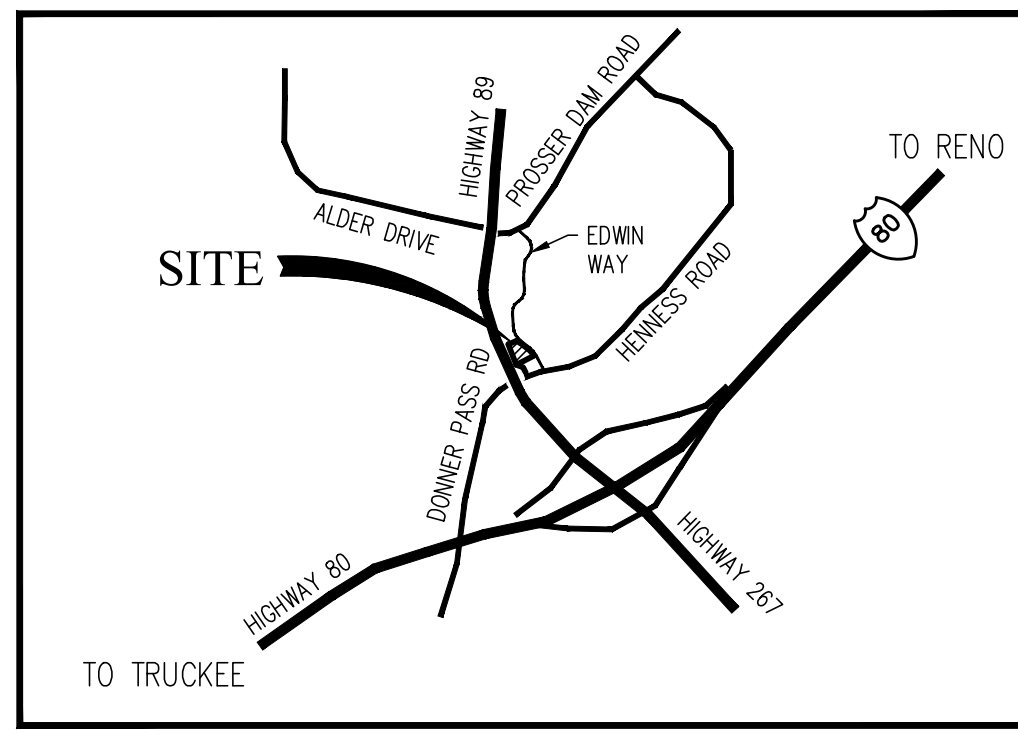


**PLANNING COMMISSION RESOLUTION 2026-06
A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION
APPROVING APPLICATION NO. 2025-00000150
(THE VILLAGE AT GRAY'S CROSSING PROJECT AMENDMENT #3)**

EXHIBIT "G"

VILLAGE AT GRAY'S CROSSING CAR WASH PLANS



VICINITY MAP
NO SCALE

NOTES

- 1 - RETENTION POND
- 2 - BIO-SWALE
- 3 - TRASH ENCLOSURE; BOX RIB SIDING ON POST WITH REINFORCED CONCRETE APRON
- 4 - LANDSCAPE BERM
- 5 - 3" ASPHALT OVER 8" AGG. BASE (TYP.)
- 6 - BARRIER CURB
- 7 - TYPE E CURB AND GUTTER
- 8 - BICYCLE PARKING
- 9 - PAY STATION



LEGEND

- PROPOSED BIO-SWALE
- PROPOSED RETENTION POND
- EXISTING ASPHALT PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- TRUNCATED DOMES
- (1) RECORD INFORMATION PER BOOK 9, SUBDIVISIONS, PAGE 26, O.R.N.C.
- (2) RECORD INFORMATION PER BOOK 8, SUBDIVISIONS, PAGE 182, O.R.N.C.

PROJECT INFORMATION

OWNER / APPLICANT

JOHN & SABRA ABBATE, TRUSTEES
140 Heron Way
Merced, CA 95341
Contact: Matthew Abbate - matthew@aiacorp.net

PLANNING & ENGINEERING

SCO PLANNING & ENGINEERING, INC.
140 Litton Drive, Suite 240
Grass Valley, CA 95945
Contact: Martin Wood - 272.5841

ARCHITECT

SEVAN-MULTI-SITE SOLUTIONS
3025 Highland Parkway Suite 850
Downers Grove, IL, 60515
Contact:

GENERAL PLAN / ZONING

GRAYS CROSSING SPECIFIC PLAN
CN (VILLAGE COMMERCIAL)

APN'S / LAND AREA

043-070-010 ("LOT T" BOOK 9, SUBDS, PG 26)
43,295 ± SF

FIRE PROTECTION

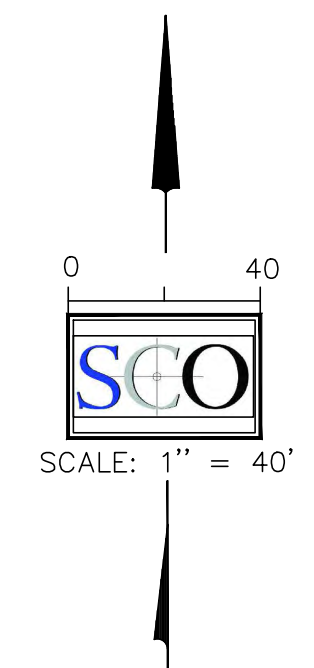
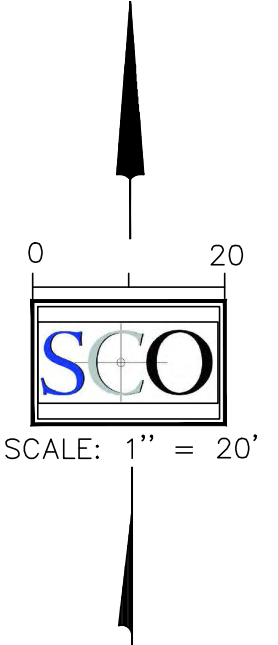
TRUCKEE FIRE PROTECTION DISTRICT

WATER & ELECTRICAL

TRUCKEE DONNER PUBLIC UTILITY DISTRICT

SEWER

TRUCKEE SANITARY DISTRICT



LAND USE & PARKING STATISTICS						
	LAND AREA			PARKING		
	Sq. Ft.	Acres	%		Proposed	Required
Bldg Footprint	3,825	0.08	8.8	ADA	1	1
Asphalt	11,708	0.27	27.0	Vacuum Stations	9	
Concrete	2,125	0.05	4.9	Standard	3	
Landscape/OS	25,637	0.58	59.2	Compact	0	
				Bicycle	3	15% or 3 min
TOTAL	43,295	0.99	100	TOTAL	16	

TOTAL IMPERVIOUS SURFACE: 46.0% (19,903 SF)
TOTAL AREA OF PROPOSED DISTURBANCE: 80.0% (34,825 SF)

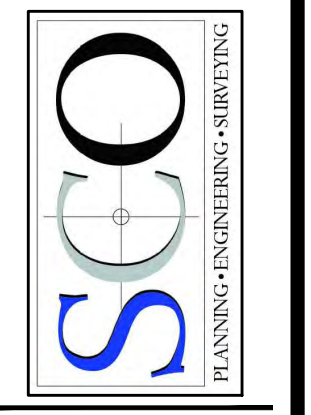


DATE SIGNED: _____



DESIGNED: JB/AMW	DATE
DRAWN: NUB	NO. REVISIONS
PROJ. NO: 202152	
DWG-SEE DAY STAMP	
DATE-SEE DAY STAMP	

DEVELOPMENT PERMIT
 VILLAGE CAR WASH
 SITE PLAN
 CALIFORNIA
 CITY OF NEVADA CITY

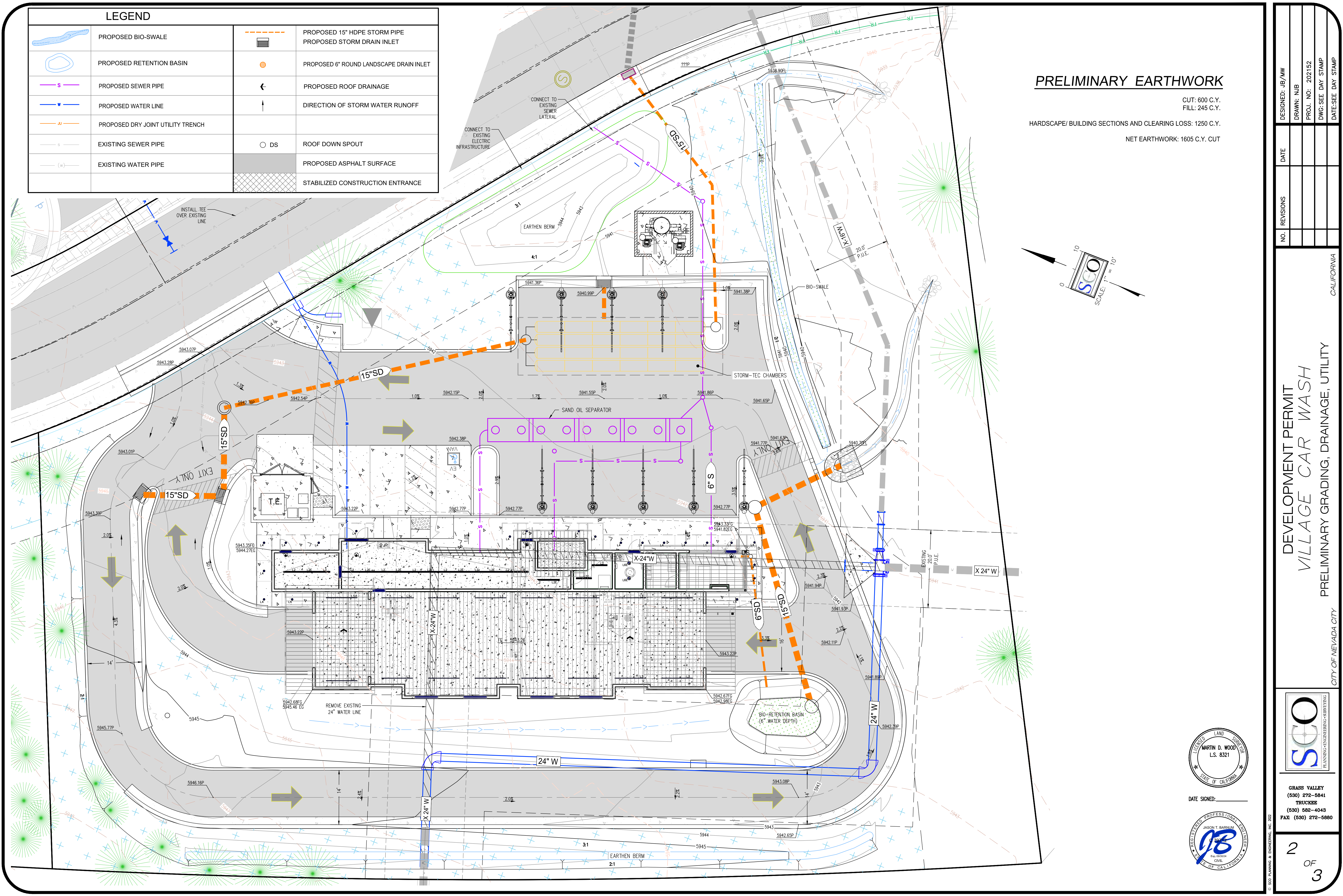


GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043
FAX: (530) 272-5880

LEGEND			
	PROPOSED BIO-SWALE		PROPOSED 15" HDPE STORM PIPE
	PROPOSED RETENTION BASIN		PROPOSED STORM DRAIN INLET
	PROPOSED SEWER PIPE		PROPOSED 6" ROUND LANDSCAPE DRAIN INLET
	PROPOSED WATER LINE		PROPOSED ROOF DRAINAGE
	PROPOSED DRY JOINT UTILITY TRENCH		DIRECTION OF STORM WATER RUNOFF
	EXISTING SEWER PIPE		ROOF DOWN SPOUT
	EXISTING WATER PIPE		PROPOSED ASPHALT SURFACE
			STABILIZED CONSTRUCTION ENTRANCE

