

CHAPTER 18.25 – OBJECTIVE DESIGN STANDARDS

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18.25.010 - Purpose of Chapter

The Objective Design Standards identify specific measurable elements of a design that are required for all multi-family residential projects and new single-family residential subdivision projects with five or more residential parcels. The intent of the Objective Design Standards is to set clear expectations that align with the Town’s goals and intended outcomes for multi-family residential projects, as defined in this chapter, while implementing requirements in California State Law. Chapter 18.24 (Design Guidelines) provides additional guidance on design objectives and expectations to help guide future development.

18.25.020 – Applicability

A. The Objective Design Standards apply to new multi-family residential projects, as defined by this chapter, and new single-family residential subdivisions with five or more residential parcels. These standards do not apply to existing single-family residences or existing single-family subdivisions created prior to **DATE OF ORDINANCE**. For the purposes of this section, “multi-family residential projects” are projects with two or more residential units only or a mix of multi-family residential and non-residential uses, with at least two-thirds of the gross square footage of the development designated for residential use. Multi-family residential projects and new single-family residential subdivision projects shall adhere to requirements contained in this Chapter in order to gain administrative approval. The provisions of Chapter 18.24 (Design Guidelines) apply to multi-family residential projects that choose to request a variation to the Objective Design Standards, pursuant to Section 18.25.030.B (Flexible Design Review) and complete a review with the identified review authority in Table 4-1.

1. [Multi-family projects are ~~only~~ subject to the standards outlined in Sections 18.25.050 – 18.25.100.](#)
2. [New single-family subdivision projects are ~~only~~ subject to the standards outlined in Section 18.25.110.](#)
3. [Residential mixed-use projects are subject to the standards outlined in Sections 18.25.050 – 18.25.100 and Section 18.25.120.](#)

1.4. Multi-family residential projects in the DVL zone district are subject to the standards in Sections 18.25.050 – 18.25.100 and Section 18.25.130.

A.B. For additions to existing multi-family residential buildings, the standards of this chapter shall apply to the entire building, including the existing structure and addition, if the addition requires a demolition of the existing building that is equal to or greater than 50% of the surface area of all existing exterior wall assemblies above finished grade or for additions over ~~45~~50% of the existing square footage of the existing building. If the addition requires demolition that is less than 50% of the existing building or the addition is less than ~~45~~50% of the square footage of the existing building, the Standards shall apply to only the building addition. The design of the addition shall use the same roof form, materials, articulation, and color found on the existing building. Category A, B, or C historic resources within the -HP Overlay District shall be exempt from this requirement and preservation of the historic structure shall be maintained per the requirements of Chapter 18.77 (Historic Design Review).

B.C. Projects with less than two-thirds of the gross floor area of the development designated for residential use are considered commercial projects and are not subject to this chapter (see Chapter 18.24 – Design Guidelines for commercial projects).

C.D. For mixed-use developments with two-thirds or greater of the gross floor area designated for residential use, the standards shall apply to the entirety of the structure(s) and are not limited to only residential portions.

D.E. These standards are in addition to those in Chapter 18.08 (Residential Zoning Districts), specifically the RM (Residential Multi-Family), DRM (Downtown Medium Density Residential), DRH (Downtown High Density Residential), and Chapter 18.12 (Commercial and Manufacturing Zoning Districts), specifically the DVL (Downtown Visitor Lodging), CN (Neighborhood Commercial), CG (General Commercial), CS (Service Commercial), DMU (Downtown Mixed Use), DC (Downtown Commercial), M (Manufacturing), and DM (Downtown Manufacturing/Industrial) zoning districts, as well as Chapters 18.46 (Open Space/Cluster Requirements), Chapter 18.30 (General Property Development and Use Standards), Chapter 18.40 (Landscape Standards), Chapter 18.48 (Parking and Loading Standards), and Chapter 18.54 (Signs).

E.F. Standards contained within resource protection Chapters, including Chapter 18.34 Floodplain Management, Chapter 18.36 Hillside Development, Chapter 18.38 Lake and River/Stream Corridor Development, Chapter 18.46 Open Space & Cluster Guidelines, and Chapter 18.26 Historic Preservation Design Guidelines shall prevail over standards in this Chapter whenever there is a conflict.

F.G. Organization. The Objective Design Standards are organized by topic. Descriptive diagrams are provided to help articulate the standards visually. The diagrams should be considered as examples and do not contain specific architectural elements that apply to projects. In the event of a conflict or inconsistency between the text of this document and any illustration, figure, table, heading, caption, or map, the text shall take precedence.

G.H. Interpretation. The following standards provide direction on interpreting this chapter:

1. Mandatory and Discretionary Terms

Objective Design Standards

18.25

- a. The words “shall,” and “will” are mandatory, establishing a duty or obligation to comply with the specific Standard.
 - b. The words “shall not,” “will not” and “not permitted” are mandatory and represent the prevention of action.
 - c. The words “may,” and “should” are permissive.
2. Unless otherwise specifically indicated, lists or items or examples that use terms such as “for example,” “including,” and “such as,” or similar language are intended to provide examples and are not an exhaustive list of all possibilities.
 3. Unless context clearly suggests otherwise, conjunctions must be interpreted as follows:
 - a. “And” indicates that all connected terms, items, condition, provisions, and events apply.
 - b. “Or” indicates that one or more of the connected terms, items, conditions, provisions, or events apply
 4. Where features are required in intervals, the measurements shall occur from left to right when viewing the elevation.

18.25.030 – Review Process

A. **Streamlined Residential Review.** Consistency with development standards, including the Objective Design Standards of this Chapter, shall be determined administratively under a Streamlined Residential Project process, unless a variation is requested. The Streamlined Residential ~~Review~~ (Chapter 18.79) process will result in a determination of approval or denial for compliance with the standards of the Development Code.

1. The allowances under Chapter 18.78 (Planned Development) may not be used in addition to the Streamlined Residential Permit Process.
2. The Residential Project Streamlined Review process may be used in conjunction with the provisions of Chapter 18.212 (Density Bonuses, Concessions, and Incentives).
1. ~~For projects that are requesting a more flexible approach to the design of the project, see Section 18.25.020.B and Chapter 18.24 (Design Guidelines).~~

B. Flexible Design Review. Any application that voluntarily requests a flexible approach to architectural design review of the project may apply for the applicable land use application per Article IV and be subject to the criteria set forth in Chapter 18.24 (Design Guidelines). In this process, architectural review is at the discretion of the final review authority and are not subject to the requirements of this chapter, except for Sections 18.25.050.D (Open Space and Common Outdoor Areas, 18.25.090.B (Balconies, porches, decks, and patios), and 18.25.090.C (Amenities). Projects that are also requesting flexibility in development standards listed in Tables 2-4, 2-9, or 2-11, or Sections 18.25.020.E and 18.25.020.F, shall be subject to the requirements of Chapter 18.78 (Planned Developments) and/or Chapter 18.82 (Variances and Historic Variances).

18.25.040 – Definitions

For the purposes of this Chapter, the definitions set forth shall apply:

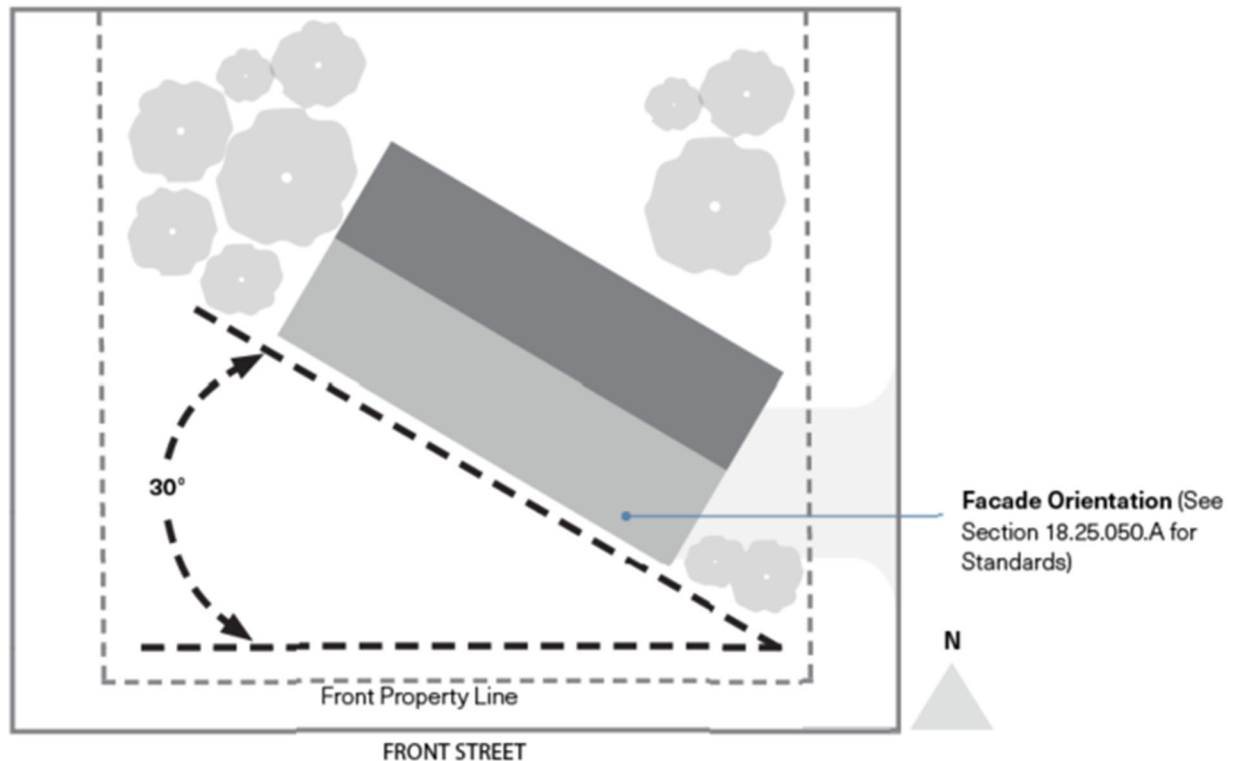
- A. **Architectural projection.** A building feature that extends from the face of the wall of the primary building. Examples include uncovered balconies, bays, porches, canopies, variations in massing proportions, or similar protrusion of a building.
- B. **Bear box.** An enclosed and lockable metal structure less than 12 ~~square feet~~ and less than four feet in height that is used to store outdoor garbage. The bear box is designed to be animal resistant.
- C. **Building recess.** A building feature that indents from the primary building elevation. Examples include covered balconies, covered porches, open galleries, arcades, loggias, or similar building element that creates a stepping back effect.
- D. **Building wall projection.** A building wall projection creates a horizontal change outward in living area from the primary building elevation and creates a visual difference of light and shadow.
- E. Crusher screen. Large panels of interwoven material, typically metal wire.
- F. Façade. The exterior face of a building on any side. A façade includes multiple wall planes that make up the overall face of the building. Architectural projections, such as a porch or balcony, are not considered a façade.
- G. Podium parking. Sub-grade or at-grade parking structures that are covered by the ground floor of a building and completely enclosed by walls.
- E.H. Primary residential building. In a single-family development, the primary residential building shall be considered the main place of habitation. This shall not include other separated structures on the property such as garages, accessory dwelling units, sheds or otherwise.

18.25.050– Multi-Family Site Design

The purpose of this section is to ensure development responds to the overall site conditions and neighborhood. It outlines standards for key site level features that create quality design outcomes, particularly when viewed from the street. Site organization, circulation, parking, and open areas all contribute to successful development.

A. Site organization.

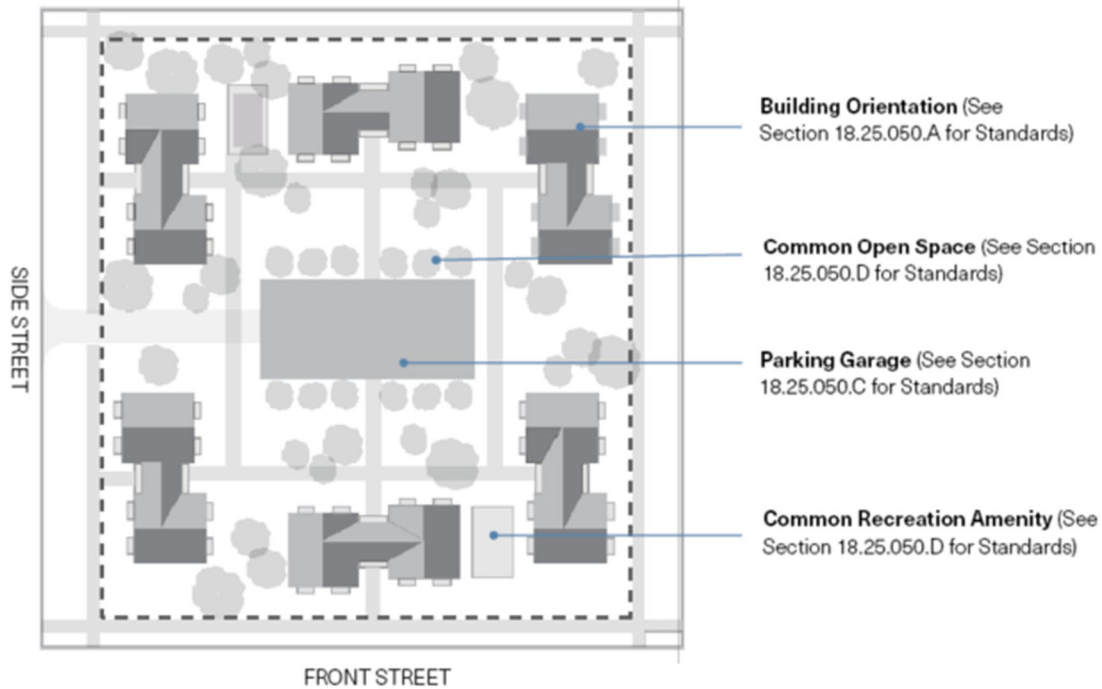
1. Buildings shall be oriented to the street edge. At a minimum, building walls along a street-facing façade shall abut and be parallel to the ~~front~~ front or street-side setback line for at least 50% of the property frontage for the project. Where no setbacks are required for a zoning district, the building shall be located within 10 feet of the property line and parallel to the front or street-side property line, unless frontage improvements or landscaping require further setback. Exceptions to this regulation may shall be made for projects with no commercial uses or with fewer than 10 residential units when the street-facing façade of the building is within 30 degrees of south and the building orientation supports passive solar gain.

