PLAN & SECTIONS  
**B3-a202**



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**SILVER CREEK  
APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

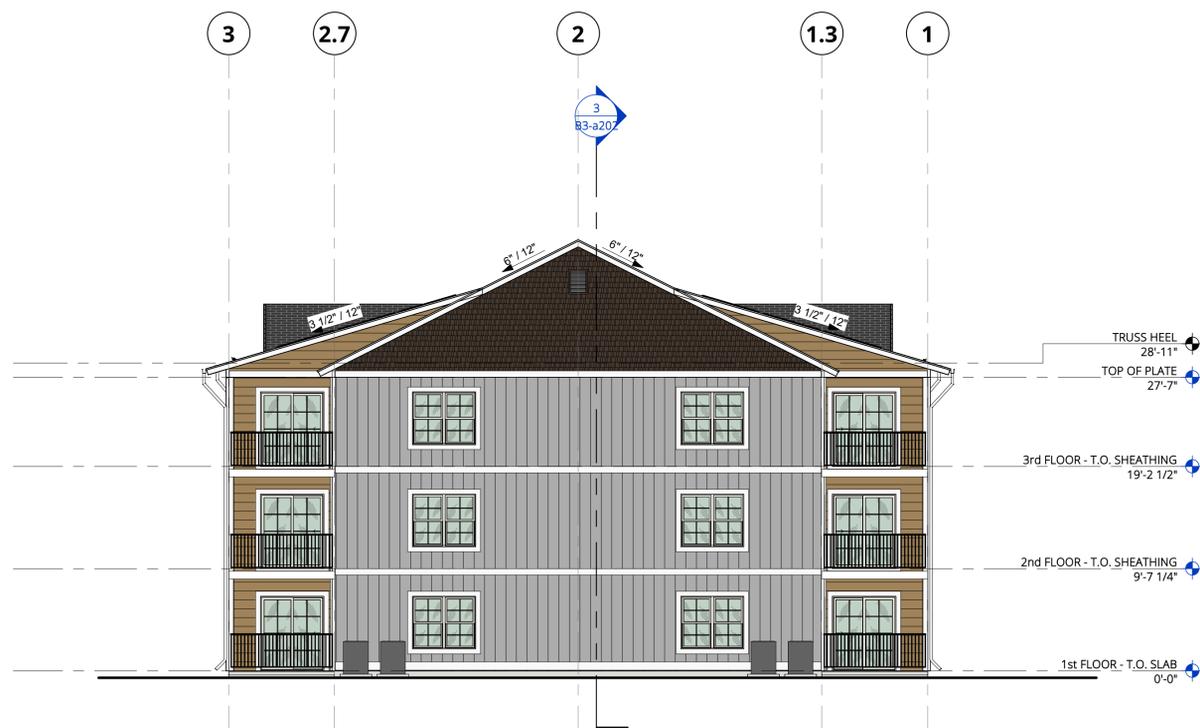
Winter Creek Loop  
Truckee CA 96161

SCHEMATIC DESIGN v2

Issue Date: 07-05-24

FGS Project #: 2023-05

**NOT FOR CONSTRUCTION**



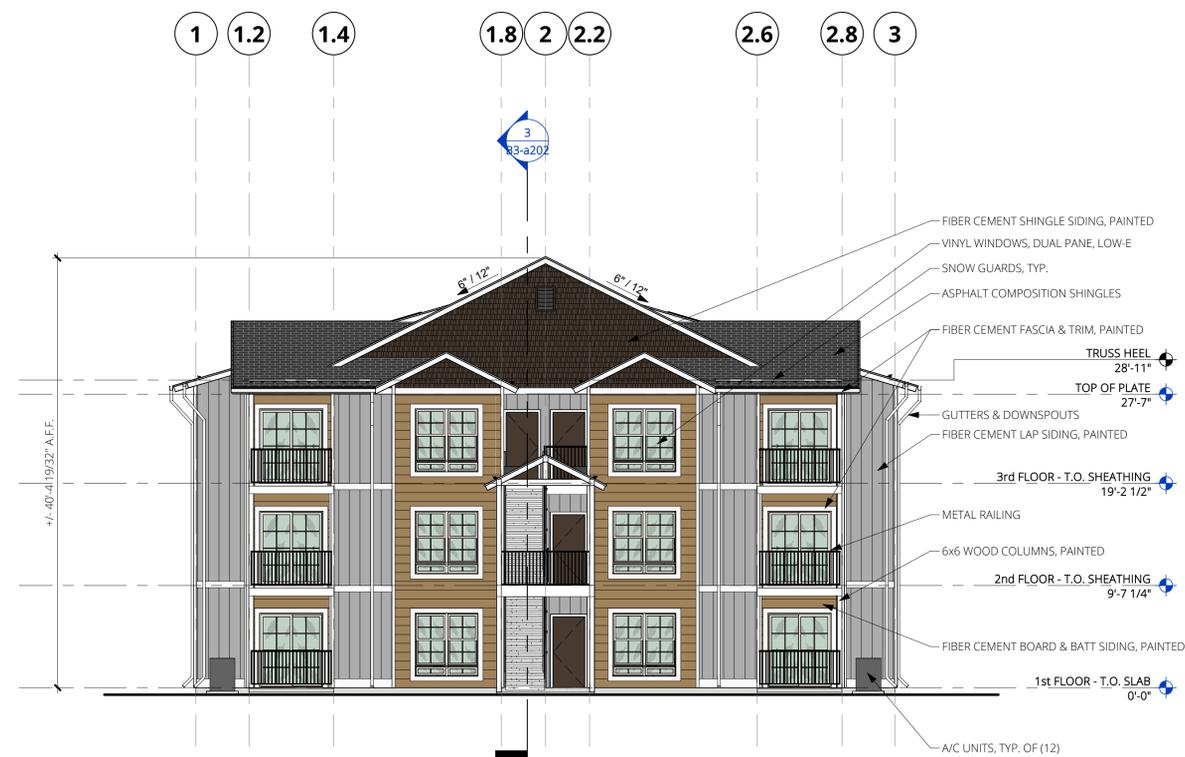
**4 REAR ELEVATION**  
1/8" = 1'-0"



**3 RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**2 LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

BUILDING 3  
SCHEMATIC EXTERIOR  
ELEVATIONS

**B3-a301**



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**SILVER CREEK  
APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

Winter Creek Loop  
Truckee CA 96161

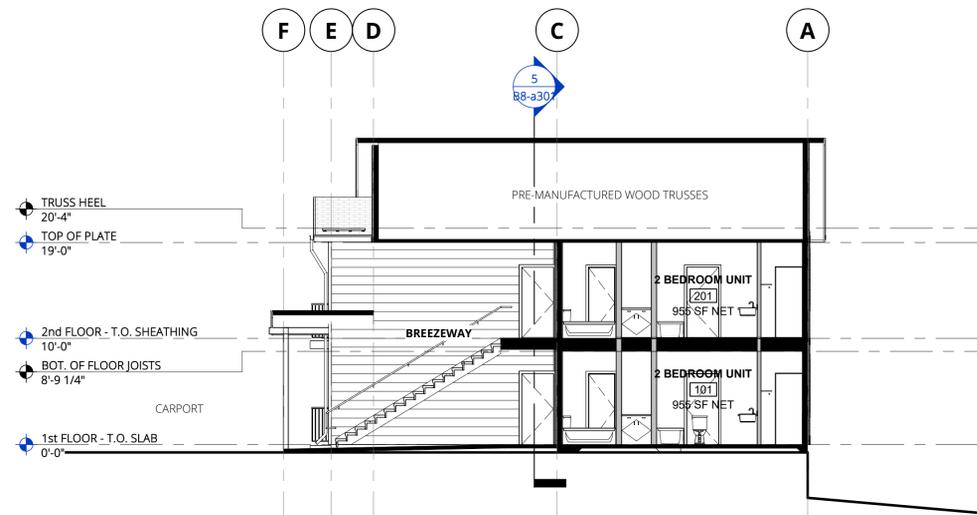
**SCHEMATIC DESIGN v2**

Issue Date: 07-05-24

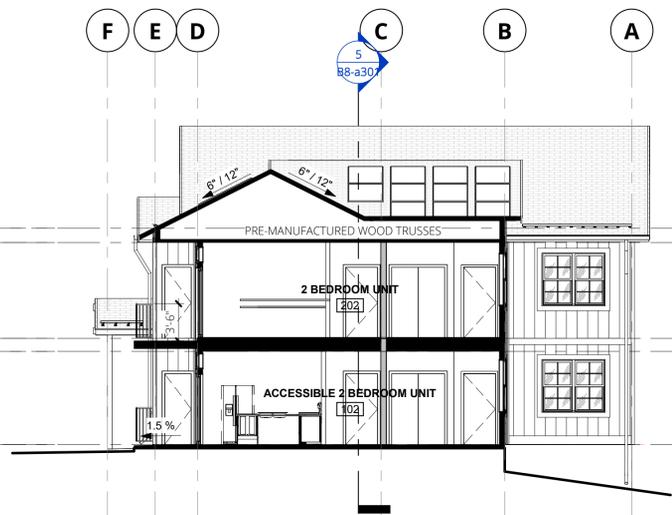
FGS Project #: 2023-05

**NOT FOR CONSTRUCTION**

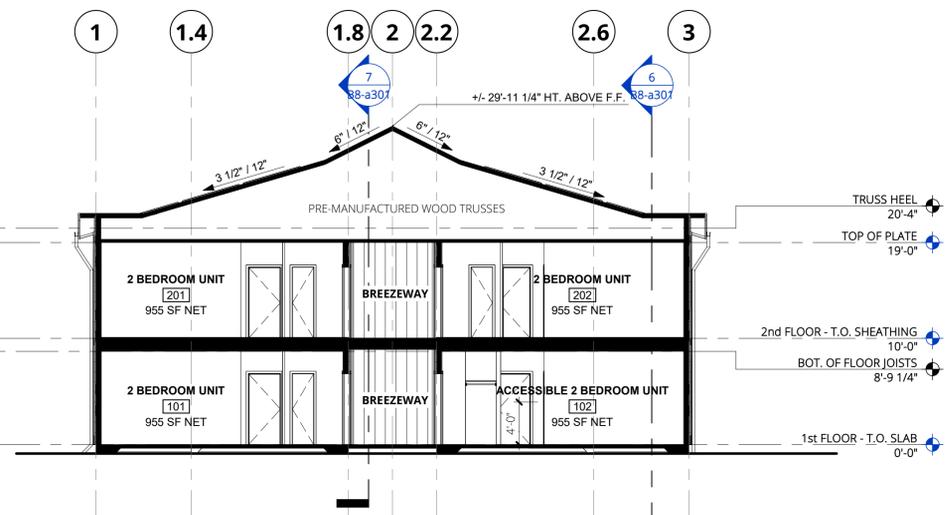




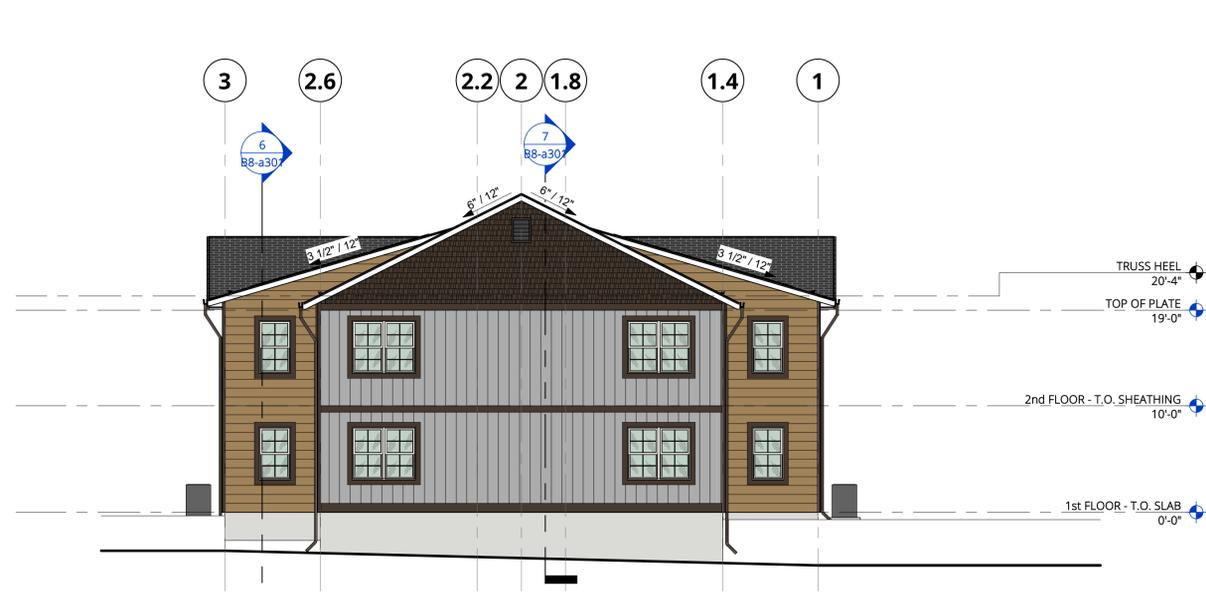
**7 SCHEMATIC BUILDING SECTION 3**  
1/8" = 1'-0"