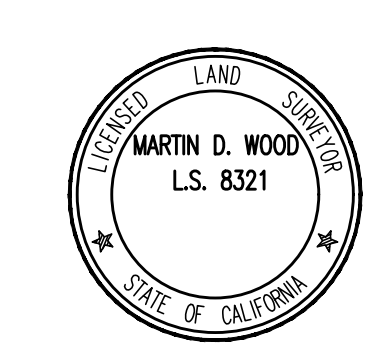
PRELIMINARY EARTHWORK

CUT: 600 C.Y.
 FILL: 245 C.Y.
 HARDSCAPE/ BUILDING SECTIONS AND CLEARING LOSS: 1250 C.Y.
 NET EARTHWORK: 1605 C.Y. CUT

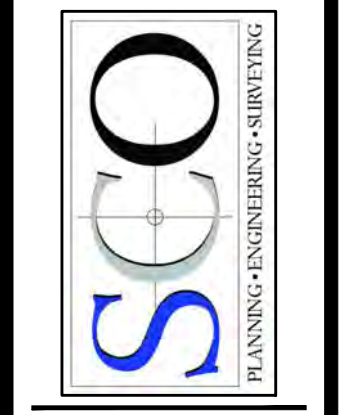


NO.	REVISIONS	DATE	DESIGNED: JB/AMW
			DRAWN: NUB
			PROJ. NO: 202152
			DWG-SEE DAY STAMP
			DATE-SEE DAY STAMP

DEVELOPMENT PERMIT
 VILLAGE CAR WASH
 PRELIMINARY GRADING, DRAINAGE, UTILITY
 CITY OF NEVADA CITY

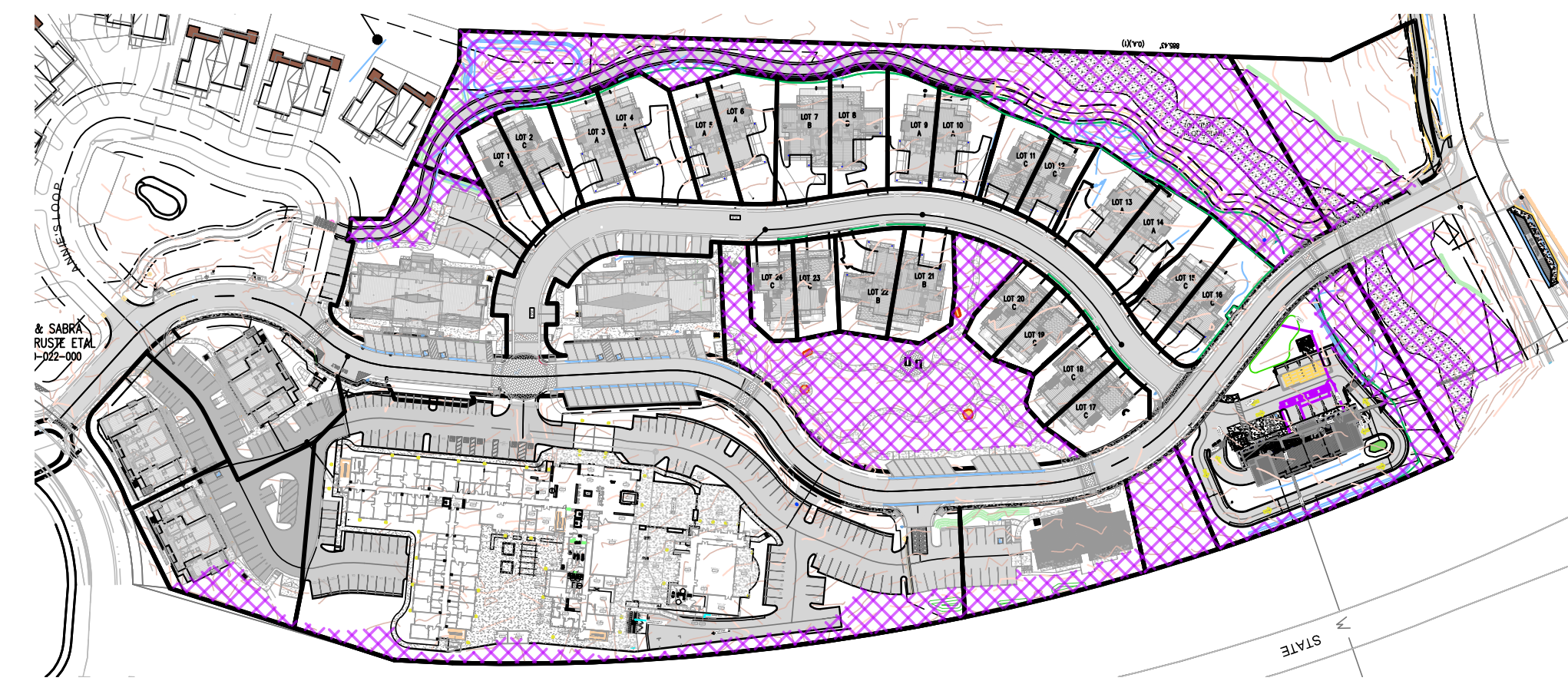


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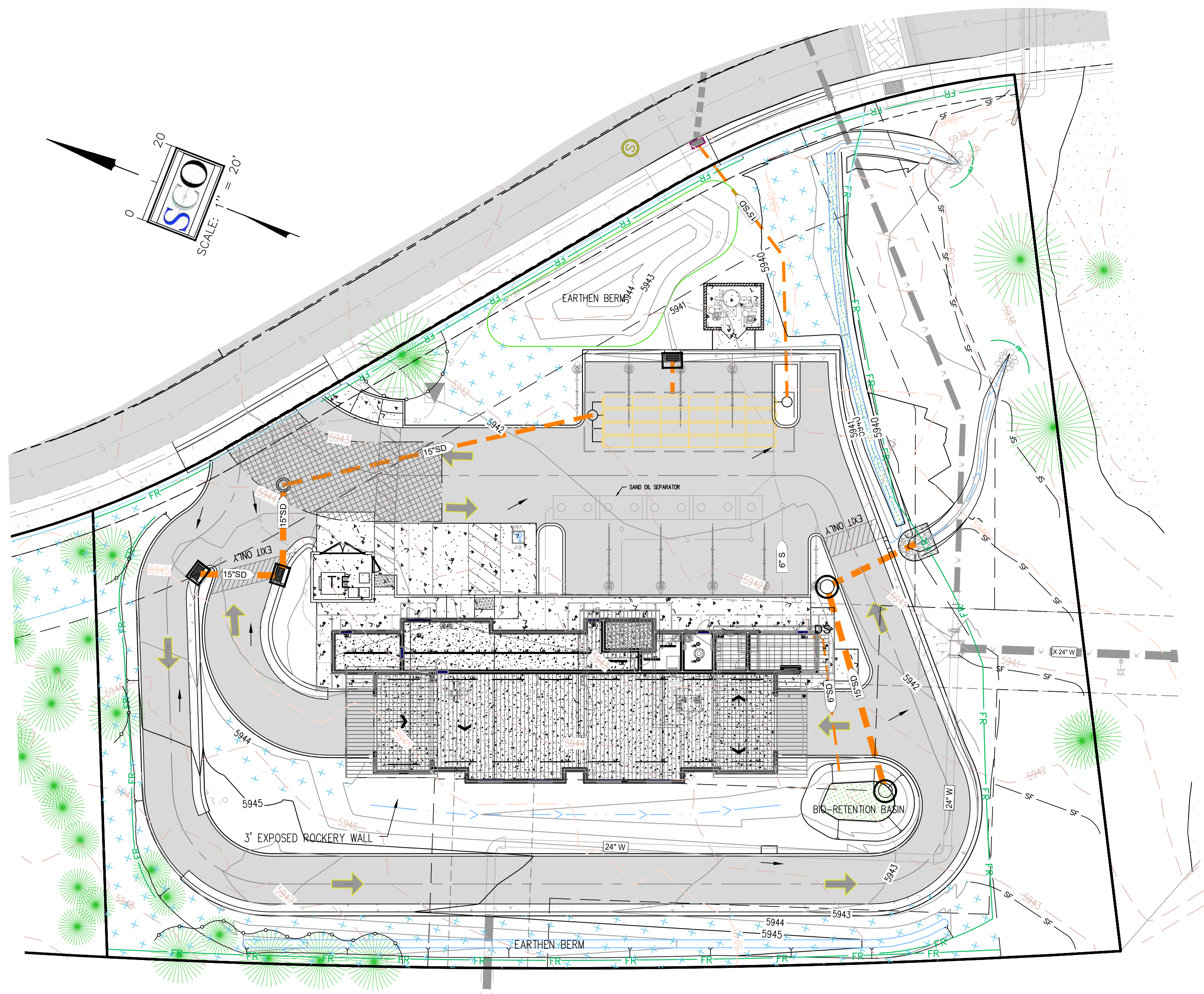
GRASS VALLEY
 (530) 272-5841
 TRUCKEE
 (530) 582-4043
 FAX: (530) 272-5880

LEGEND			
	PROPOSED BIO-SWALE		PROPOSED 15" HDPE STORM PIPE
	PROPOSED RETENTION BASIN		PROPOSED STORM DRAIN INLET
	PROPOSED SEWER PIPE		PROPOSED 6" ROUND LANDSCAPE DRAIN INLET
	PROPOSED WATER LINE		PROPOSED ROOF DRAINAGE
	PROPOSED DRY JOINT UTILITY TRENCH		DIRECTION OF STORM WATER RUNOFF
	EXISTING SEWER PIPE		SE-10 STORM DRAIN INLET PROTECTION
	EXISTING WATER PIPE		ROOF DOWN SPOUT
	PROPOSED FIBER ROLLS/ SILT FENCE		PROPOSED ASPHALT SURFACE
			STABILIZED CONSTRUCTION ENTRANCE

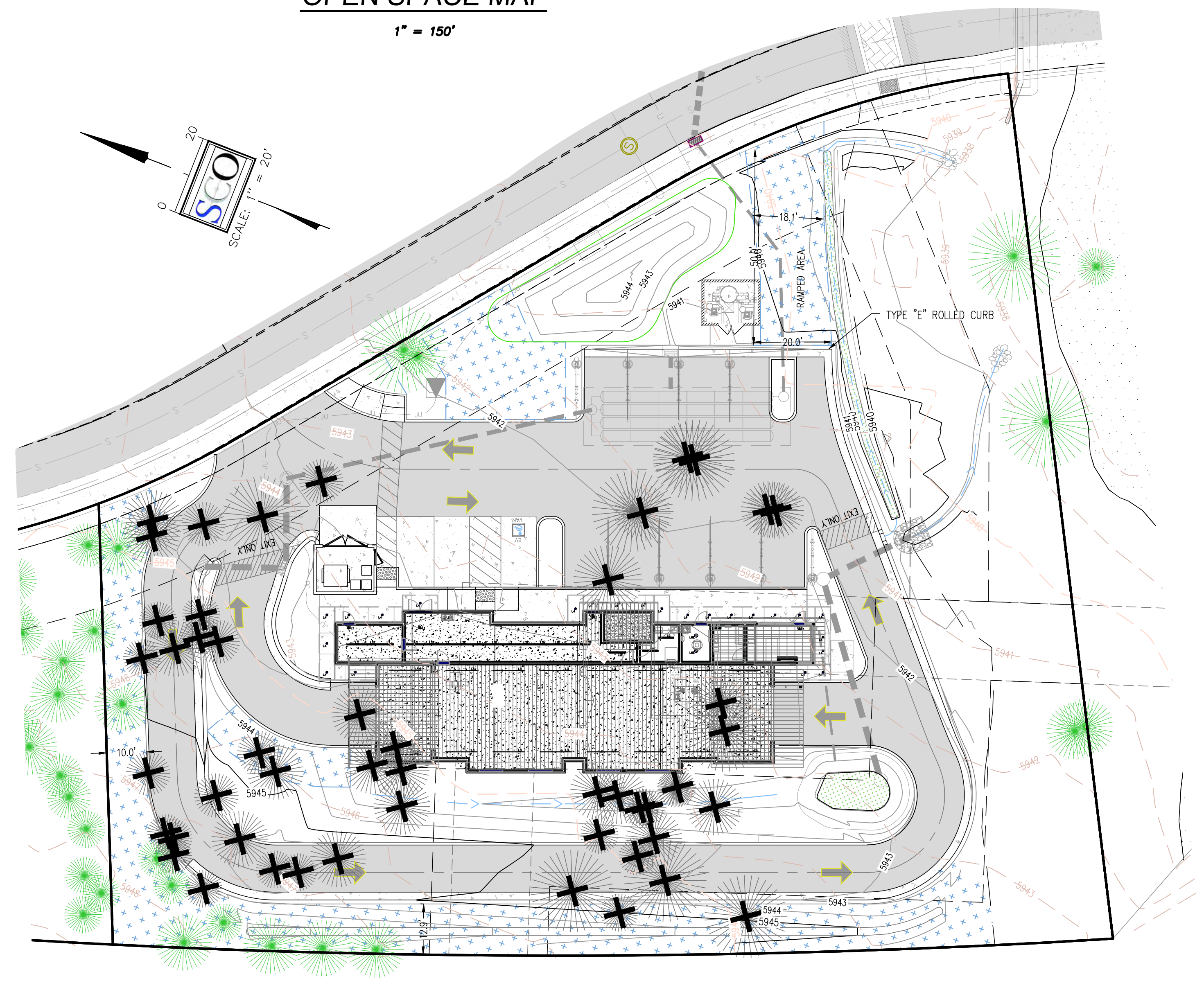


VILLAGE OPEN SPACE			
	Sq. Ft.	Acres	%
Open Space	174,296	4.00	25.2

OPEN SPACE MAP
1" = 150'

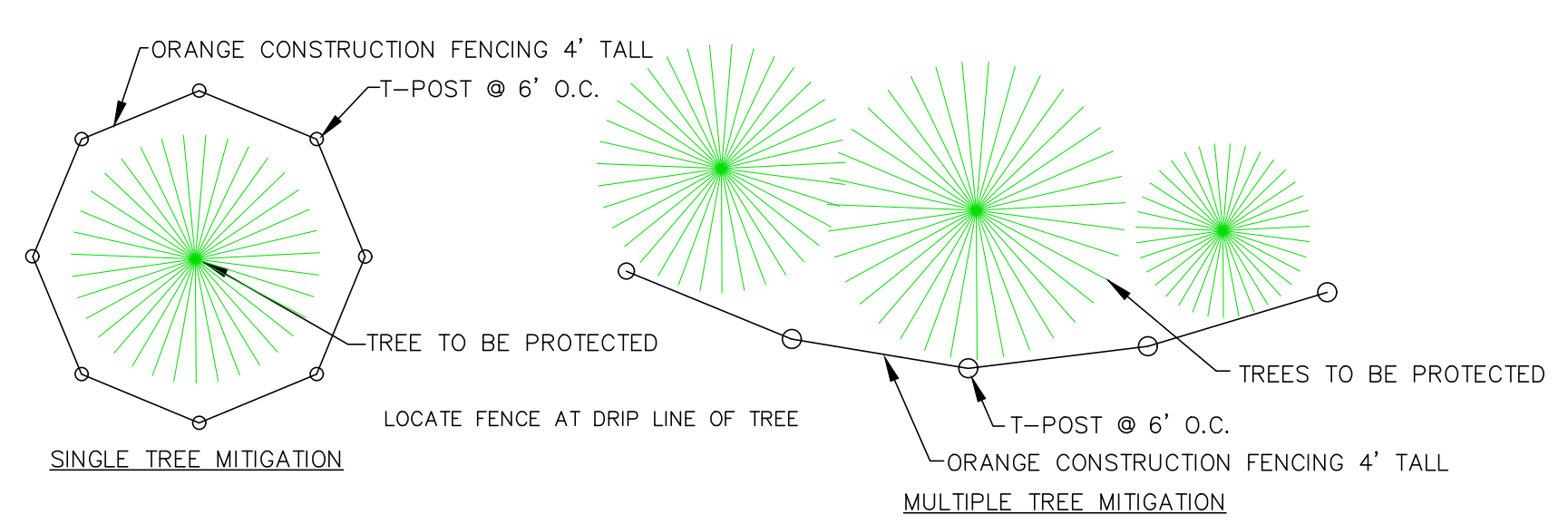


PRELIMINARY STORM WATER / EROSION CONTROL PLAN



SNOW STORAGE EXHIBIT/ TREE REMOVAL PLAN

* FOR PINE TREE SIZES TO BE REMOVED, SEE TOPOGRAPHY AND BOUNDARY SHEET



TREE MITIGATION DETAIL

NOTE: CONTRACTOR SHALL PLACE ALL PROTECTIVE TREE FENCING PRIOR TO GRADING OPERATIONS.

