



SINGLE-FAMILY RESIDENCE WITH ATTACHED ADU

10383 HIGH STREET
TRUCKEE, CALIFORNIA



HIGH STREET RESIDENCE & ADU

10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015

PAUL & SOPHIA FERRO
Client

DEFENSIBLE SPACE NOTES

- DEFENSIBLE SPACE ZONE (WITHIN 30 FEET OF ALL STRUCTURES OR TO PROPERTY LINE):
 - REMOVE ALL BRANCHES WITHIN 10 FEET OF ANY STOVEPIPE OR CHIMNEY OUTLET.
 - REMOVE LEAVES, NEEDLES OR OTHER VEGETATION ON ROOFS, GUTTERS, DECKS, PORCHES AND STAIRWAYS, ETC.
 - REMOVE ALL DEAD OR DYING TREES, BRANCHES, SHRUBS OR OTHER PLANTS ADJACENT TO OR OVERHANGING BUILDINGS.
 - PRUNE LOWER BRANCHES OF TREES UP TO A HEIGHT OF 6 TO 15 FEET (1/3 TREE HEIGHT FOR TREES UNDER 18 FT.).
 - REMOVE ALL DEAD OR DYING GRASS, LEAVES, NEEDLES OR OTHER VEGETATION.
 - REMOVE OR SEPARATE LIVE FLAMMABLE GROUND COVER AND SHRUBS.
- REDUCED FUEL ZONE (WITHIN 30 FEET OF ALL STRUCTURES OR TO PROPERTY LINE):
 - MOW DEAD OR DYING GRASS TO A MAXIMUM OF 4 INCHES IN HEIGHT. TRIMMING MAY REMAIN ON THE GROUND.
 - LIVE FLAMMABLE GROUND COVER LESS THAN 18 INCHES IN HEIGHT MAY REMAIN, BUT OVERHANGING AND ADJACENT TREES MUST BE PRUNED TO A HEIGHT OF 6 TO 15 FEET.
 - REDUCE FUELS IN ACCORDANCE WITH THE CONTINUOUS TREE CANOPY STANDARD AND THE HORIZONTAL SPACING STANDARD.
- DEFENSIBLE AND REDUCED FUEL ZONE (WITHIN 100 FEET OF ALL STRUCTURES OR TO PROPERTY LINE):
 - LOGS OR STUMPS EMBEDDED IN THE SOIL MUST BE REMOVED OR ISOLATED FROM STRUCTURES AND OTHER VEGETATION.
 - REMOVE ALL DEAD OR DYING BRUSH AND TREES, AND ALL DEAD OR DYING TREE BRANCHES WITHIN 15 FEET OF THE GROUND.
 - CLEAR ALL FLAMMABLE VEGETATION, TRASH AND OTHER CUMBUSTIBLE MATERIALS 10 FEET AROUND AND ABOVE PROPANE TANKS.
 - ADDRESS NUMBERS SHALL BE DISPLAYED IN CONTRASTING COLORS (4 INCHES MINIMUM HEIGHT) AND READABLE FROM THE STREET OR ACCESS ROAD.
 - EQUIP CHIMNEY OR STOVEPIPE OPENINGS WITH A METAL SCREEN HAVING OPENINGS BETWEEN 3/8" AND 1/2".
- RECOMMENDATIONS:
 - CLEAR 10 FEET AROUND AND 15 FEET ABOVE FUELS (E.G. WOODPILES, LUMBER, SCRAP, ETC.). MOVE WOOD PILES AS FAR AS POSSIBLE FROM STRUCTURES.
 - REMOVE FLAMMABLE MATERIALS STORED UNDER DECKS AND SIMILAR OVERHANGS STRUCTURES.
 - CLEAR VEGETATION 10 FEET FROM SIDES AND 15 FEET ABOVE ALL DRIVEWAYS AND

LOCATION MAP



PROJECT TEAM

OWNER	STRUCTURAL ENGINEER
PAUL FERRO	X
10680 CARSON RANGE ROAD	X
TRUCKEE, CA 96161	X
PH: 415-215-8904	X
	X
ARCHITECT	CIVIL ENGINEER
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paul@ascend-arch.com	X
	X
SURVEYOR	TITLE-24 CONSULTANT
SAGE LAND SURVEYING	X
MARTIS VALLEY ROAD, UNIT A	X
TRUCKEE, CA 96161	X
530-550-8006	X
KMARGRAF@SAGELANDSURVEY.COM	X