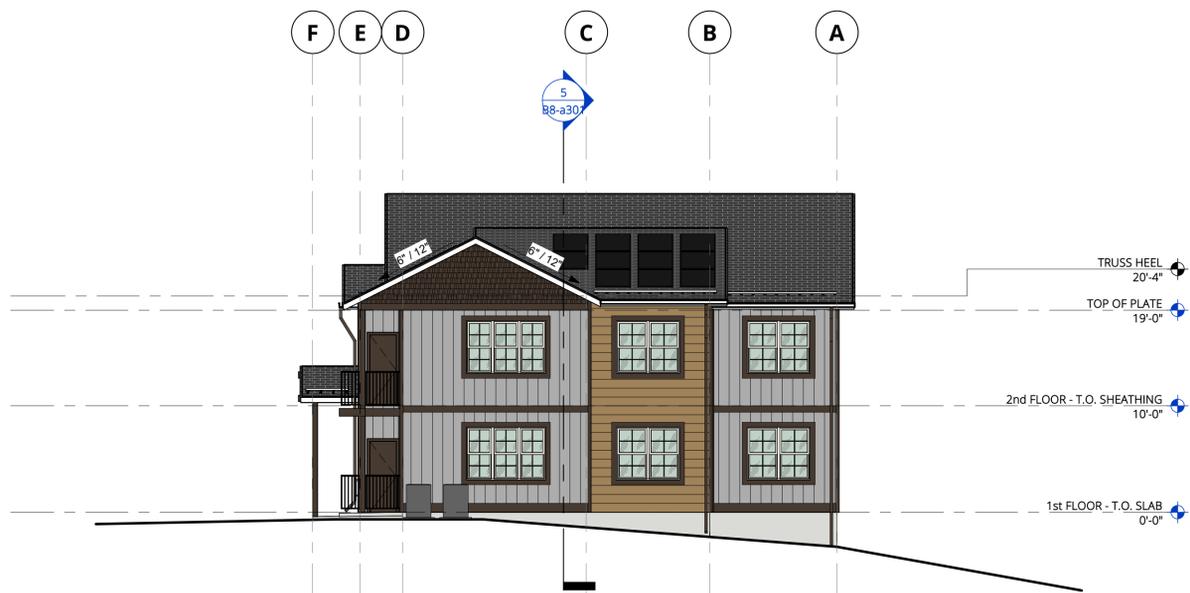
**6 SCHEMATIC BUILDING SECTION 2**  
1/8" = 1'-0"



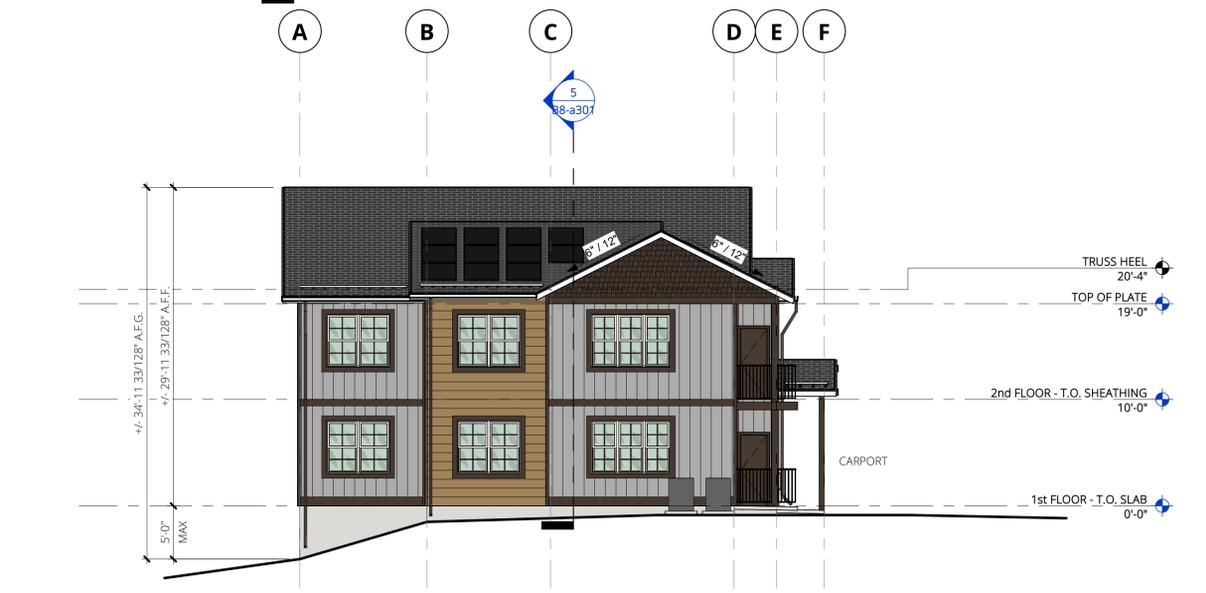
**5 SCHEMATIC BUILDING SECTION 1**  
1/8" = 1'-0"



**4 REAR ELEVATION**  
1/8" = 1'-0"



**3 RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**2 LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

BUILDING 8  
SCHEMATIC EXTERIOR  
ELEVATIONS and  
SECTIONS  
**B8-a301**



FORMGREY STUDIO  
400 South Wells Avenue, Suite B, Reno, NV 89502 | www.formgrey.com | (775) 507-7200  
**SILVER CREEK APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

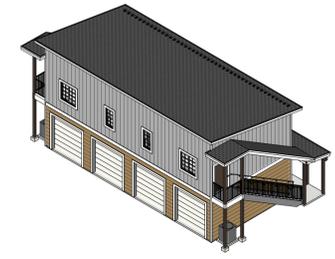
Winter Creek Loop  
Truckee CA 96161

**SCHEMATIC DESIGN v2**  
Issue Date: 07-05-24  
FGS Project #: 2023-05  
**NOT FOR CONSTRUCTION**

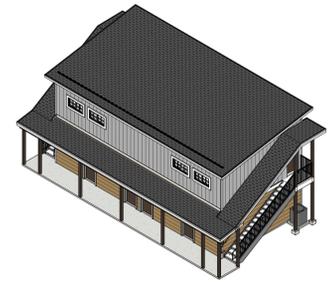
7/3/2024 4:19:40 PM

**FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD, AND FACE-OF-BLOCK TO FACE-OF-BLOCK (U.N.O.)
2. ALL LUMBER TO BE FOREST STEWARDSHIP COUNCIL CERTIFIED DOUGLAS FIR#2 OR BETTER (U.N.O.)
3. ALL FINISH MATERIALS NOT SPECIFIED TO BE COORDINATED WITH OWNER AND/OR ARCHITECT.
4. PROVIDE SOLID BLOCKING BEHIND ALL FIXTURES AND WALL MOUNTED ACCESSORIES.
5. ANY WALLS THAT ARE MODIFIED, REPLACE GYP. BD. W/ 5/8" TYPE 'X' GYP. BD.
6. WHERE (E) STUD WIDTHS VARY FROM NEW WALL TYPE STUD WIDTH, MATCH (E) STUD WIDTH.
7. PROVIDE WALL & FLOOR STOPS AT DOORS AS REQUIRED.
8. (E) WALLS REQUIRING OPENINGS TO BE INFILLED SHALL MATCH (E) CONSTRUCTION & FIRE RATING.
9. ALL PLYWOOD SHEATHING SHALL BE FOREST STEWARDSHIP COUNCIL CERTIFIED (U.N.O.).



**ISOMETRIC 2**



**ISOMETRIC 1**

**4-CAR CARRIAGE HOUSE AREA SUMMARY**

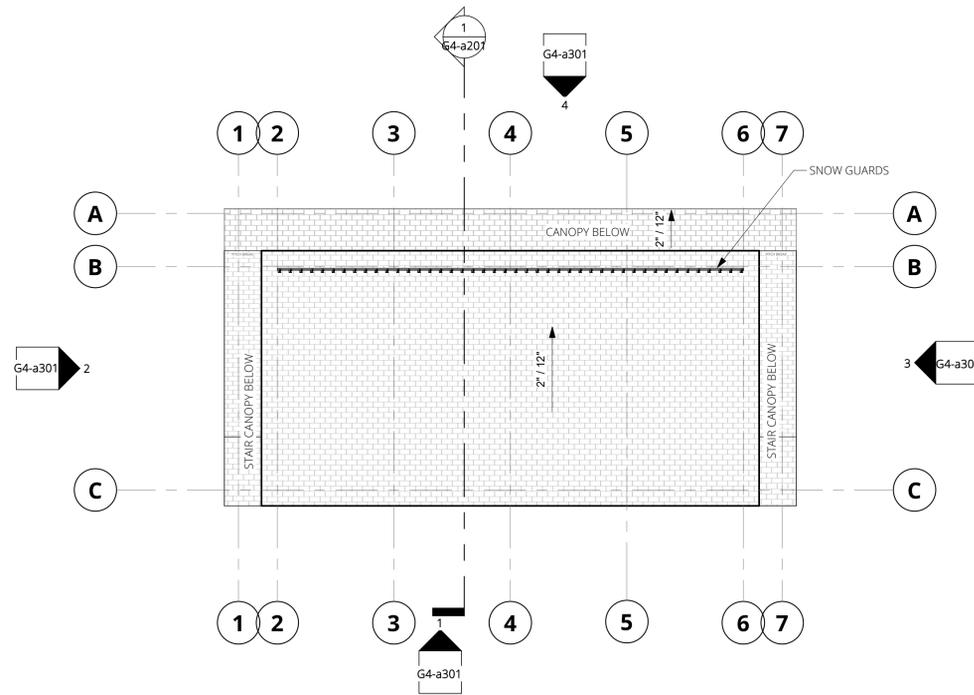
NAME	GROSS AREA
CONDITIONED SPACES	924.00 SF
COVERED STAIRS	150.85 SF
COVERED WALKWAYS	266.85 SF
GARAGES	924.00 SF
	2,265.70 SF

**4-CAR CARRIAGE HOUSE UNIT SUMMARY**

UNIT NO.	TYPE	NET AREA
101	1 CAR GARAGE	203.95 SF
103	1 CAR GARAGE	208.53 SF
104	1 CAR GARAGE	203.95 SF
204	1 CAR GARAGE	208.53 SF
201	STUDIO	419.98 SF
202	STUDIO	419.98 SF

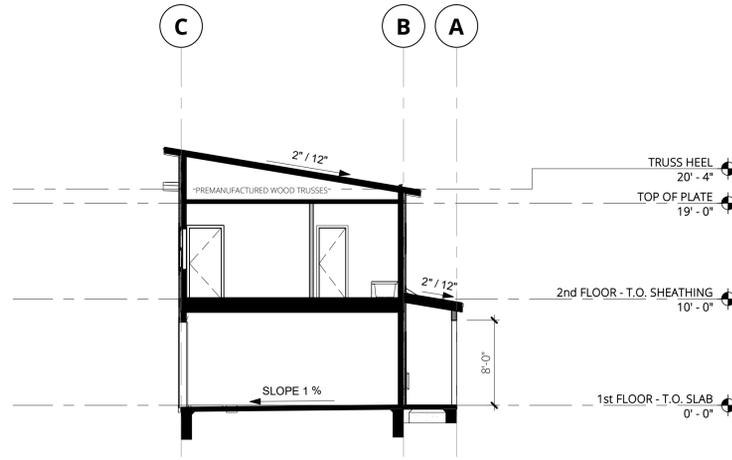
**4-CAR CARRIAGE HOUSE UNIT COUNT**

TYPE	Count
1 CAR GARAGE	4
STUDIO	2



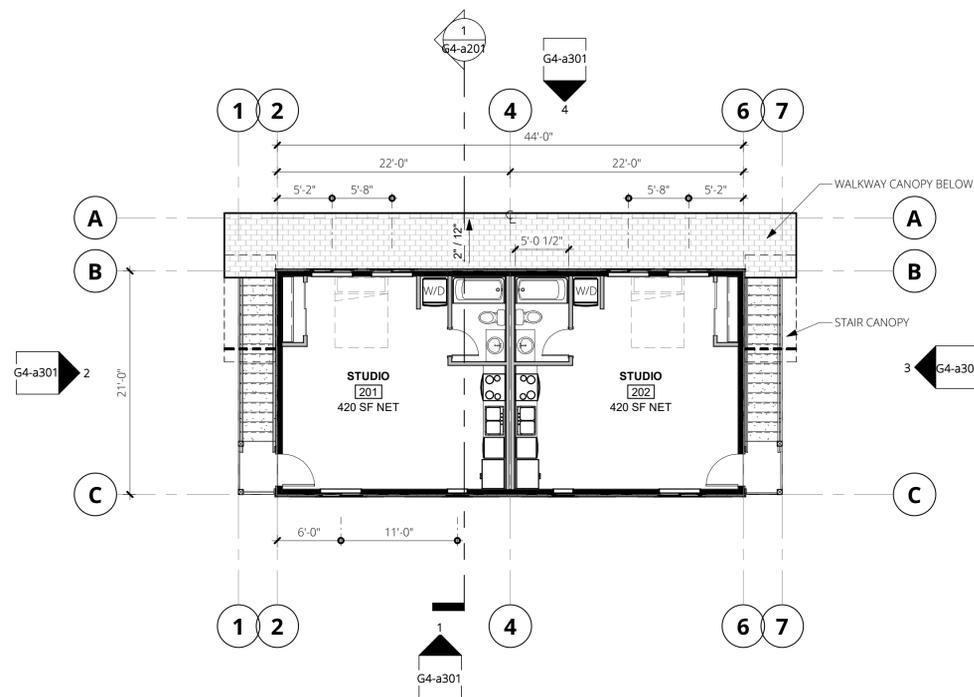
**ROOF PLAN - 4-CAR CARRIAGE HOUSE**

1/8" = 1'-0"