FIGURE 2-X BUILDING FAÇADE ORIENTATION FOR PASSIVE SOLAR GAIN

1.2. When a project includes multiple buildings, building walls that are internal to the site and face another building shall position windows and entrances to avoid instances where living spaces of one structure face the living spaces of another to improve indoor privacy. Refer to Section 18.25.060.F (Massing and Articulation, Adjacent Development).

2.3. When multiple residential structures are proposed, the structures shall be grouped so as to preserve contiguous open space areas. Refer to Section 18.46.050 (Open Space Standards).

3.4. When a project includes multiple buildings, buildings shall be ~~oriented~~ located to create contiguous courtyards and/or common open space areas.

FIGURE 2-X BUILDINGS AT STREET WALL, COMMON OPEN SPACE

B. Circulation

Standards for pedestrian and vehicular circulation are required to ensure safe access to and within a residential project.

1. In addition to the standards contained herein, multi-family developments shall adhere to the standards contained in Chapter 18.30 (General Property Development and Use Standards) and Chapter 18.48 (Parking and Loading Standards).
2. Pedestrian walkways

a. As determined by the Town Engineer, projects shall provide public sidewalks parallel to the front setback line. On a corner lot, sidewalks shall be provided for both lot lines that abut the street. Sidewalk dimensions and design shall comply with the applicable standards of the Town of Truckee Public Improvement Engineering Standards, the Public Rights-of-Way Accessibility Guidelines, and the ADA Standards for Accessible Design and shall be approved by the Town Engineer prior to permit issuance/construction of the sidewalk improvements.

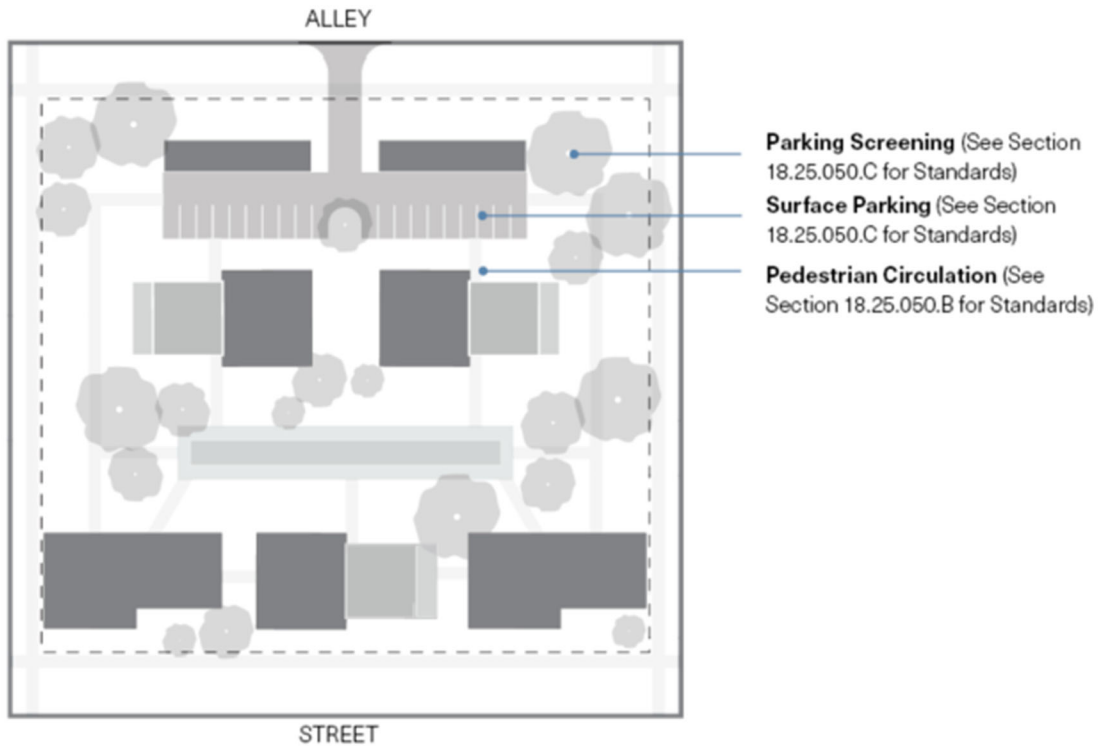
a.b. Projects shall connect the on-site pedestrian circulation system to the existing or required off-site public sidewalk at intervals of at least one connection for each 200 linear feet of frontage (or fraction thereof).

b.c. Parking areas shall be connected to primary building entrances by means of walkways with pavers, ~~or~~ concrete slab, or asphalt.

C. Parking**1. Parking accommodation.**

- a. Required parking shall be accommodated through one or more parking types identified in Sections 18.25.050.C.3 through 18.25.050.C.6. All individual requirements for the chosen parking types shall be met.
- b. Standards for parking and circulation shall be consistent with Chapter 18.48 (Parking and Loading Standards).
- c. Landscaping is required pursuant to Section 18.40.040.B (Site Landscaping Standards, Parking areas). An eight-foot landscape width is preferred for tree health, but in no case shall a landscape area be less than six feet wide.
- d. Parking areas shall be visible from the residential units which use them to the greatest degree possible. Parking areas shall be located at the rear of buildings and screened from the public right-of-way. Screening shall include either of the following:
 - (1) Dense three-tiered landscaping consisting of the following:
 - (a) Groundcover;
 - (b) Five-gallon shrubs at least two feet tall at maturity at a rate of two per linear feet of the area, and 15-gallon trees at least six feet tall at planting or fencing that ensure that the parking area is not visible from pedestrian height from the public right-of-way.

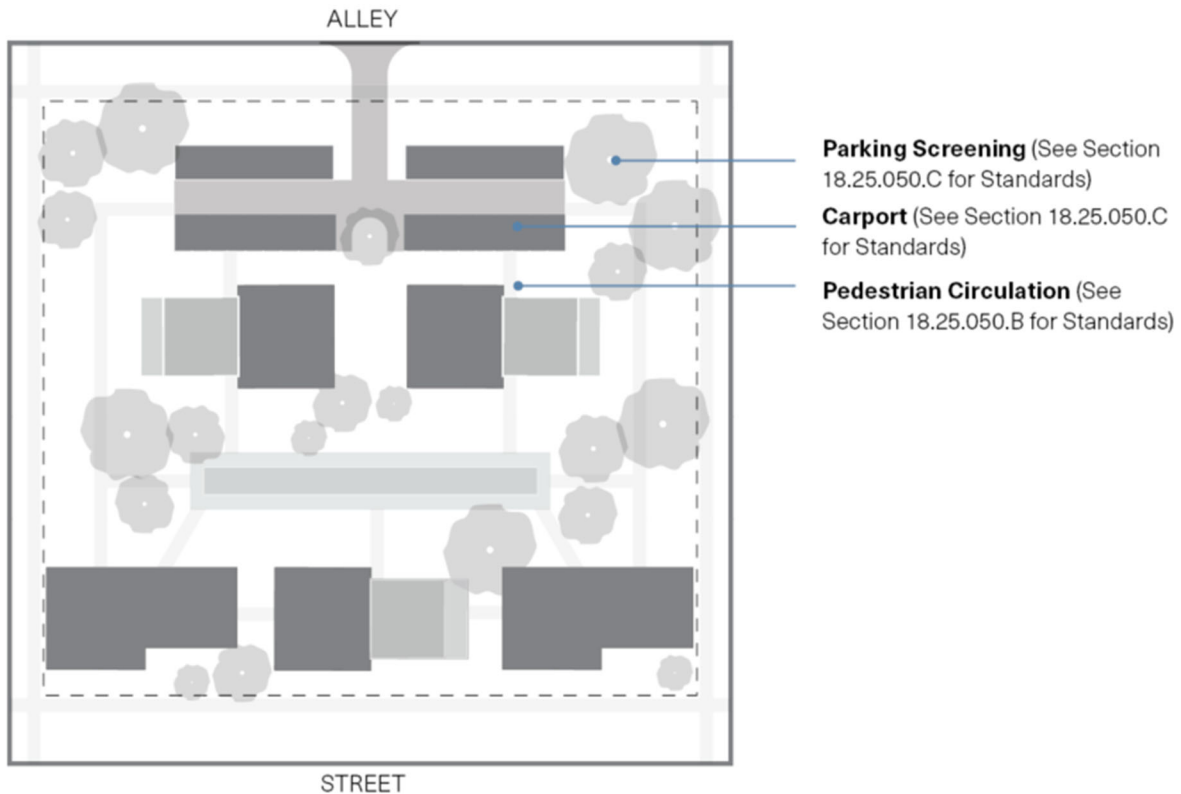
FIGURE 2-X: SMALL PARKING AREAS



2. Parking carports.

- a. Individual parking carports shall provide a maximum of ten parking spaces.
- b. A parking carport shall not be located between the primary residential building entrance and the street. They are permitted to be located adjacent to a private alley with public access.
- c. Car elevators and tandem parking are prohibited in carports.

FIGURE 2-X: PARKING CARPORT LOCATION



- d. Carports shall be designed as an integral part of the overall project. They shall use materials, colors, and details found in the residential structures. Carports may be attached to the residential structure.
- e. Carports shall be oriented to consider solar access for solar panels.
- f. Carports shall be oriented and the roofs sloped to avoid snowshed on public rights-of-way, sidewalks, and internal pedestrian paths.
- g. Prefabricated metal carports shall be made of durable materials that are consistent with the residential structure and include a minimum manufacturer warranty of 25 years from color fading or other weather or climate-induced degradation of the material.
- h. Each carport structure shall be separated from additional parking spaces and/or other carports by a landscaped bulb not less than ten feet wide. Architectural elements (e.g., roof overhangs, trellises, porches or stairways) may extend into these landscaped bulbs by up to 18 inches.
- i. A group of parking carports shall not consist of more than two double-loaded parking aisles (bays) adjacent to each other.
- j. Storage areas may be incorporated into carports either above, behind, or beside the carport. However, in no instance may the carport length exceed 100 feet or ~~25~~12 feet in height.

- k. The ends of each cluster of carports shall be concealed with low walls up to four feet in height and/or landscaping at least six feet in height.

3. Parking lots.

- a. Parking lots shall not be located between the public right-of-way and the structure, with the exception of accessible parking spaces required by the Building Code. They are permitted to be located adjacent to a private alley with public access.
- b. Every ten parking spaces shall be separated from additional parking spaces by a landscaped bulb not less than ten feet wide. Architectural elements (e.g., roof overhangs, trellises, porches or stairways) may extend into these landscaped bulbs by up to 18 inches.
- c. A parking lot shall not consist of more than two double-loaded parking aisles (bays) adjacent to each other. Parking lots with two double-loaded parking aisles shall be separated from each other by dwelling units, or by a landscaped buffer that is not less than 20 feet wide.
- d. Car elevators and tandem parking are prohibited in surface parking lots.

4. Parking structures.

- a. A parking structure is defined as a covered and fully enclosed parking garage with two or more levels for parking.
- b. Parking structures shall be provided for residential projects that contain ~~200~~50 or more units that are located in Downtown High Density Residential (DRH), Downtown Commercial (DC) and Downtown Mixed Use (DMU) ~~zone-zoning~~ districts. This standard does not apply if private garages are provided for each unit.
- c. Parking structures, with the exception of one 24-foot entrance, shall not be located on the street frontage. Where a project has two street frontages, the entrance shall be located on the street with the lesser amount of traffic as determined by the Town Engineer's traffic counts.
- d. Parking structures may be detached or attached to a structure containing the primary use. For projects with more than 70 units, at least 50% of the required parking shall be accommodated in an attached parking structure.
- e. Exterior walls of a parking structure shall not be a solid unbroken wall surface. Walls greater than 40 feet in length shall ~~be broken up as follows~~ meet the following criteria:

(1) Building wall design. The exterior wall shall be broken up with one or both of the following options:

- (a) Plane changes of at least four feet wide, 18 inches deep, and extending a minimum of ten feet in height with material changes for at least ~~25~~50% of the total length of the wall; or

- (a)(b) A wrap of residential or commercial ground floor land uses (as permitted in the underlying zone district or site-specific approval) around the parking garage that provide pedestrian activation. In this option, only the access point designed to

the minimum dimensions may be located at the street.