LEGEND	
	EXISTING TREES (TO REMAIN)
	EXISTING TREES (TO BE REMOVED) - ±49 pines
	SNOW STORAGE - 12,556 SF IMPERVIOUS AREA DRIVEWAY 6,430 SF SNOW STORAGE PROVIDED

51.2% OF TOTAL PARKING AND DRIVEWAYS ON THIS LOT

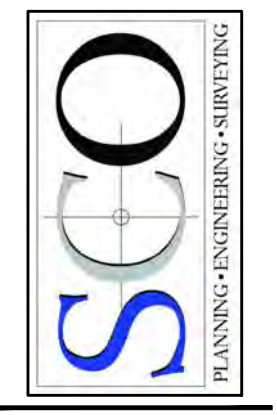


DATE SIGNED: _____



NO.	REVISIONS	DATE	DESIGNED: JB/AMW	DRAWN: NUB	PROJ. NO: 202152	DWG-SEE DAY STAMP	DATE-SEE DAY STAMP

DEVELOPMENT PERMIT
VILLAGE CAR WASH
EROSION CONTROL, TREE REMOVAL, SNOW STORAGE, & OPEN SPACE
CITY OF NEVADA CITY, CALIFORNIA



GRASS VALLEY
(530) 272-5841
TRUCKEE
(530) 582-4043
FAX: (530) 272-5880

PROJECT INFORMATION

OWNER / APPLICANT

JOHN & SABRA ABBATE, TRUSTEES
140 Heron Way
Merced, CA 95341
Contact: Matthew Abbate - matthew@aiiacorp.net

GRAY'S CROSSING INVESTMENTS LLC
043-070-017-000

PLANNING & ENGINEERING

SCO PLANNING & ENGINEERING, INC.
140 Litton Drive, Suite 240
Grass Valley, CA 95945
Contact: Martin Wood - 272.5841

GENERAL PLAN / ZONING

GRAYS CROSSING SPECIFIC PLAN
CN (VILLAGE COMMERCIAL)

APN'S / LAND AREA

043-070-010 ("LOT T" BOOK 9, SUBDS, PG 26)
43,295 ± SF

FIRE PROTECTION

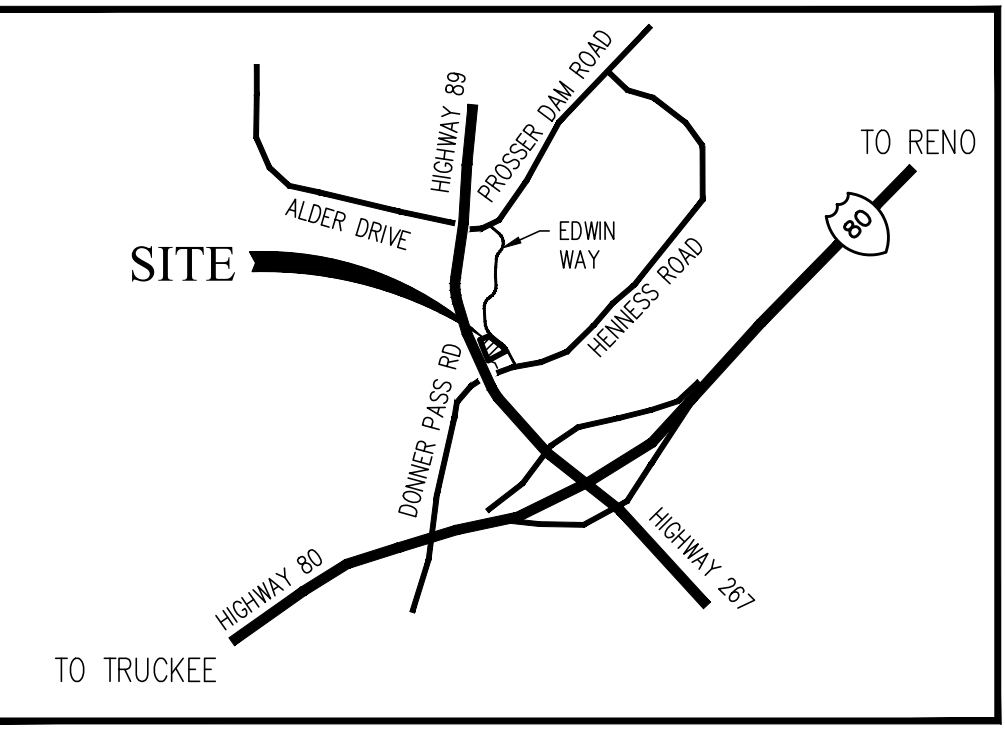
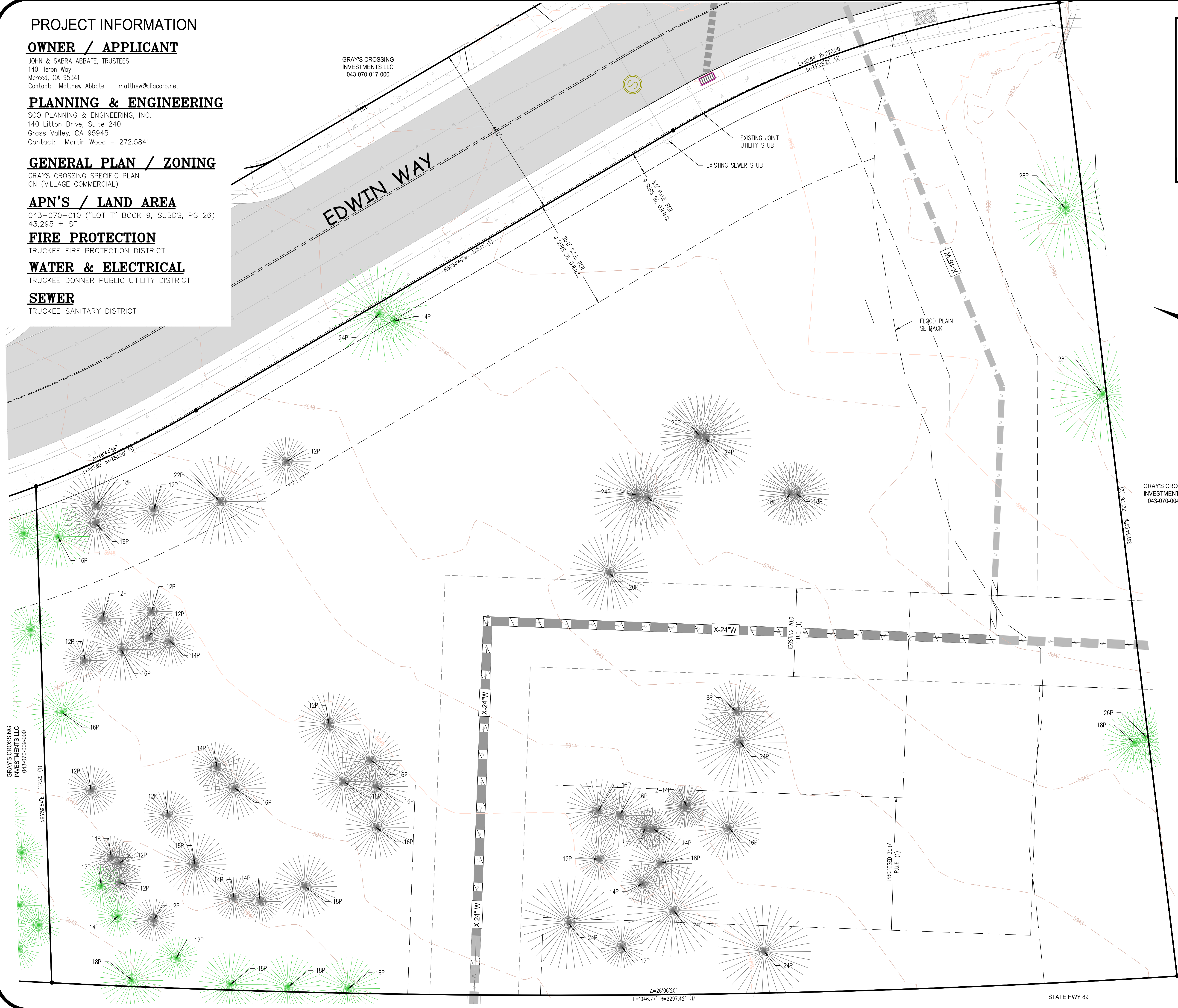
TRUCKEE FIRE PROTECTION DISTRICT

WATER & ELECTRICAL

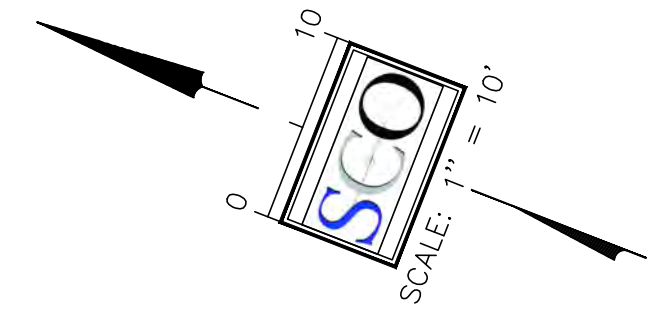
TRUCKEE DONNER PUBLIC UTILITY DISTRICT

SEWER

TRUCKEE SANITARY DISTRICT



VICINITY MAP
NO SCALE



LEGEND:

- 5/8" REBAR W/ PLASTIC CAP, STAMPED P.L.S. 8321 TO BE SET PER BOOK 9, PM, PG 26, O.R.N.C.
- 🌲 P PINE TREE (SIZE AS NOTED)(NOT ALL TREES NECESSARY LOCATED)
- 🌲 P PINE TREE TO BE REMOVED - 51 TREES
- ▬ EXISTING ASPHALT
- (u) — JOINT UTILITY TRENCH
- (w) — EXISTING WATER LINE
- (s) — EXISTING SEWER LINE
- (d) — EXISTING STORM DRAIN LINE
- (1) RECORD INFORMATION PER BOOK 9, SUBDIVISIONS, PAGE 26, O.R.N.C.
- (2) RECORD INFORMATION PER BOOK 8, SUBDIVISIONS, PAGE 182, O.R.N.C.