**1 BUILDING SECTION- 4-CAR CARRIAGE HOUSE**

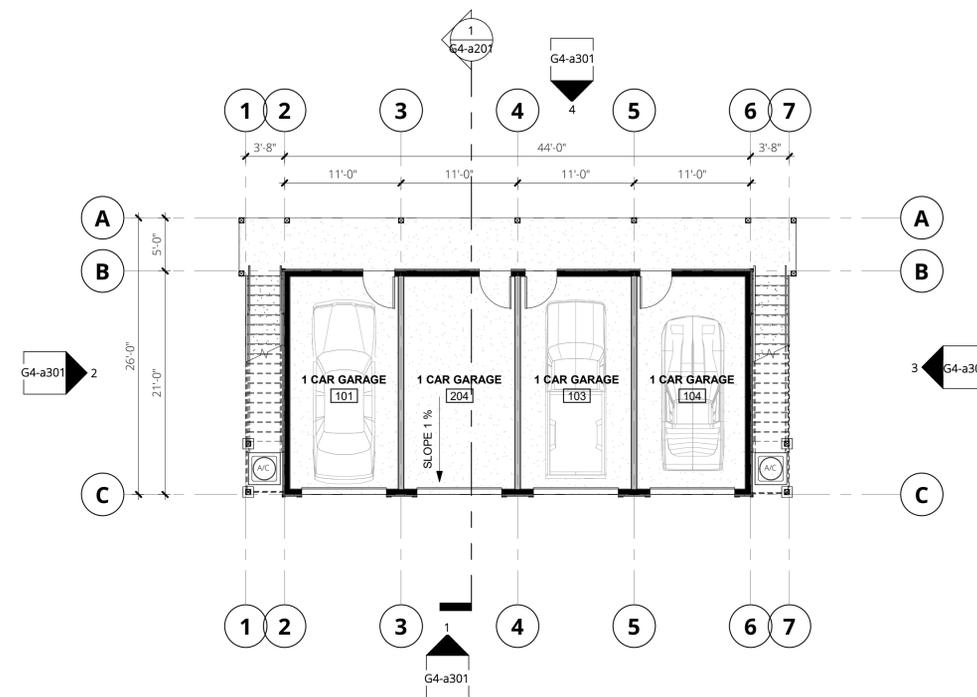
1/8" = 1'-0"



**2nd FLOOR PLAN - 4-CAR CARRIAGE HOUSE**

924.00 SF GROSS

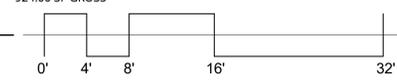
1/8" = 1'-0"



**1st FLOOR PLAN - 4-CAR CARRIAGE HOUSE**

924.00 SF GROSS

1/8" = 1'-0"



**4-CAR CARRIAGE HOUSE SCHEMATIC PLANS**

**G4-a201**



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**SILVER CREEK APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

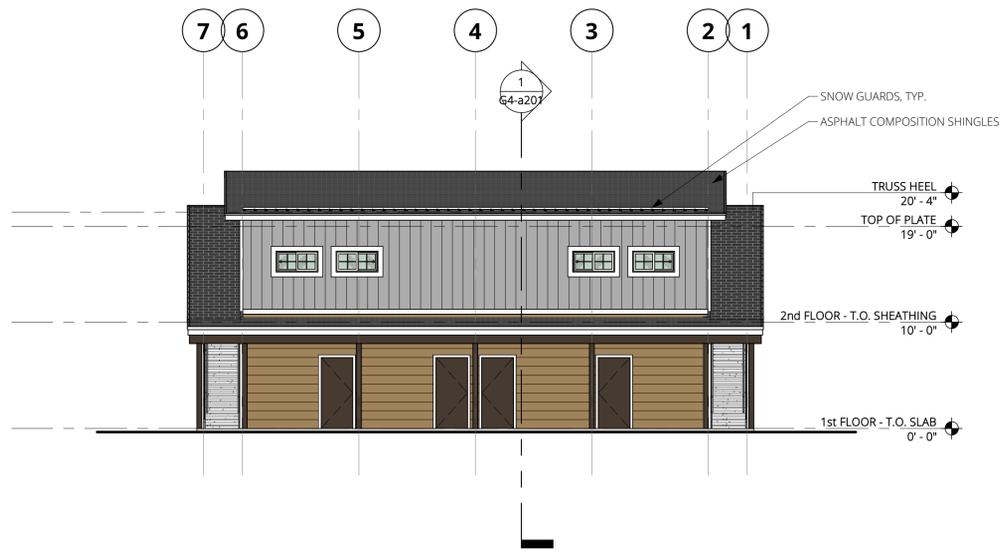
Winter Creek Loop  
Truckee CA 96161

**SCHEMATIC DESIGN v2**

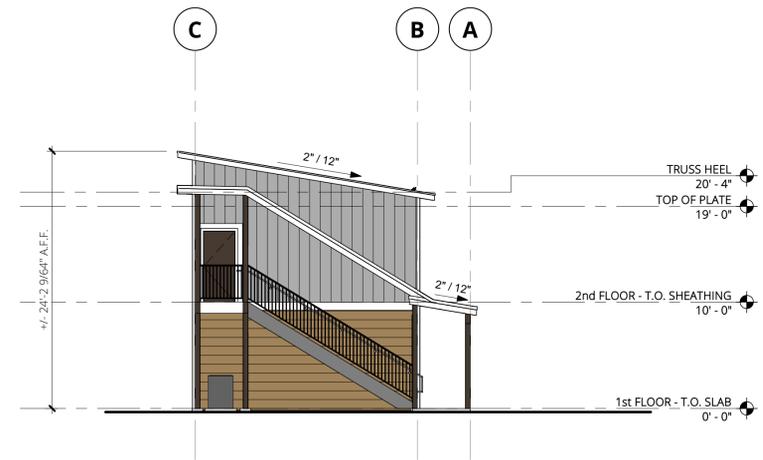
Issue Date: 07-05-24

FGS Project #: 2023-05

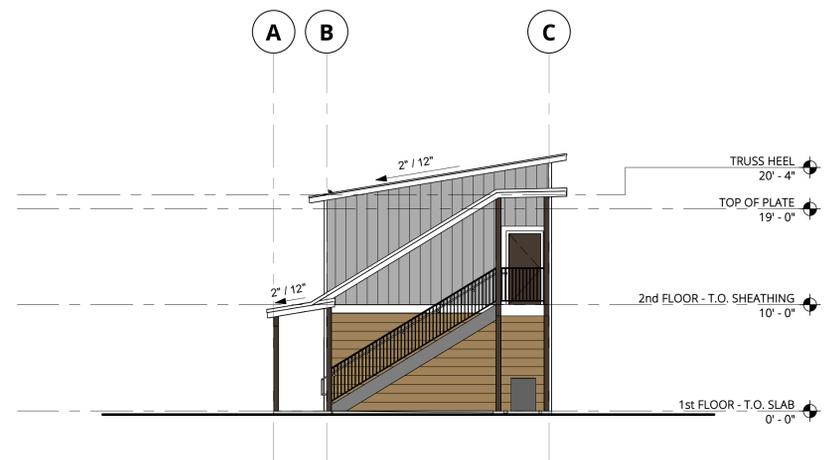
**NOT FOR CONSTRUCTION**



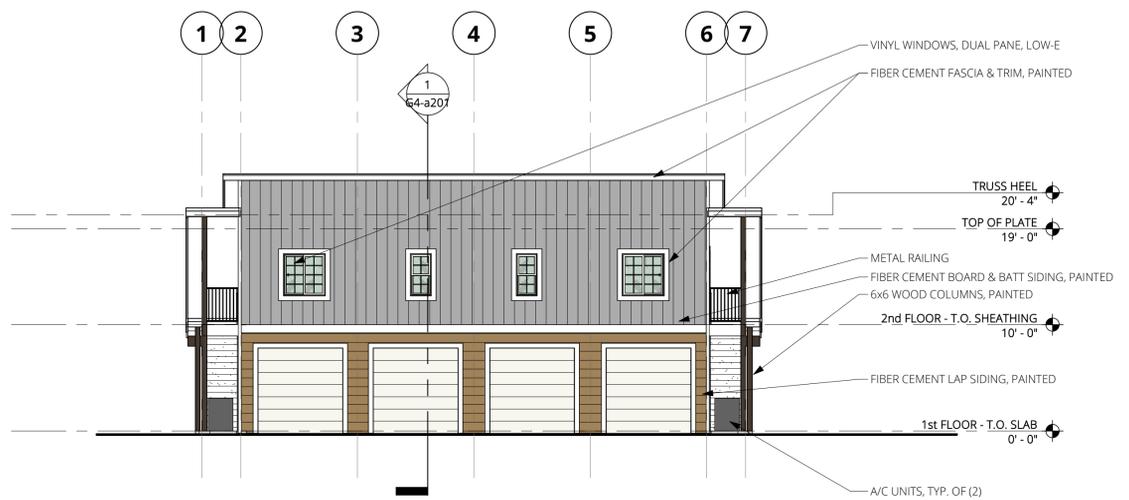
**4 REAR ELEVATION**  
1/8" = 1'-0"



**3 RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**2 LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

4-CAR CARRIAGE HOUSE  
SCHEMATIC ELEVATIONS

**G4-a301**



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**SILVER CREEK APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

Winter Creek Loop  
Truckee CA 96161

**SCHEMATIC DESIGN v2**

Issue Date: 07-05-24

FGS Project #: 2023-05

**NOT FOR CONSTRUCTION**

**FLOOR PLAN NOTES**

1. ALL DIMENSIONS ARE FROM FACE-OF-STUD TO FACE-OF-STUD, AND FACE-OF-BLOCK TO FACE-OF-BLOCK (U.N.O.)
2. ALL LUMBER TO BE FOREST STEWARDSHIP COUNCIL CERTIFIED DOUGLAS FIR#2 OR BETTER (U.N.O.)
3. ALL FINISH MATERIALS NOT SPECIFIED TO BE COORDINATED WITH OWNER AND/OR ARCHITECT.
4. PROVIDE SOLID BLOCKING BEHIND ALL FIXTURES AND WALL MOUNTED ACCESSORIES.
5. ANY WALLS THAT ARE MODIFIED, REPLACE GYP. BD. W/ 5/8" TYPE 'X' GYP. BD.
6. WHERE (E) STUD WIDTHS VARY FROM NEW WALL TYPE STUD WIDTH, MATCH (E) STUD WIDTH.
7. PROVIDE WALL & FLOOR STOPS AT DOORS AS REQUIRED.
8. (E) WALLS REQUIRING OPENINGS TO BE INFILLED SHALL MATCH (E) CONSTRUCTION & FIRE RATING.
9. ALL PLYWOOD SHEATHING SHALL BE FOREST STEWARDSHIP COUNCIL CERTIFIED (U.N.O.).

**5-CAR CARRIAGE HOUSE AREA SUMMARY**

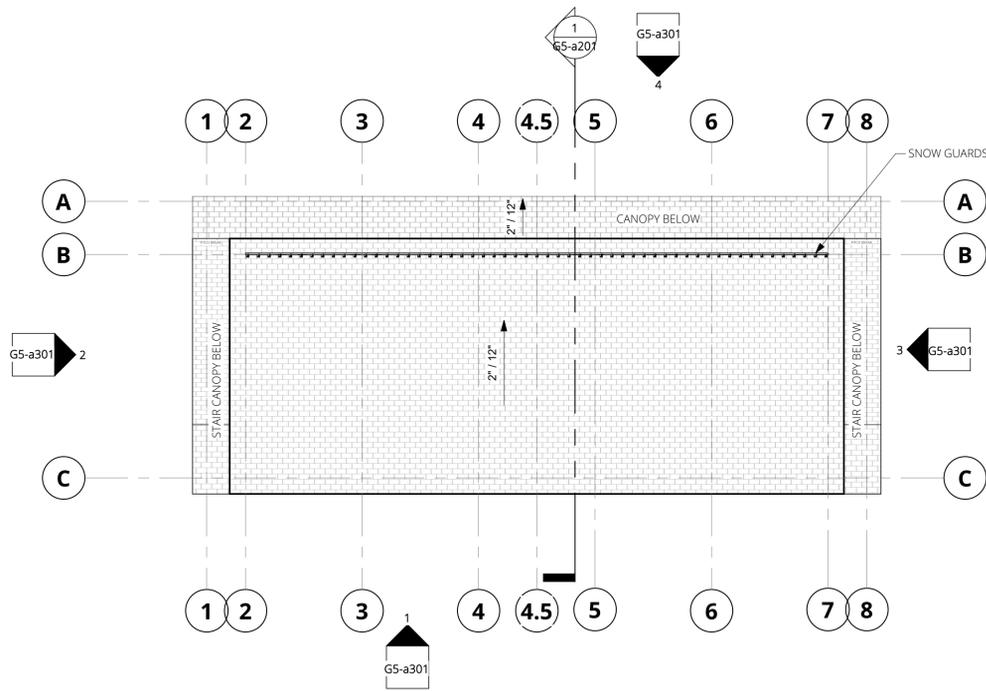
NAME	GROSS AREA
CONDITIONED SPACES	1,155.00 SF
COVERED STAIRS	151.07 SF
COVERED WALKWAYS	321.85 SF
GARAGES	1,155.00 SF
	2,782.92 SF

**5-CAR CARRIAGE HOUSE UNIT SUMMARY**

UNIT NO.	TYPE	NET AREA	
101	1 CAR GARAGE	203.95 SF	
102	1 CAR GARAGE	208.53 SF	
103	1 CAR GARAGE	208.53 SF	
104	1 CAR GARAGE	208.53 SF	
105	1 CAR GARAGE	203.95 SF	
201		1 BEDROOM UNIT	529.86 SF
202		1 BEDROOM UNIT	529.86 SF