- ~~(2) Multi-tiered landscaping Vegetation that shields the view from the right of way by a minimum of 75% of the façade from the natural grade to a height of four to six feet at maturity. with at least two trees and four shrubs for every 20 linear feet and Vegetation shall be consistent with Section 18.40.050 (Landscape Standards). ~~;~~ ~~or~~~~

~~A wrap of residential or commercial ground floor land uses (as permitted in the underlying zone district or site specific approval) around the parking garage that provide pedestrian activation is included. In this option, only the access point designed to the minimum dimensions may be located at the street.~~

- f. For mixed-use projects with at least ~~40-100~~200 residential units, podium parking shall be required. Ground floor commercial, with a minimum depth of ~~35~~50 feet shall surround the parking structure elevations that front a major road (arterial or collector).
- g. Multi-level parking structures may be depressed into the ground to minimize their visual impact.

5. Parking garages.

- a. Parking garages shall be covered and enclosed and are limited to a single-story in height.
- b. Parking garages may be detached or attached to a structure containing the primary use.
- c. Garage design.
- (1) For projects with five or more dwelling units, garages shall be located behind the primary uses. For projects with four or fewer dwelling units, garages may be located in plane with or in front of the residential unit.
- (2) Parking areas tucked under residential structures shall be in a fully enclosed garage.
- d. Exterior walls of a parking garage shall not be a solid unbroken wall surface. Walls greater than 40 feet in length shall be broken up as follows:

- ~~(1)~~ Plane changes of at least four feet wide, 18 inches deep, and extending a minimum of ten feet in height with material changes for at least 25% of the total wall length; or

~~(1)~~

~~(2)~~

Vegetation that shields the view from the right of way by a minimum of 75% of the façade from the natural grade to a height of four to six feet at maturity. Vegetation shall be consistent with Section 18.40.050 (Landscape Standards). ~~Multi-tiered landscaping with at least two trees and four shrubs for every 20 linear feet and consistent with Section 18.40.050 (Landscape Standards).~~

~~(3)~~(2)

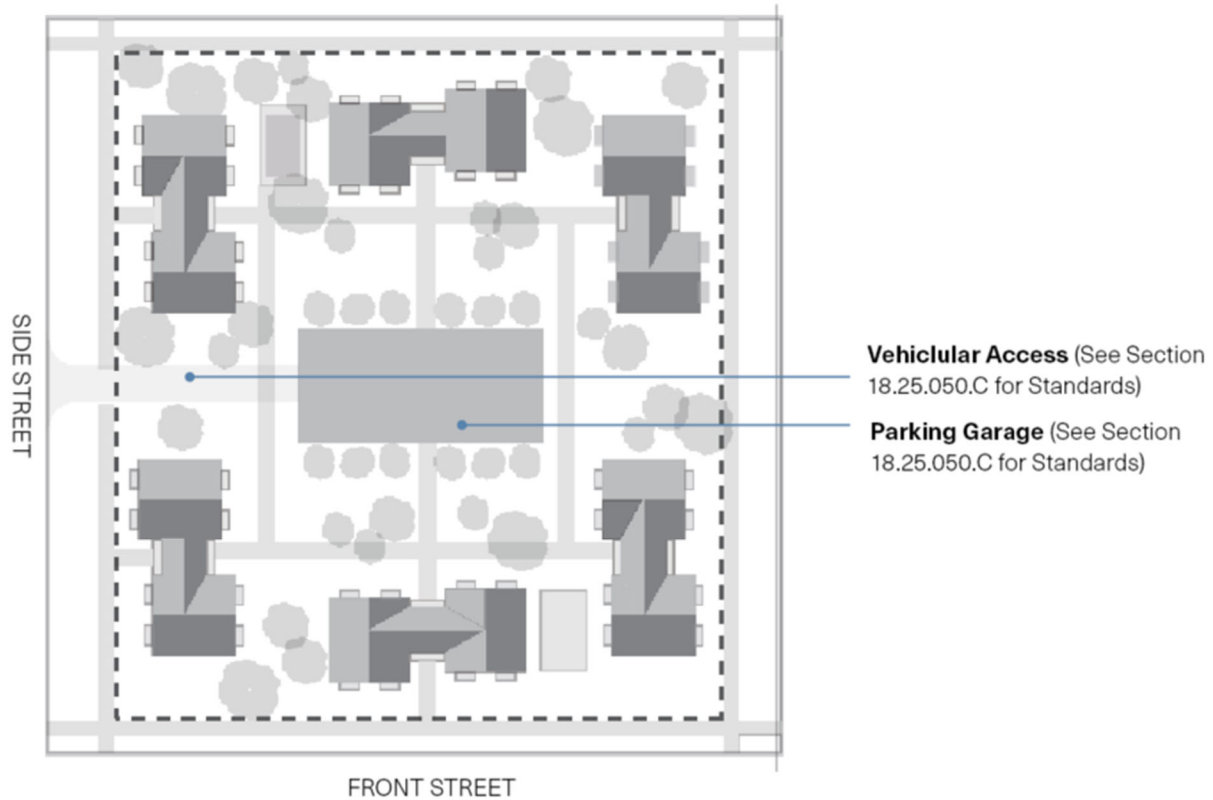
- e. Detached parking garages.

- (1) Detached parking garages shall not be located more than 750 feet from the project's primary entrance or the entrance of the unit for which it serves. This shall be measured

based on the clear pedestrian path.

- (2) Detached garages shall be designed as an integral part of the overall project. They shall be similar in material, color and detail to the residential structures.

FIGURE 2-X PARKING GARAGE LAYOUT

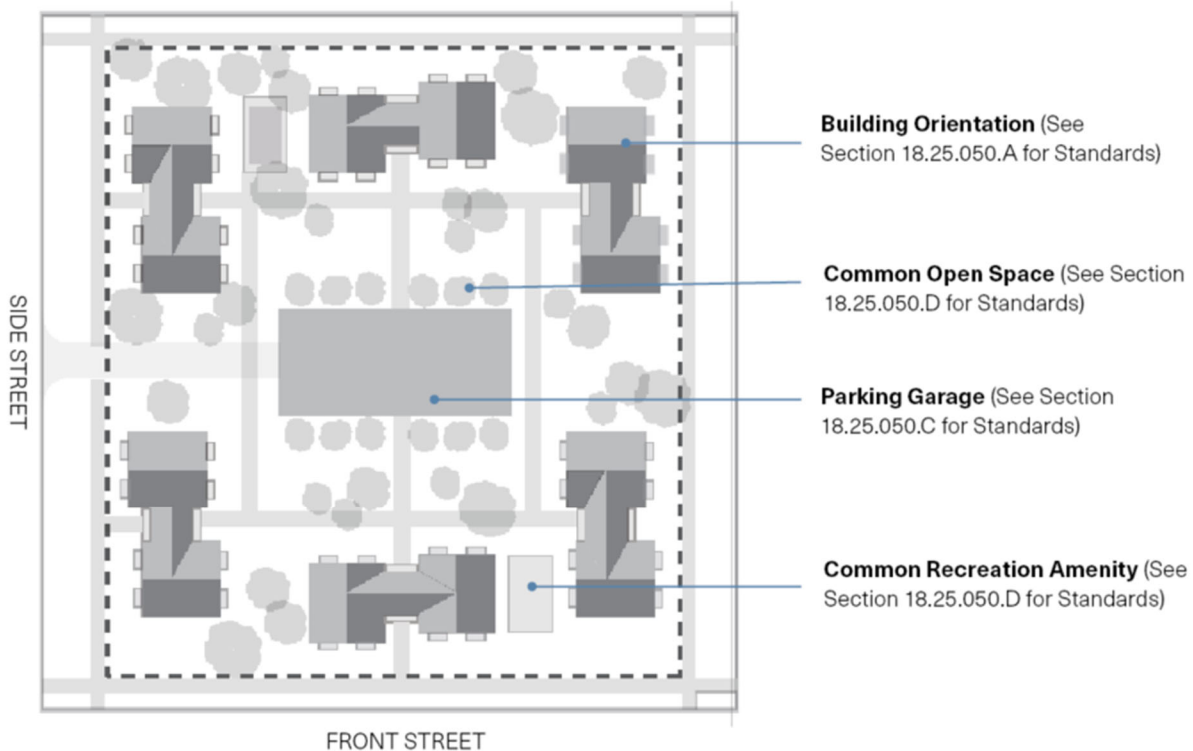


D. Open Space and Common Outdoor Areas

1. **Open space requirements.** The provisions of the following Chapters shall apply to the minimum amount of open space required, design of open space areas within the property, and requirements for snow storage:
 - a. Chapter 18.08 — Residential Zoning Districts
 - b. Chapter 18.12 – Commercial and Manufacturing Districts
 - c. Chapter 18.46 — Open Space/Clustering Requirements
2. **Common outdoor area requirements.** Common outdoor areas shall be defined as usable outdoor space that is designed and/or programmed for recreation, leisure and pleasure. All multi-family residential developments with five or more dwelling units shall incorporate the following:
 - a. The project shall be designed to provide the equivalent of a minimum of 250 square feet of common outdoor area for each dwelling unit.

- b. Each common outdoor area shall maintain a minimum dimension of twenty feet, shall be no smaller than 250 square feet and shall not include rights-of-way, vehicle access, parking areas, or landscaping associated with a parking area.
- c. Rear setbacks that meet the definition of common outdoor area are credited as usable Common Outdoor Areas up to a maximum of ~~50-percent~~ when they are at least 20 feet in all dimensions.
- d. Up to ~~50-percent~~ of Common Outdoor Areas may be included as part of a project's Open Space calculations, as defined in Chapter 18.46 (Open Space/Cluster Requirements). The ~~allowed~~ uses identified in Sections 18.46.050.G.1 shall be allowed in the Common Outdoor Areas. Discretionary and prohibited uses identified in Section 18.46.050.G.3 shall not be counted toward the Open Space requirement.
- e. Up to ~~25-percent~~ of any required Common Outdoor Area may be paved or in hard surface if the surfaces are to be used exclusively for recreational purposes (e.g. basketball court, swimming pool). These areas shall not be counted toward the Open Space calculations, as defined in Chapter 18.46 (Open Space/Cluster Requirements).

FIGURE 2-X OPEN SPACE, COMMON OUTDOOR AREA, RECREATION AMENITY



3. Common recreational amenities.

- a. All multi-family residential developments with ten or more units shall provide a minimum of

one indoor or outdoor recreational amenity for every 25 units or fraction thereof.

- b. Common recreational amenities shall be provided within the common outdoor areas or in a common building. Refer to Section 18.46.050.G for allowed, discretionary and prohibited uses in Open Space areas. Recreational amenities that are prohibited in Open Space areas shall be provided in separate common outdoor area that is not designated as Open Space.
- c. One of the following recreational amenities shall be required to fulfill this common recreational amenities requirement:

- (1) Barbecue area with plumbed gas stub, concrete pad, picnic tables, and shade covering/roof;
- (2) Recreation building with community room, including exercise equipment;
- (3) Fenced dog play area that is a minimum of 2,500 square feet in size with decomposed granite or gravel cover and regularly maintained waste stations. Fencing shall be a maximum of four feet in height, shall be metal or wood and 50% transparent. Chain link or barbed wire are prohibited. No lighting shall be permitted and the hours of operation shall be 7:00 AM or sunrise, whichever is later, to 9:00 PM or sundown, whichever is earlier. The fenced dog run shall be located outside of any setbacks;
- (4) Formal and maintained outdoor recreation areas (e.g., bocce courts, basketball courts, volleyball courts); and
- (5) Children's outdoor play area ~~lot~~ with play equipment. Individual play areas shall be a minimum of 2,500 square feet. Children's play areas shall contain a minimum of two structured play modules including a play structure and/or swing area. Play modules shall follow ADA Standards for Accessible Design and shall be available for use by all residents of the project.

Projects in complexes with more than 40 two- or more bedroom units are required to provide a children's play area within the complex project. There shall be a minimum of one outdoor play area per 250 two-bedroom or larger units, shall be provided throughout the complex. Individual play areas shall be a minimum of 2,500 square feet. If two play areas are required, they may be combined to a minimum size of 5,000 square feet. The minimum size shall scale according to the number of units up to 10,000 square feet and shall contain a minimum of one play module and other formal and maintained outdoor area (see Section 18.25.050.D.3.c.(4)). The play areas may be used to meet the required total number of recreational amenities. Children's play areas shall contain a minimum of two structured play modules. Play modules shall follow ADA Standards for Accessible Design.

- (6) Applicants choosing to provide a recreational amenity that is not listed above may seek approval through a discretionary review process, as outlined in Section 18.25.030.B of this Chapter.

- E. **Fencing and Wall Design.** Proposed multi-family developments shall adhere to all standards contained in Chapter 18.40 (Landscape Standards), Section 18.30.070 (Fences, Walls, and Hedges), (General Property Development and Use Standards), and Chapter 18.24 (Design Guidelines).