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ABBREVIATIONS

&	AND	F.O.	FACE OF	REQ.	REQUIRED
@	AT	F.O.B.	FACE OF BUILDING	RESIL.	RESILANT
○	CENTERLINE	F.O.C.	FACE OF CONCRETE	RM.	ROOM
□	POUND OR NUMBER	F.O.F.	FACE OF FINISH	R.O.	ROUGH OPENING
(ED)URNAROUND	SYSTEMS	F.O.S.	FACE OF STUDS	RWD.	REDWOOD
ACOUST.	ACOUSTICAL	F.PRF.	FIREPROOF	R.W.L.	RAIN WATER LEADER
A.D.	AREA DRAIN	F.S.	FULL SIZE	S.	SOUTH
ADJ.	ADJUSTABLE	FT.	FOOT OR FEET	S.C.	SOLID CORE
A.F.F.	ABOVE FINISH FLOOR	FTG.	FOOTING	S.C.D.	SEAT COVER DISPENSER
AGGR.	AGGREGATE	FURR.	FURRING	SCHED.	SCHEDULE
ALUM.	ALUMINUM	FUT.	FUTURE	S.D.	SOAP DISPENSER
APPROX.	APPROXIMATE	GA.	GAUGE	SECT.	SECTION
ARCH.	ARCHITECTURAL	GALV.	GALVANIZED	SH.	SHelf
ASB.	ASBESTOS	G.B.	GRAB BAR	SHR.	SHOWER
ASPH.	ASPHALT	GL.	GLASS	SHT.	SHEET
BRD.	BOARD	GND.	GROUND	SIM.	SIMILAR
BITUM.	BITUMINOUS	GR.	GRADE	S.N.D.	SANITARY NAPKIN DISPENSER
BLDG.	BUILDING	GYP.	GYPSPUM	S.N.R.	SANITARY NAPKIN RECEPTACLE
BLCK.	BLOCK	GYP. BD.	GYPSPUM BOARD	SPEC.	SPECIFICATION
BLKG.	BLOCKING	H.B.	HOSE BIB	SO.	SQUARE
BM.	BEAM	H.C.	HOLLOW CORE	S.S.	STAINLESS STEEL
B.O.	BOTTOM OF	HDWD.	HARDWOOD	S.S.D.	SEE STRUCTURAL DRAWINGS
BOT.	BOTTOM	HDWE.	HARDWARE	S.SK.	SERVICE SINK
CAB.	CABINET	H.M.	HOLLOW METAL	STA.	STATION
C.B.	CATCH BASIN	HRZ.	HORIZONTAL	STD.	STANDARD
CEM.	CEMENT	HR.	HOUR	STL.	STEEL
CER.	CERAMIC	HGT.	HEIGHT	STO.	STORAGE
C.I.	CAST IRON	I.D.	INSIDE DIAMETER	STRUC.	STRUCTURAL
C.G.	CORNER GUARD	INSUL.	INSULATION	SUSP.	SUSPENDED
CLG.	CEILING	INT.	INTERIOR	SYM.	SYMMETRICAL
CLGK.	CAULKING	JAN.	JANITOR	TRD.	TREAD
CLO.	CLOSET	JT.	JOINT	T.B.	TOWEL BAR
CLR.	CLEAR	KIT.	KITCHEN	T.C.	TOP OF CURB
C.O.	CASED OPENING	LAB.	LABORATORY	TEL.	TELEPHONE
CUL.	CULMINE	LAM.	LAMINATE	T.&G.	TONGUE & GROOVE
CONC.	CONCRETE	LAV.	LAVATORY	THK.	THICK
CONN.	CONNECTION	LKR.	LOCKER	T.O.	TOP OF
CONSTR.	CONSTRUCTION	LT.	LIGHT	T.P.	TOP OF PAVEMENT
CONT.	CONTINUOUS	MAX.	MAXIMUM	T.P.D.	TOILET PAPER DISPENSER
CORR.	CORRIDOR	M.C.	MEDICINE CABINET	T.V.	TELEVISION
CTSK.	COUNTERSINK	MCH.	MECHANICAL	T.W.	TOP OF WALL
CNTR.	COUNTER	MEMB.	MEMBRANE	T.W.H.	TANKLESS WATER HEATER
CTR.	CENTER	MTL.	METAL	TYP.	TYPICAL
DBL.	DOUBLE	MFR.	MANUFACTURER	UNF.	UNFINISHED
DEPT.	DEPARTMENT	MH.	MANHOLE	U.O.N.	UNLESS OTHERWISE NOTED
D.F.	DEPARTMENT	MIN.	MINIMUM	UR.	URNAL
DET.	DETAIL	MIR.	MIRROR	URT.	VERTICAL
DIA.	DIAMETER	MISC.	MISCELLANEOUS	VEST.	VESTIBULE
DIM.	DIMENSION	M.O.	MASONRY OPENING	W.	WEST
DISP.	DISPENSER	MTD.	MOUNTED	W/	WITH
DN.	DOWN	MUL.	MULLION	W.C.	WATER CLOSET
D.O.	DOOR OPENING	N.	NORTH	WD.	WOOD
DR.	DOOR	N.I.C.	NOT IN CONTRACT	W.H.	WATER HEATER
DWR.	DRAWER	NO.	NUMBER	W/O	WITHOUT
DS.	DOWNSPOUT	NO.	NOMINAL	WP	WATERPROOF
D.S.P.	DRY STANDPIPE	N.S.	NOT TO SCALE	WANS.	WANSICOT
DWG.	DRAWING	OA.	OVERALL	WT.	WEIGHT
E.	EAST	OBS.	OBSCURE		
EL.	ELEVATION	O.C.	ON CENTER		
ELEC.	ELECTRICAL	O.D.	OUTSIDE DIAMETER		
ELEV.	ELEVATOR	OFF.	OFFICE		
EMER.	EMERGENCY	O.H.	OPPOSITE HAND		
ENCL.	ENCLOSURE	OPNG.	OPENING		
E.P.	ELECTRICAL PANEL	OPP.	OPPOSITE		
EQ.	EQUAL	PRCST.	PRECAST		
EQUIP.	EQUIPMENT	PL.	PLATE		
E.W.G.	ELECTRICAL WATER COOLER	PLAM.	PLASTIC LAMINATE		
EXST.	EXISTING	PLAS.	PLASTER		
EXPO.	EXPOSED	PLYWD.	PLYWOOD		
EXP.	EXPANSION	PR.	PAIR		
EXT.	EXTENSION	P.T.	PRESSURE TREATED		
F.A.	FIRE ALARM	P.T.D.	PAPER TOWEL DISPENSER		
F.B.	FLAT BAR	P.T.D./R	P.T.D. & RECEPTACLE		
F.D.	FLOOR DRAIN	PTN.	PARTITION		
F.D.C.	FIRE DEPT. CONNECTION	P.T.R.	PAPER TOWEL RECEPTACLE		
FDN.	FOUNDATION	Q.T.	QUARRY TILE		
F.E.	FIRE EXTINGUISHER	RISER.	RISER		
F.E.C.	F.E. CABINET	R.	RADIUS		
F.H.C.	FIRE HOSE CABINET	R.D.	ROOF DRAIN		
FIN.	FINISH	REF.	REFERENCE		
FLR.	FLOOR	REFR.	REFRIGERATOR		
FLASH.	FLASHING	RGTR.	REGISTER		
FLOUR.	FLUORESCENT	REIN.	REINFORCED		

SYMBOLS

	DRAWING NUMBER	DETAIL		WINDOW SYMBOL
	DRAWING SHEET			
	DRAWING NUMBER	SECTION / ELEVATION		DOOR SYMBOL
	DRAWING SHEET			
	ROOM NAME	ROOM IDENTIFICATION		DRAWING REVISION
	ROOM NUMBER			
	NORTH	NORTH ARROW		

FIRE PROTECTION NOTES

- THE APPLICANT SHALL COMPLY WITH CALIFORNIA FIRE CODE AND PUBLIC RESOURCE CODE 4291 REQUIREMENTS RELATING TO THE CLEARANCE OF FLAMMABLE BRUSH AND WEEDS. A MINIMUM CLEARANCE OF 30' FROM STRUCTURES AND 10' FROM ROADS AND PROPERTY LINES SHALL BE MAINTAINED.
- THE ADDRESS SHALL BE POSTED IN ACCORDANCE WITH REQUIREMENTS OF THE CALIFORNIA FIRE CODE AND SFPD STANDARD 205 (PREMISES IDENTIFICATION).
- SMOKE / CO DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE.
- NON COMBUSTIBLE ROOFING SHALL BE PROVIDED FOR:
 - ALL NEW ROOFS SHALL BE NON-COMBUSTIBLE.
 - NOTE: A "NONCOMBUSTIBLE" ROOF IS A CLASS A ROOF (FOR OTHER THAN GROUP R OCCUPANCIES, A CLASS A OR CLASS A ASSEMBLY) AS DEFINED IN THE CALIFORNIA BUILDING CODE.
- THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE CHAPTER 33 - FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. THESE REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY HEATING EQUIPMENT, PRECAUTIONS AGAINST FIRE, FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE GASES, OWNERS RESPONSIBILITY FOR FIRE PROTECTION, FIRE REPORTING, ACCESS FOR FIRE FIGHTING, MEANS OF EGRESS, WATER PORTABLE FIRE EXTINGUISHERS, MOTORIZED CONSTRUCTION EQUIPMENT, AND SAFEGUARDING ROOFING OPERATIONS.
- FIRE ACCESS TO THE PROJECT AS WELL AS THE OTHER SURROUNDING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. UNAPPROVED RESTRICTIONS IN ROADWAY ACCESS SHALL RESULT IN CITATIONS AND VEHICLES BEING TOWED AT THE OWNER'S EXPENSE.
- SEE A1.0.0 FOR DEFENSIBLE SPACE NOTES.