GRAY'S CROSSING INVESTMENTS LLC
043-070-004-000



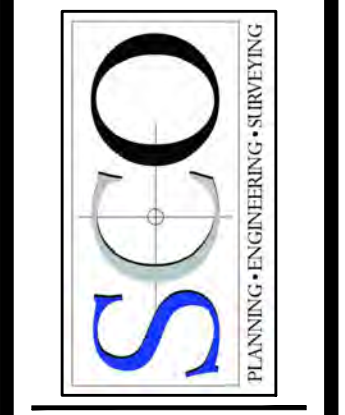
DATE SIGNED: _____

DESIGNED: JB/AMW	DATE
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DWG-SEE DAY STAMP	
DATE-SEE DAY STAMP	

CALIFORNIA

DEVELOPMENT PERMIT
VILLAGE CAR WASH
TOPOGRAPHY AND BOUNDARY EXHIBIT

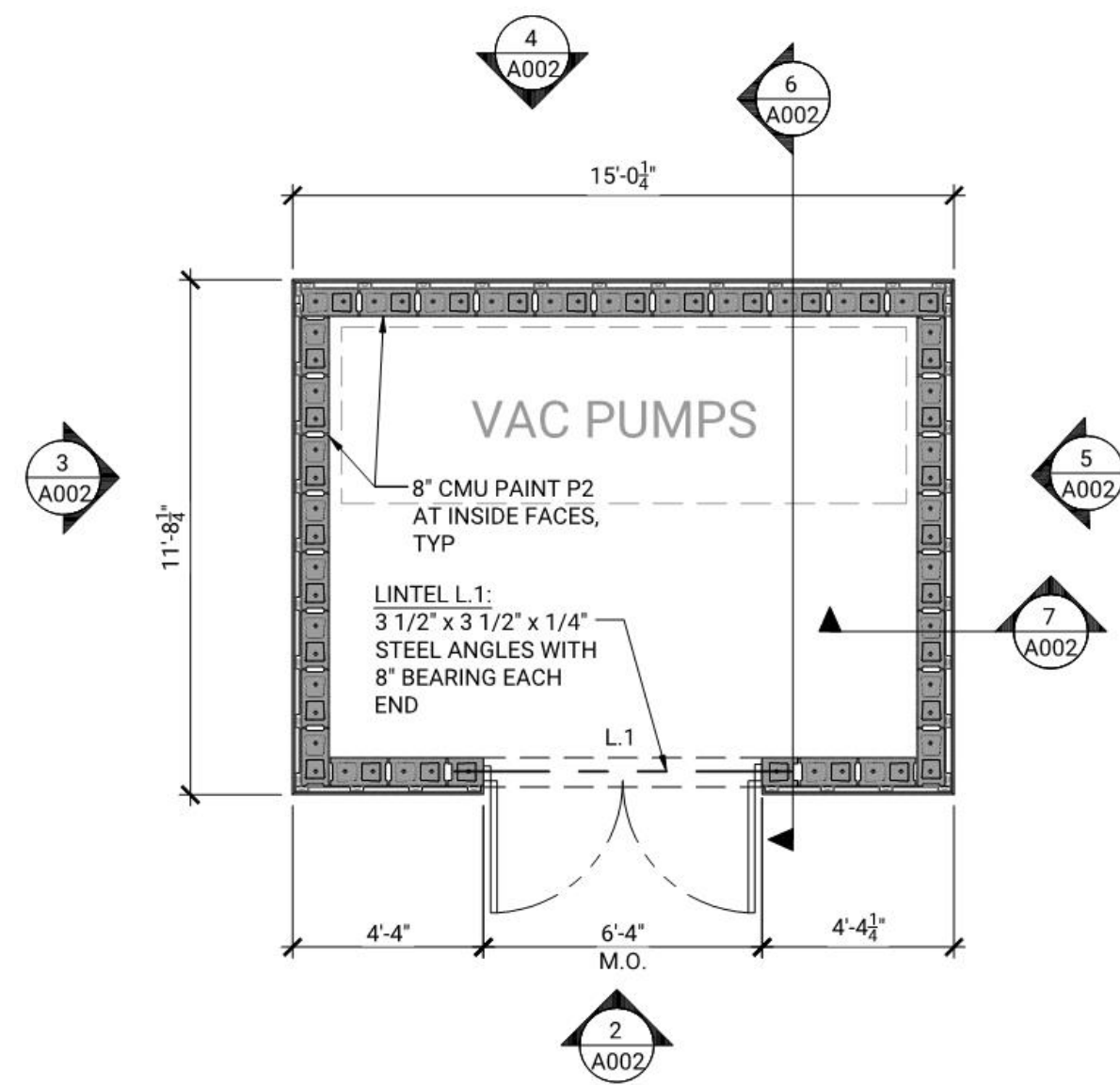
CITY OF NEVADA CITY



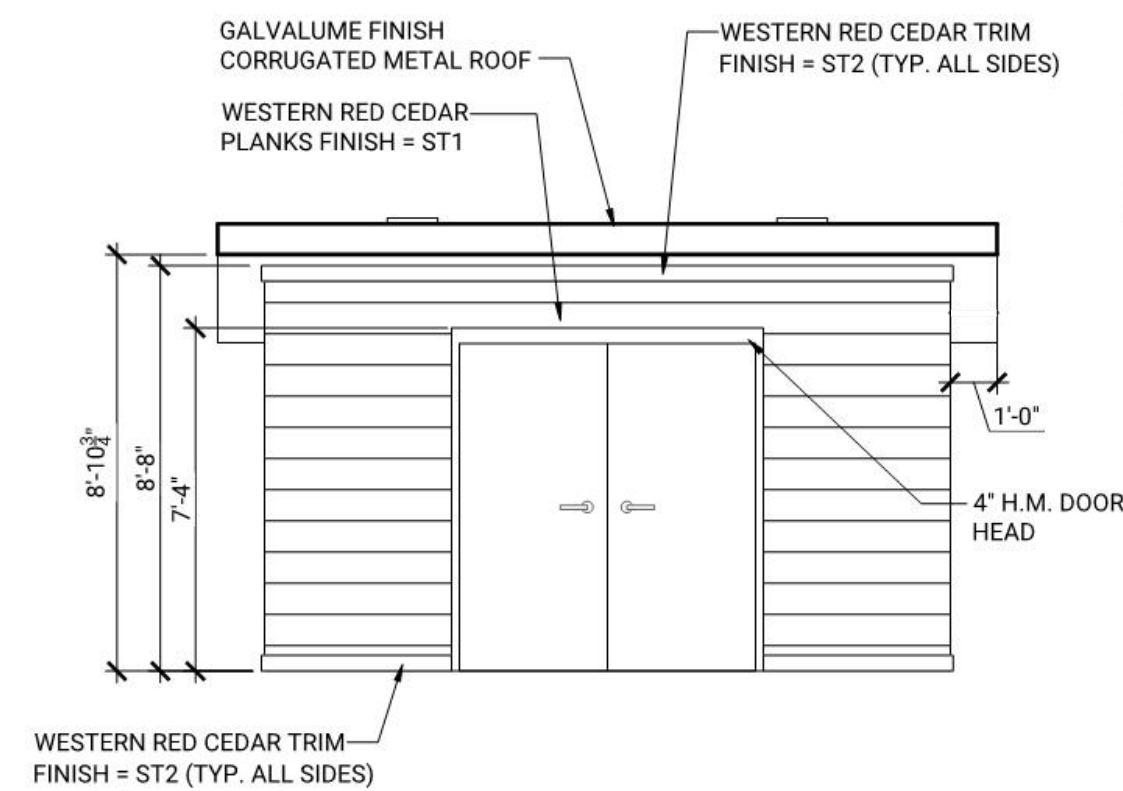
GRASS VALLEY
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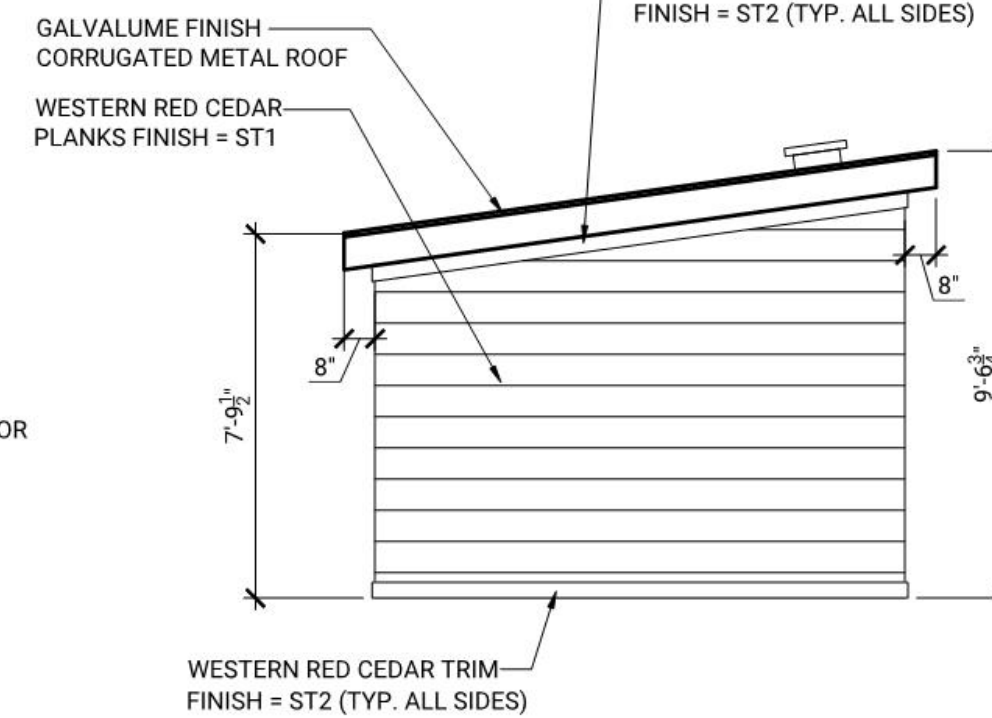
SEAL



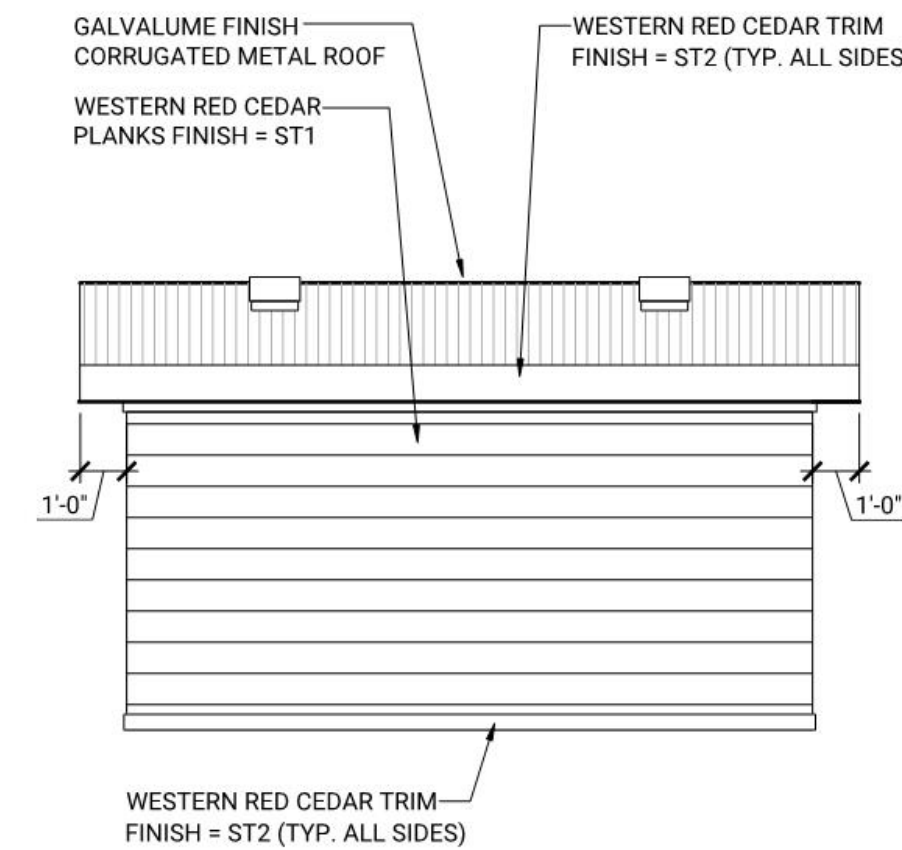
1 VAC ENCLOSURE PL
A002 SCALE: 1/4" = 1'-0"



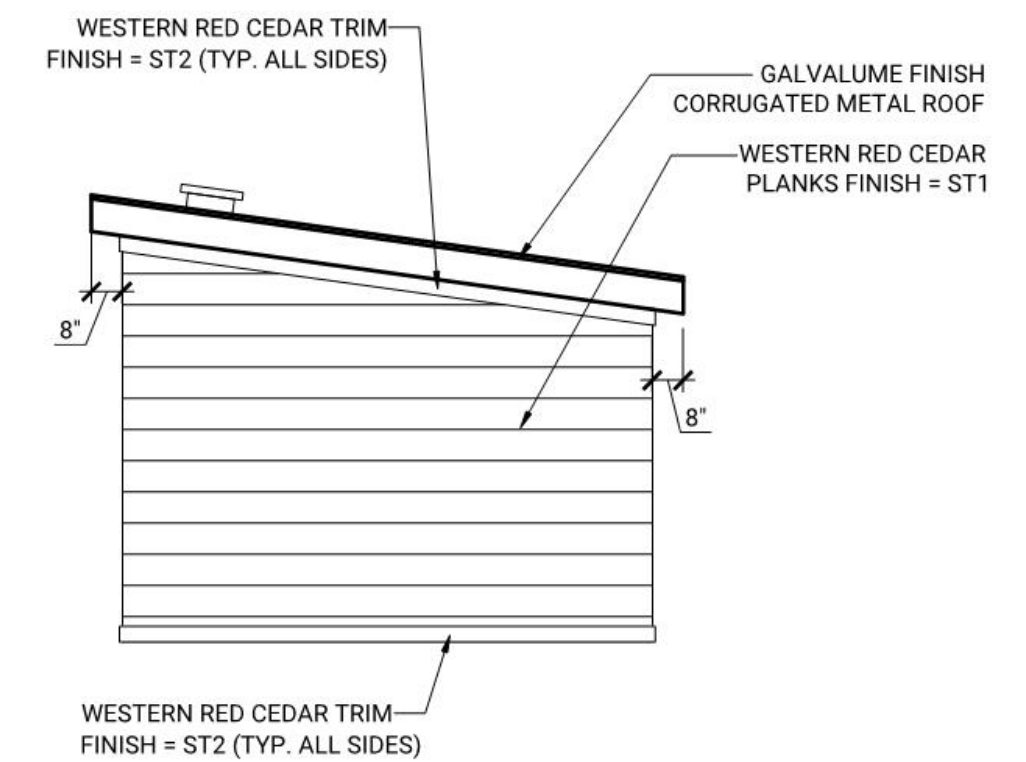
2 VAC ENCLOSURE ELEVATION
A002 SCALE: 1/4" = 1'-0"