18.25.060 – Multi-Family Massing and Articulation

The purpose of this section is to ensure buildings are designed to reduce their overall perceived scale and to add visual interest from all observable scales. It outlines standards to promote human-scale buildings ~~that and~~ ensure development is consistent with Truckee's character ~~and to promote human-scale buildings~~.

A. **Massing breaks.** Massing is used to express or break up the form of a building and is one of the most important ways a building is experienced. Thoughtful building massing can minimize the perceived scale of large buildings and enhance the pedestrian experience. Major massing breaks are considered those that break the building into discernable volumes. Major massing breaks shall be achieved by incorporating the following features.

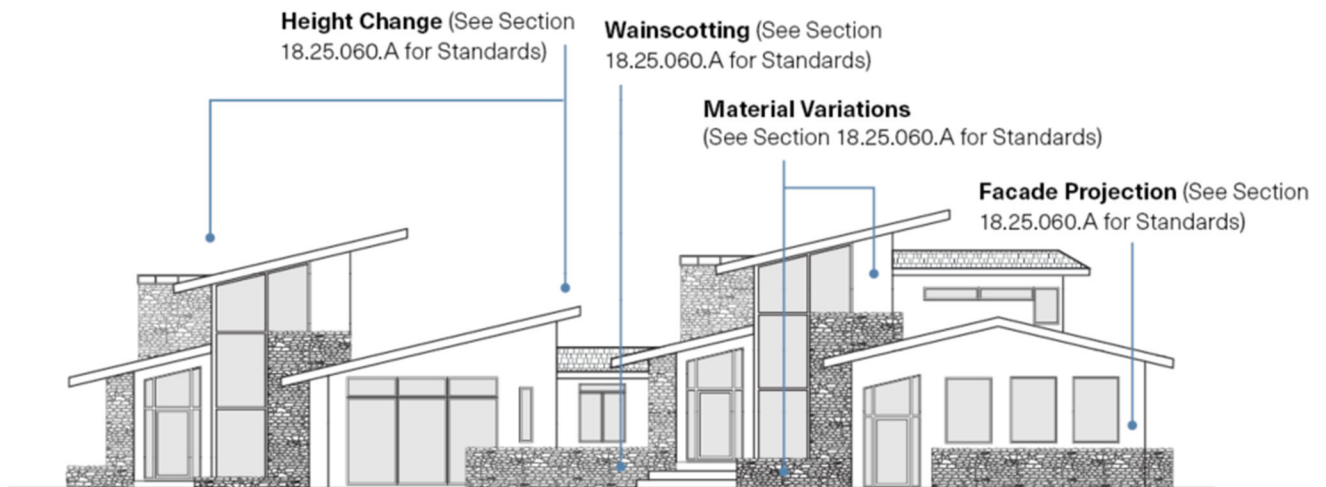
1. **Building elevation length.** No building façade or elevation visible from the public right-of-way or where residents and/or customer access is available shall be greater than 200 feet in length.
2. **Buildings elevations that face an adjacent property.** Building elevations that face an adjacent property, are located within ten feet of the adjacent structure, and is of the same or lesser height of the adjacent structure shall be exempt from these standards, except that no building façade or elevations shall be greater than 200 feet in length.
3. **Canopies.** Buildings that are two stories or higher shall provide a three-foot minimum depth canopy, roof structure, or balcony that extends from the face of the building over an entry toward the street at a height of between ten feet and 15 feet above the adjacent sidewalk. Such extension(s) shall extend horizontally parallel to the street and cover a minimum of the entire width of the entry area. See also Section 18.30.120 (General Property Development and Use Standard, Setback Requirements and Exceptions).
4. **Step backs.** For buildings three stories or taller in height, a minimum step back of ten feet from the ground floor building walls that front a public street or pedestrian walk is required for the third story or at 30 feet measured from the lower story building walls at finish grade, whichever is less.
5. **Wall plane change.** Changes in wall plane that are a minimum of 20% the width of the building elevation, 18 inches deep, and extend a minimum of 20% of the maximum height of the building elevation or 10 feet in height, whichever is greater.
6. **Height change:** Changes in wall or roof height at a minimum of 80% the maximum height of the building frontage for a minimum width of 20% of the elevation width.
- 6.7. **Roofline articulation.** At least one change in the roofline related to the specific building elevation. Roofline articulation shall be measured by vertical changes to the roofline that occur from a change in roof type, direction, or pitch of the roof plane, and/or roofline modulation from stepping up or lowering the highest point of the roof by two feet or stepping forward or backward a portion of the façade by two feet. Roofline articulation shall not be measured by the addition of chimneys or dormers.

B. **Façade breaks.** On facades that are 50 feet or longer, aAn façade offset that is at least 18 inches in depth, measuring at least 25% of the length of the façade and extending the full height of the building is required for each 50-foot of facade. —at least Additionally, the following features must be

incorporated:

1. Accent material for entry. Where a façade is 50 feet or longer and includes ~~An~~ an entryway accent material that is distinct from the building façade covering a minimum of 30% percent of the wall surface area surrounding the entryway including windows and doors is required. Refer to Section 18.25.080 (Materials and Colors) for a list of allowed building materials.
2. Material variations. Changes in material direction on wall planes for a minimum of 20% of the building façade. Materials changes shall begin and end at wall plane breaks and shall not occur on the same plane.
3. Wainscoting. Wainscoting on wall planes for a minimum of ten feet in width and extend a minimum of three feet in height. Wainscoting should begin and end at wall plane breaks and shall not occur on the same plane.

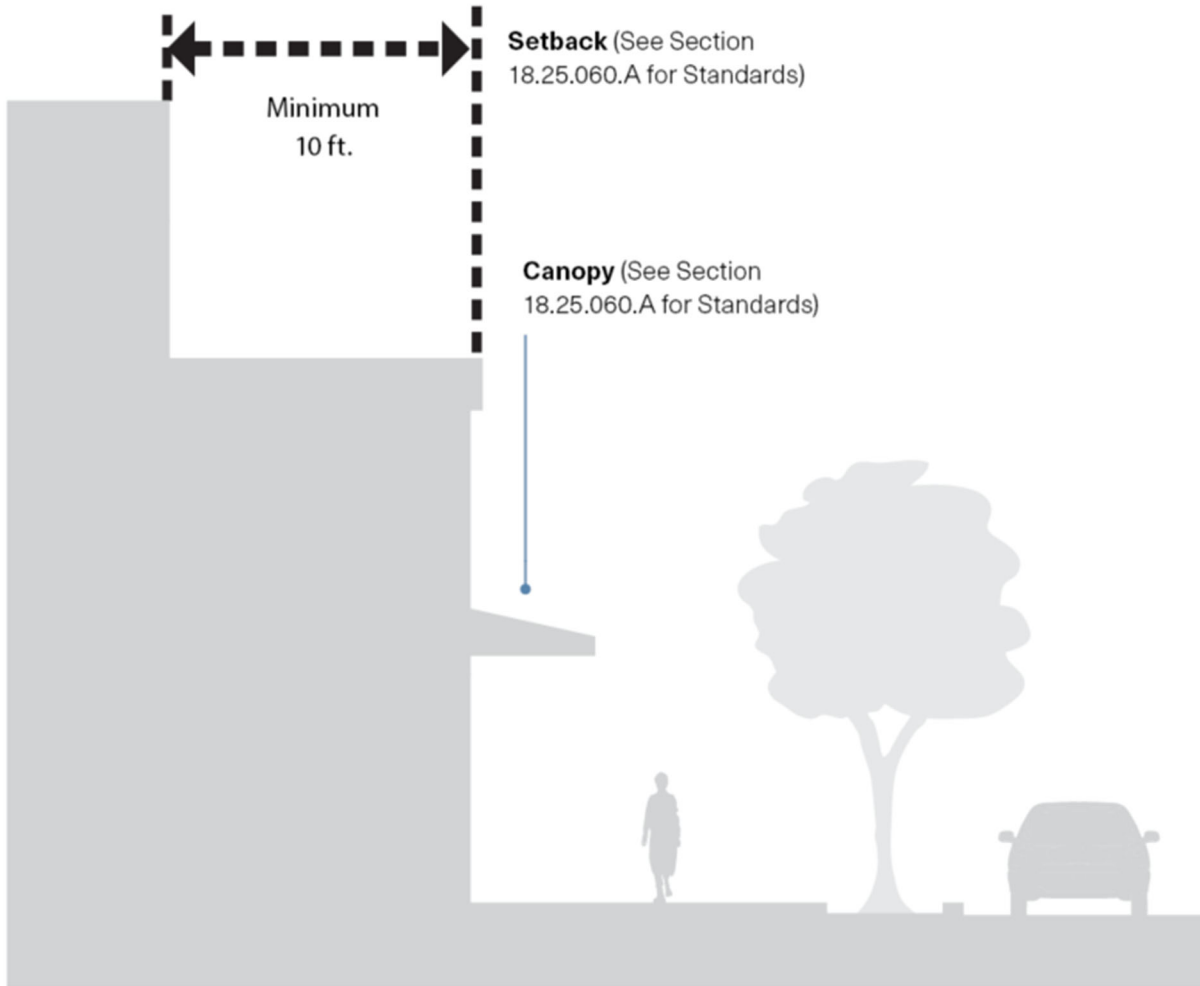
FIGURE 2-X MASSING BREAKS



1. ~~Facade breaks.~~ On facades that are fifty feet or longer, at least two of the following features must be incorporated: For each 50-foot expanse, an offset that is at least 18 inches in depth and 20 feet long and extending the full height of the building;
2. ~~An entryway accent material that is distinct from the building façade covering a minimum of 30 percent of the entryway wall surface area including windows and doors. Refer to Section 18.25.080 (Materials and Colors) for a list of allowed building materials;~~
3. ~~Material variations or changes in material direction on wall planes for a minimum of 20% of the building façade. Materials changes shall begin and end at wall plane breaks and shall not occur on the same plane; and/or~~

4. ~~Wainscoting on wall planes for a minimum of ten feet in width and extend a minimum of three feet in height. Wainscoting should begin and end at wall plane breaks and shall not occur on the same plane.~~

FIGURE 2-X BUILDING STEP BACKS AND CANOPY



B.C. Building Articulation

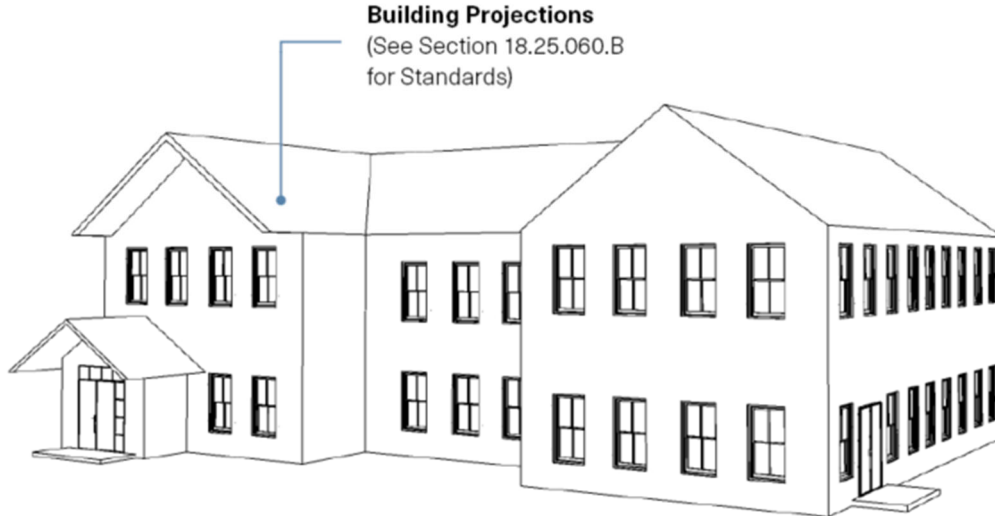
In order to create multi-family residential projects with articulation and interest, the following features shall be required. ~~If the project includes multiple structures with varying unit counts, more than one standard may apply.~~ One standard applies to each building, based on the number of units in that building. ~~If the project includes multiple structures with varying unit counts, more than one standard may apply to the project.~~ If a feature meets the criteria of this subsection building design and those listed under Section 18.25.060.A (Massing Breaks), the feature can be used to meet the criteria for both, features listed in Section 18.25.060.A sections.

1. **Structures containing three to five attached dwellings on the same elevation.** At least two of the following features shall be incorporated into projects with structures containing three or more

attached dwellings with entries on the same façade. At least one of the ~~two~~three features shall be located along the building's front elevation:

- a. At least one horizontal architectural projection that extends at least two feet from the wall plane and is not less than four feet wide for every 40 linear feet of wall;
- b. Building wall projections that extend at least two feet from the face of the primary building wall and the full height of a single-story structure, measuring at least one-half the height of a two-story building, and two-thirds the height of a three-story building; or
- c. A recess to the overall building massing that creates a change in wall plane and living area of at least three feet in depth for at least 20% of the frontage.