DEFERRED SUBMITTALS

- FIRE SPRINKLER SYSTEM - A SEPARATE PERMIT SHALL BE SUBMITTED, APPROVED AND ISSUED PRIOR TO REQUESTING A ROUGH PLUMBING INSPECTION.
 - NATURAL GAS SCHEMATIC, WHICH MUST BE COMPLETED BY A LICENSED PLUMBER OR ENGINEER, MUST INDICATE LENGTH OF ALL PIPES, BTU RATING OF ALL APPLIANCES AND SIZE OF ALL PIPES REQUIRED PER 2022 CPC.
- TWO COPIES OF EACH DEFERRED SUBMITTAL SHALL BE FIRST SUBMITTED TO THE ARCHITECT / ENGINEER OF RECORD, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING DEPARTMENT WITH NOTATIONS INDICATING THAT THE SUBMITTALS CONFORM TO THE DESIGN OF THE BUILDING.
- THE ENGINEER(S) RESPONSIBLE FOR THE DESIGN OF THE DEFERRED SUBMITTAL ITEMS SHALL STAMP AND SIGN THOSE DRAWINGS AND CALCULATIONS FOR WHICH HE/SHE IS RESPONSIBLE.
- THE DEFERRED SUBMITTAL ITEMS LISTED ABOVE SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING DEPARTMENT.

STATEMENT OF SPECIAL INSPECTION

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE TOWN OF TRUCKEE ADOPTED CODE AND ORDINANCE REQUIREMENTS. THE DESIGNER SHALL BE RESPONSIBLE FOR ALL PLAN CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASE. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ALL STRUCTURAL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASE.

FIRE SPRINKLER NOTES

- A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED THAT PROVIDES COVERAGE THROUGH THE ENTIRE STRUCTURE ACCORDING TO CHAPTER 9 OF THE CALIFORNIA FIRE CODE, CRC SECTION R313, AND NFPA 13D.
- PLANS FOR THE FIRE SPRINKLER SYSTEM DESIGN AND HYDRAULIC CALCULATIONS SHALL BE A DEFERRED SUBMITTAL COMPLETED BY A LICENSED C-16 SPRINKLER CONTRACTOR AND SUBMITTED TO THE TOWN OF TRUCKEE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION. FIRE SPRINKLER SYSTEM DESIGN AND INSTALLATION SHALL CONFORM TO THE PROVISIONS OF THE TOWN OF TRUCKEE FIRE DISTRICT STANDARDS AND NFPA STANDARD 13, 13D OR 13R.

STATEMENT OF COMPLIANCE

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE TOWN OF TRUCKEE ADOPTED CODE AND ORDINANCE REQUIREMENTS. THE DESIGNER SHALL BE RESPONSIBLE FOR ALL PLAN CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASE. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ALL STRUCTURAL CLARIFICATIONS DEEMED NECESSARY DURING THE CONSTRUCTION PHASE.

PROJECT DATA

PROJECT SCOPE OF WORK	NEW SINGLE-FAMILY RESIDENCE, ADU, AND GARAGES; REAR BALCONY AT 2ND FLOOR FOR SINGLE-FAMILY RESIDENCE AND 1ST FLOOR FOR ADU
APN	019-080-015
LEGAL JURISDICTION	TOWN OF TRUCKEE
ZONING	DMU (DOWNTOWN MIXED-USE) WITH HISTORICAL OVERLAY IN WOGSLASHAN CHARACTER AREA; STAND-ALONE RESIDENTIAL PROJECTS MUST COMPLY WITH RESIDENTIAL STANDARDS OF DRM ZONING DISTRICT
OCCUPANCY GROUP	R-3 (SINGLE-FAMILY RESIDENCE) AND U-1 (GARAGE)
CONSTRUCTION TYPE	V-B
BUILDING CODES	ALL WORK SHALL CONFORM TO THE FOLLOWING CODES: 2022 CALIFORNIA BUILDING CODE; 2022 CALIFORNIA MECHANICAL CODE; 2022 CALIFORNIA PLUMBING CODE; 2022 CALIFORNIA ELECTRICAL CODE; 2022 CALIFORNIA ENERGY CODE; 2022 CALIFORNIA RESIDENTIAL CODE; 2022 CALIFORNIA FIRE CODE; 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE; 2021 INTERNATIONAL SOLAR ENERGY PROVISIONS; TOWN OF TRUCKEE MUNICIPAL CODE
ELEVATION ABOVE SEA LEVEL	5,866 FEET
GROUND SNOWLOAD	177 PSF
FRONT YARD SETBACK PER ZONING	SINGLE-FAMILY RESIDENCE (DRM ZONING): 15 FEET; GARAGE MAY BE ALLOWED WITHIN FRONT AND STREET-SIDE SETBACKS, NOT TO EXCEED ONE STORY OR 20 FEET ABOVE DRIVEWAY GRADE (MAY NOT INCLUDE 2ND FLOOR STORAGE, HABITABLE SPACE, ATTICS, ETC.) EXCEPT FOR THE VEHICLE ENTRY DOOR. THERE SHALL BE NO WINDOWS OR OTHER OPENINGS ON THE GARAGE ELEVATION THAT IS PARALLEL TO AND FACING THE STREET AND WITHIN THE FRONT SETBACK AREA
SIDE YARD SETBACKS PER ZONING	SINGLE-FAMILY RESIDENCE (DRM ZONING): 5 FEET; ADU: 4 FEET
REAR YARD SETBACK PER ZONING	SINGLE-FAMILY RESIDENCE (DRM ZONING): 20 FEET; ADU: 4 FEET
PROPOSED MIN. FRONT YARD SETBACK	RESIDENCE: 19'-1/4"; GARAGE: 5'-7 3/8"
PROPOSED MIN. SIDE YARD SETBACK	RESIDENCE: 5'-6 1/4"; GARAGE: 5'-8 1/2"
PROPOSED MIN. REAR YARD SETBACK	RESIDENCE: 36'-6 3/4"
SITE AREA	8,513 SF
ALLOWABLE SITE COVERAGE	5,959 SF (70%)
PROPOSED SITE COVERAGE	3,761 SF (44%) - SEE SITE PLAN FOR BREAKDOWN OF AREAS
ALLOWED FLOOR AREA RATIO	NO MAXIMUM
SITE DISTURBANCE	4,885 SF (57%)
FIRST FLOOR RESIDENCE AREA	172 SF
SECOND FLOOR RESIDENCE AREA	2,346 SF
THIRD FLOOR RESIDENCE AREA	1,252 SF
TOTAL RESIDENCE AREA	4,070 SF
ADU AREA	999 SF
GARAGE AREA	533 SSF