3 VAC ENCLOSURE ELEVATION
A002 SCALE: 1/4" = 1'-0"

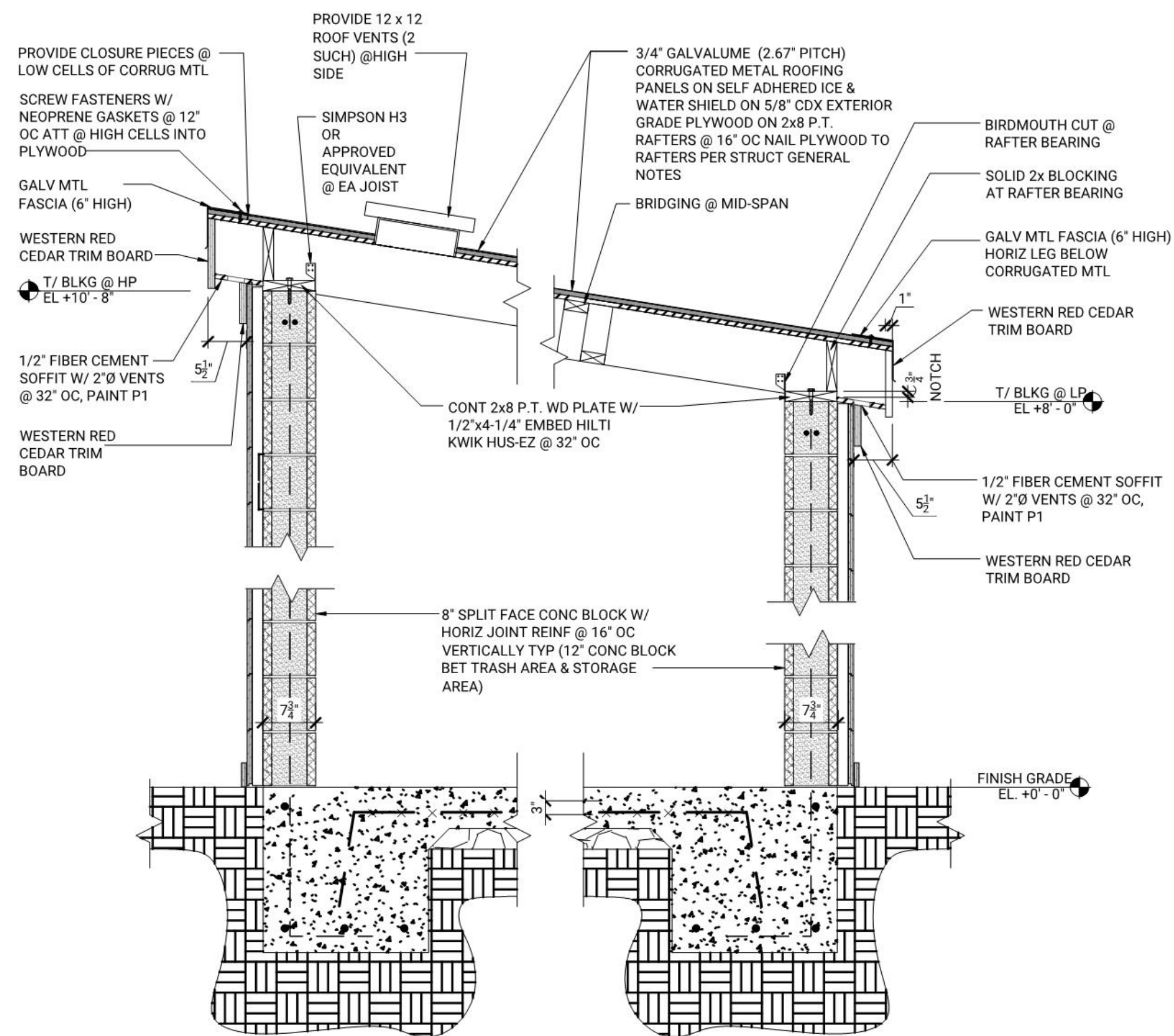


4 VAC ENCLOSURE ELEVATION
A002 SCALE: 1/4" = 1'-0"

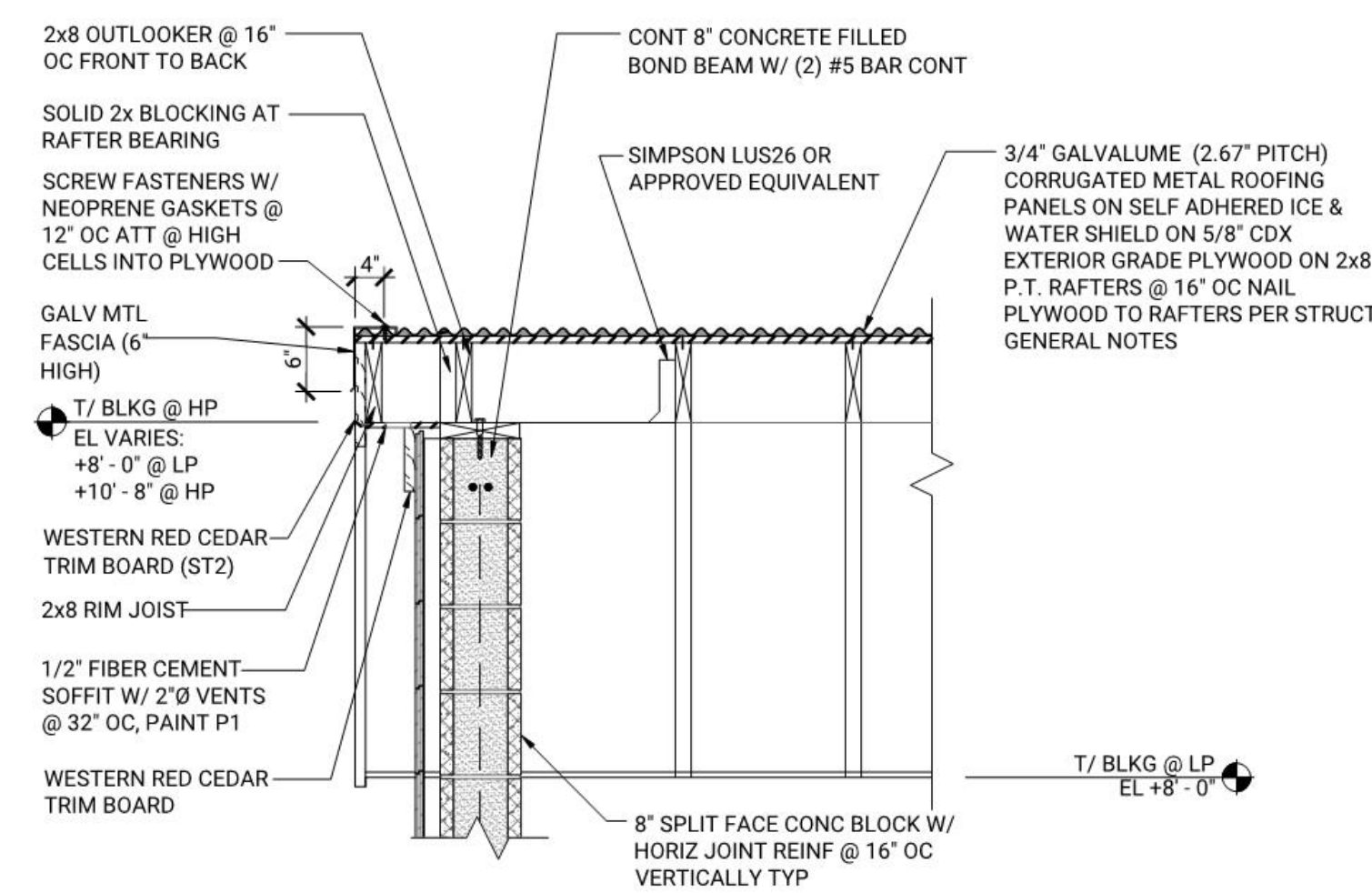


5 VAC ENCLOSURE ELEVATION
A002 SCALE: 1/4" = 1'-0"

NOTE:
REFER TO A200 FOR ALL FINISH / MATERIALS



6 SECTION THRU VAC ENCLOSURE
A002 SCALE: 3/4" = 1'-0"



6 SECTION THRU SIDE WALL
A002 SCALE: 3/4" = 1'-0"

REVISONS	DESCRIPTION	DATE
1	REDESIGN OPTION 2A	02-06-23
2	REDESIGN OPTION 2A REV - 1	05-08-23

PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161
VACUUM ENCLOSURE PLAN & DETAILS

SHEET MANAGEMENT	PROJECT NO.	DATE ISSUED	DRAWN BY	REVIEWED BY
PROJECT NO.: ABA01-015	PROJECT NO.: ABA01-015	DATE ISSUED: 05/08/23	DRAWN BY: RC	REVIEWED BY: JD

SHEET NUMBER

A002



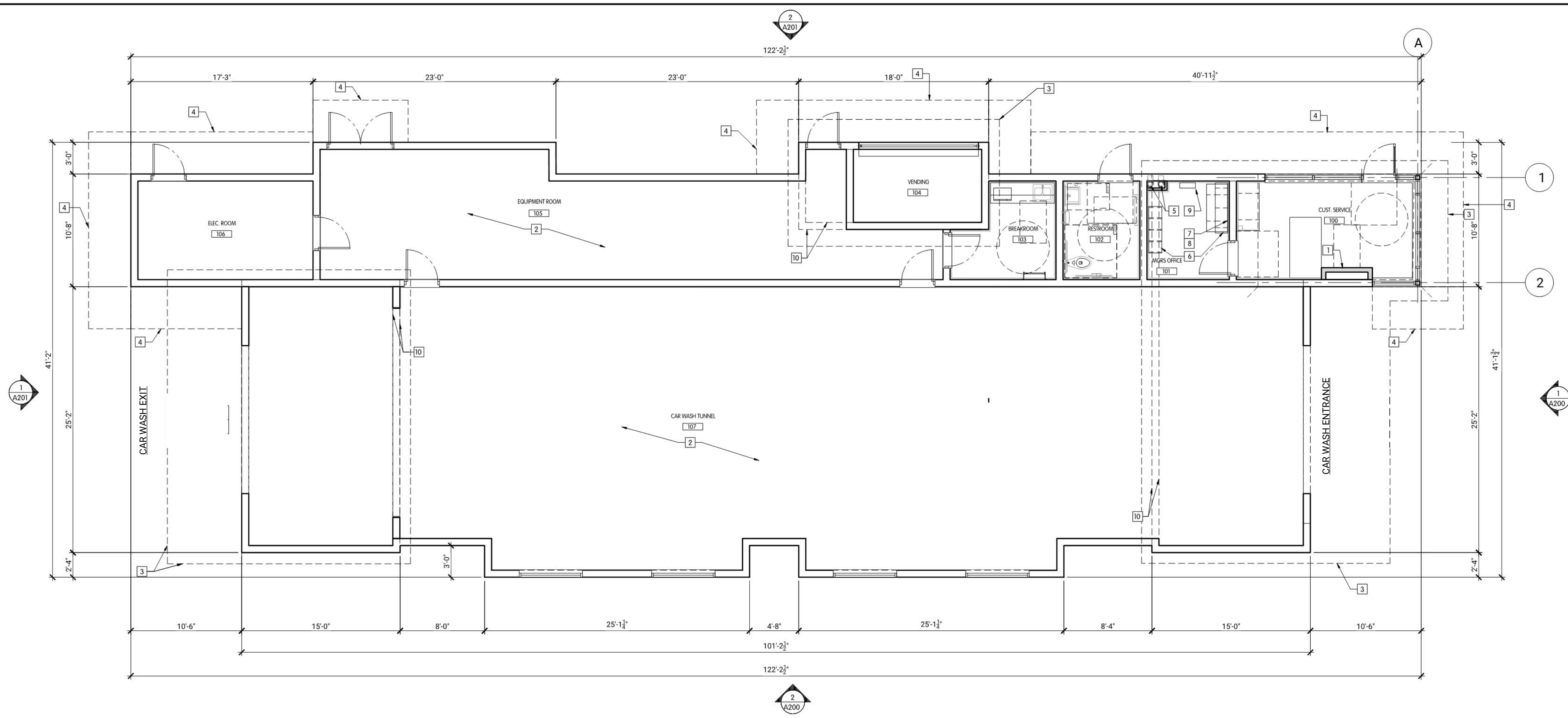
SEAL

No.	DATE	DESCRIPTION
1	02-06-23	REDESIGN OPTION 2A
2	05-08-23	REDESIGN OPTION 2A REV - 1

PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161

SHEET MANAGEMENT	
PROJECT NO.: ABA01-015	RC
DATE ISSUED: 05/08/23	JD
DRAWN BY:	
REVIEWED BY:	

SHEET NUMBER
A100



1 FLOOR PLAN
A100 SCALE: 3/16" = 1'-0"

FLOOR PLAN KEYNOTES	GENERAL FLOOR PLAN KEY NOTES
<ul style="list-style-type: none"> 1 WATER DISPENSER BY OTHERS 2 CAR WASH EQUIPMENT BY VENDOR 3 LINE OF ROOF ABOVE 4 ALUMINUM FRAMED AWNING WITH WESTERN RED CEDAR UNDERSIDE AND RECESSED LIGHTING 5 DOWNSPOUT AND OVERFLOW DRAINS SEE PLUMBING 6 MILLWORK BY GC 7 WALL SHELVES BY GC 8 PROVIDE WOOD BLOCKING FOR SHELVING INSTALLATION 9 PROVIDE WOOD BLOCKING FOR EQUIPMENT 10 LINE OF TOWER ABOVE 	<p>GENERAL FLOOR PLAN NOTES</p> <ol style="list-style-type: none"> 1. GENERAL CONTRACTOR SHALL CONSULT WITH THE CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION. 2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES. 3. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SITE UTILITIES. 4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES AND NOTIFY CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS. 5. GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S "CLOSE-OUT" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT. 6. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. REFER TO CONSTRUCTION MANAGEMENT AGREEMENT FOR METHODS AND LEAD TIMES. 7. RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY". 8. FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL," SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS OTHERWISE NOTED. 9. ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE DESIGN MANAGER. 10. REFER TO EQUIPMENT DRAWINGS FOR ADDITIONAL INFORMATION.
<p>LEGEND</p> <p>1 KEY NOTE NEW FULL HEIGHT FRAME PARTITION</p>	

PROJECT INFORMATION

SHEET MANAGEMENT

FLOOR PLAN



SEAL

No.	DATE	DESCRIPTION
1	02-06-23	REDESIGN OPTION 2A
2	05-08-23	REDESIGN OPTION 2A REV - 1

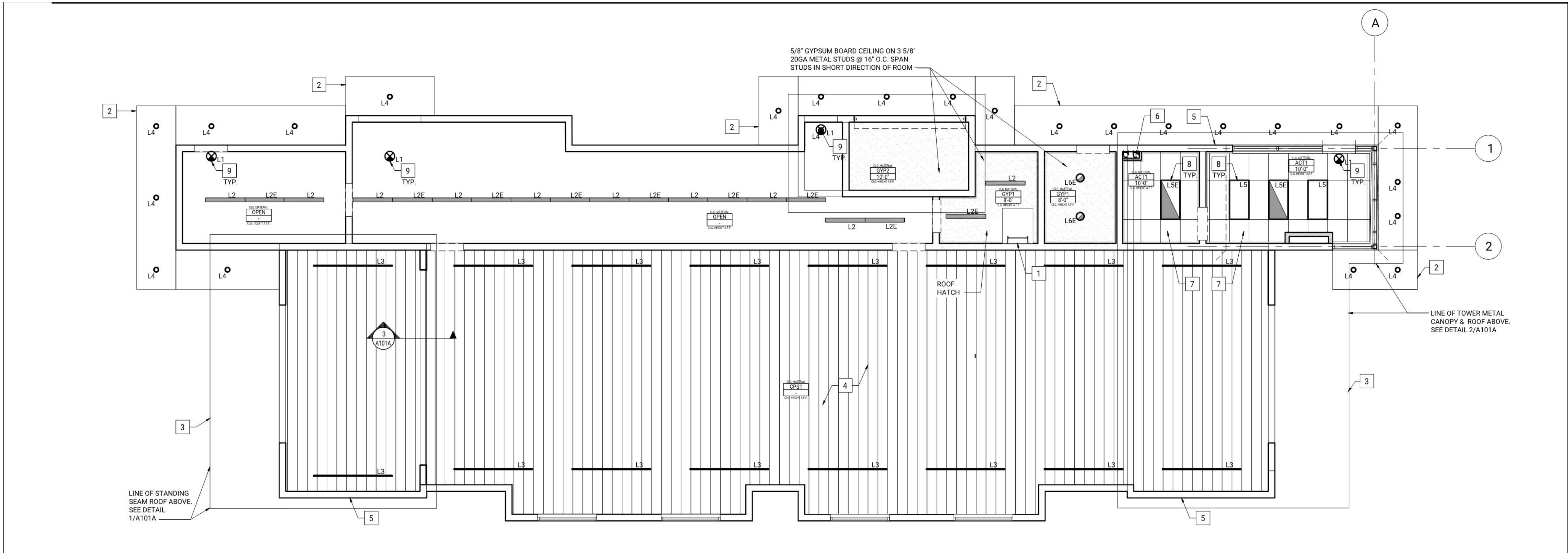
PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161

REFLECTED CEILING PLAN

SHEET MANAGEMENT
PROJECT NO.: ABA01-015
DATE ISSUED: 05/08/23
DRAWN BY: RC
REVIEWED BY: JD

SHEET NUMBER

A101



1
A101
REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"

CEILING FINISH SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER	MODEL
ACT1	2X4 LAY-IN ACOUSTICAL CEILING 15/16 WHITE GRID	ARMSTRONG	CORTEGA
GYP1	5/8" GYPSUM BOARD CEILING (PAINTED PT5)	-	-
GYP2	5/8" GYPSUM BOARD CEILING (MOISTURE RESIST)	-	-
CPS1	CEILING PANEL SYSTEM (PVC)	OCTAFORM	QUICKLINER

NOTE:
CENTER CEILING GRID IN ROOM
WHEN POSSIBLE

LIGHTING FIXTURE SCHEDULE						
MARK	MANUFACTURER	MODEL	COUNT	LUMENS	DESCRIPTION	COMMENTS
L1	LITHONIA LIGHTING	LQM-S-3-G-120/277-ELN-SD	4	N/A	STANDARD EXIT SIGN WITH TERMOPLASTIC BLACK HOUSING, GREEN LED LETTERS AND EMERGENCY BATTERY PACK	SURFACE MOUNTED. PROVIDE WITH DIRECTIONAL ARROWS AS INDICATED ON PLAN
L2	LITHONIA LIGHTING	CLX L48 5000LM HEF FDL MVOLT GZ10 35K 90CRI WH	10	5,000	4" LINEAR LED STANDARD STRIP W/ LENS	PENDANT MTD @ =10'-0" AFF
L2E	LITHONIA LIGHTING	CLX L48 5000LM HEF FDL MVOLT GZ10 35K 90CRI PS1050 BSE10 WH	9	5,000	4" LINEAR LED STANDARD STRIP WITH WIREGUARD AND EMERGENCY BATTERY PACK	SURFACE PROVIDE WITH 1400 LUMENS EMERGENCY BATTERY PACK
L3	G&G SPECIAL EVIRONMENTS	WPX8-SO-40K WITH WPX-PSU-750 DRIVERS	16	8,000	8' LED WATERPROOF LUMINAIRE - PROVIDE ALL ACCESSORIES AS NECESSARY FOR A COMPLETE AND OPERABLE SYSTEM	SURFACE QTY OF DRIVERS AS PER DWGS
L4	SPECTRUM LIGHTING	AR6ES20L-MB-MF-GRES6MB	23	2,000	6" ROUND LED DOWNLIGHT FOR WET AREA APPLICATIONS	HOUSING: SP6ES-15L-35K-DX
L5	LITHONIA LIGHTING	2GTL-4-72L-EZ1-LP835	2	7,200	2'X4' LED TROFFER W/ STEEL HOUSING, ACRYLIC PRISMATIC LENS	ACT GRID RECESSED
L5E	LITHONIA LIGHTING	2GTL-4-72L-EZ1-LP835	2	7,200	2'X4' LED TROFFER W/ STEEL HOUSING, ACRYLIC PRISMATIC LENS	ACT GRID RECESSED