FIGURE 2-X: BUILDING PROJECTIONS



2. **Structures containing six to 19 dwelling units.** In order to avoid architectural monotony and repetition throughout a development a minimum of three of the following distinct features shall be incorporated into a project with structures containing six to 19 units. At least one feature shall be located along any building elevation which fronts a public street, public parking lot, private parking lot available to the general public, or pedestrian walk on or adjacent to the property:
 - a. At least three architectural projections, not less than two feet from the wall plane and not less than four feet wide, not including any features required under Section 18.25.090.B (Balconies, porches, decks, and patios);
 - b. Building wall projections that extend at least two feet from the face of the primary building wall and the full height of a single-story structure, measuring at least one-half the height of a two-story building, and two-thirds the height of a three-story building; or

c. A recess to create a change in wall plane and living area of at least three feet in depth for a minimum width of two feet at intervals of no more than 30 feet.

3. **Structures containing 20 or more dwelling units.** Structures containing 20 or more dwelling units shall include a variety of building rhythms to avoid architectural monotony and repetition throughout the development by incorporating at least three of the following distinct features. At least one feature shall be located along any building elevation which fronts a public street, public parking lot, private parking lot available to the general public, or pedestrian walk:

a. At least three architectural projections, not less than two feet from the wall plane and not less than four feet wide, not including any features required under Section 18.25.090.B (Balconies, porches, decks, and patios);

d. Building wall projections that extend at least two feet from the face of the primary building wall and the full height of a single-story structure, measuring at least one-half the height of a two-story building, and two-thirds the height of a three-story building; or

~~d.~~—A recess to create a change in wall plane and living area of at least three feet in depth for a minimum width of two feet at intervals of no more than 30 feet.

d.

Break units into more than one building that are located a minimum of ten feet apart, and meet the requirements of Section 18.25.060.D, Building Variation.

f.e.

FIGURE 2-X INDIVIDUAL BUILDING BALCONIES AND PROJECTIONS



~~C.D.~~ **Building Variation.** Where a multi-family residential project includes multiple structures, building variation standards are required to reduce architectural monotony.

1. **Projects with three to six residential structures** ~~with more than two units in each structure.~~ Projects with three to six structures shall reduce architectural monotony through use of a minimum of ~~three~~ two building designs. One building design may be a “mirrored design” that copies or reflects door, window and material placement from one nonsymmetrical building to another. Each building design is required to meet the other requirements of this Chapter to ensure appropriate architectural variation, massing articulation, parking design, and the like. In addition to the other standards of this Chapter, projects shall adhere to the following building variation standards:

Objective Design Standards

18.25

- a. Architectural Features. Each building design shall include ~~all the at least three~~ options listed in Section 18.25.060.~~BC.1 or 2~~, Building Articulation, as applicable.

A

- ~~b.~~ Materials. Each building design shall include at least two materials, pursuant to Section 18.25.080, and the overall development shall include at least three different materials. At least 30% of the overall building elevations shall use a different material. Refer to Section 18.25.080₂ (Colors and Materials).

b.

- c. Color. The color palette for the overall development shall be consistent, but variation in color is required to ensure variation in design. A minimum of two colors are required for the overall development. At least 50% of the overall building elevations shall use a different color. Refer to Section 18.25.080₂ (Colors and Materials).

2. **Projects with seven or more residential structures with more than two units in each structure.** Projects with seven or more ~~or more~~ structures with more than two units in each structure shall reduce architectural monotony through use of a minimum of three building designs. One building design may be a “mirrored design” that copies or reflects door, window and material placement from one nonsymmetrical building to another. Buildings that use a mirrored option are considered the same design and shall not count as an additional building design. Each building design is required to meet the other requirements of this Chapter to ensure appropriate architectural variation, massing articulation, parking design, and the like. In addition to the other standards of this Chapter, projects shall adhere to the following building variation standards:

- a. Architectural Features. Each building design shall include at least three options listed in Section 18.25.060.B, Building Articulation, as applicable.

- ~~a.b.~~ Different roof materials and roof designs. Refer to Section 18.25~~x~~.060.D~~E~~ (Roofs and Rooflines) and Section 18.25.080.C (Roof Materials).

- ~~b.c.~~ Building height. Maximum height of one of the three designs, as measured per Section 18.30.090.B, shall be least ~~82~~0% of the height of the design with the greatest height.

- ~~c.d.~~ Materials. Each building design shall include at least two materials, pursuant to Section 18.25.080, and the overall development shall include at least three different materials. At least 30% of the overall building elevations shall use a different material. Refer to Section 18.25.080 (Colors and Materials).

- ~~d.e.~~ Color. The color palette for the overall development shall be consistent, but variation in color is required to ensure variation in design. A minimum of two colors are required for the overall development. At least 50% of the overall building elevations shall use a different color. Refer to Section 18.25.080 (Colors and Materials).

D.E. Roofs and rooflines

The roof is a major component of the architectural character of a building. The form, materials, and design should be responsive to Truckee’s climatic conditions and utilitarian character.

1. Materials. Roofs shall utilize only the following materials:

- a. Thick or dimensional asphalt shingle in dark earth tone colors (i.e., greens, browns, grays);

- ~~b. Metal: Standing seam, box rip, corrugated or similar in in dark earth tone colors (i.e., greens, browns, grays, blacks, rust);~~

~~Shiny or reflective materials.~~

2.1. Roof design pitches.

- a. The following roof types shall be permitted:
- (1) Gable, including ~~gambrel, hip,~~ clipped gable, and A-frame roofs. Roof styles shall be applied through the whole building or at least 10% of the building. For instance, the design cannot be a flat roof with a ~~mansard roof or~~ pitched roof segment applied only at the structure's edge.
 - ~~(2) Shed roofs with a minimum roof slope of 4:12 and a maximum roof slope of 6:12.~~
 - ~~(2)~~
- b. The following flat roofs, including roofs with parapets, shall be prohibited ~~permitted with the following exceptions:~~
- (1) Any flat portions that provide for utility or equipment placement shall comprise a maximum of 10% ten percent of the roof surface. Flat portions shall not be visible from streets, open space areas or common recreation facilities.
 - (2) Flat roofs are permitted for M mixed-use developments in CG, CN, M, CS, DMU, DC, or DM zones; and/or
 - (3) Flat roofs are permitted on S structures that are larger than 10,000 square feet.
 - ~~(1)~~
 - ~~(2)(1) Any flat portions that provide for utility or equipment placement shall comprise a maximum of ten percent of the roof surface. Flat portions shall not be visible from streets, open space areas or common recreation facilities.~~
- c. Up to two roof types are allowed per building, however multiple pitches are permitted. For instance, a building could include a 4:12 shed roof, as well as a 4:12 gable roof and 7:12 gable roof. Flat roofs in compliance with 18.25.060.D.a.b(1) are exempt from this requirements if the roof area is less than 10% of the total roof area for the building. Up to two roof types per building shall be allowed.
- d. Building roofs and pitches shall be designed to minimize or prevent snow shedding onto common sidewalks and walking areas.
- ~~(1) Buildings with roofs that are within 10 feet of a property line and have a slope greater than 7:12 and/or are taller than three stories or 30 feet, whichever is less, shall not be pitched to shed snow toward the area between the building and the property line;~~
 - ~~(2)(1) Buildings with roofs that are within located 10 feet or less from of a property line and are shall be designed so that the pitch of any portion of the roof within 10 feet of the property~~

~~line is not directed toward the property line. pitched to shed snow toward the property line shall be required to use a non-shedding roof material such as composition shingle and/or snow retention mechanism, such as a snow fence; and~~

~~(3)(2)~~ All roofs that have a pitch greater than 7:12 shall use a non-shedding roof material such as composition shingle and/or snow retention mechanism, such as a snow fence.

~~3. **Roofline articulation.** Roofline articulation shall be measured by vertical changes to the roofline that occur from a change in roof type, direction or pitch of the roof plane, and/or roofline modulation from stepping forward or backward a portion of the façade. Roofline articulation shall not be measured by the addition of chimneys or dormers.~~

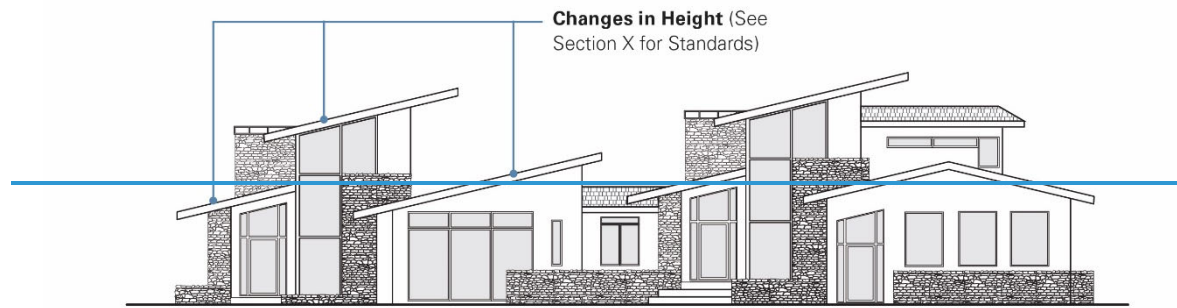
~~a. **Applicability.**~~

~~(1) Buildings that are less than 25 feet in width do not have a roofline articulation requirement.~~

~~(2) Buildings that are between 26 and 50 feet in width shall provide a minimum of one vertical articulation of the roofline.~~

~~Buildings that are greater than 50 feet in width shall provide a vertical articulation at a minimum of every 30 feet.~~

~~E.F. **Adjacent developments.** New developments should be compatible with and responsive to the existing context of the project. Any time a development is within 50 feet of an existing building, a proposed building cannot exceed the height of the adjacent building by more than one story or 10 feet, whichever is less, for 25-percent% of the width of the adjacent building. and~~

FIGURE 2-X SMALL MODULE BUILDING MASSING**18.25.070 – Building Entries and Stairwells**

The purpose of this section is to ensure all buildings have clear entries and access points in order to promote human-scale development.

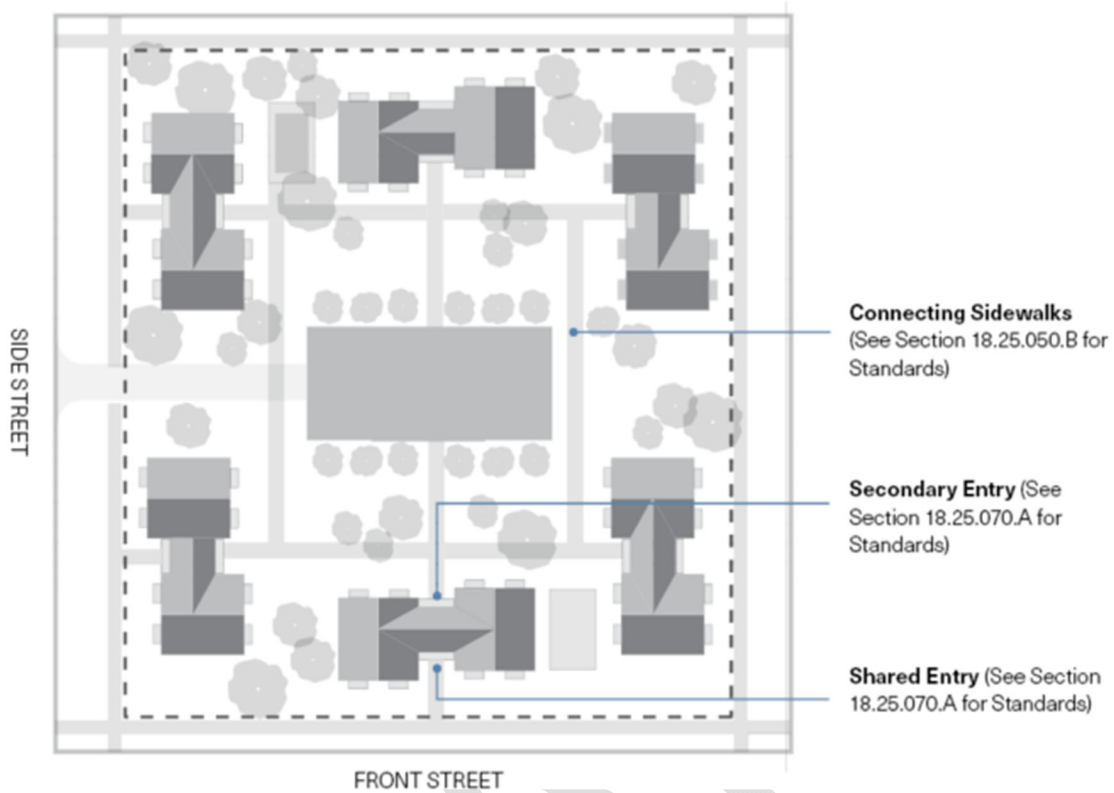
A. Building entries. Building entries can be located on the exterior of the ground floor of the building providing access to each unit or can be access to a common area, hall, or walkway that provide access to the primary entrance to the residences. Doors that access the patio but are not considered the primary entrance to the building are not considered building entries.

1. All entries shall contain a roof overhang or canopy and a stoop. The roof overhang or canopy shall extend a minimum of 24 inches beyond the face of the building elevation. contain a minimum of one of the following architectural elements:

An entry roof projection that extends a minimum of 18 inches beyond the face of the building elevation; and/or

- a. For buildings that are greater than two stories or 20 feet, whichever is less, a minimum 10% decrease of the maximum height of the main building elevation the entry is located on.
2. For buildings with shared entries, shared building entrances are required along all street-facing elevations. Secondary shared entrances may be provided on other facades. Secondary shared entrances shall be oriented to common areas such as courtyards, a landscaped area, or parking facility.