Issuance	Date
PRELIMINARY APPLICATION	11.25.24
DESIGN REVIEW APPLICATION	06.24.25
DESIGN REVIEW APPLICATION	07.29.25
DESIGN REVIEW APPLICATION	08.28.25
DESIGN REVIEW APPLICATION	12.10.25

Revisions	Δ Delta	Date
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County Approval Stamp

Ascend Architecture 24.001
10680 Carson Range Road, Truckee CA 96161
415.215.8904
www.Ascend-Arch.com

COVER SHEET

G-001

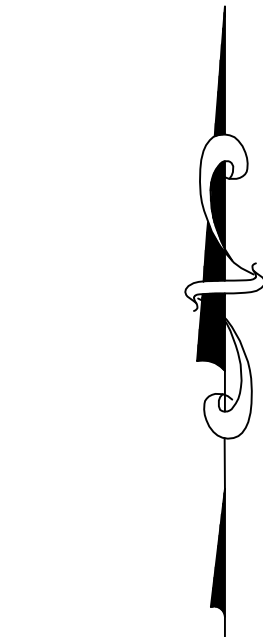


SAGE LAND SURVEYING

(530) 550-8006
10049
Martis Valley
Road, Unit A
Truckee, CA.
96161

BOUNDARY & TOPD PARCEL 4 BK. 18 P. M. PG. 402 N. C. R. (APN: 019-080-015)
FOR FORM 4 ARCHITECTURE (10383 HIGH STREET)
TOWN OF TRUCKEE NEVADA COUNTY CALIFORNIA

DATE	18 MARCH 2022
SCALE	1 inch = 10 feet
DRAWN	JDW
JOB	22031
SHEET	1
OF	1 SHEETS



LEGEND

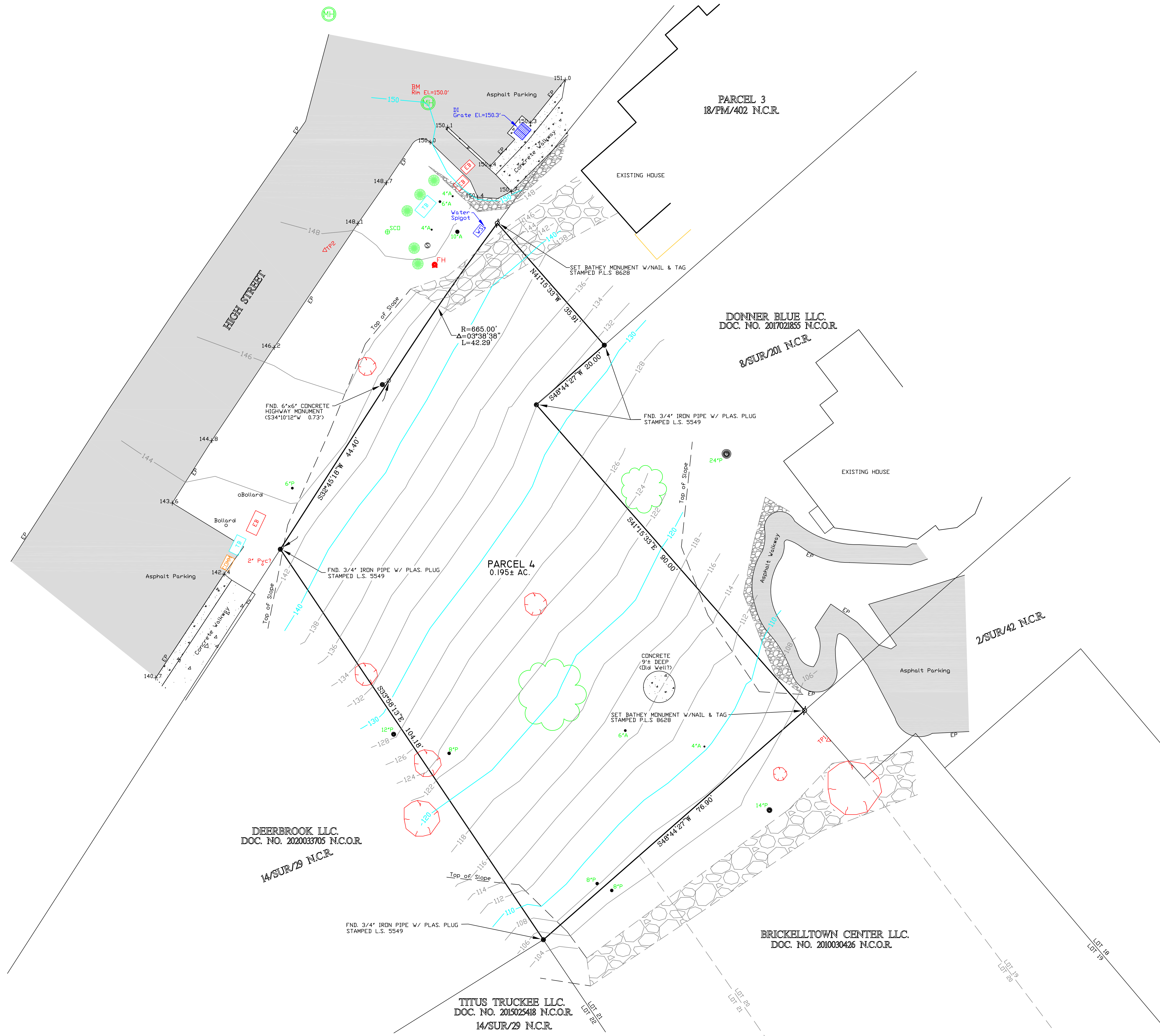
- Found Monument As Noted
- Set Monument As Noted
- Dimension Point Only
- Elevation & Contour Line
- Edge Of Pavement
- Tree Size & Type
 - F Pine
 - EP Fir
 - CD Cedar
 - LP Lodgepole Pine
 - AS Aspen
- ⊙ Stump
- ⊙ Boulder
- ⊙ Bush Or Shrub
- ⊙ Topography Point
- ⊙ Fire Hydrant
- ⊙ Elevation Benchmark
- ⊙ Sanitary Sewer Manhole
- ⊙ Drain Inlet
- ⊙ Water Service
- ⊙ Electrical Box
- ⊙ Telephone Box
- ⊙ Communication Box
- 146x2 Spot Elevation
- Concrete
- Rocks
- Ornamental Tree
- SCD Sewer Clean-Out

SURVEYORS NOTES

1. Contour Interval equals 2'.
2. The elevation datum for this survey was assumed. Elevation = 150.0'. Benchmark = Top of sanitary sewer manhole rim.
3. Spot elevations are accurate to 0.2'±. Scaled feature locations are accurate to 0.5'±.
4. This map ("Work Product") is for the sole and exclusive use of client named in the title block shown hereon. The Work Product shall be deemed protected as if such Work Product was within the protections against third-party use and disclosure of the general copyright law.
5. The location of the sanitary sewer service was not visible. Its location can be obtained by contacting the Truckee Sanitary District.
6. Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
7. Legend is general. Some symbols may not be applicable to this survey map.