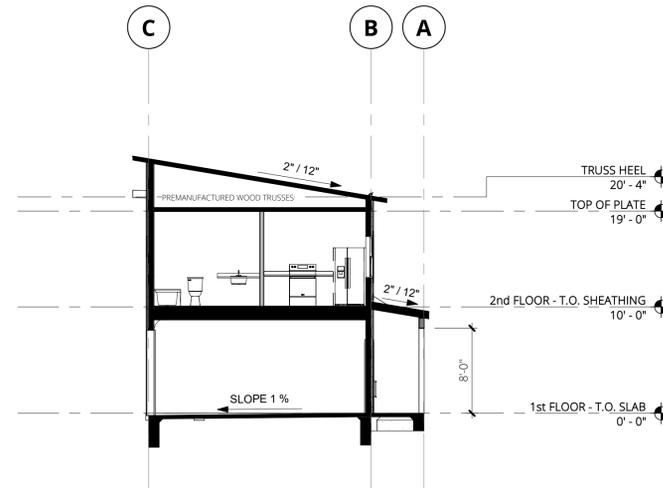
**5-CAR CARRIAGE HOUSE UNIT COUNT**

TYPE	Count
1 BEDROOM UNIT	2
1 CAR GARAGE	5



**ROOF PLAN - 5-CAR CARRIAGE HOUSE**

1/8" = 1'-0"

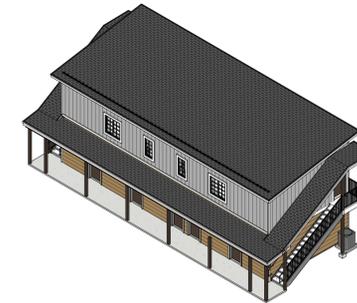


**BUILDING SECTION- 5-CAR CARRIAGE HOUSE**

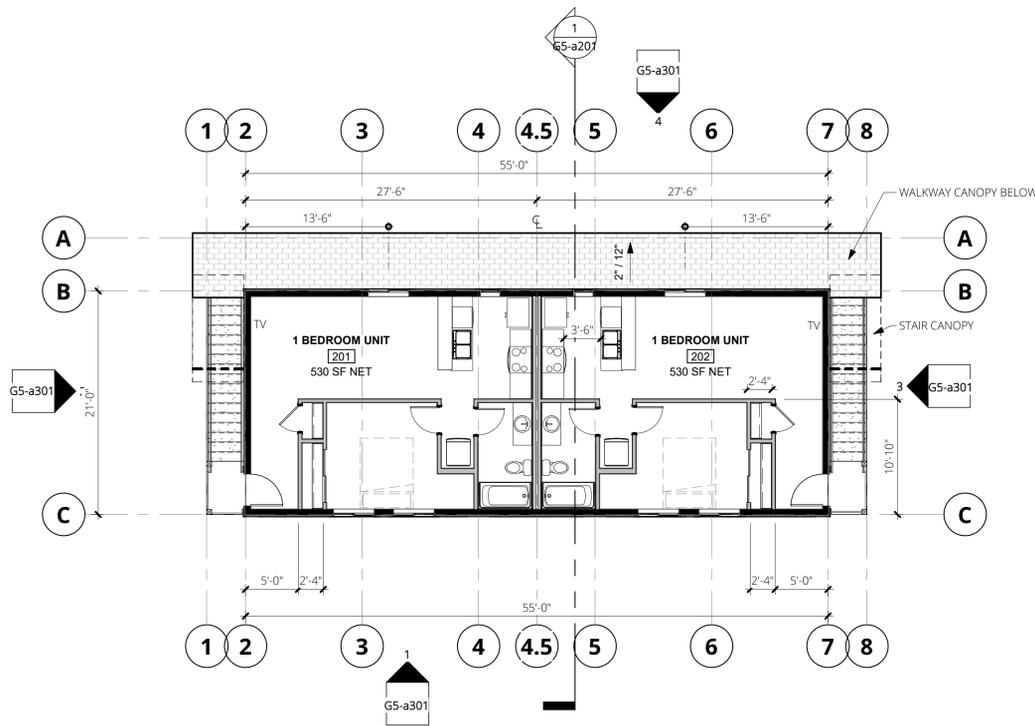
1/8" = 1'-0"



**ISOMETRIC 2**

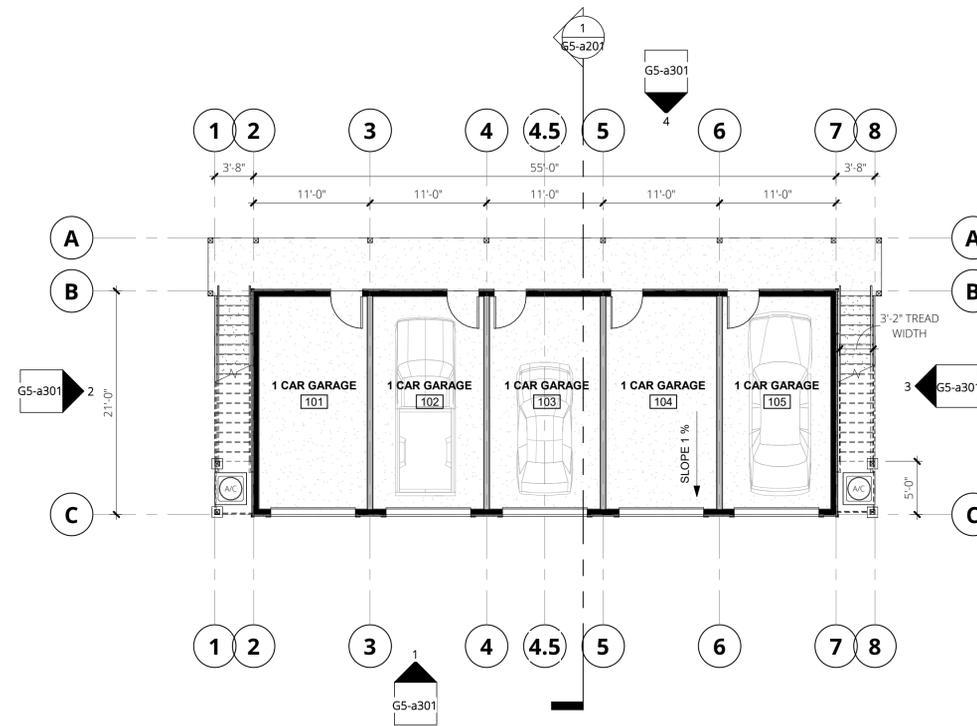


**ISOMETRIC 1**



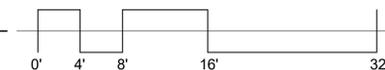
**2nd FLOOR PLAN - 5-CAR CARRIAGE HOUSE**

1/8" = 1'-0"



**1st FLOOR PLAN - 5-CAR CARRIAGE HOUSE**

1/8" = 1'-0"



**5-CAR CARRIAGE HOUSE SCHEMATIC PLANS**

**G5-a201**



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**SILVER CREEK APARTMENTS**  
Client: NEPTUNE INVESTMENT, LLC

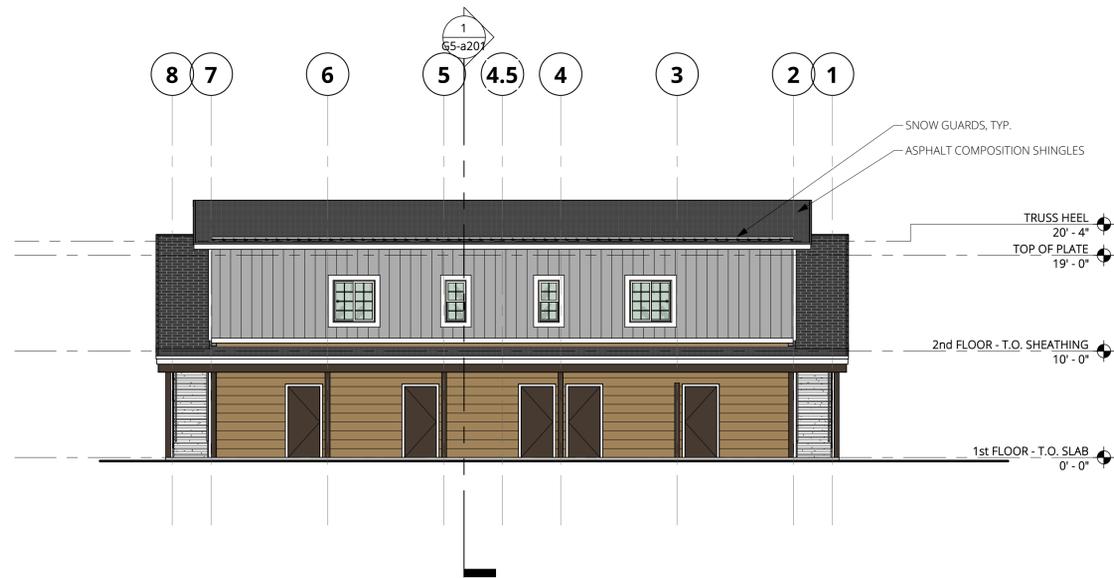
Winter Creek Loop  
Truckee CA 96161

**SCHEMATIC DESIGN v2**

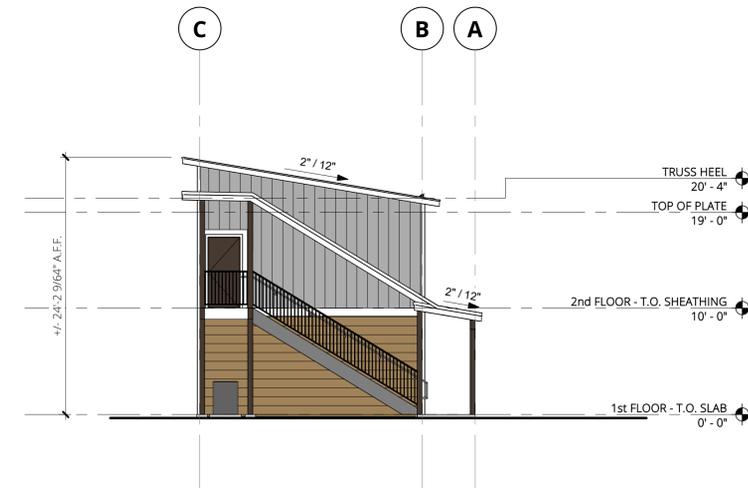
Issue Date: 07-05-24

FGS Project #: 2023-05

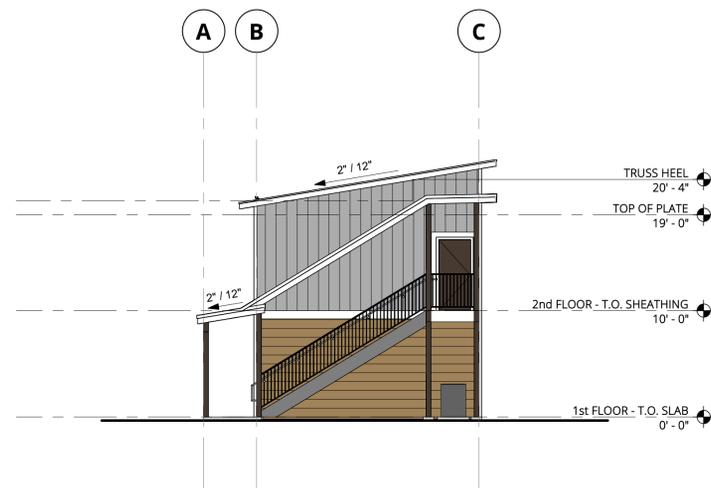
**NOT FOR CONSTRUCTION**



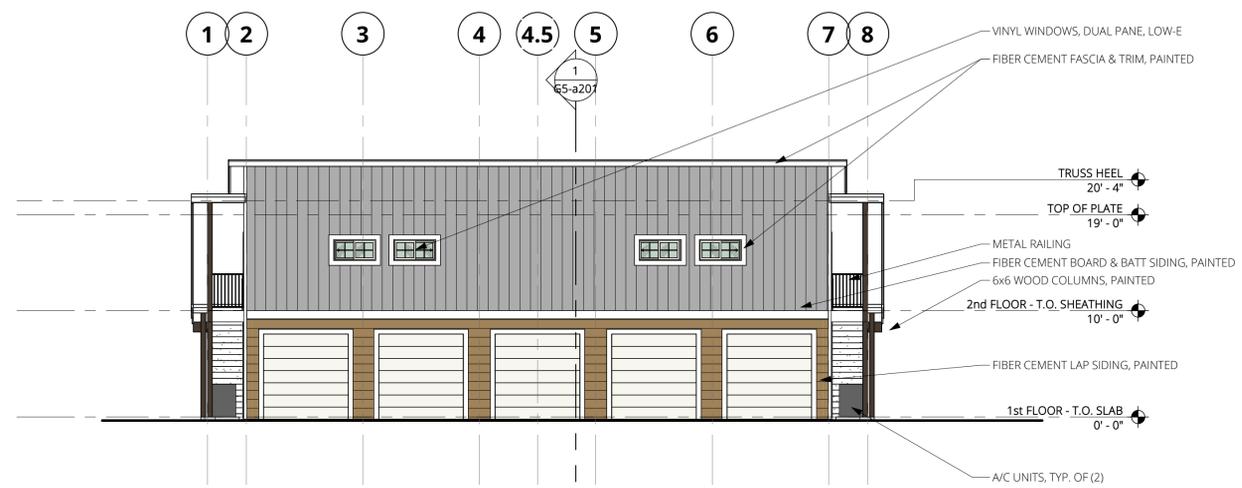
**4 REAR ELEVATION**  
1/8" = 1'-0"