FIGURE 2-X SHARED ENTRIES AND SECONDARY ENTRIES



3. Residential projects on corner lots shall engage both streets by providing entrances both street-facing elevations.

~~4.~~ Mixed-use buildings shall provide:

~~4.~~

a. A minimum of one shared entry with indoor individual private entries for all commercial spaces and residential spaces located within; or

~~b.~~ A minimum of one shared entry for the ground floor with individual private residential unit entries that are accessible from outside.

~~b.~~

5. Buildings that include more than one unit with private residential unit entries which are not oriented to the street shall have private front entries that are oriented to common and open space areas per Section 18.25.050.D (Open Space and Common Outdoor Areas), such as courtyards or a landscaped area.

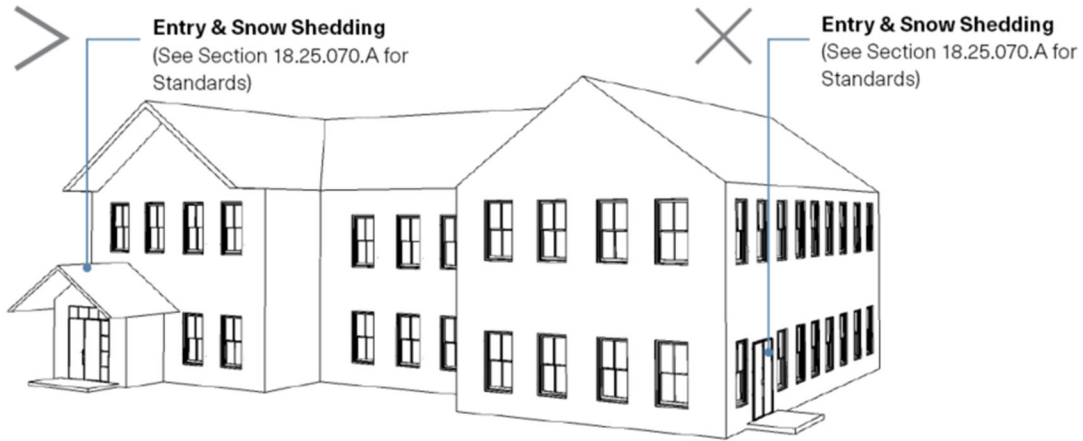
~~6.~~ Shared entry areas shall provide a minimum 10-square foot window with views of landscaping and/or recreational facilities. This may be achieved through the use of a glass door or sidelight.

~~6.~~

~~7.~~ Entries shall contain hardscape and landscape treatments with a minimum six square feet of landscaping that meets Firewise requirements within 10 feet of the door. Potted plant material is allowed, with at least one five-gallon tree and three shrubs.

7.

FIGURE 2-X ENTRY ROOF OVERHANG OR CANOPY



B. Exterior stairwells

1. Exterior stairwells shall be located at the interior of the parcel or screened from view of the street through landscaping or an architectural feature.
2. Exterior stairwells shall be designed with a full roof cover. The stairwell structure, including roof and/or wall planes, shall be the same materials as the primary structure at a minimum of 25% percent of the stairwell square footage.

FIGURE 2-X EXTERIOR STAIRWELLS



18.25.080 – Multi-Family Colors and Materials

The purpose of this section is to ensure the materials and colors used reflect the character and history of Truckee.

A. Colors

1. **Inappropriate colors outside of the -HP Overlay District.** The following colors are prohibited as colors used as for as the primary façade of colors on building exteriors outside of the -HP Overlay District:
 - a. Neon and fluorescent colors;
 - ~~b.~~ b. Pinks;
 - ~~e.~~ c. Purples; and/or
 - d. Yellows.
2. **Inappropriate colors within the -HP Overlay District.** The following colors are prohibited on building exteriors in the -HP Overlay District: Within the -HP Overlay District:
 - a. Neon and fluorescent colors; and
 - a.b. All white facades. Only 70% of the total building façade may be white.

~~2.3.~~ A maximum of two color shades, tones, or tints of the base color and a maximum of two accent colors shall be used to accent building features. Accent colors are colors that are not a shade, tone, or tint of the base color and comprises 10% of the façade colors.

~~3.~~ Bright accent colors (such as turquoises, yellows, pinks, purples, neons, and the like) comprising no more than five percent of the total building façade may be included. If two bright accent colors are utilized, they shall together comprise no more than five percent of the building façade. Neon or fluorescent colors are prohibited in all instances.

~~4.~~

~~In the -HP Overlay District, 50% of the total building façade may include bright colors.~~

~~4.~~

5. When an existing building is undergoing an exterior remodel beyond maintenance and repair, the updated colors shall comply with this section. Property owners shall provide proof of compliance prior to any future siding replacement of buildings, other than like-for-like maintenance.

B. **Exterior cladding materials.** This section identifies the requirements for the cladding of building exteriors, unless specifically identified. Fencing and decking materials are not regulated by this section but are subject to all other applicable code requirements, including Section 18.30.070 (Fences, Walls, and Hedges).

1. High-quality materials that withstand long-term weathering in Truckee's climate or are consistent with Truckee's character are required. New construction projects or alterations to non-historic structures in the -HP Overlay District shall use the following for exterior cladding:

a. Wood, including board and batten, logs, natural wood, painted or stained wood, and hand-hewn lumber;

b. Metal, including weathered and matte finish corrugated metal, hand-forged metals, iron, copper, and rolled steel;

c. Rough-cut, smooth cut, and natural stone;

d. Concrete, including board formed concrete, and stained or pre-colored concrete;

~~e.~~ Steel structural elements;

~~e.f.~~ Smooth fiber cement board, except for projects within the -HP Overlay District;

~~f.g.~~ Reclaimed materials; and/or

~~g.h.~~ Wire, and cable to be utilized only for railings, except for projects within the -HP Overlay District;

i. Crusher screen may be used for railings, except for projects within the -HP Overlay District outside of the Downtown Truckee Plan Area;

2. Alterations to existing historic structures within the -HP Overlay District shall only use the materials found on the historic structure.

3. **Materials appropriate with specific application requirements.** The following materials are considered appropriate only when specific requirements are applied:

a. Unpainted brick in a primarily standard running bond pattern (horizontal) is appropriate in multi-family residential and mixed-use projects in the -HP Overlay District and in mixed-use projects outside of the -HP Overlay District. Brick may be applied to the ground floor of the structure and shall comprise up to 50% of the building façade. Alternative brick patterns may be used to frame architectural features;

b. Warm greens with brown or gray undertones, brown, and gray stucco may be utilized in multi-family projects that are smaller than 5,000 square feet or less than five units. Use of stucco shall not exceed 10% of façades that face public rights-of-way; and/or

—Aluminum cladding systems. Smooth nonreflective aluminum plank, panel, or batten cladding systems may be used on multi-family residential or mixed-use projects outside of the -HP Overlay District. Use of the aluminum cladding systems shall may comprise up to 30% of the building façade.

a-c.

2.4. **Inappropriate materials.** The following materials are considered inappropriate and are prohibited for use in the exterior cladding of a building:

a. Synthetic material, such as vinyl or plastic siding and trim;

b. Stucco;

Aluminum;

e.b. Concrete Masonry Units;

—Brick;

h.

i.

d.c. Artificial products that attempt to imitate real materials such as cultured or artificial rock, imitation stone, artificial wood, or simulated brick; and/or

e. Any material not listed in the 18.25.080.BC.1.

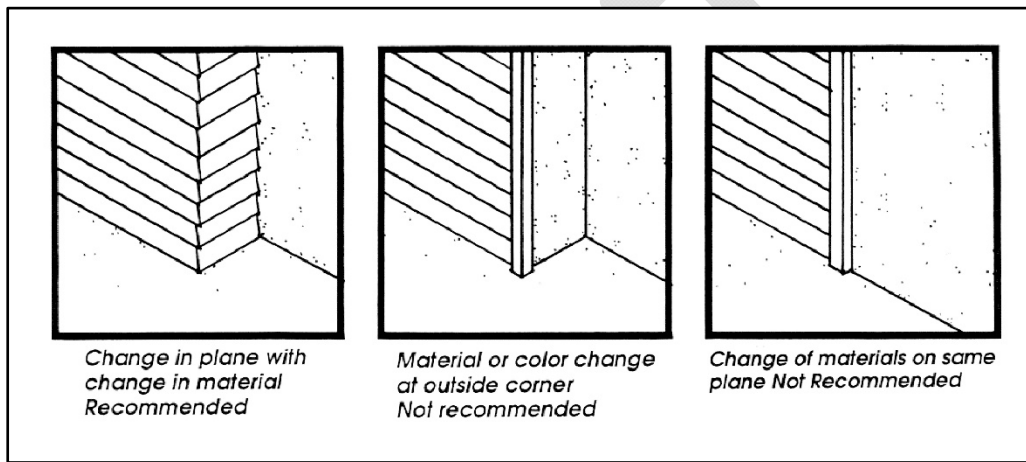
3. Projects shall not incorporate any inappropriate materials on the above list into project design, with the following exceptions:

b. Brick may be considered an appropriate building material for multi-family projects in the downtown area.

—Warm greens with brown or gray undertones, brown, and gray stucco may be utilized in multi-family projects that are smaller than 5,000 square feet. Use of stucco shall not exceed ten (10) percent of façades that faces public right of way.

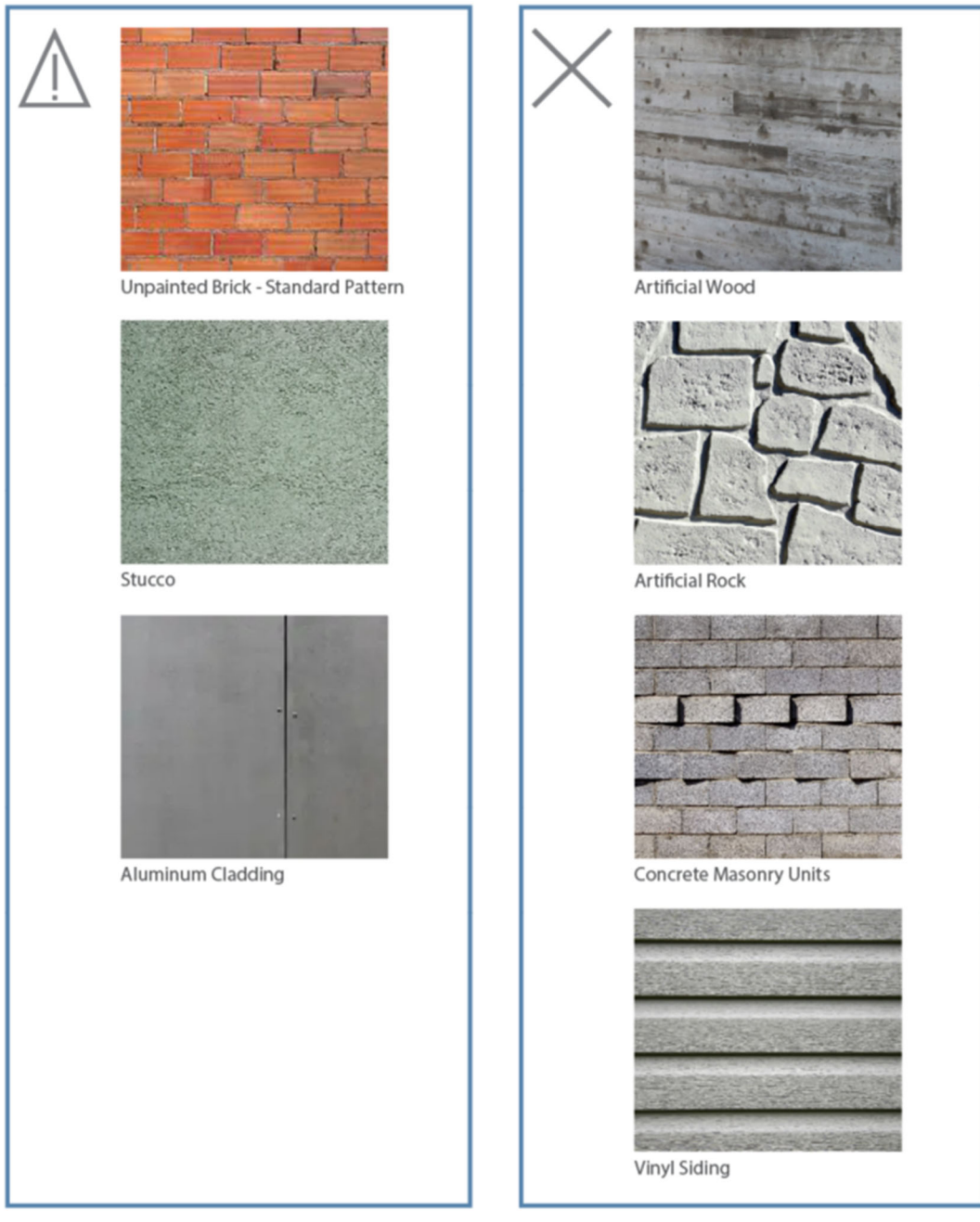
5. Materials shall be used in ways that are appropriate to their nature. For instance, fibercement board is light in weight- in comparison to materials such as stone or steel, so should not be used below as a load bearing material to materials that are heavier.
6. Façade designs shall incorporate a minimum of two different building materials that vary in size, texture, color or pattern to add articulation and dimension.
7. Composition of materials shall avoid creating the impression of thinness and artificiality. Veneers shall turn corners and extend at least five inches, avoiding exposed edges. A change of materials shall occur with a change of plane and shall not occur on the same plane or at the outside corner. See Figure 3-X.