G.0.0.2



PARCEL 3
18/PM/402 N.C.R.

DONNER BLUE LLC.
DOC. NO. 2017021855 N.C.O.R.

PARCEL 4
0.195± AC.

BRICKELLTOWN CENTER LLC.
DOC. NO. 2010030426 N.C.O.R.

DEERBROOK LLC.
DOC. NO. 2020033705 N.C.O.R.

TITUS TRUCKEE LLC.
DOC. NO. 2015025418 N.C.O.R.

HIGH STREET

2/SUR/42 N.C.R.

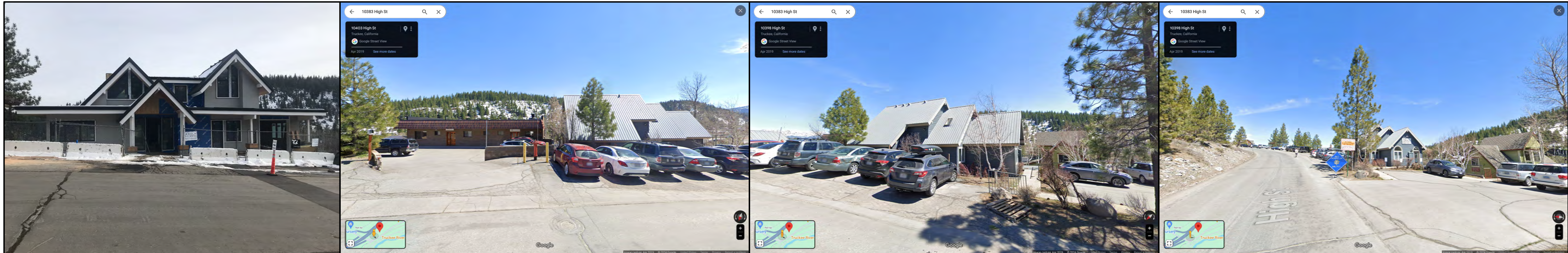
LOT 18
LOT 19
LOT 20
LOT 21

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APN 019-080-015

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PAUL & SOPHIA FERRO
Client



10403 HIGH STREET

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HIGH STREET NEIGHBORS TO WEST OF PROPERTY (SAME SIDE OF STREET)

1



10326 HIGH STREET

10343 HIGH STREET

10363 HIGH STREET DIRECT NEIGHBOR

10383 HIGH STREET PROPERTY

HIGH STREET NEIGHBORS TO EAST OF PROPERTY (SAME SIDE OF STREET)

2



10326 HIGH STREET

10310 & 10296 HIGH STREET

10286 HIGH STREET

DIRECT NEIGHBOR

HIGH STREET NEIGHBORS TO EAST OF PROPERTY (OPPOSITE SIDE OF STREET)

3

Issuance	Date
PRELIMINARY APPLICATION	11.25.24
DESIGN REVIEW APPLICATION	06.24.25
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Revisions	Δ	Delta	Date

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10680 Carson Range Road, Truckee CA 96161
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NEIGHBORHOOD PHOTOS