**3 RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**2 LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

5-CAR CARRIAGE  
HOUSE SCHEMATIC  
EXTERIOR ELEVATIONS

G5-a301



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SILVER CREEK  
APARTMENTS  
Client: NEPTUNE INVESTMENT, LLC

Winter Creek Loop  
Truckee CA 96161

SCHEMATIC DESIGN v2

Issue Date: 07-05-24

FGS Project #: 2023-05

NOT FOR CONSTRUCTION

# SILVER CREEK DEVELOPMENT

WINTER CREEK LOOP, TRUCKEE, CALIFORNIA 96161  
APN: 019-820-001-000

## PRELIMINARY PLANT LIST

-  MALUS 'BRANDYWINE'/ CRABAPPLE
-  PINUS JEFFREY/ JEFFREY PINE
-  PICEA PUNGENS 'FAT ALBERT'/ BLUE SPRUCE
-  AQUILEGIA FORMOSA/ WESTERN COLUMBINE  
ERIOGONUM UMBELLATUM/ SULPHUR FLOWER BUCKWHEAT  
LAVANDULA ANGUSTIFOLIA/ ENGLISH LAVENDER  
LEUCANTHEMUM X SUPERBUM SHASTA DAISY  
RIBES NEVADENSE/ SIERRA CURRENT  
SPIRAEA DENSIFLORA/ MOUNTAIN SPIREA  
WYETHIA MOLLIS/ MULES EAR

## PRELIMINARY LANDSCAPE NOTES

1. PLANTING SHALL CONFORM TO LOCAL REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
2. FINAL PLANTING AND IRRIGATION DESIGN PLANS SHALL BE PROVIDED DURING THE PERMIT PHASE OF DESIGN.
3. ALL EXISTING TREES SHALL BE PROTECTED FROM DAMAGE OR INJURY.
4. NO PARKING OR STACKING OF CONSTRUCTION MATERIAL IS ALLOWED WITHIN THE DRIPLINE OF AN EXISTING TREE.
5. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 'STANDARD FOR NURSERY STOCK'.
6. ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN ANY PLANTING AREAS THAT ARE LESS THAN 10' WIDE.
7. ALL PLANTER AREAS SHALL RECEIVE A 3" LAYER OF BARK MULCH.
8. A SOILS TEST SHALL BE PROVIDED DURING CONSTRUCTION (AFTER GRADING OPERATIONS ARE CONCLUDED) TO DETERMINE SOIL FERTILITY AND ACTUAL SOIL AMENDMENTS TO BE ADDED DURING PLANTING.
9. NO TURF IS PROPOSED.
10. A FINAL IRRIGATION PLAN SHALL BE PROVIDED WITH PERMIT DRAWING SUBMITTALS.

## TREES

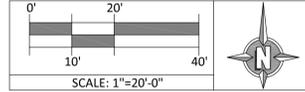


## SHRUBS/ PERENNIALS



## WATER EFFICIENT LANDSCAPE WORKSHEET

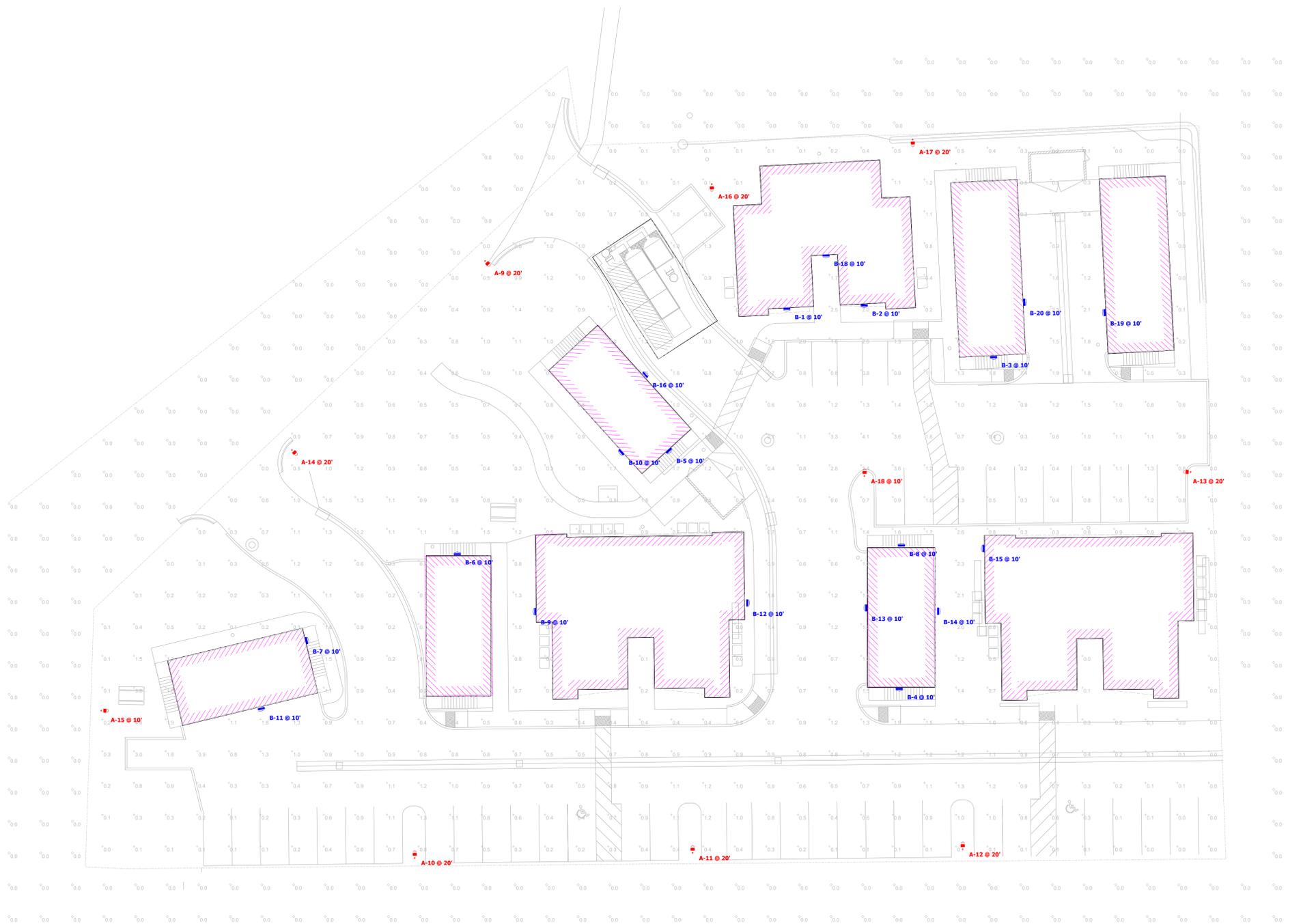
Hydrozone #	Water Use (WUCOLS)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF* (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
1	Low	0.10	Drip	0.81	0.11	600	74	1,063
2	Medium	0.40	Drip	0.81	0.50	3,200	1,741	30,069
3	Low	0.10	Drip	0.81	0.11	14,000	1,764	39,590
	(Choose one)		(Choose one)					
	(Choose one)		(Choose one)					
	(Choose one)		(Choose one)					
	(Choose one)		(Choose one)					
	(Choose one)		(Choose one)					
Average ETAF for Regular Landscape Areas							0.10	80,322
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas and 0.45 or below for non-residential areas.								
Special Landscape Areas (SLA) - Areas of the landscape dedicated solely to edible plants, recreational areas (excluding single-family residential areas), areas irrigated with recycled water, or water features using recycled water.								
Hydrozone #	Water Use (WUCOLS)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF* (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
Estimated Total Water Use (ETWU) Total							80,322	
Maximum Allowed Water Allowance (MAWA) for Residential Areas*							227,314	
Maximum Allowed Water Allowance (MAWA) for Non-Residential Areas*							185,068	
To comply with this chapter, the ETWU must be equal to or less than the MAWA.								
If it is a residential project: The ETWU complies with the MAWA.								
If it is a non-residential project: The ETWU complies with the MAWA.								



## PRELIMINARY LANDSCAPE PLAN

AUGUST 9, 2024





Plan View

Symbol	Label	Image	QTY	Manufacturer	Catalog	Lamp Output	Description	Input Power	Polar Plot
	A		10	Lithonia Lighting	DSX0 LED P1 27K 80CRI BLC3	2957	D-Series Size 0 Area Luminaire P1 Performance Package 2700K CCT 80 CRI Type 3 Extreme Backlight Control	33.21	
	B		19	Lithonia Lighting	DSXW1 LED 10C 350 30K T2M MVOLT	1349	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 3000K, @ 350mA.	13.3	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
On Property	+	0.7 fc	4.8 fc	0.0 fc	N/A	N/A
Off Property	◇	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

### D-Series Size 0 LED Area Luminaire

**d-series**

**Specifications**

EPA: 0.44 ft<sup>2</sup> (0.04m<sup>2</sup>)

Length: 26.18" (66.5cm)

Width: 14.06" (35.7cm)

Height H1: 2.26" (5.7cm)

Height H2: 7.46" (18.9cm)

Weight: 23 lbs (10.4kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information		EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD				
Series	LEDs	Color temperature <sup>1</sup>	Color Rendering Index <sup>2</sup>	Distribution	Voltage	Mounting
DSX0 LED	<b>Forward optics</b>		(this section 70CRI only)	AFR Automotive front row T1S Type 1 short T2M Type II medium T3M Type III medium T4M Type IV medium T5M Type V medium T6M Type VI medium T7M Forward throw medium	MVOLT (120V-277V) <sup>3</sup> HVOLT (347V-480V) <sup>3</sup> XVOLT (277V-480V) <sup>3</sup>	<b>Shipped included</b> SPA Square pole mounting (48" drilling, 3.5" min. SD pole) RPA Round pole mounting (48" drilling, 3" min. RND pole) SPAS Square pole mounting (45" drilling, 3" min. SD pole) <sup>4</sup> RPAS Round pole mounting (45" drilling, 3" min. RND pole) <sup>4</sup> SPARN Square narrow pole mounting (48" drilling, 3" min. SD pole) WBA Wall bracket <sup>5</sup> MA Mast arm adapter (mounts on 2.38" OD horizontal beam)
	P1 P5 P2 P6 P3 P7 P6	30K 3000K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI			
DSX0 LED	<b>Isolated optics</b>		(this section 80CRI only, extended lead times apply)	BACN BOCN BOCR BOCR BOCR	BLC4 Type IV backlight control LCCO Left corner cutoff RCCO Right corner cutoff	DDBXZ Dark Bronze DBLXZ Black DNALXZ Natural Aluminum SHWHZ White DDBTDO Textured dark bronze DBLBDZ Textured black DNALTDZ Textured natural aluminum DWHGXD Textured white
	P10 <sup>6</sup> P12 <sup>6</sup> P11 <sup>6</sup> P13 <sup>6</sup>	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI 80CRI 80CRI 80CRI			

LITHONIA LIGHTING COMMERCIAL OUTDOOR  
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com  
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**Project:** Silver Creek Apartments  
**Date:** 08/09/2024  
**Scale:** Not to Scale

## PLANNING COMMISSION RESOLUTION 2024-08

### EXHIBIT B

#### A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION APPROVING APPLICATION 2021-0000060/DP (SILVER CREEK ESTATES)

##### DRAFT STATE DENSITY BONUS

Pursuant to State Density Bonus Law (SDBL), the following modifications to the Development Code are granted for the Silver Creek Estates Project:

1. Density Bonus: Four additional units are approved beyond the maximum allowable gross residential density on site, for a total of 40 units.

*[For reference: The allowable density for the project site is 36 units. The applicant is deed-restricting five units to affordable rents. Under SBDL, this qualifies the project for a 23% increase in density, or 8 additional units. The applicant is choosing to construct four additional units.]*

2. Incentive/Concession: Private Exterior Space: The applicant is requesting a reduction in both the size and provision of private exterior space. The patios and balconies provided are smaller than required by the Development Code and carriage units are not provided private exterior space.

*[For reference: Development Code Section 15.58.180 (Multifamily Residential Projects) requires that each multifamily unit have private exterior space as either a balcony, deck or patio. A private balcony shall have an area of at least 60 sf and a patio shall have an area of at least 90 sf. Both amenities shall have no minimum dimension of less than six feet].*

3. Waiver: Maximum Site Coverage: The project is proposing 48,439 sf of site coverage, or 65% of the project site.

*[For reference: The standard coverage requirement for parcels greater than 10,000 sf in the RM (Multi-family Residential) zoning district is a 40% maximum].*

4. Waiver: Maximum Height: The project is proposing two three-story buildings with a height of 42 feet.

*[For reference: The maximum height in the RM (Multi-family Residential) zoning district is 35 feet or 3.5 stories, whichever is less].*

5. Reduction: Required Open Space of 30%: The project provides approximately 17% of the project area as Open Space.

*[For reference: The open space requirement for the RM (Multi-family Residential) zoning district is 30%.]*

6. Reduction: Parking Lot Interior Landscaping: The project provides less than the required amount of parking lot interior landscaping. The project does not meet the 200 square feet

minimum, nor does it provide all of the required trees and shrubs.

*[For reference: Landscaping shall be evenly dispersed throughout the parking lot at a ratio of 200 square feet of landscaped area for every five parking stalls or fraction thereof. Two trees and four shrubs shall be provided for every five parking stalls or fraction thereof.]*

7. Reduction: Setback Landscaping: The project provides a portion of the side yard setback landscaping.

*[For reference: All front yard setback areas and side yard setback areas shall be landscaped, except where a required setback is occupied by a drainage facility, structure, parking space, sidewalk or driveway, or where a required setback is screened from public view.]*

8. Reduction: Parking Lot Perimeter Landscaping: The project provides parking lot perimeter landscaping, but not a full six-foot buffer as required.