FIGURE 2-X BUILDING MATERIALS AT WALL EDGES



8. Additions shall use only the materials and colors found on the original structure and shall use the same materials as the original structure for window/door trim and lighting fixtures. This standard does not apply if the addition is paired with rehabilitation of the entire structure and existing materials are replaced.
9. For additions onto a Category A, B, or C historic resource within the -HP Overlay District, wood siding shall be required. Siding on additions shall have a different application of the wood siding (vertical siding where the historic structure has horizontal siding or different dimensions of siding width). Modern materials such as corten siding or hot-rolled steel may be used on a new addition for 25% of each building I.
10. When an existing building is undergoing an exterior remodel, the updated materials shall comply with this section. Property owners shall provide proof of compliance prior to any future siding replacement of buildings, other than like-for-like maintenance.

FIGURE 2-X EXTERIOR CLADDING MATERIALS



C. Roof materials.

1. Roofs shall utilize only the following materials:

- a. Thick or dimensional asphalt shingle in dark earth tone colors (i.e., greens, browns, grays);**

- b. Metal: Standing seam, box rip, corrugated or similar in dark earth tone colors (i.e., greens, browns, grays, blacks, rust);
 - c. “Class A fire rated” treated wood shake;
 - d. Slate;
 - e. Flat concrete tiles/shingles in dark earth tone colors;
 - f. Copper or terne metal treated;
 - g. Matte shingles made of recycled materials in dark earth tone colors (i.e., greens, browns, grays); and
 - h. Granulated cap sheet, asphalt, and bitumen materials on flat roofs may be used to create light colored rooftops for solar reflection. White roofs are ~~prohibited~~ allowed only on flat roofs where the roof cannot be seen from the public right-of-way.
2. **Inappropriate materials.** The following roofing materials are prohibited:
- a. Untreated, unpainted aluminum or metal;
 - b. Brightly colored materials, including as turquoises, yellows, pinks, purples, neons, whites, and the like;
 - c. Spanish tile;
 - d. White rock/gravel;
 - e. Untreated smooth or corrugated metal;
 - f. Shiny or reflective materials.
3. **Solar reflectivity.** To promote the use of materials that reflect solar energy, it is recommended that roofing material have a Solar Reflectance Index (SRI) of 29 or higher for pitches greater than 2:12 and an SRI value of 78 or higher for roofs with a pitch less than 2:12.

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FIGURE 2-X INNAPPROPRIATE MATERIALS ROOF MATERIALS



- ~~1. Façade designs shall incorporate a minimum of two different building materials that vary in size, texture, color or pattern to add articulation and dimension.~~
- ~~2. Additions shall use only the materials and colors found on the original structure and shall use the same materials as the original structure for window/door trim and lighting fixtures. This standard does not apply if the addition is paired with rehabilitation of the entire structure and existing materials are replaced.~~
- ~~3. For additions on a Category A, B, or C historic resource within the HP Overlay District, wood siding shall be required. Siding on additions shall have a different application of the wood siding (vertical siding where the historic structure has horizontal siding or different dimensions of siding width). Modern materials such as corten siding or hot rolled steel may be used on a new addition for 25% of each building facade.~~

~~4. When an existing building is undergoing an exterior remodel, the updated materials shall comply with this section. Property owners shall provide proof of compliance prior to any future siding replacement of buildings, other than like-for-like maintenance.~~

18.25.090 – Multi-Family Architectural Elements

There is no specific architectural style required for multi-family residential development. The primary focus should be on constructing a high-quality residential environment that is compatible with the Truckee character. The criteria presented here strives for this quality through descriptions and examples of appropriate architectural expression but should not be construed to be requiring a specific style. Also see Section 18.24.040 (General Design Guidelines).

A. Windows and doors

1. Windows.

- a. One decorative window (non-orthogonal window such as a diamond, hexagonal, or circular shaped window) shall be permitted per façade.
- b. The ground floor building elevation of all new mixed-use buildings facing a street shall have a minimum amount of ~~65-percent~~ glass. (Mixed-use developments shall have retail space located on the ground floor with residential uses and commercial located above. See 18.25.120.B (Residential Mixed-Use Development, Allowed Land Uses).
- c. Windows shall be placed a minimum of every 15 feet along street-facing elevations.
- d. For residential buildings, at least 15% of the building facades visible from the public right-of-way or where residential entrances are located must consist of windows or transparent doors unless the building façade is located within 10 feet of ~~an~~ a property line shared by a private party.
- e. For mixed-use developments, 15% of the building facades above the ground floor visible from the public right-of-way or where customer or residential entrances are located must consist of windows or transparent doors unless the building façade is located within 10 feet of ~~an~~ a property line shared by a private party.
- f. Tinted or reflective glass in any window or door is prohibited.
- g. Vinyl, composite, or other synthetic window frames are prohibited on Category A, B, and C historic resources in the -HP Overlay District. ~~h~~
- h. Exterior window frames shall be a dark color. White window frames are permitted in the -HP Overlay District and shall be included in the bright colors total percentage ~~count~~ calculation of the building façade that includes bright colors.

2. Doors.

- a. For ground floor units, doors shall be placed to provide access to individual units.

- b. Doors shall be recessed into the wall at the frame by a minimum of four inches.
- c. Doors shall not be located closer than 18 inches to the outside corner of a building. For mixed-use developments, chamfered corners are permitted.
- d. For mixed-use developments, ground floor primary retail entries shall be located on the frontage facing the street.

B. Balconies, porches, decks and patios

- 1. All residential units shall have one private balcony, patio, or deck that is a minimum of 48 square feet with no dimension less than six feet. The private outdoor space shall be accessible to only one dwelling unit.
- ~~1.2. Private Residential roof top decks are prohibited.~~
- ~~2.3.~~ Private exterior space shall be private and immediately accessible to the dwelling unit it is designed to serve.
- ~~3.4.~~ Balconies shall be unenclosed on at least one-third of its perimeter, except for required railings.
- ~~4.5.~~ Fences and railings for balconies, porches, and decks shall be 50-~~percent~~% transparent and shall use metal, wood, cable, or materials found on the structure of the building.
- ~~5.6.~~ If a private, at grade level patio is provided, it shall be enclosed through fencing or railing, or other solid material. Fences and railings for patios shall be 50-~~percent~~% transparent and shall use metal, wood, cable, board formed concrete, or materials found on the structure of the building. A solid enclosure may be permitted if it is a maximum of two feet in height.

FIGURE X-X: PRIVATE BALCONIES & PORCHES



C. Amenities

1. **Support structure design.** Laundry facilities, recreation buildings, sales/lease offices, and the like, shall be consistent with the architectural design, color, and material of the rest of the complex.
2. **Common laundry facilities.**
 - a. All multi-family residential developments with five or more dwelling units shall provide common laundry facilities, except where laundry facilities are provided within each unit.
 - b. Common laundry facilities shall be provided at a minimum ratio of: One ~~washer~~ and one dryer for every ~~five~~10 units or fraction thereof for up to 100 units; and one washer and one dryer for every ~~10~~20 units or fraction thereof for the number of units over 100.
 - c. Where multiple buildings are proposed with four or more units per building, each building shall have at least one washer and one dryer, ~~at a minimum~~.
3. **Keyed access.** All common facilities shall be provided with keyed access and signed for “tenants only.”
4. **Distribution of facilities.** All common facilities shall be evenly disbursed throughout the multi-family development and easily accessible to all tenants.
5. **Security.** All common facilities shall be designed to address security concerns in their design, location, and layout. This may include security lighting at entrances, keyed access, security cameras, and the like.
6. **Storage.** At least ~~4~~60 square feet of storage shall be provided for each residential unit, not including closets within bedrooms. The length and width shall be a minimum of four two feet and the height a minimum of five feet six inches. Storage spaces shall be at least six feet in all directions. ~~Storage spaces shall be at least six feet in all directions.~~ Storage areas may be located in each unit, as a separate private storage space, or as a combination of both.

18.25.100 – Multi-Family Utilities and Service Areas

A. Utility locations.

1. Utility equipment (e.g., electric and gas meters, electrical panels and junction boxes) shall be located in a utility room within the structure or enclosed utility cabinets at the rear of the structure,

unless required in a different location by the utility provider. A letter indicating the utility company's position on location shall be required if a utility room or cabinet behind the front most wall of the building at the rear of the structure is infeasible.

2. All ground-mounted utility areas shall be combined and shall be located in areas out of view from public rights-of-way, or open space areas and/or be integrated into the building architecture through use of materials or color found on the primary buildings or screened using fences or landscaping. When fences are used, the height of the screening shall be a maximum of four feet tall or the height of the utility equipment up to six feet. Materials for the fencing shall be consistent with the development's building materials. The utility equipment shall be painted dark brown, dark gray, or forest green.

B. Service Areas.

1. All waste and service areas shall be accessed from an alley or side street when one exists.
2. All waste and service areas shall be located so that their use does not interfere with on-site parking or circulating areas and adjacent uses.
3. For projects with five or more units, all waste and service areas shall be located behind the front-most wall of the building(s) and shall be located at least 20 feet from the front or street property line. Reference Section 18.30.150 (Solid Waste/Recyclable Materials Storage) for additional standards.
4. Projects with fewer than five units may install bear boxes that are maximum four feet in height. Each unit may have one bear box that is a maximum 30 inches in width and 30 inches in depth. Bear boxes may be combined. Bear boxes shall be painted brown or clad in architectural material that matches the residential structure. Bear boxes may be located within 20 feet of the property line.
5. All waste and service areas shall not block access to designated snow storage areas.
6. For projects with five or more units utilizing separate buildings (as opposed to a single building), a separate waste facility for trash, recycling, and compost (if applicable) shall be provided for each residential building.
7. All waste facilities shall be fitted with wildlife resistant containers and/or enclosures and shall be consistent with Section 18.30.150 (Recycling Facilities).

18.25.110 New Single-Family Subdivision

- A. Purpose.** This section identifies standards for the development of new single-family subdivisions with five or more parcels created after **XX DATE OF ORDINANCE**. The standards are meant to encourage design flexibility while requiring individual residences to contribute to a comfortable pedestrian environment, reflect Truckee's architectural context and respond to neighboring properties.
- B. Applicability.** This section applies to all new single-family residential subdivisions with five or more parcels created after **XX DATE OF ORDINANCE**. If custom home designs are anticipated, these requirements would-shall be included in the requirements for the Covenants, Conditions, and Restrictions for the subdivision.

- C. **Exemptions.** Existing single-family residences and existing single-family subdivisions shall be exempt from the provisions of this Section. Further subdivision of an existing parcel will be considered a new subdivision.

D. Standards

1. ~~**Building massing.** This standard seeks to minimize the perceived mass and bulk of buildings by limiting the length or width of an uninterrupted exterior wall plane. The depth of the primary residential building shall extend no greater than 45 feet, as measured from the front most wall of the front façade to the rear wall. Detached accessory buildings including garages, sheds and accessory dwelling units shall be located at a minimum of eight feet from the primary building and do not contribute to the principal building's measurement.~~
2. **Lots that are wider than 60 feet.** The width of a primary residential building shall extend no greater than 50 feet without a façade break (per Section 18.25.060.B), change in roof articulation (per Section 18.25.060.E.4), or an architectural projection that extends at least two feet from the face of the building and at least four feet wide.
2. ~~_____~~
3. **Building variety.** New single-family residential projects shall be required to incorporate building variety to reduce architectural monotony. ~~Buildings that use a mirrored option designs are considered the same two designs, and shall not count as an additional building design.~~ Individual building designs for each parcel is preferred.
 - a. **Projects with five to 10 residential parcels** shall use a minimum of ~~three~~ four building designs.
 - b. **Projects with 11 to 20 residential parcels** shall use a minimum of ~~five~~ six building designs.
 - c. **Projects with 21 to 30 residential parcels** shall use a minimum of ~~seven~~ eight building designs.
 - d. **Projects with 31 or more residential parcels** shall use a minimum of 10 building designs.
 - e. Building designs shall use both of the following massing variations:
 - (1) Different roof materials and roof types. Refer to Section 18.25.060.E (Roofs and rooflines)
 - (2) Building height. At least half of the designs shall be required to be ~~20~~ 80% of the maximum height of the tallest structure, as measured per Section 18.30.090.B.
 - f. Building design shall use at least one of the following façade changes:
 - (1) Materials. Each building design shall include at least two materials, pursuant to Section 18.25.080, and the overall development shall include at least three different materials.