**HIGH STREET
RESIDENCE & ADU**

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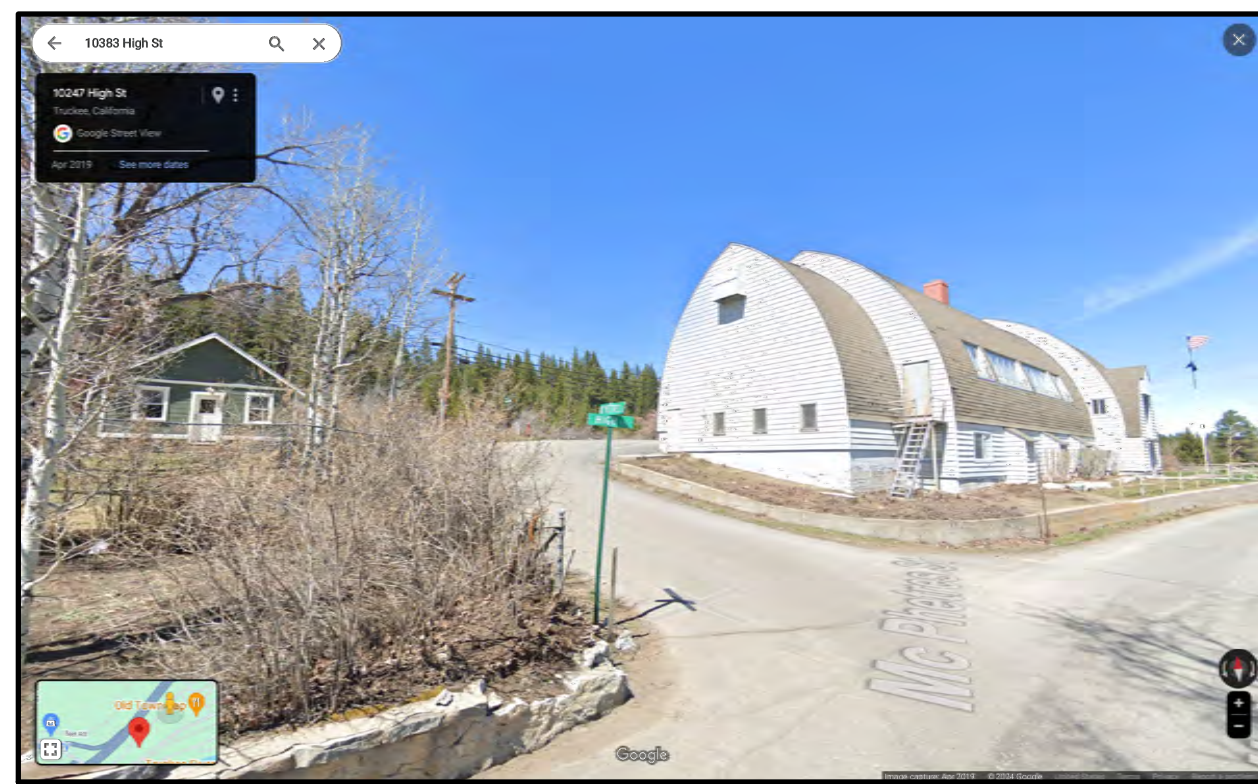
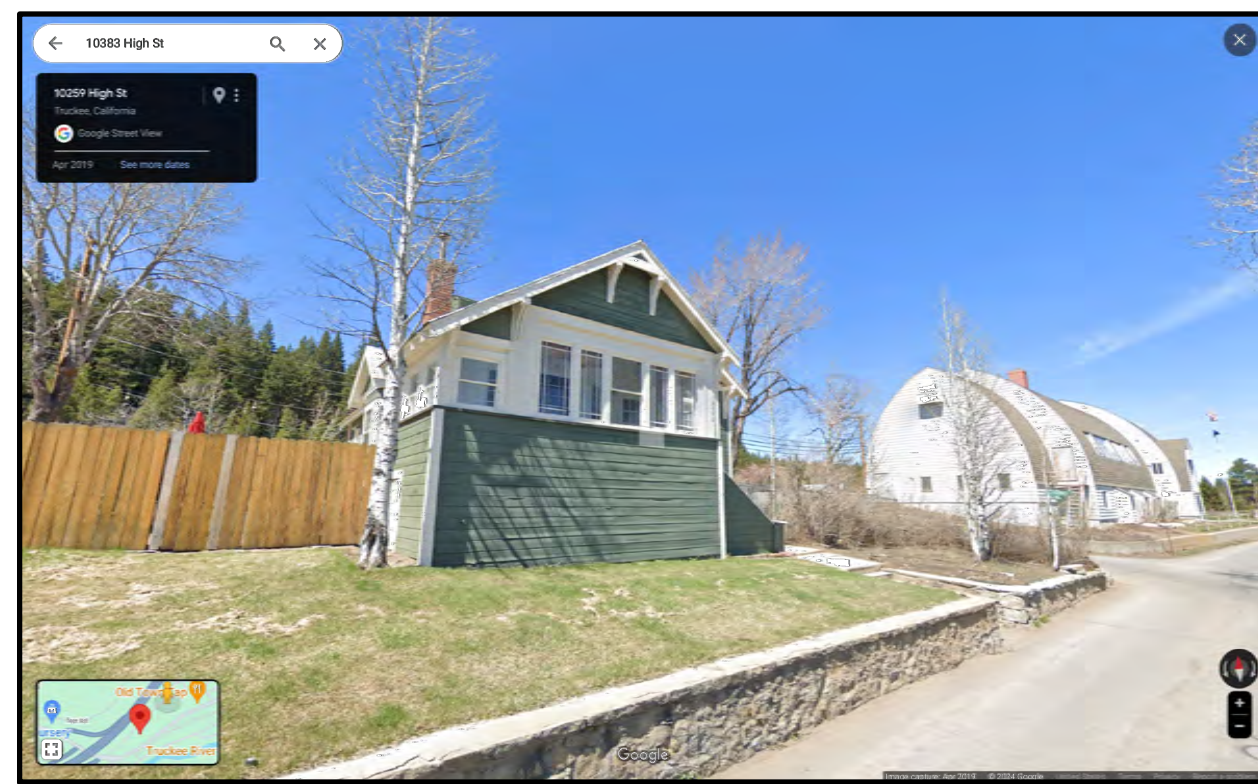
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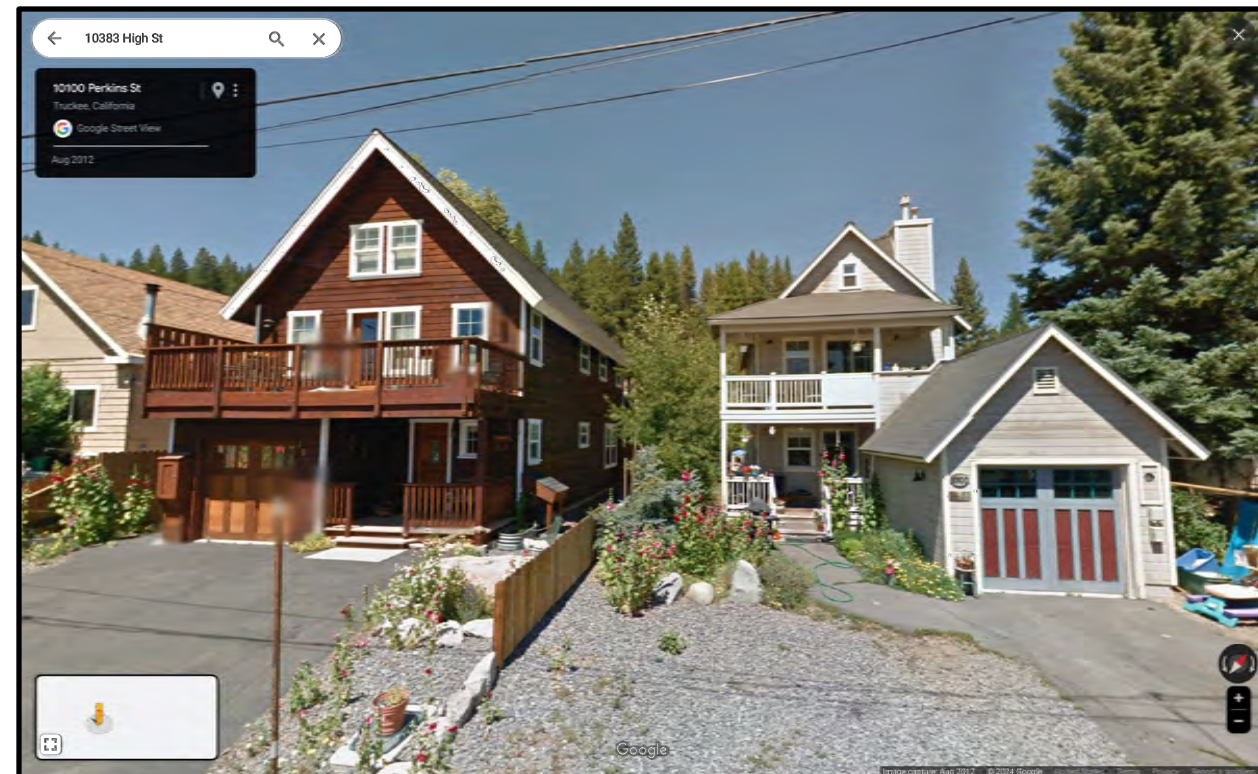
**NEIGHBORHOOD
PHOTOS**