*[For reference: Parking lots shall be landscaped both adjacent to streets and side or rear property lines. Development Code Section 18.40.040.B.3 requires at least a six-foot-wide landscaping buffer for parking areas.]*

9. Parking Requirements. The project provides 76 off-street parking spaces, with 26 spaces located in individual garages.

*[For reference: Development Code Chapter 18.48 (Parking and Loading Standards) provides a parking demand for the project resulting in 85 parking spaces, with 35 of the spaces located in a garage ( $24 * 1.5 = 36$ ,  $16 * 2 = 32$ ,  $36 + 32 = 68$ ,  $68 * 0.25 = 17$ ,  $68 + 17 = 85$ )*

*SDBL limits the amount of parking the Town can require for a density bonus housing project. The Town cannot require more than 48 parking spaces, none of which must be covered.*

*16 two-bedrooms ( $16 * 1.5 = 24$ ) + 15 one-bedroom + 9 studios =  $24+15+9 = 48$  parking spaces]*

## PLANNING COMMISSION RESOLUTION 2024-08

### EXHIBIT C

#### A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION APPROVING APPLICATION 2021-0000060/DP (SILVER CREEK ESTATES)

#### DRAFT CONDITIONS OF APPROVAL

##### General Conditions of Approval

1. A Development Permit to allow for construction of 40 multifamily residential units within 10 buildings located at Winter Creek Loop - No Address Assigned (APN 019-820-001-000) is hereby approved as described in the August 20, 2024 staff report and as shown on the site plans and civil drawings approved by the Planning Commission on August 20, 2024 and on file in the Community Development Department except as modified by these conditions of approval.
2. A density bonus of 4 units is approved. Parking reductions as allowed by State Density Bonus Law are approved. One concession/incentive and six waivers/reductions, as described in the August 20, 2024 staff report and incorporated as Exhibit B, are approved. **(Planning Division Recommendation)**
3. The applicant is responsible for complying with all conditions of approval and providing evidence to the Community Development Director of compliance with the conditions. A meeting with the Planning and Engineering Divisions is required prior to building permit submittal to review the conditions of approval and identify any changes in the project from the approved plan set. The applicant shall pay the hourly rate of staff time for this meeting and review of any proposed changes. An Administrative Review fee based on three hours of staff time (currently \$186 for the Planning Division and \$200 for the Engineering Division) shall be submitted as an initial deposit prior to scheduling the meeting. The staff time rates shall be based on the current Town of Truckee fee schedule in effect at the time the meeting is scheduled. **(Planning Division Recommendation)**
4. A matrix or letter shall be submitted as part of any grading or building permit application indicating how each condition has been met. Review of building permits will not commence until an itemized list of conditions of approval and status is provided. As part of the matrix or letter, the applicant shall identify any changes made from the Planning Commission approved plan set design. **(Planning Division Recommendation)**
5. The effective date of approval shall be September 2, 2024 unless the approval is appealed to the Town Council by 5:00 PM on Friday, August 30, 2024. In accordance with Section 18.84.050 of the Development Code, the Development Permit shall be exercised within two (2) years of the effective date of approval, and the project shall be completed within four (4) years after the effective date of approval. Otherwise, the approval shall become null and void unless an extension of time is granted by the Planning Commission, in compliance with Section 18.84.055 (Time Extensions). **(Planning Division Recommendation)**
6. The Community Development Director may authorize minor alterations to the approved Development Permit in accordance with Section 18.84.070(B)(1) of the Development

Code, including a reduction in the size of the project. Major changes and alterations to the approved plans and conditions of approval shall be reviewed and approved by the Planning Commission in accordance with Section 19.84.070(B)(2) of the Development Code. (**Planning Division Recommendation**)

7. Except as modified by these conditions of approval, the project shall comply with all applicable provisions and standards of the Development Code (effective date May 27, 2021) including, but not limited to the following:
  - a. General Development Standards as contained in Table 2-9 including site coverage, setbacks, and height limits;
  - b. Air Emissions in accordance with Section 18.30.030;
  - c. Drainage and stormwater runoff in accordance with Section 18.30.050;
  - d. Bicycle Parking in accordance with Section 18.48.090;
  - e. Building Height in accordance with Section 18.30.090;
  - f. Snow Storage in accordance with Section 18.30.130;
  - g. Exterior Parking in accordance with Chapters 18.48 and 18.50;
  - h. Exterior lighting in accordance with Section 18.30.060;
  - i. Solid Waste/Recyclable Materials in accordance with Section 18.30.150;
  - j. Open Space in accordance with Section 18.46.060;
  - k. Off-Street Loading Space Requirements in accordance with Section 18.84.100;
  - l. Property Maintenance in accordance with Section 18.30.100;
  - m. Parking in accordance with Chapters 18.48 and 18.50;
  - n. Landscaping in accordance with Chapters 18.40 and 18.42. (**Planning Division Recommendation**)
8. Any fees due to the Town of Truckee for processing this project shall be paid to the Town within thirty (30) calendar days of final action by the approval authority. Failure to pay such outstanding fees within the time specified shall invalidate any approval or conditional approval granted by this action. No permits, site work, or other actions authorized by this determination shall be permitted, authorized, or commenced until all outstanding fees are paid to the Town. (**Planning Division Recommendation**)
9. The applicant shall defend, indemnify, and hold harmless the Town and its agents, officers, and employees from any claim, action, or proceeding against the Town to attack, set aside, void, or annul the approval of the Planning Commission, which action is brought within the time period provided for by State law. (**Planning Division, Town Attorney**)
10. Prior to issuance of any grading or building permits for the project, the applicant shall provide performance guarantees with sufficient legal commitments and financial sureties to guarantee the faithful performance of any and all conditions of approval and completion of the phase or to guarantee the restoration of the site if the phase is not completed. The form, manner, and amount of the guarantee shall comply with the requirements of the Town Planner and the Town Attorney and shall be reviewed and approved by the Community Development Director prior to issuance of permits. (**Development Code Section 18.84.040**)
11. Prior to commencement of any work on the site, the applicant shall obtain grading and building permit(s) for all work on the building(s) and site. Complete building plans and engineering in accordance with the current Town Building Code will be required for all structures. The building plans shall include details and elevations for all State of California, Title 24, and accessibility regulations. Please contact the Building Division at

(530) 582-7821 to determine what permits are required. ***(Building Division Recommendation)***

12. Prior to grading or building permit issuance, the applicant shall demonstrate compliance with all conditions and requirements of the following agencies, including, but not limited to:
  - Town of Truckee Engineering Division
  - Liberty
  - Town of Truckee Building Division
  - Truckee Donner Public Utility District
  - Truckee Sanitary District
  - Truckee Fire Protection District
  - Nevada County Department of Environmental Health
  - Tahoe Truckee Sierra Disposal Company
  - Southwest Gas ***(Planning Division Recommendation)***
  
13. Prior to the issuance of building permits or improvement plans, the applicant shall submit payment for a construction mitigation fee. The fee amount is established by the Town Fee Schedule in effect at the time of building permit submittal. ***(Planning Division Recommendation)***
  
14. ***Construction Hours:*** Hours of operation of construction activities shall be limited to 7:00 AM and 9:00 PM Monday through Saturday and 9:00 AM and 6:00 PM on Sunday, unless the Community Development Director authorizes an extension of the time limitations based on the finding that the noise levels from the construction activities will not negatively affect the residential uses in the surrounding area. No construction shall be permitted on designated holidays set by the Town. If a noise complaint is received after the construction time limits are extended, the Community Development Director has the ability to render the extended time limits null and void and the applicant shall revert to the aforementioned hours of operation time limitations. Interior construction activities may occur after these hours if such activities will not result in exterior noise audible at property lines. Improvement, grading, and building plans shall note these limited hours of construction. ***(Planning Division Recommendation)***

### **Engineering Division Conditions**

15. Prior to building (grading) permit issuance, the project proponents shall submit improvement plans stamped by a licensed civil engineer to the satisfaction of the Town Engineer for all work both in and out of the proposed public right-of way, easements and private roadways.

The plans shall be prepared in accordance with the Town of Truckee Public Improvement and Engineering Standards dated May 2003; shall comply with the design standards identified in Water Quality Order No. 2013-0001-DWQ NPDES General Permit No. CAS000004, such as hydro-modification requirements, or the most current Phase 2 Municipal Separate Storm Sewer System (MS4) Permit; and shall comply with the Statewide Construction General Permit No. 2009-009-DWQ or most current permit. The plans at a minimum shall incorporate proposed grades, drainage, driveway design and erosion control; and incorporate cost estimates for all work to be performed.

Said improvement plans shall be accompanied by appropriate plan check fees to be calculated by the Town Engineer at the time of plan approval. Public improvement plan check fees and inspection fees are calculated using the estimated construction costs. The plan check fee is equal to the following formula based upon the estimated construction costs:

- 5% of valuation from \$0 to \$50,000
- 3% of valuation from \$50,000 to \$250,000
- 1% of valuation above \$250,000

The inspection fee, due prior to start of construction, is equal to the following formula based upon the estimated construction costs:

- 6% of valuation from \$0 to \$50,000
- 4% of valuation from \$50,000 to \$250,000
- 1.5% of valuation above \$250,000

***(Engineering Division Requirement)***

16. Prior to Parcel Map Recordation, Lot Line Adjustment, Subdivision Map Recordation, or building (grading) permit issuance, the project proponents shall provide identification of all existing drainage on the property and adjacent properties, which may affect this project. This identification shall show discharge points on all downstream properties as well as drainage courses before and after the proposed development for the 10-year and 100-year flows. ***(Engineering Division Requirement)***
17. Prior to building (grading) permit issuance, the applicant shall provide an erosion control plan and stormwater quality plan, per the requirements of the Town of Truckee for review and approval that shows temporary construction BMPs and permanent on-site treatment of the 85th percentile, 24-hour storm. The plan shall provide details for the proposed project stormwater collection and treatment including the safe release of overflow. ***(Engineering Division Requirement)***
18. If the project disturbs one acre or more or is part of a larger planned development, the project shall also comply with the Statewide Construction General Permit No. 2009-009-DWQ or most current permit. Prior to building (grading) permit issuance, the applicant shall provide the WDID number issued by the State Water Resources Control Board. ***(Engineering Division Requirement)***
19. Hydromodification Requirement: If the project creates or replaces one acre or more of impervious surface, post-project storm water flows shall equal pre-project flows for the design year event (2-year, 24-hour storm or current standard), unless additional mitigations are proposed by the applicant and approved by the Town Engineer to provide for the increase in flows. ***(Engineering Division Requirement)***
20. Prior to building (grading) permit issuance, the applicant shall submit a Best Management Practice (BMP) operation and maintenance plan to the Town Engineer for review and approval. Recordation of the operation and maintenance plan for permanent structural treatment control BMPs installed by the project may be required depending on the type of permanent BMP proposed. The property owner shall submit yearly BMP operation and maintenance certifications to the Engineering Division according to the Water Quality Order No. 2013-0001-DWQ NPDES General Permit No. CAS000004 or the most current

Phase 2 Municipal Separate Storm Sewer System (MS4) Permit. **(Engineering Division Requirement)**

21. Prior to building (grading) permit issuance, the applicant shall pay traffic impact fees applicable at the time of building permit issuance. As of February 23, 2024, based on 27,055 SF of Multi-Family Residential (calculation utilized "Building Summary" on Cover Sheet and assumed 50% of SF for buildings with garages below), the estimated traffic impact fees for the proposed project are **\$97,398.00**. The actual traffic impact fees will be based upon the development square footage proposed and current fee schedule adopted by the Town Council in effect at the time of building permit issuance. See Resolution No. 2023-07 for more information on the Town's AB1600 Fee Program. **(Engineering Division Requirement)**
22. Prior to building (grading) permit issuance, the applicant shall pay facilities impact fees applicable at the time of building permit issuance. As of February 24, 2024, based on 27,055 SF of Multi-Family Residential (calculation utilized "Building Summary" on Cover Sheet and assumed 50% of SF for buildings with garages below), the estimated facilities impact fees for the proposed project are **\$44,911.30**. The actual facilities impact fees will be based upon the development square footage proposed and the current fee schedule adopted by the Town Council in effect at the time of building permit issuance. **(Engineering Division Requirement)**
23. Prior to building (grading) permit issuance, structures shall be designed such that snow will not shed into pedestrian areas, onto parked vehicles, into drive aisles, or onto adjacent properties. **(Engineering Division Recommendation)**
24. Prior to building (grading) permit issuance, provide a snow removal/storage plan for approval by Town Engineer that shows snow storage calculations (50% of impervious area), locations, and how snow will be put in those locations. Snow storage locations should be easily accessible (i.e. no curbs). Provide snow storage as close to the source as possible with a means of containment (typically an earthen berm) to prevent contaminants from leaving the project site (if applicable based on topography/proximity to sensitive areas). Snow storage is not permissible within or above stormwater conveyance and treatment facilities. At the Town Engineer's discretion, a snow off-haul plan may be prepared by the applicant for 50% of the required snow storage on a site. This plan shall be reviewed and approved by the Town Engineer prior to land use entitlement and building permit issuance. **(Engineering Division Requirement)**
25. Frontage improvements will be required for the project. The project shall ensure that the existing paved trail along the frontage of the property remains a minimum of six feet wide at the conclusion of the project. If any portion of the trail is damaged or is less than six feet wide, as determined by the Town Engineer, the project proponent will be responsible for constructing/reconstructing the trail to six feet wide and to the satisfaction of the Town Engineer. A pedestrian connection between the proposed buildings and the public way (paved trail) will be required. The limits of the proposed improvements will be reviewed and approved by the Town Engineer as a part of the improvement plan review prior to building permit issuance. **(Engineering Division Requirement)**
26. Prior to building (grading) permit issuance, the applicant will be required to enter into a Hold Harmless and Maintenance Agreement for any and all frontage improvements. There is a fee associated with the development of the Hold Harmless Maintenance Agreement. **(Engineering Division Requirement)**