~~At least 20% of the overall building elevations shall use a different material. Refer to Section 18.25.080 (Colors and Materials).~~

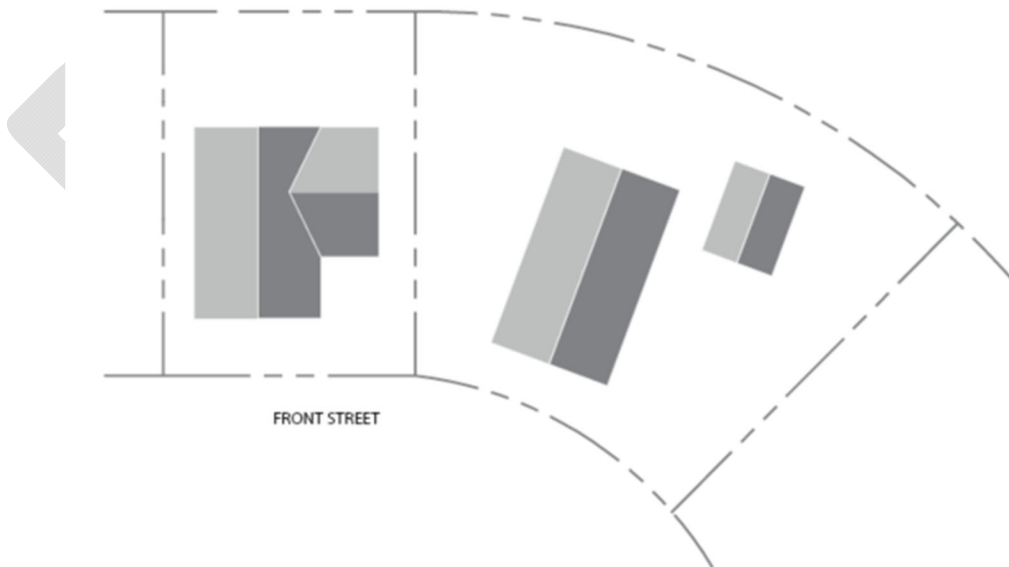
(2) Color. ~~The color palette for the overall development shall be consistent, but variation in color is required to ensure variation in design. A minimum of two colors are required for the overall development. At least 50% of the overall building elevations shall use a different color family. Refer to Section 18.25.080 (Colors and Materials).~~

g. Buildings of the same design, mirrored design, or same color scheme shall not be located directly adjacent to each other and a clear pattern (1, 2, 1, 2 or 1, 2, 3, 1, 3, 2, 1 etc.) shall not be allowed.

4. **Building orientation.** The placement of buildings should seek to engage the street by framing street edges and providing a physical presence. New single-family developments shall adhere to the following:

- a. 10% of the front façade of a residential building shall be parallel to the front setback line.
- i. ~~For curvilinear lot frontages, this measurement shall be taken based on the tangent of the curve.~~
 - ii. ~~Corner lots.~~ On a corner lot, both street-facing facades of a building shall be required to be consistent with this requirements of Section 18.25.110.D.4.a
 - iii. ~~For through lots, t.~~ The façade with the primary entrance shall meet ~~the this~~ requirements of Section 18.25.110.D.4.a

FIGURE X-X: CURVILINEAR LOT FRONTAGES



5. **Pedestrian walkways.** Standards for pedestrian circulation are required to enhance neighborhood character and safety.

- a. If sidewalks do not exist, the project shall provide public sidewalks parallel to the front setback line. On a corner lot, sidewalks shall be provided for both lot lines that abut the street.

5-6. One-story element. This standard seeks to create human scale building features by providing ground-level elements on the street-facing façade. New single-family developments shall adhere to a minimum of one of the following:

a. **Projection or recess.**

- (1) The front façade of the primary building shall have a one-story street-facing element that projects at least six feet from the front façade ~~of all stories~~ and has a width equivalent to at least 20 ~~percent~~% of the building's overall width. The projected one-story element shall be an enclosed living space or a front porch that is open on three sides and is a minimum of 50 square feet in area.
- (2) The front façade of the primary building shall have a one-story street-facing element that recesses at least six feet but no more than ten feet from the front façade and has a width equivalent to at least 20 ~~percent~~% of the building's overall width. The recessed element shall be a minimum of 50 square feet in area.

- b. **One-story stepdown.** A two-story primary building shall include a one-story component and a three-story primary building shall include a two-story component on one side of the building that remains one-story or two-story from the front façade to the rear wall. The one-story or two-story portion of the building shall be a minimum width of 20 ~~percent~~% of the building's overall width. Accessible space, such as a deck, over the first-story element is allowed.

FIGURE X-X: ONE-STORY STEPDOWN



- 6-7. Entry features.** This standard seeks to provide a visible and clearly accessed entryway from the street to individual residences. New single-family developments shall adhere to the following:

- a. A main entrance shall be provided on the front façade of the primary building and shall face the street.
- b. The main entrance shall not be set back more than ten feet from the front-most wall of the front façade.
- c. **Visibility.** Fencing, hedges, walls or other permitted structures shall not obstruct visibility to the primary entrance.
 - (1) Fences and hedgerows shall not exceed a maximum height of 42 inches.
 - (2) Walls shall not exceed a maximum height of 36 inches.
- d. **Front porch.** If a front porch is provided, it shall be directly accessed from the entryway, open on at least two sides, and a minimum of 50 square feet.
- e. **Roofed entrance.** A roof over the primary entrance shall not be more than 12 feet in height.

7-8. Windows. This standard seeks to ensure that residential developments provide access to light and also to prevent large stretches of blank walls on building facades. New single-family residences shall adhere to the following:

- a. All street-facing facades shall have at least one window with dimensions of four feet by four feet or greater.
- b. One (1) decorative window (non-orthogonal window such as a diamond or circular shaped window) shall be permitted per façade.

8-9. Garages. This standard seeks to minimize the visual impact of garages and potential safety risks of vehicular parking by concentrating it along alleys when possible and away from areas with high potential for pedestrian activity. New single-family residences shall adhere to the following standards:

- a. **Lots with vehicular access from an alley or private street.**
 - (1) Lots with access from an alley or private street shall access garages from the alley or private street.
 - (2) When attached to the primary structure, building depth standards found in Section 18.25.110.D.1 (Building Massing) shall apply. Attached rear garages shall only be permitted on lots that have vehicular access from an alley and shall not be permitted for corner lots.
- b. **Lots with vehicular access from the primary street.**
 - (1) Garages shall be located at least five feet behind the front-most wall of the building, unless they are side loaded. Side-loaded garages may be forward of the front-most wall of the building. on the same plane as the building.

- (2) The length of the habitable space in the primary structure as measured along the front property line shall be a minimum of five feet greater than the length of the garage.
- c. **Height.** Garage heights shall not exceed one story or 15~~2~~ feet above driveway grade. Living area above the garage up to one-story or 12 additional feet shall be permitted. In all cases the overall garage height shall comply with the applicable zone-district height limit for the zoning district.

9-10. Colors and Materials. Single-family residences shall adhere to the colors and material requirements found in Section 18.25.080 (Colors and Materials) of this chapter.

18.25.120 – Residential Mixed-Use Development

- A. Purpose.** In addition the design standards in this Chapter, this Section identifies additional requirements for development of residential mixed-use projects in the CN, CG, CS, DMU, DC, M and DM zoning districts with at least two-thirds of the gross square footage of the development designated for residential use.
- B. Allowed land uses.** The uses which may be approved in a mixed-use project shall be those allowed in the applicable zoning districts in compliance with the provisions of Section 18.12.030 (Commercial and Manufacturing District Land Uses and Permit Requirements). In addition, uses not specifically permitted in the applicable zoning district (e.g., office use in a manufacturing zoning district) may be approved in a mixed-use project. The floor area for uses not specifically permitted in the applicable zoning district shall not exceed 25~~percent~~% of the total floor area of the non-residential uses of the mixed-use project, and the review authority shall find that the uses are compatible with the other uses in the mixed-use project and the surrounding area. Reference Chapter 18.58.130 (Live/Work and Work/Live Units) for requirements for Live/Work and Work/Live Units.
- C. Residential mixed-use development standards.** A project shall meet the following requirements:
1. **Minimum density.** The project shall provide a minimum density of two residential units per acre onsite. For example, a mixed-use development on a 0.5-acre site shall include at least one residential unit, and a development on a two-acre site shall include at least four residential units. The residential units may be counted toward any workforce housing requirements for the project to comply with Chapter 18.216 (Workforce Housing).
 2. **Maximum density.** In the CN, CG, CS, DC, M, DM, and DMU zoning districts residential density shall not exceed four units per acre.
 3. **Mix of uses.** Mixed-use multi-family residential developments shall have nonresidential space ~~located~~ on the ground floor with residential uses and other commercial ~~located~~ above or nonresidential space ~~located~~ at the front of the site and residential uses at the rear. The uses may be attached or detached but must be comprehensively planned and managed. In the CG, DC, and DMU zoning districts, mixed-use developments shall have ~~retail-commercial~~ spaces on the ground floor on the front of the building ~~or and site with~~ residential uses and other nonresidential uses located above or behind the retail-commercial uses.

The project may be developed as one or more multi-use or single-purpose structures. If the project is developed in phases, a proportionate ~~amount~~-number of residential units shall be constructed in each phase.

4. **Workforce housing.** Nonresidential uses in a mixed-use development project shall comply with Chapter 18.216 (Workforce Housing). Where inclusionary housing requirements result ~~units result~~ in a fraction, the fraction shall be combined with any fraction ~~resulting in the~~required by the workforce housing requirements. If the fractions combine to a whole unit or the developer opts to construct a unit to meet the fractional requirement, the unit ~~and~~ shall be subject to the inclusionary housing standards consistent with Chapter 18.214 (Inclusionary Housing).Example: If a project is required to 1.2 workforce housing units and 2.8 inclusionary housing units, a total of four affordable housing units are required. One unit shall meet the workforce housing requirements and the three other units are required to meet the inclusionary housing requirements.
5. **Inclusionary housing.** Residential units in a mixed-use development project shall comply with Chapter 18.214 (Inclusionary Housing) with the exception of any units that are dedicated for Workforce Housing in compliance with Chapter 18.216. Where inclusionary housing requirements result ~~units result~~ in a fraction, the fraction shall be combined with any fraction ~~resulting in the~~required by the workforce housing requirements If the fractions combine to a whole unit or the developer opts to construct a unit to meet the fractional requirement, the unit shall be subject to the inclusionary housing standards consistent with Chapter 18.214 (Inclusionary Housing). Example: If a project is required to 1.5 workforce housing units and 1.7 inclusionary housing units, a total of 3.2 affordable housing units are required. One unit shall meet the workforce housing requirements and either three units shall meet the inclusionary housing requirements or two units shall meet the inclusionary housing requirements and 20% of an in-lieu fee may be paid.
- 6.5. **Maximum multi-family residential unit sizes.** The maximum average residential gross floor area shall be 1,000 ~~square~~-feet.

18.25.130 – Multi-Family Residential Projects within the Downtown Visitor Lodging (DVL) Zoning District.

- A. **High density multi-family residential (Multi-family dwellings with 11 or more units) is encouraged within the Downtown Visitor Lodging (DVL) zoning district through incentives to allow greater flexibility in design and encourage innovative and creative site planning. The following development standards and incentives apply:**
 1. Multi-family residential projects within the DVL zoning district shall provide a minimum density of ~~sixteen (16)~~ dwelling units per acre.
 2. Residential parking. Parking requirements identified in Chapter 18.48 (Parking and Loading Standards), including the number of required on-site parking spaces and the requirement that ~~one~~ (1) space per unit, shall be in a fully enclosed garage, may be modified through a parking management plan. The parking management plan shall demonstrate that there is sufficient on-

site parking for all proposed uses and shall be approved by the review body concurrent with the land use application.

3. Inclusionary housing. Multi-family residential projects shall comply with Chapter 18.214 (Inclusionary Housing).
4. Floor area. If a non-residential project is proposed concurrent with a multi-family, the residential floor space shall not be counted towards the allowed floor area as determined by the floor area criteria development standard.
5. Site Coverage. The maximum site coverage development standard may be increased by up to 10%.
6. Non-residential Parking. The number of parking spaces required for the non-residential portion of the project may be reduced through an approved parking management plan.
7. Setbacks.
 - a. I-80 setback. The 125-foot setback from property lines adjacent to Interstate 80 may be reduced to a minimum of 50 feet by the review authority, if the review authority finds that the reduction will further General Plan Housing Element goals and will create a superior site design than would otherwise be achieved through strict application of the setback. The reduced setback shall be required to be landscaped to create a visual buffer to and from the highway and to screen any development proposed within the 125-foot setback. Trees shall be provided at a rate of one for every 20 lineal feet of landscaped area and shrubs shall be provided at a rate of one for every five lineal feet of landscaped area. Additional trees and shrubs may be required by the review authority as determined on a case-by-case basis. Parking may be allowed within this reduced setback if vehicles are adequately screened from I-80 with additional landscaping and/or the project demonstrates that vehicles will not be visible from I-80 or off-ramp.
 - b. Truckee Cemetery setback. Parking, driveways, roads, and other surface improvements may be located within the 100-foot Truckee Cemetery setback if the review authority finds that there would be adequate screening to minimize potential impacts to the cemetery. Structures are prohibited within this setback. Landscaping shall be incorporated within the setback area to provide adequate screening. Trees shall be provided at a rate of one for every 20 lineal feet of landscaped area and shrubs shall be provided at a rate of one for every five lineal feet of landscaped area to screen improvements located within the 100-foot Truckee Cemetery setback. Additional trees and shrubs may be required by the review authority as determined on a case-by-case basis.