A-002



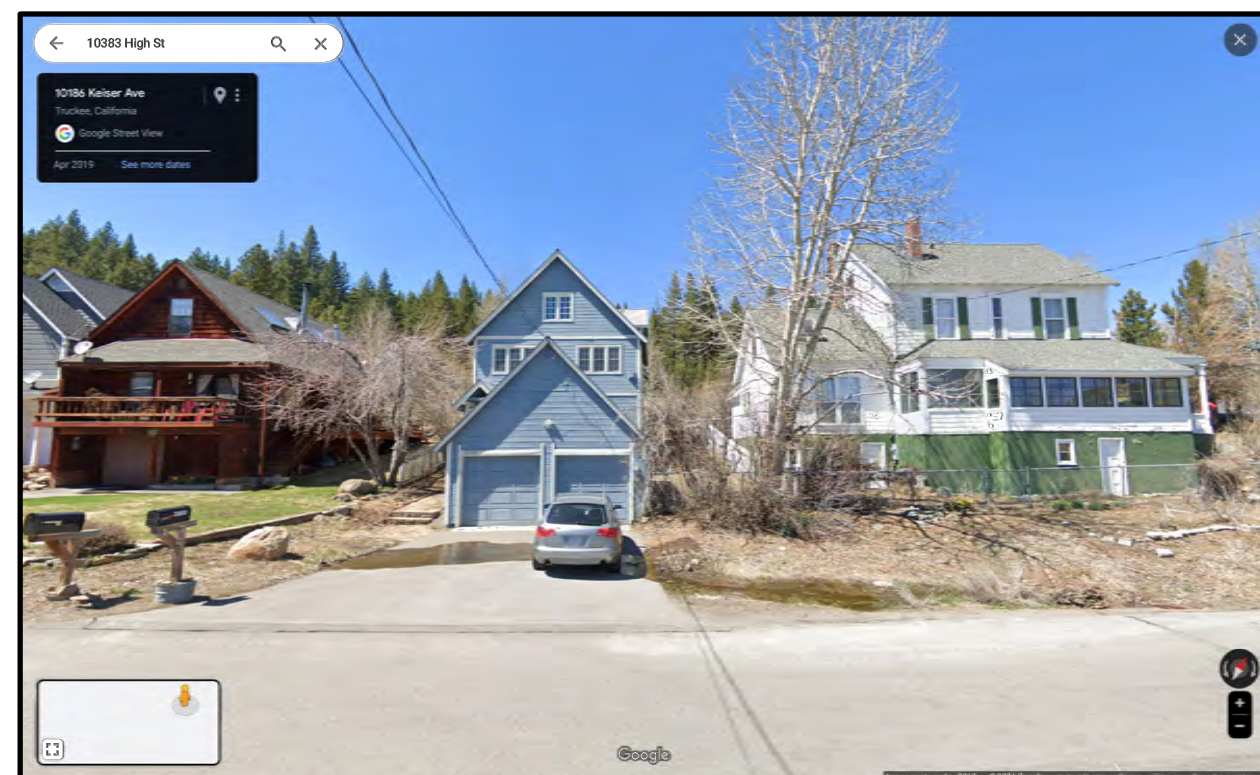
MCGLASHAN NEIGHBORHOOD

1



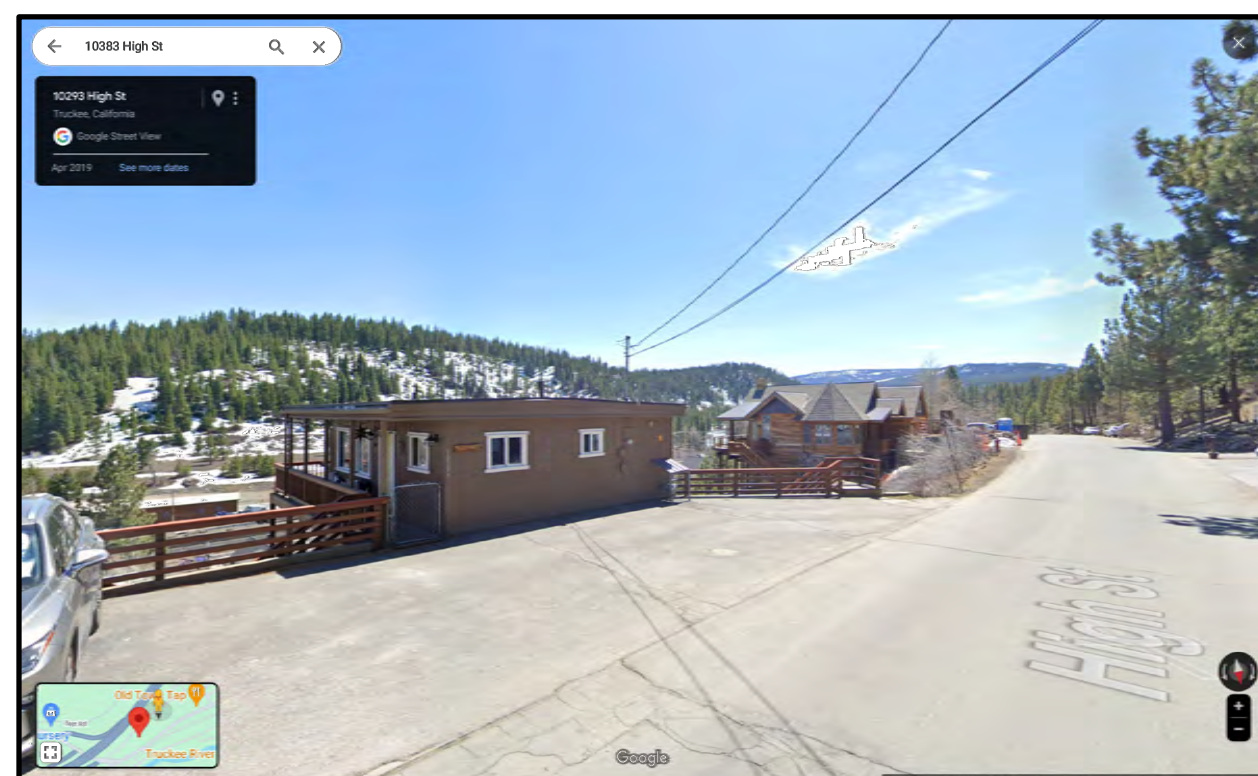
MCGLASHAN NEIGHBORHOOD

2



MCGLASHAN NEIGHBORHOOD

3



MCGLASHAN NEIGHBORHOOD

4

**HIGH STREET
RESIDENCE & ADU**

10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015

Project Name & Address

PAUL & SOPHIA FERRO
Client

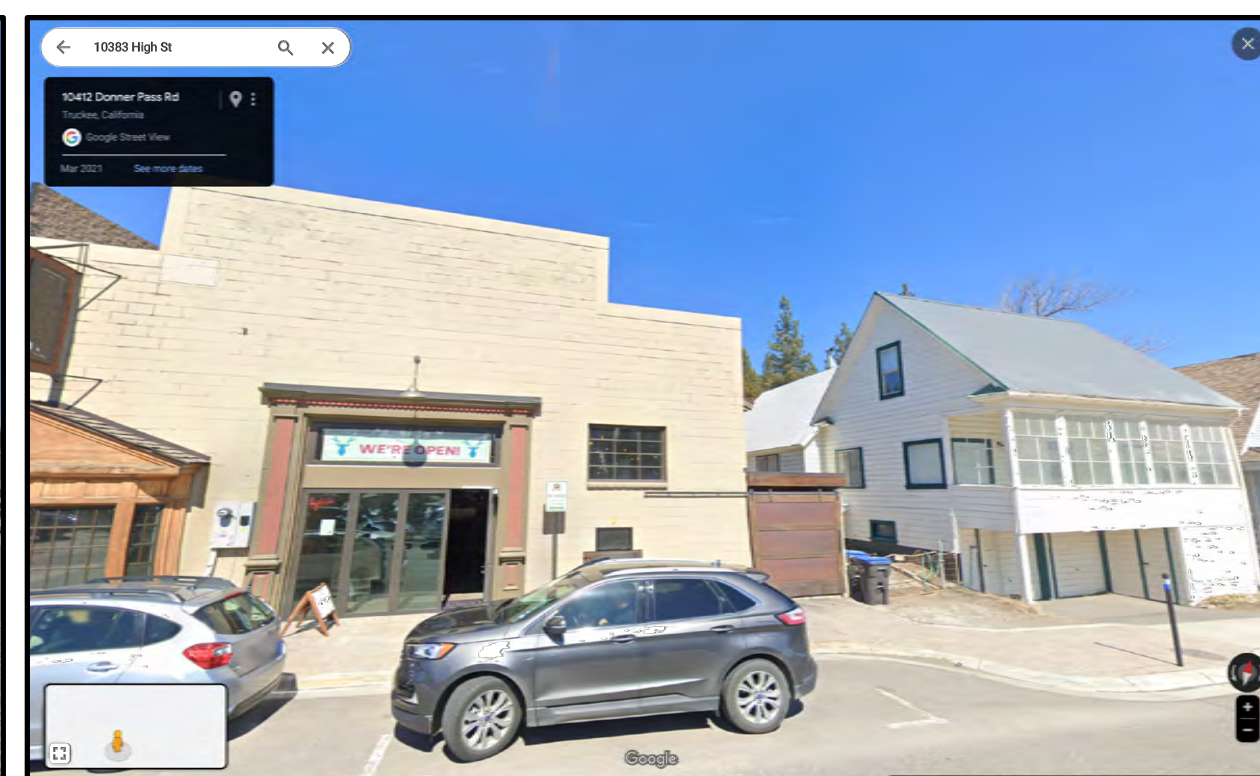
Issuance	Date
PRELIMINARY APPLICATION	11.25.24