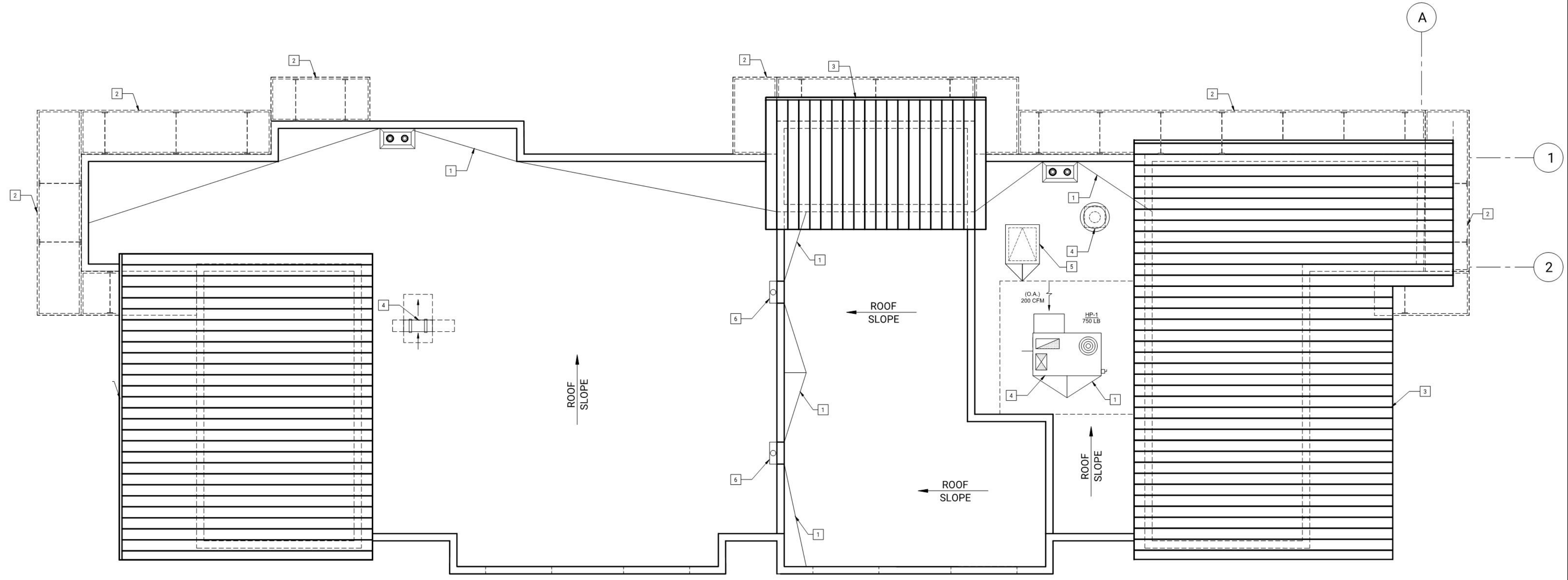
LEGEND	
	GYP. BD. CEILING
	NEW ACT CEILING
	HVAC DIFFUSERS
	WALL MOUNTED EXIT SIGN W/ BATTERY PACK

REFLECTED CEILING PLAN KEYNOTES	
1	ROOF HATCH
2	ALUMINUM FRAMED AWNING WITH WESTERN RED CEDAR UNDERSIDE AND RECESSED LIGHTING
3	LINE OF STANDING SEAM ROOF ABOVE
4	PVC CEILING LINER SYSTEM OVER 2X4 FURRING @24" O.C. PERPENDICULAR TO SPAN OF ROOF JOISTS SEE BUILDING AND WALL SECTIONS A500 & A501
5	LINE OF TOWER CANOPY & METAL ROOF ABOVE
6	DOWNSPOUT AND OVERFLOW DRAIN - SEE PLUMB SHEETS
7	2'X4' LAY IN CEILING & GRID CENTER GRID IN ROOM
8	2'X4' LED LAY-IN LIGHT FIXTURE
9	NEW WALL MOUNTED EXIT SIGN, CENTER OVER DOOR BELOW (TYPICAL)

GENERAL FLOOR PLAN NOTES	
1.	FIELD VERIFICATION: CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND VERTICAL CONTROL PRIOR TO THE COMMENCEMENT OF WORK. PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE OR CONTRACTING OFFICER IN WRITING OF ANY DISCREPANCIES IN NEW AND/OR EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL ABOVE CEILING WORK TO ENSURE CLEARANCES FOR SCHEDULED CEILING HEIGHTS.
2.	DIMENSION GUIDE: ALL DIMENSIONS ARE TAKEN TO/FROM GRID LINE, AND FACE OF DRYWALL PARTITION, UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS WILL BE NOTE WHERE APPLICABLE FROM MATERIAL FINISHES.
3.	CEILING HEIGHTS: ALL CEILINGS DESIGNATED ON THIS PLAN SHALL BE AS NOTED ON THE PLAN. ALL CEILING HEIGHTS CORRESPOND TO THE HEIGHT ABOVE RESPECTIVE FINISH FLOOR ELEVATION/LEVEL.
4.	CEILING DEVICES: CEILING LAYOUT PLANS SHOW MOST MAJOR MECHANICAL AND ELECTRICAL COMPONENTS. SEE MECHANICAL AND ELECTRICAL DOCUMENTS FOR ADDITIONAL M/E DEVICES INCLUDED IN THE CEILING CONFIGURATION. CONTRACTOR TO COORDINATE LAYOUT OF ALL DEVICES. ALL MECHANICAL / ELECTRICAL COMPONENTS SCHEDULED TO BE INSTALLED IN THE SUSPENDED ACOUSTIC CEILING PANEL (ACP), OR ACOUSTIC CEILING TILES (ACT) TO BE LOCATED IN THE CENTER OF EACH PANEL/TILE, UNLESS OTHERWISE NOTED.
5.	PARTITION TYPES: PARTITION TYPES AND RELATED HEIGHTS ARE REFERENCED ON THE CORRESPONDING FLOOR PLANS A-101 FOR THIS AREA.
6.	CEILING ACCESS: PROVIDE CEILING ACCESS PANELS, AS SPECIFIED IN SECTION 083100 IN ALL INACCESSIBLE CEILINGS WHERE EQUIPMENT/DEVICES REQUIRING ACCESS ARE LOCATED. COORDINATE LOCATION WITH EXISTING DESIGN LAYOUT, WITH SIZE AS SPECIFIED. NOTE: TO BE CONSISTENT WITH TYPE OF ACCESS PANELS, INSTRUCT M/E TO SPECIFY (CROSS-REFERENCE) THE ARCH SECTION.
7.	LATERAL SUPPORT: PROVIDE LATERAL SUPPORT AND UPLIFT RESTRAINT AT ALL SUSPENDED ACOUSTICAL PANEL/TILE CEILINGS AS REQUIRED BY THE LOCAL JURISDICTION (ASTM). COORDINATE LOCATIONS WITH ABOVE CEILING DEVICES AND RELATED CLEARANCES.



SEAL



1 ROOF PLAN
A102 SCALE: 3/16" = 1'-0"

ROOF PLAN KEYNOTES	
1	BUILD UP DRAINAGE CRICKETS - TYP
2	ALUMINUM FRAMED AWNING WITH WESTERN RED CEDAR UNDERSIDE
3	STANDING SEAM SHED ROOF
4	ROOFTOP EQUIPMENT SEE MECHANICAL DRAWINGS
5	ROOF ACCESS HATCH & LADDER

LEGEND			
1	KEY NOTE	◇	WINDOW TAG SEE A600
—	NEW FULL HEIGHT PARTITION	#	WALL TYPE TAG SEE 2/A200
○	DOOR TAG SEE A600		

TYPICAL TPO ROOFING SPEC

TYPICAL TPO ROOFING INSTALLATION
60 MIL DUR-O-LAST (WHITE) SINGLE PLY MECHANICALLY FASTENED ROOF MEMBRANE, ON 5/8" DUR-O-GUARD DENS DECK ROOF BOARD, (R=0.67) OVER 3" POLYISO INSULATION (R=23.60), MECHANICALLY FASTENED TO 3/4" EXTERIOR GRADE T&G FIRE RETARDANT PLYWOOD

- GENERAL ROOF PLAN NOTES**
- ROOFING CONTRACTOR TO COORDINATE LOCATION OF HVAC UNITS AND ROOF TOP ACCESSORIES WITH STRUCTURAL AND MECHANICAL DRAWINGS
 - TAPERED INSULATION SHALL BE LAID OUT IN ORDER TO AVOID PONDING WATER CONDITIONS.
 - PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.
 - ROOF SYSTEMS SHALL BE APPLIED ONLY BY MANUFACTURER APPROVED CONTRACTOR IN ORDER TO MEET GUARANTEE REQUIREMENTS
 - HVAC CONDENSATE LINES TO TERMINATE ON ROOF OR AS REQUIRED BY LOCAL CODE.
 - REFER TO STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL INFORMATION.
 - ALL CURBS AND PIPE PENETRATIONS SHALL HAVE A MINIMUM OF 16" CLEAR FROM EACH OTHER FOR ROOF FLASHING PURPOSES. ALL EQUIPMENT SHALL HAVE A MINIMUM OF 16" CLEAR FROM ALL ADJACENT PARAPETS. ALL HVAC MOUNTED EQUIPMENT (DISCONNECT BOXES, GFCL PIPE SUPPORTS) SHALL NOT BE CLOSER THAN 16" FROM EACH OTHER OR CURB. NO UNISTRUT PIPE SUPPORTS SHALL BE USED AS VERTICAL MEMBERS FOR MOUNTING EQUIPMENT TO ROOF SURFACE.
 - ALL TPO TO BE FULLY ADHERED UP PARAPET WALL AND UNDER COPING.
 - PROVIDE WALKWAY PADS AS REQUIRED
 - TO BE INSTALLED PER MANUFACTURER REQUIREMENTS TO INSURE FULL WARRANTY.

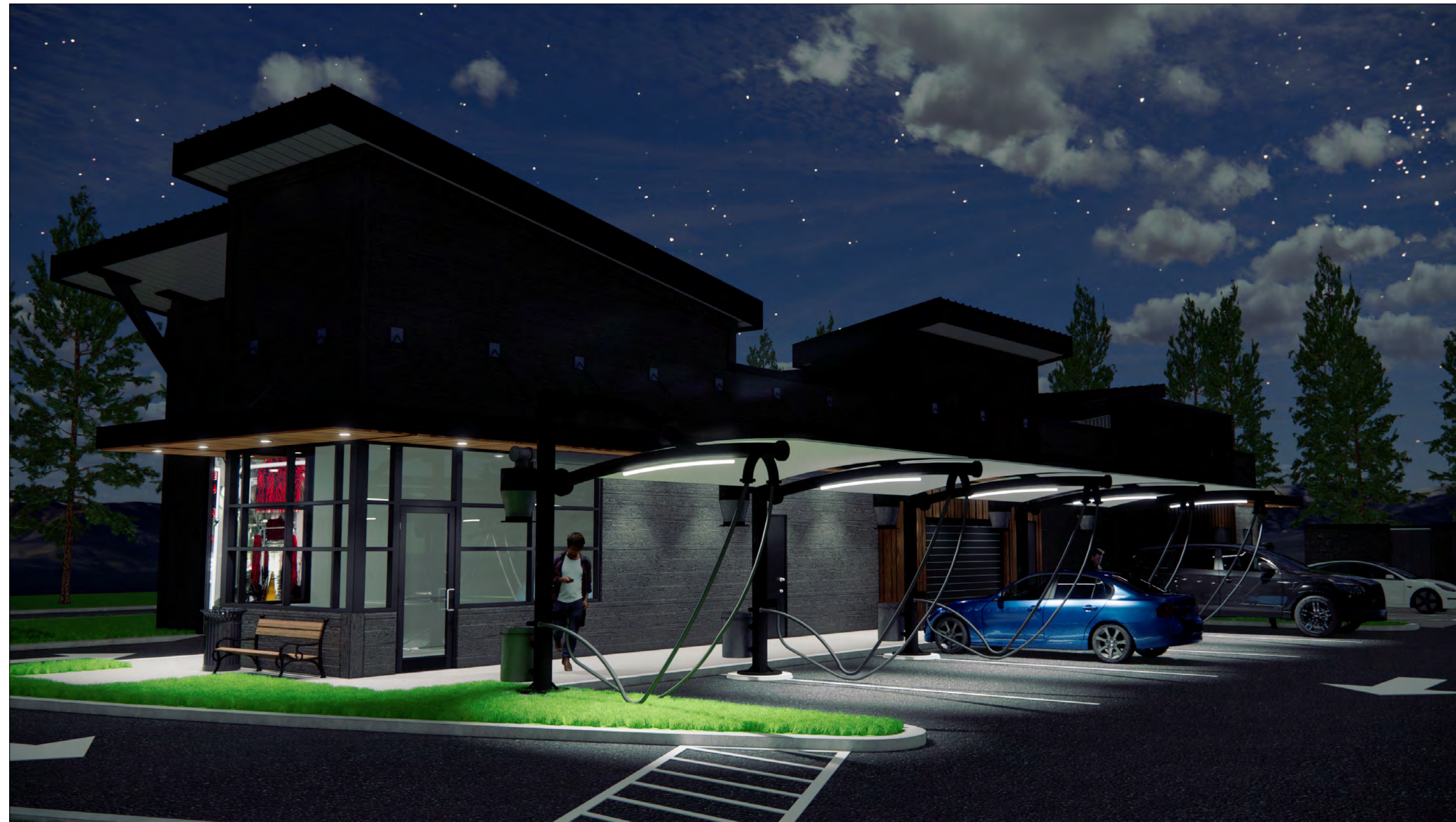
REVISIONS		
No.	DATE	DESCRIPTION
1	02-06-23	REDESIGN OPTION 2A
2	05-08-23	REDESIGN OPTION 2A REV - 1

PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161

SHEET MANAGEMENT
PROJECT NO.: ABA01-015
DATE ISSUED: 05/08/23
DRAWN BY: RC
REVIEWED BY: JD

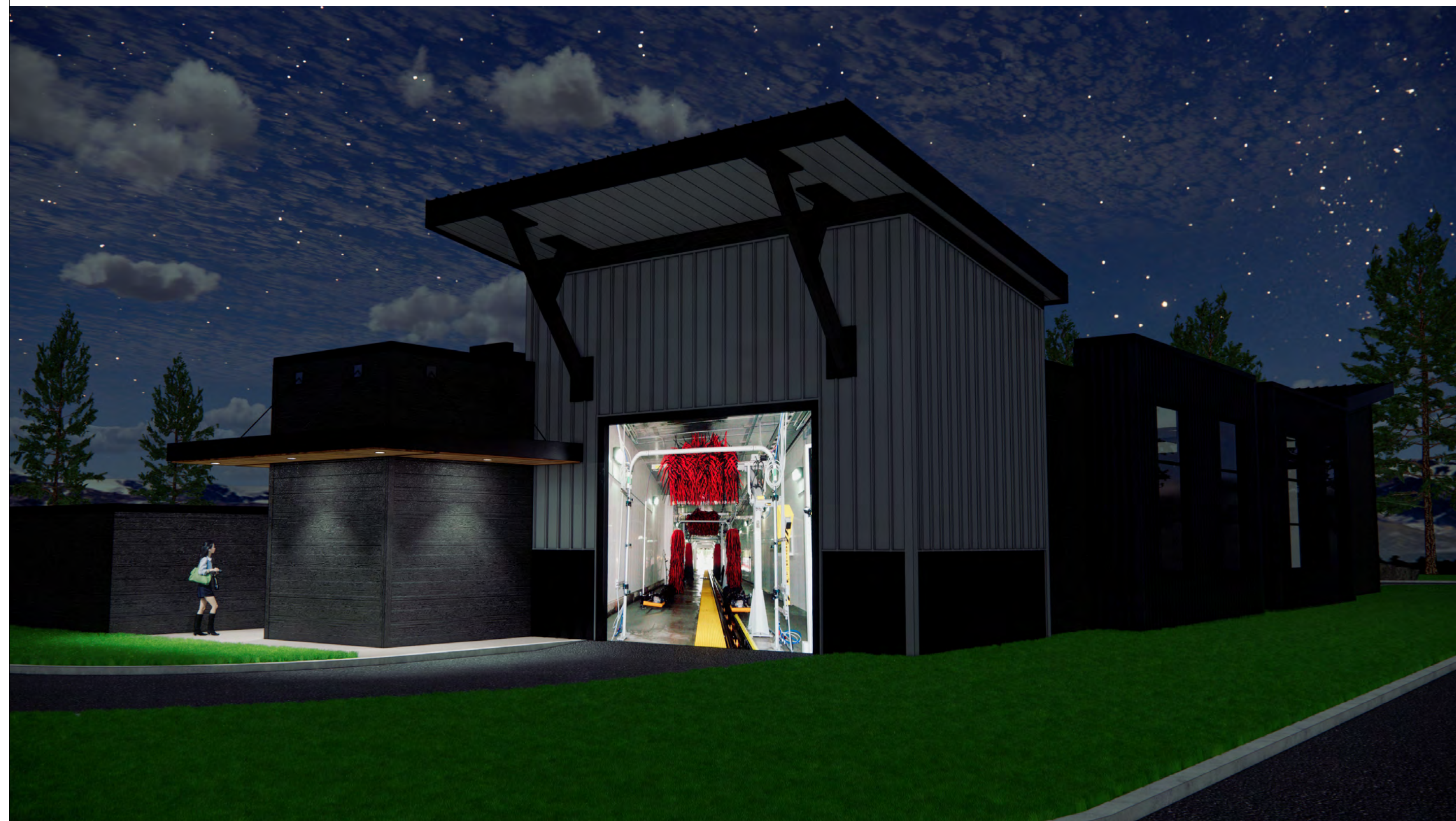
SHEET NUMBER
A102

ROOF PLAN



1 EXTERIOR PERSPECTIVE 1
A301 N.T.S.

2 EXTERIOR PERSPECTIVE 2
A301 N.T.S.



3 EXTERIOR PERSPECTIVE 3
A301 N.T.S.

4 EXTERIOR PERSPECTIVE 4
A301 N.T.S.

sevan
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INTEGRITY | RESPECT | TEAMWORK
EXCELLENCE | CHARITY



SEAL

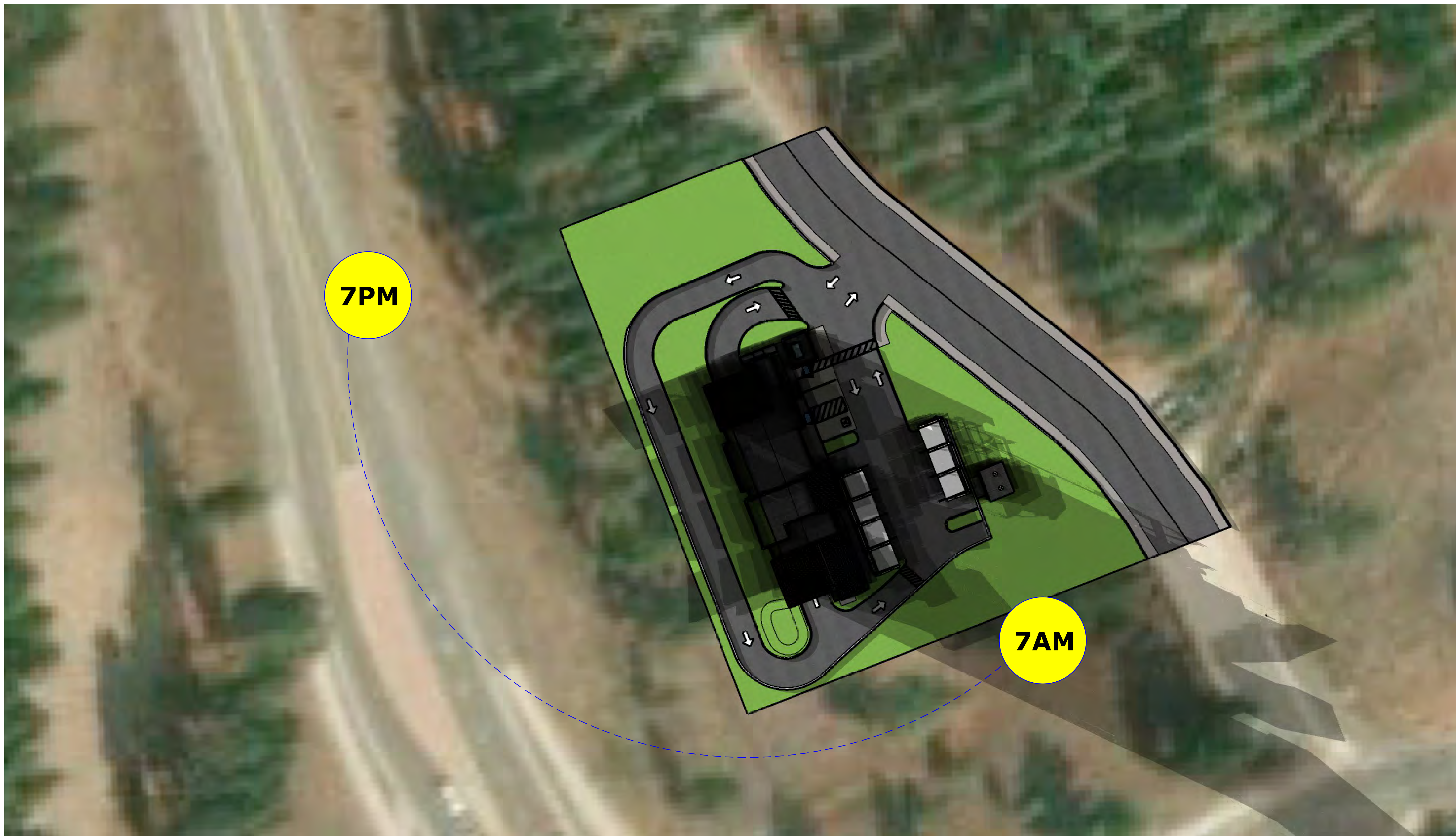
No.	DATE	DESCRIPTION
1	02-06-23	REDESIGN OPTION 2A
2	05-08-23	REDESIGN OPTION 2A REV - 1
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-	-	-

PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161
EXTERIOR RENDERINGS - NIGHT

SHEET MANAGEMENT
PROJECT NO.: ABA01-015
DATE ISSUED: 05/08/23
DRAWN BY: RC
REVIEWED BY: JD

SHEET NUMBER

A301



SEAL

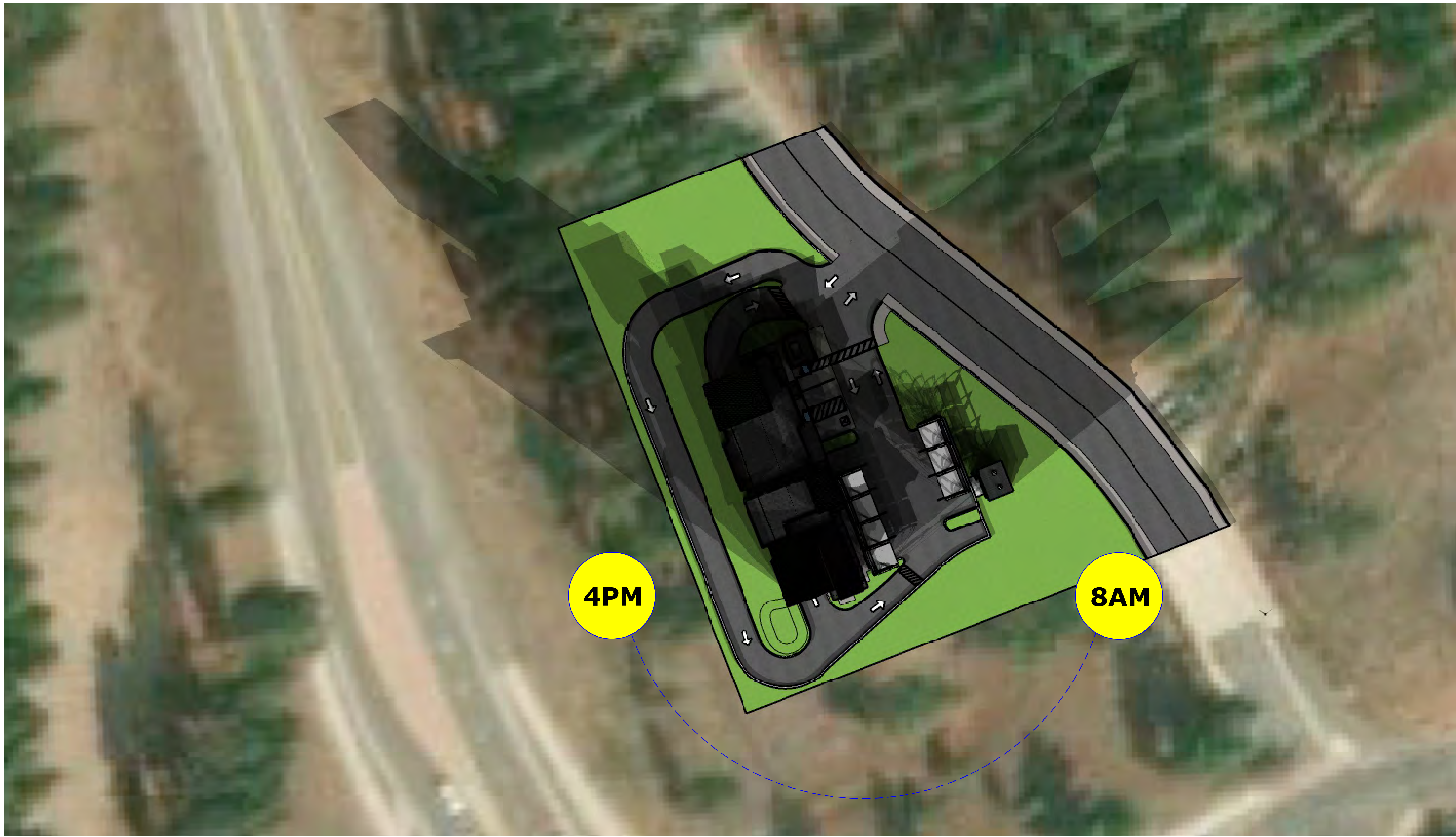
No.	DATE	DESCRIPTION
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2		REDESIGN OPTION 2A REV - 1
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-		
-		
-		

PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161

SOLAR STUDY - SUMMER SOLSTICE

SHEET MANAGEMENT	
PROJECT NO.: ABA01-015	RC
DATE ISSUED:	JD
DRAWN BY:	
REVIEWED BY:	

SHEET NUMBER
A400



SEAL

No.	DATE	DESCRIPTION
1	02-06-23	REDESIGN OPTION 2A
2	05-02-23	REDESIGN OPTION 2A REV - 1
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-	-	-
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-	-	-

PROJECT INFORMATION
VILLAGE CAR WASH - TRUCKEE
ROUTE 89 & HENNESS RD | TRUCKEE, CA
96161

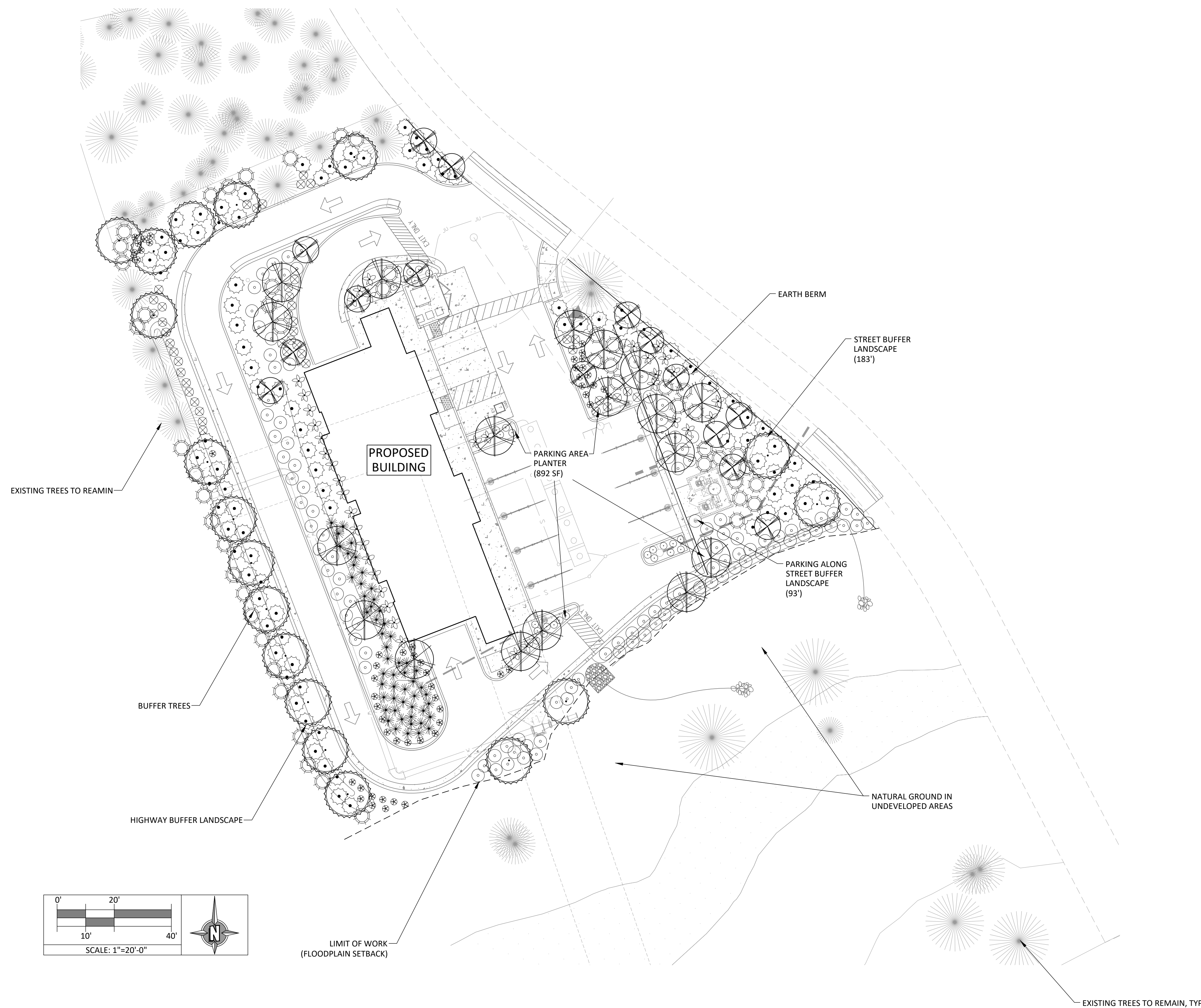
SOLAR STUDY - WINTER SOLSTICE

SHEET MANAGEMENT	
PROJECT NO.: ABA01-015	RC
DATE ISSUED: 05/02/23	JD
DRAWN BY:	
REVIEWED BY:	