27. Prior to Parcel Map Recordation, Lot Line Adjustment, Subdivision Map Recordation, or building (grading) permit issuance, the applicant is required to offer for dedication to the Town an easement for any portions of the frontage improvements that are outside of the Winter Creek Loop right-of-way. **(Engineering Division Requirement)**
28. Prior to building (grading) permit issuance, the applicant will be required to demonstrate legal access to the property to the satisfaction of the Town Attorney for utilization of the Winter Creek roadways, specifically direct access from the project site to Brockway Road via Winter Creek Loop as a minimum. Legal access may be demonstrated by a final judgement of a court establishing access rights, with a recorded agreement with the Winter Creek Homeowners' Association addressing access rights, or alternative documentation otherwise accepted by the Town Attorney. The legal access demonstration shall address maintenance responsibilities for the roadways within Winter Creek that Silver Creek needs for access to its property. **(Engineering Division and Town Attorney Requirement)**
29. Prior to Parcel Map Recordation, Lot Line Adjustment, Subdivision Map Recordation, or building (grading) permit issuance, the applicant is to offer for dedication to the Town of Truckee 20' wide drainage easement centered along all drainage paths that cross the applicant property. **(Engineering Division Recommendation)**
30. Prior to Parcel Map Recordation, Lot Line Adjustment, Final Map Recordation, or certificate of occupancy, all roadway, drainage, frontage and utility improvements shall be constructed and approved by the respective responsible agencies or a financial surety in the following amounts consistent with section 18.108 of the Development Code and to the satisfaction of the Town Engineer:
  - If provided as a cash deposit, 125% of the costs of the remaining improvements.
  - If provided as a bond or letter of credit, a guarantee for Faithful Performance equal to 100% of the costs of the remaining improvements and a guarantee for Materials and Labor equal to 100% of the costs of the remaining improvements.

"Cost of remaining improvements" includes construction management costs. The limits of the remaining improvements will be reviewed and approved by the Town Engineer.  
**(Engineering Division Requirement)**
31. Prior to building (grading) permit issuance, approvals from individual utility providers impacted by the development shall be obtained and copies of approvals shall be provided to the Town Engineer to ensure there are no objections by affected utilities and that the project proponents are coordinating improvements. **(Engineering Division Requirement)**
32. Prior to building (grading) permit issuance or certificate of occupancy (whichever is specified), the applicant shall conform to all Engineering mitigation measures that are outlined in the final Winter Creek Subdivision Initial Study/Mitigate Negative Declaration (or more recent Environmental Document). **(Engineering Division Requirement)**
33. Prior to certificate of occupancy, the applicant shall provide the Town As-Builts for all public improvements required by the project, including, but not limited to: sidewalks, trails, transit shelters, drainage facilities, etc. The as-built drawings shall be completed by the Contractor and submitted to the Engineer in electronic format upon completion of

construction and prior to the acceptance of the improvements by the Town Engineer. As-built drawings shall include all changes made during construction and shall be signed by the engineer of record and the contractor. In addition, a digital copy of the plans and survey control shall be submitted for the Town's use.

Electronic files shall be submitted to the Town of Truckee in PDF format and in one or more of the following formats:

1. AutoCAD 2018 (or older) format \*.dwg CAD files to generate all final drawings and maps, with any associated images as geo-referenced 8-bit PC format TIFF files, with coordinate system defined.
2. ArcGIS-compatible shapefiles or coverages, with images as geo-referenced 8-bit PC format TIFF files, and any raster data in ESRI GRID format, with coordinate system defined.

The CAD or GIS system must have a defined coordinate system. The Town prefers that all submitted data be in Lambert Conformal Conic NAD 1983 CA State Plane II FIPS project, to match the existing Town of Truckee GIS data. ***(Engineering Division Recommendation)***

### **Other Conditions of Approval**

34. Cultural Resources: In the event that archaeological or cultural resources are discovered during any construction, all construction activities shall cease within 200 feet of the find unless a lesser distance is approved by the Community Development Director, and the Community Development Department shall be notified so that the extent and location of discovered materials may be recorded in a written report prepared by a qualified archaeologist, and disposition of discovered materials may occur in compliance with State and Federal law. Construction shall not recommence until the Director authorizes construction to begin. This note should be included in the construction plan set. ***(Development Code Section 18.30.040)***
35. Parking Requirements: As SDBL allows reduced parking requirements, the parking requirements for this project are as follows:
  - 76 parking spaces are required
    - 1) *43 of the 76 spaces outside of Liberty Easement of which 26 spaces are located in garages)*
36. Parking Requirements: The parking and circulation dimensions shall be in compliance with Development Code Chapter 18.48 (Parking and Loading Standards). All required parking spaces and walkways shall be kept clear of snow so they are useable year-round. Snow must be kept on the confines of the property as approved and may not be moved onto or stored on the Town maintained right-of-way or Town snow storage easements, unless specifically approved by the Town Engineer. ***(Development Code Chapter 18.48)***
37. The property owner(s) shall either manage the property or hire a property management company (companies) to manage leasing, parking plan, monitoring, complaints, and enforcement of the requirements of the entire project site. If a property management company (companies) is hired, the developer shall provide a copy of the executed contract to the Community Development Director prior to final occupancy for review and approval. ***(Planning Division Recommendation)***

38. Parking Management Plan: The property manager must assign parking spaces, outline enforcement methods and any other management efforts as deemed necessary. All leases must clearly indicate that on street parking in the Winter Creek subdivision is not allowed year-round. **(Planning Division Recommendation)**
39. Snow Storage Plan: Prior to issuance of any grading permit, building permit, and/or improvements plans, the developer shall submit a final snow storage plan for approval by the Town Engineer to meet the standards of Development Code Section 18.30.130 (Snow Storage). Snow storage equal to 50% of the area of the paved parking and circulation area is required.

Snow storage areas are required to be located near the sides or rear of parking areas, away from the primary street frontage, shall be a least 10 feet in any direction, and shall be designed to drain toward on-site drainage retention/treatment facilities. Snow storage areas are prohibited in drainage basins or in heavily landscaped areas.

All parking spaces and walkways shall be kept clear of snow so they are useable year-round. Snow must be kept on the confines of the property and may not be moved onto or stored on the Town maintained right-of-way or Town snow storage easements, unless specifically approved by the Town Engineer, and shall not impact traffic visibility. Any future modifications shall be reviewed and approved by the Town Engineer and Community Development Director prior to implementation. **(Planning Division Recommendation)**

40. Exterior Lighting: Prior to building permit issuance, a final lighting plan identifying locations, types, and lumens for all lights on site, including proposed building and existing parking lot lighting shall be submitted. All lights are required to be fully shielded and shall not trespass onto adjacent properties. A final photometric plan demonstrating that light will not trespass onto adjacent properties is required. Timers and sensors are required to be used to ensure that excessive lighting is avoided. Lights shall be color corrected with warm color temperatures, 3,000K or less. **(Planning Division Recommendation)**
41. Any mechanical equipment, including utility meters and individual air conditioning units, shall be screened from public view and designed to complement the adjacent building design. Screening shall be compatible in color and materials of adjacent buildings. All flashing, vents, gutters, and bear boxes shall be painted in a color to blend with adjacent building colors. Prior to building permit final, all screening will be inspected to ensure compliance with this condition. **(Planning Division Recommendation)**
42. Solid Waste and Recycling: Prior to building permit issuance, a final solid waste plan shall be approved by the Planning Division to verify that the project is in compliance with Development Code Section 18.30.150 (Solid Waste/Recyclable Material Storage), including but not limited to minimum solid waste and recyclable material storage area requirements, and in compliance with State of California requirements for food waste. The applicant shall provide a copy of a "will-serve" letter or equivalent from Tahoe Truckee Sierra Disposal (TTSD) to ensure that the final solid waste and recycling collection plan will be serviced by TTSD. The proposed storage areas are required to be located within 250 feet of an access doorway to the residential units which they are intended to serve and should accommodate storage of all mixed waste, recyclables and cardboard. Enclosures must be at least 16' x 9.7'. The storage areas shall be properly screened and resistant to wildlife. Storage areas are required to be compatible with the project and surrounding structures and land uses and screened from the public right-of-way. The solid waste and recycling receptacle area(s) shall be designed to divert drainage from adjoining

roofs and pavement around the receptacle. The solid waste and recycling receptacle(s) shall also be covered when not in use or during storm events. The applicant shall pay to have the project site serviced as frequently as necessary to ensure there is no stockpiling of food byproducts, garbage, packaging materials, etc. and to reduce potential impacts on adjacent properties in terms of odors, wildlife nuisances, etc. The solid waste and recyclables storage areas shall be kept tidy and free from loose debris at all times.

To meet the Solid Waste requirements, the applicant has indicated they will pay additional fees to TTSD to have twice weekly service and dumpster pull-out service. **(Planning Division, Development Code Section 18.30.150)**

43. Bear boxes must meet the following requirements: made of metal, stone, brick, concrete, or equivalently sturdy material; have a front-facing door; fit two 32-gallon cans; have a roof with side or back snow shedding; and have plunging pins securing the top and bottom locking mechanism. Bear sheds must be located out of the Town right-of-way and within twenty-eight feet of the edge of the roadway. Trash cans and bear boxes must be clearly labelled for each residential unit so that TTSD may attribute any additional trash charges to the appropriate residential unit. Carts must be wheeled to the edge of the street for weekly collection. The project shall comply with all applicable Truckee Tahoe Sierra Disposal (TTSD) requirements for the location, dimensions, and maintenance of the trash enclosure and shall be reviewed and approved by TTSD prior to building permit issuance. The dumpsters shall be maintained and monitored to ensure that the project is being adequately serviced. **(Solid Waste and Recycling Division Recommendation)**
44. No wood-burning appliances are proposed or approved as part of this project. **(Planning Division Recommendation)**
45. The number of bike parking spaces shall comply with Development Code Section 18.48.090 (Bicycle Parking and Support Facilities). For residential projects, one long-term parking space is required for each unit that does not have a fully enclosed garage, and additional short-term bicycle parking provided for guests at a rate of one space per ten residential units (a minimum of two guest spaces shall be provided in all cases). Long-term bicycle parking shall be located at ground level and covered from the elements and may be located in a locked enclosure or secure area internal to a building. Prior to building permit issuance, the Planning Division shall verify that the project provides the required number of secure bicycle parking spaces or storage prior to building permit issuance. The dimensions, location, and design of the bicycle parking shall be in compliance with Development Code Section 18.48.090 (Bicycle Parking and Support Facilities). **(Planning Division Recommendation)**
46. Prior to final certificate of occupancy, the bicycle parking spaces shall be installed. Each bicycle parking space shall include a stationary parking device, mounted to the ground to adequately support the bicycle. Each bicycle space shall be a minimum of two feet in width and six feet in length and have a minimum of seven feet of overhead clearance; shall be conveniently located and generally within proximity to the main entrance of a structure; and be separated from motor vehicle parking spaces or aisles by a fence, wall or curb, or by at least five feet of open area, marked to prohibit motor vehicle parking. **(Planning Division Recommendation)**
47. Utilities: All new utilities to serve the subject property shall be undergrounded in accordance with the requirements of the Development Code and the Town Engineer. The entirety of this work shall be completed in conjunction with the grading plans for the

development and shall be included in the engineered improvement plans prepared for this project. **(Development Code Section 18.30.160)**

48. The applicant shall pay all required impact fees as required by each respective District, including fire, school and recreation fees. Enforcement and clarification to any of these agency/district requirements and the necessary timing for satisfying these requirements is at the discretion of the respective agency/district **(Planning Division Recommendation)**
49. Prior to building permit issuance, the applicant shall provide a dust suppression plan, in compliance with Development Code Section 18.30.030 (Air Emissions). **(Development Code Section 18.30.030)**
50. All graded areas shall be protected from wind and water erosion. Interim erosion control plans shall be required, certified by the project engineer, and reviewed and approved by the Town Engineer prior to building permit issuance. Permanent erosion control measures in accordance with Best Management Practices of the "Project Guidelines for Erosion Control for the Truckee River Hydrologic Unit" as adopted by the Lahontan Regional Water Quality Control Board shall be reviewed by the Town Engineer prior to building permit issuance. Prior to building permit final, the permanent erosion control shall be reviewed and approved by the Building Division. **(Planning Division Recommendation)**
51. Survey: Prior to building permit issuance, a survey shall be submitted that shows topography and easements on the property. **(Planning Division Recommendation)**
52. Prior to building permit issuance, the applicant shall provide a tree protection plan in compliance with Development Code Section 18.30.155 (Tree Preservation). **(Development Code Section 18.30.155)**
53. No trees shall be removed unless a grading permit or building permit is issued by the Town of Truckee Building Division. **(Planning Division Recommendation)**
54. Signs: No new signs are proposed or approved as part of this approval, including any "A-frame" or similar temporary signage. A Sign Plan application, consistent with the Development Code requirements for signs, shall be submitted for review and approval by the Planning Division prior to installation of any signage. The required Sign Plan review fee will be based on the Town of Truckee fee schedule in effect at the time the Sign Plan application is submitted. **(Planning Division Recommendation)**
55. No temporary signage is approved with this project. Any future temporary signage shall be required to apply for a Temporary Sign Permit for review and approval. **(Planning Division Recommendation)**
56. Inclusionary Housing and Density Bonus: The project proposes to construct 36 multifamily residential units (does not include bonus units). In compliance with Development Code Chapter 18.212 (Inclusionary Housing), 15 percent of the units are required to be inclusionary units (5.4 units). The project shall construct five affordable housing units and pay 40% of the affordable housing in-lieu fee. Under Town Council Resolution 2022-77, the current in-lieu fee is \$134,413 per unit with an administrative fee based on one hour of staff time (currently \$186). The affordable housing in-lieu fee required for the fractional unit would be \$53,765.02 (40% of 134,413) plus the \$186 administrative fee. However, the applicant shall pay the affordable housing in-lieu fee and hourly staff fee in effect at the time of building permit issuance.

For lower income units, housing costs (rent and reasonable utility costs) may not exceed 30% x 60% of the area median income for a household size suitable for the unit and meet all State Density Bonus Law requirements

57. The affordable housing units shall be restricted in perpetuity. The deed restriction shall be in compliance with Chapter 18.210.090 (Affordable Housing Agreement) and submitted prior to building permit issuance for review and approval by the Community Development Director and Town Attorney. Payment of the affordable housing in-lieu fee shall be made prior to building permit issuance. The deed restriction shall be recorded prior to issuance of final occupancy. **(Planning Division Recommendation)**
58. All building materials and colors shall be consistent with the applicant submittal, and as described in the August 20, 2024 Planning Commission staff report. **(Planning Division Recommendation)**
59. Prior to building permit submittal, the applicant shall provide a copy of written permission from Liberty allowing all proposed development in the Liberty Transmission Line Easement. Conditions that must be met prior to receiving written approvals are listed in the letter from Liberty dated January 16, 2022. As additional improvements have been proposed since the writing of the Liberty letter, the written letter must include permission to install all improvements as shown in the approved plans. A Project Amendment may be required if improvements are not allowed in the Liberty easement. **(Planning Division Recommendation)**
60. The project shall comply with the 2022 California Building code of Regulation's or current codes enforced during time of submittal with emphasis on ADA and sound transmission requirements (CBC section 1206). Recommend pre-submittal meeting with design professional. **(Building Division)**
61. Final Landscaping Plan: The project shall provide landscaping in accordance with Chapters 18.40 and 18.42 and Section 18.30.155 of the Development Code, and as follows:
  - Prior to building permit issuance, the applicants shall submit a final landscaping plan for review and approval by the Community Development Director. All plants shall be appropriate for the Truckee climate. Native, adapted, and drought tolerant plants are preferred. The final landscape plan shall include the irrigation design plan.
  - Prior to issuance of certificate of occupancy, the applicant shall submit documentation of compliance with Development Code Section 18.40.060 (Water Efficient Landscape Ordinance), including all required Water Efficient Landscape Worksheets including Worksheet A (Maximum Allowed Water Allowance) and Worksheet B (Certificate of Completion) for review and approval by the Community Development Director.
  - Prior to issuance of certificate of occupancy, the applicant shall submit to the Planning Division a complete maintenance plan and contract, ensuring proper maintenance of all landscaping and irrigation, to be approved by the Community Development Director. The property owner shall be responsible for maintaining all plantings and irrigation, and in any case where required plantings have not survived, the property owner shall be responsible for replacement with equal or better plant materials.

- At least one week prior to issuance of a temporary or final certificate of occupancy, the applicant shall request an on-site inspection from the Planning Division for all landscaping and irrigation, and the applicant shall submit a landscape inspection fee in the amount established by the Town Fee Schedule at the time of the request (currently \$306). All landscaping shall be installed in accordance with the final landscape plan and these landscape conditions prior to issuance of a temporary certificate of occupancy OR installation of the landscaping shall be guaranteed by a performance guarantee or other acceptable security prior to issuance of a temporary certificate of occupancy and installation shall be completed prior to issuance of a final certificate of occupancy.
- Maintenance of all plantings and irrigation is required. In any case where required plantings have not survived, the property owner shall be responsible for replacement with equal or better plant materials (**Planning Division Recommendation**)

### **Other Agency Conditions**

61. Sewer lateral from proposed manhole S3 will be required to upsize to 6". TSD will provide 6" wye at sewer main. (**Truckee Sanitary District**)
62. The project will be subject to the requirements of SB 7 regarding the metering of water usage in multi-family residential structures (**TDPUD – Water**)
63. The proposed project will be subject to the requirements of AB 1881 and installation of a separate dedicated irrigation meter will be required if the project has 5,000 square feet or more of irrigated landscape. (**TDPUD – Water**)
64. The Utility Plan included with the routing depicts a connection to an existing water pipe in Winter Creek Loop. There is also an existing point of connection located along the eastern property line. The District will require that the on-site piping loop through the project and connect to both stubs. (**TDPUD – Water**)
65. Prior to any building or grading permit issuance, the applicant shall pay all AB1600 Mitigation Fees and Quimby Act Fees for all approved residential units as required by the Truckee-Donner Recreation and Park District. The fees shall be based upon the latest fee or fee schedule that was adopted by the Town Council and which is in effect at the time payment is made. (**TDRPD**)
66. The project location is Timberland as defined by Public Resources Code 4526. The project shall comply with all requirements of CalFire, including, but not limited to, filing a Timber Harvesting Conversion and Timber Harvest Plan or Notice of Conversion Exemption Timber Operations with the California Department of Forestry and Fire Protection. (**CalFire**)
67. The project will likely require the addition of two fire hydrants. (**Truckee Fire Protection District**)
68. New developments within our District boundaries are required to meet the following conditions:

- a. The Fire District routinely adopts and amends the California Fire Code. New developments are required to comply with the locally adopted and amended Fire Code that is in effect at the time the project is permitted. Complete plans must be submitted to the Fire District for review and approval [Plan Review — Truckee Fire Protection District](#). The developer will be responsible for plan review fees for both in house plan reviews as well as third party plan reviews conducted to ensure compliance with the locally adopted Fire Code. The developer is required to comply with the Fire District's interpretation of the Fire Code as the authority having jurisdiction. Some typical interpretations include: providing Knox key box access for building control rooms and gates, providing markers, snow removal, and vehicle impact protection for fire hydrants, providing and maintaining pre-fire safety plans for Fire District use and, limiting vertical combustible construction prior to completion of an emergency water supply.
- b. The Fire District has adopted a capital facilities mitigation program that applies to new developments. The developer will be required to pay fire mitigation fees at the appropriate rate when the project is permitted.
- c. The developer is required to comply with the Fire District's currently adopted defensible space ordinance throughout the life of the project. The Zone 0 "ignition resistant zone" will be in effect after January 1st 2023 for new construction and January 1st 2024 for existing construction
- d. Inspections can be scheduled at [Inspections — Truckee Fire Protection District](#)
- e. Sprinkler plans can be submitted as a deferred submittal to EFS [Engineered Fire Systems, Inc.](#)

***(Truckee Fire Protection District)***

## PLANNING COMMISSION RESOLUTION 2024-08

### EXHIBIT D

#### A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION APPROVING APPLICATION 2021-0000060/DP (SILVER CREEK ESTATES)

#### FINDINGS

##### DEVELOPMENT PERMIT FINDINGS

- The proposed development is allowed by Article II (Zoning Districts and Allowable Land Uses) within the applicable zoning district with the approval of the applicable land use permit and complies with all applicable provisions of this Development Code, the Municipal Code and the Public Improvement and Engineering Standards.

*“Multifamily Dwellings, 11 and more units” are a permitted use in the Residential Multifamily (RM) zoning district with approval of a Development Permit as identified by Development Code Table 2-2 (Allowed Uses and Permit Requirements for Residential Zoning Districts). With the incorporation of the Conditions of Approval and application of the SDBL incentives/concessions and waivers/reductions the project is in compliance with the zoning district standards, Development Code, Municipal Code, and PIES. This finding is supported by the discussion contained in the “Discussion and Analysis” section of the Planning Commission staff report dated August 20, 2024.*
- The proposed development is consistent with the General Plan, any applicable Specific Plan and/or Master Plan, the Trails Master Plan, the Truckee Tahoe Airport Land Use Compatibility Plan and the Particulate Matter Air Quality Management Plan.

*With incorporation of the Conditions of Approval, the project is consistent with the 2025 General Plan as supported by the discussion contained in the “Discussion and Analysis” section of the Planning Commission staff report dated August 20, 2024.*

*The project is not located within a Specific Plan or Master Plan Area and is not located within a Truckee Tahoe Airport Land Use Compatibility Plan Zone. No trails are required at this location by the Trails and Bikeways Master Plan.*
- The proposed development is consistent with the design guidelines, achieves the overall design objectives of the design guidelines and would not impair the design and architectural integrity and character of the surrounding neighborhood.

*The SDBL allows the project to not meet this finding. The Town is not allowed to apply development standards which preclude the project from building at the permitted density as supported by the discussion contained in the “Discussion and Analysis” section of the Planning Commission staff report dated August 20, 2024. The project uses natural (metal/wood) materials which are painted earthtone colors.*
- The Development Permit approval is in compliance with the requirements of the California Environmental Quality Act (CEQA) and there would be no potential significant adverse effects upon environmental quality and natural resources that would not be properly mitigated and monitored, unless a Statement of Overriding Considerations is adopted.

The proposed project is exempt from the provisions of CEQA per the Class 32 exemption for In-Fill Development Projects (Section 15332 of the CEQA Guidelines). The Class 32 exemption can be applied to projects that meet the following criteria:

Consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations

- With the exception of the allowances required by SDBL, the project is consistent with the General Plan and Development Code. A 2011 case, *Wollmer v. City of Berkeley*, clarified the use of the CEQA infill exemption for density bonus projects. In this case, an opponent challenged the use of the urban infill exemption on the grounds that the modifications and waivers of development standards, as required to be granted under SDBL, meant that the project was not consistent with existing zoning. The court rejected that argument, finding that the modifications required by the Density Bonus Law did not disqualify the project from claiming the exemption.

Located within town limits on a project site of no more than five acres and is substantially surrounded by urban uses

- The project site is under two acres and is substantially surrounded by urban uses.

Project site has no value as habitat for endangered, rare or threatened species

- The project site was previously reviewed under the Winter Creek MND. The MND found no habitat on the project site that would have value for endangered, rare or threatened species.

Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality

- The project is located in the Residential CEQA VMT (Vehicle Miles Traveled) Exemption Zone and is presumed to have a less-than-significant transportation impact. In order to analyze potential LOS (Level of Service) impacts, the Town required a traffic analysis (Attachment 7). The traffic analysis determined the study intersection LOS is adequate and there are no queuing concerns or need for an additional turn lane.
- The project will be subject to all standard requirements in regard to air quality, noise and water quality. The project does not include wood burning appliances and will be required to have a dust suppression plan (COA #48). The project meets all stormwater requirements as determined by the Engineering Division (COA #16). The project is required to meet construction noise standards (COA #14) and AB1307 clarifies that the effects of noise generated by the occupants of a development are not a significant effect on the environment per CEQA standards.

The project can be adequately served by all required utilities and public services.

- The project has been reviewed by all utilities and public service agencies and final "will-serve" letter are required prior to building permit issuance.

5. There are adequate provisions for public and emergency vehicle access, fire protection, sanitation, water and public utilities and services to ensure that the proposed development would not be detrimental to public health and safety. Adequate provisions shall mean that distribution and collection facilities and other infrastructure are installed at the time of development and in operation prior to occupancy of buildings and the land and all development fees have been paid prior to occupancy of buildings and the land.

*The recommended Conditions of Approval ensure adequate provisions for public and emergency vehicle access, fire protection, sanitation, water, and public utilities and services. All utility agencies have reviewed the project, and no objections were filed. This finding is further supported by the discussion contained in the "Discussion and Analysis" section of the Planning Commission staff report dated August 20, 2024.*

6. The subject site is:

Physically suitable for the type and density/intensity of development being proposed;

*The SDBL allows the project to not meet this finding. The Town is not allowed to apply development standards which preclude the project from building at the permitted density as supported by the discussion contained in the "Discussion and Analysis" section of the Planning Commission staff report dated August 20, 2024.*

Adequate in size and shape to accommodate the use and all fences and walls, landscaping, loading, parking, yards and other features required by this Development Code; and

*The SDBL allows the project to not meet this finding. The Town is not allowed to apply development standards which preclude the project from building at the permitted density as supported by the discussion contained in the "Discussion and Analysis" section of the Planning Commission staff report dated August 20, 2024.*

Served by streets adequate in width and pavement type to carry the quantity and type of traffic generated by the proposed development.

*The site is served by private roads created as part of subdivision which also created the subject parcel. As previously discussed, staff believes the subject parcel has rights to use the private road to access the public roadway system. However, to ensure this is correct, Condition of Approval #28 requires the applicant to establish legal access prior to development of the project.*

*The site is served by private streets within the subdivision that connect to public streets, which are adequate in width, pavement type, and level of service to carry the quantity and type of traffic generated by the proposed development. This finding is supported by the incorporated Conditions of Approval, the LSC traffic analysis, and by the discussion contained in the "Discussion and Analysis" section of the Planning Commission staff report dated August 20, 2024.*

7. The proposed development is consistent with all applicable regulations of the Nevada County Environmental Health Department and the Truckee Fire Protection District for the transport, use and disposal of hazardous materials.

*The project does not propose to transport, use or dispose of hazardous materials.*