SHEET NUMBER
A401

VILLAGE AT GRAYS LOT T

TRUCKEE, CALIFORNIA



PLANTING NOTES

1. PLANTING SHALL CONFORM TO LOCAL REQUIREMENTS FOR LANDSCAPE SITE DEVELOPMENT.
2. PROVIDE MINIMUM SLOPE OF 1 1/2% FOR POSITIVE DRAINAGE AWAY FROM CENTER IN ALL PLANTED AREAS.
3. THE PLANT QUANTITIES SHOWN ON THE DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL QUANTITIES REQUIRED TO COMPLETE THE WORK. IN CASE OF DISCREPANCY, THE PLAN SHALL GOVERN.
4. ALL TREES SHALL BE PLANTED A MINIMUM OF 5' FROM UNDERGROUND UTILITIES.
5. IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS AVAILABLE FROM COMMERCIAL NURSERIES. IN THE EVENT THAT A PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES WILL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
6. THE CONTRACTOR SHALL ENSURE THAT ALL EXCAVATED PLANT PITS HAVE POSITIVE DRAINAGE. PLANT PITS SHALL BE FULLY FILLED WITH WATER AND SHALL DRAIN WITHIN ONE (1) HOUR OF FILLING. THE CONTRACTOR SHALL EXCAVATE THROUGH ANY IMPERVIOUS LAYER IF ENCOUNTERED.
7. ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z601 STANDARD FOR NURSERY STOCK.
8. ROOT BARRIERS SHALL BE PROVIDED FOR ALL TREES WITHIN 6' OF ANY CURB AND/OR HARDSCAPE PAVEMENT. INSTALL IN LINEAR FASHION AND EXTEND A MIN. OF 5' IN EACH DIRECTION. DO NOT ENIRCLE THE ROOTBALL.
9. ALL PLANTER AREAS (AND/OR AREAS NOTED) SHALL RECEIVE A 3" LAYER OF BARK MULCH.
10. ALL PLANTER AREAS TO BE FREE FROM DEBRIS, TRASH, CONSTRUCTION MATERIAL, WOOD, ETC WITHIN THE TOP 6" OF THE SOIL. SOIL SHALL BE FREE FROM STONES GREATER THAN 1" IN DIAMETER WITHIN THE TOP 6" OF SOIL PROFILE.
11. THE CONTRACTOR SHALL PROVIDE A SOILS REPORT PREPARED BY A QUALIFIED SOILS SPECIALIST AND SUBMIT TO THE OWNER FOR FINAL APPROVAL. SOILS SAMPLES SHALL BE COLLECTED AFTER ROUGH GRADING OPERATIONS AND PRIOR TO THE INSTALLATION OF PLANT MATERIAL. SOIL SAMPLES SHALL BE SUFFICIENTLY NUMEROUS TO ACCOUNT FOR ANY SOIL VARIATIONS THAT MAY BE PRESENT ON THE SITE. THE FOLLOWING MINIMUM ITEMS SHALL BE INCLUDED IN THE ANALYSIS:
 - A. INFILTRATION RATE.
 - B. SOIL TEXTURE.
 - C. CATION EXCHANGE CAPACITY.
 - D. SOIL FERTILITY INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER AND SPECIFIC CONDUCTANCE (E.C.).
12. PRIOR TO PLANTING, SOIL AMENDMENTS SHALL BE ADDED PER RECOMMENDATIONS OF THE SOILS REPORT. SOIL AMENDMENTS SHOWN ON THE PLANS ARE TO BE USED FOR BIDDING PURPOSES ONLY. THE RESULTS OF THE SOILS TESTS THE CONTRACTOR PERFORMS SHALL DETERMINE ACTUAL AMENDMENTS.
13. COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA (OR PER RECOMMENDATIONS OF THE SOILS TEST, WHICHEVER IS GREATER) SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
14. APPLY AN APPLICATION OF GRANULAR PRE-EMERGENT (DIMENSION 270G OR APPROVED EQUAL) PRIOR TO MULCH PLACEMENT. INSTALL PER MANUFACTURERS SPECIFICATIONS. APPLY WATER AS REQUIRED FOR ACTIVATION.
15. CONTRACTOR RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL AT ALL TIMES. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO ENSURE ALL MEASURES ARE FUNCTIONING PROPERLY.
16. ALL AREAS THAT ARE EXPOSED SHALL BE PLANTED WITH HYDROSEED MIX. NO AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS. EXPOSED SURFACES SHALL HAVE EROSION CONTROL MEASURES IN PLACE PRIOR TO OCTOBER 1.
17. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS, HARDSCAPES, SIDEWALKS OR OTHER NON-PLANTER AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
18. CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE CIVIL EROSION CONTROL PLAN AND/OR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ADDITION TO THESE MINIMUM REQUIREMENTS (AS APPLICABLE).
19. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES. DO NOT STORE CONSTRUCTION EQUIPMENT BELOW THE CANOPY OF ANY TREES TO REMAIN. DAMAGE TO ANY EXISTING TREES OR PLANT MATERIAL TO REMAIN SHALL BE REPLACED BACK TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER. SEE CIVIL DEMOLITION PLANS FOR LOCATIONS OF TREES TO REMAIN AND TREES TO BE REMOVED.

PRELIMINARY PLANT LIST

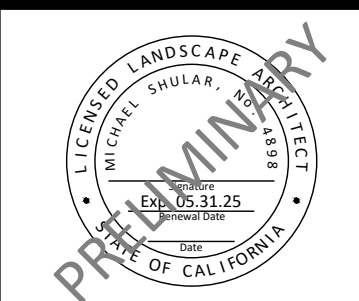
SYM	BOTANICAL/ COMMON NAME	SIZE	QTY	WATER USE
TREES				
	ACER GLABRUM/ ROCKY MOUNTAIN MAPLE	15 GAL	18	MED
	MALUS 'PRAIRIE FIRE'/ CRABAPPLE	15 GAL	15	MED
	PINUS JEFFREYI/ JEFFREY PINE	24" BOX	18	LOW
SHRUBS/GROUND COVER				
	ACHILLEA MILLEFOLIUM/ YARROW	5 GAL	54	LOW
	ARTEMISIA TRIDENTATA 'VASEYANA'/ MOUNTAIN SAGEBRUSH	5 GAL	95	LOW
	BERBERIS AQUIFOLIUM/ CREEPING MAHONIA	5 GAL	44	LOW
	CHRYSOTHAMNUS NAUSEOSUS/ RABBITBRUSH	5 GAL	50	LOW
	COTONEASTER DAMMERI 'EICHHOLZ'/ EICHHOLZ COTONEASTER (INSTALL 60" O.C.)	5 GAL	114	LOW
	ERIOGONUM UMBELLATUM/ SULFUR FLOWER BUCKWHEAT	1 GAL	27	MED
	CORNUS ALBA 'SIBIRICA'/ RED TWIG DOGWOOD	5 GAL	37	MED
	JUNCUS EFFUSUS/ COMMON RUSH (DRAINAGE AREAS)	1 GAL	54	MED

LANDSCAPE CALCULATIONS:
 • AREA OF DISTURBANCE: 12,413 SF (LANDSCAPE AREA) REMAINING AREAS NOT CALCULATED FOR A SPECIFIC USE (SCREENING, PARKING AREAS, BASIN/SWALE, ETC.); 7,967 SQUARE FEET.
 • 394 5-GAL SHRUBS PROPOSED, 320 REQUIRED.

PRELIMINARY PLANTING PLAN

MAY 11, 2023

MSLA
 LANDSCAPE ARCHITECTURE, Inc.
 306 Canyon Falls Dr. Folsom, CA 95630
 916.989.3372 www.mslandesign.com

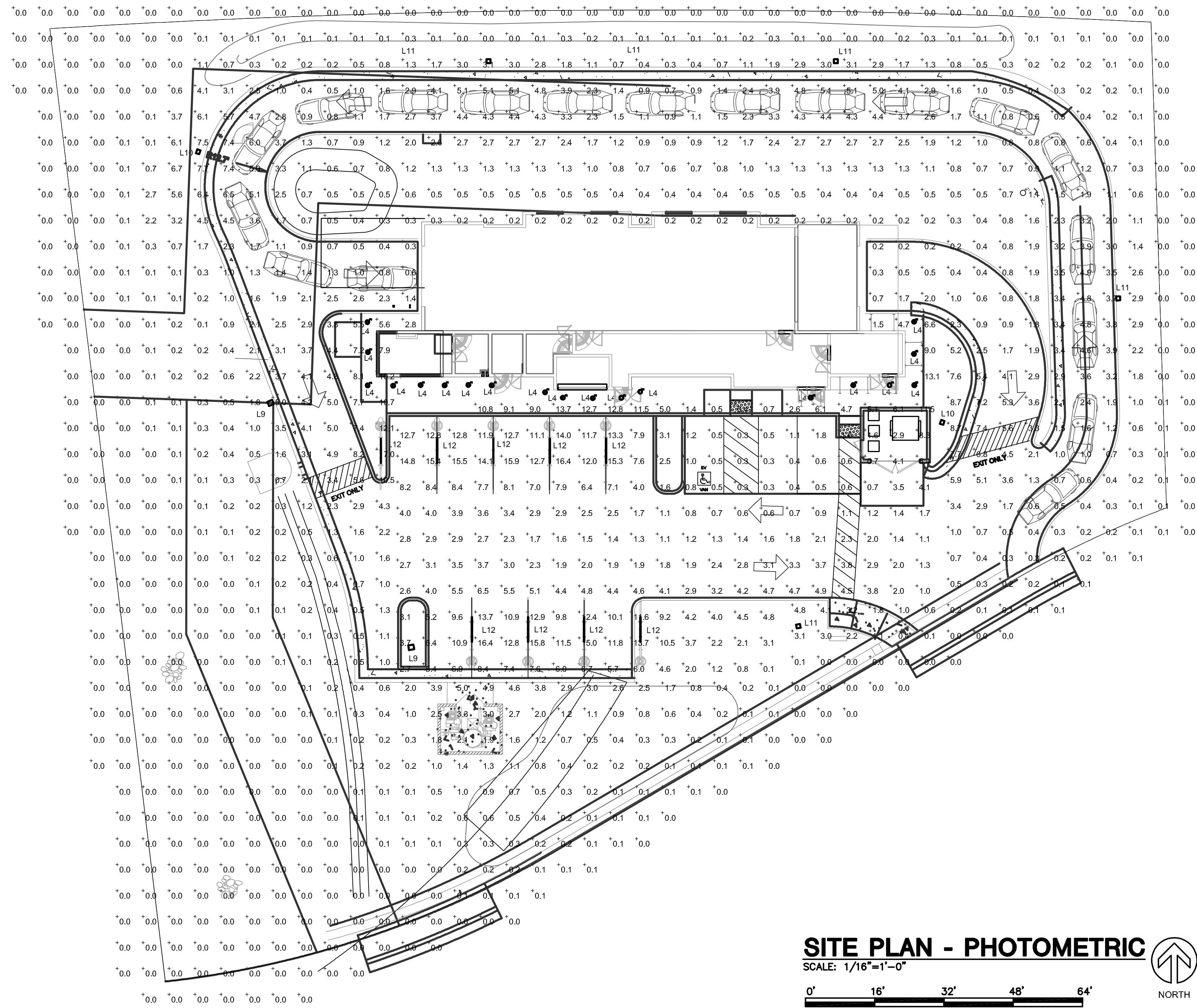


SHEET
P1
 OF
 TOTAL
2



SEAL

NO.	DATE	REVISIONS	DESCRIPTION



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AREA	+	5.1 fc	16.4 fc	0.1 fc	164.0:1	51.0:1
SITE	+	1.1 fc	7.0 fc	0.0 fc	N/A	N/A

Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
L4	19	Lithonia Lighting	OLCFM 15WH	GENERAL PURPOSE LED CAST FLUSH MOUNT WITH WHITE FINISH	LED	1	1099	0.9	16.6
L9	2	Lithonia Lighting	DSX1 LED P1 40K T3M MVOLT HS	DSX1 LED P1 40K T3M MVOLT WITH HOUSESIDE SHIELD	LED	1	5481	0.9	54
L10	2	Lithonia Lighting	DSX1 LED P1 40K T5VS MVOLT HS	DSX1 LED P1 40K T5VS MVOLT WITH HOUSESIDE SHIELD	LED	1	6223	0.9	54
L11	3	Lithonia Lighting	DSX1 LED P1 40K BLC MVOLT	DSX1 LED P1 40K BLC MVOLT WITH HOUSESIDE SHIELD	LED	1	5781	0.9	54
L12	9	G&G Industrial Lighting	GPX6-SO	Driverless AC LED Luminaire	LED	1	3600	0.9	27

Notes:
1. Calculation @ ground level.

- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

PROJECT INFORMATION
SITE PLAN - PHOTOMETRIC
VILLAGE CAR WASH - TRUCKEE, CA
ROUTE 89 & HENNESSY ROAD | TRUCKEE, CA 96161

SHEET MANAGEMENT	PROJECT NO.: ABA01-015	DATE ISSUED: 02/16/22	SR
	DRAWN BY:	REVIEWED BY:	SR

SHEET NUMBER
E100