DESIGN REVIEW APPLICATION	06.24.25
DESIGN REVIEW APPLICATION	07.29.25
DESIGN REVIEW APPLICATION	08.28.25
DESIGN REVIEW APPLICATION	12.10.25

Revisions	Δ	Delta	Date

County Approval Stamp

Ascend Architecture 24.001
10680 Carson Range Road, Truckee CA 96161
415.215.8904
www.Ascend-Arch.com

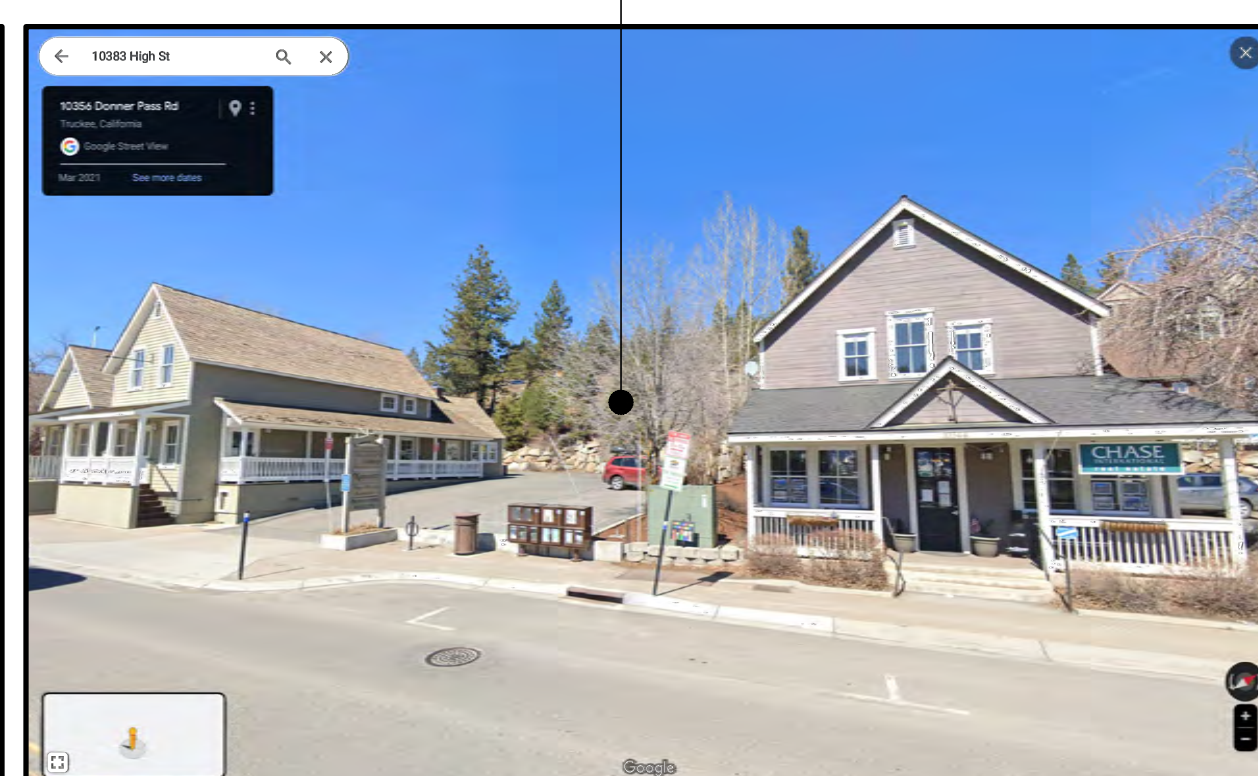
**NEIGHBORHOOD
PHOTOS**



BRICKELLTOWN NEIGHBORHOOD BELOW ON DONNER PASS ROAD

1

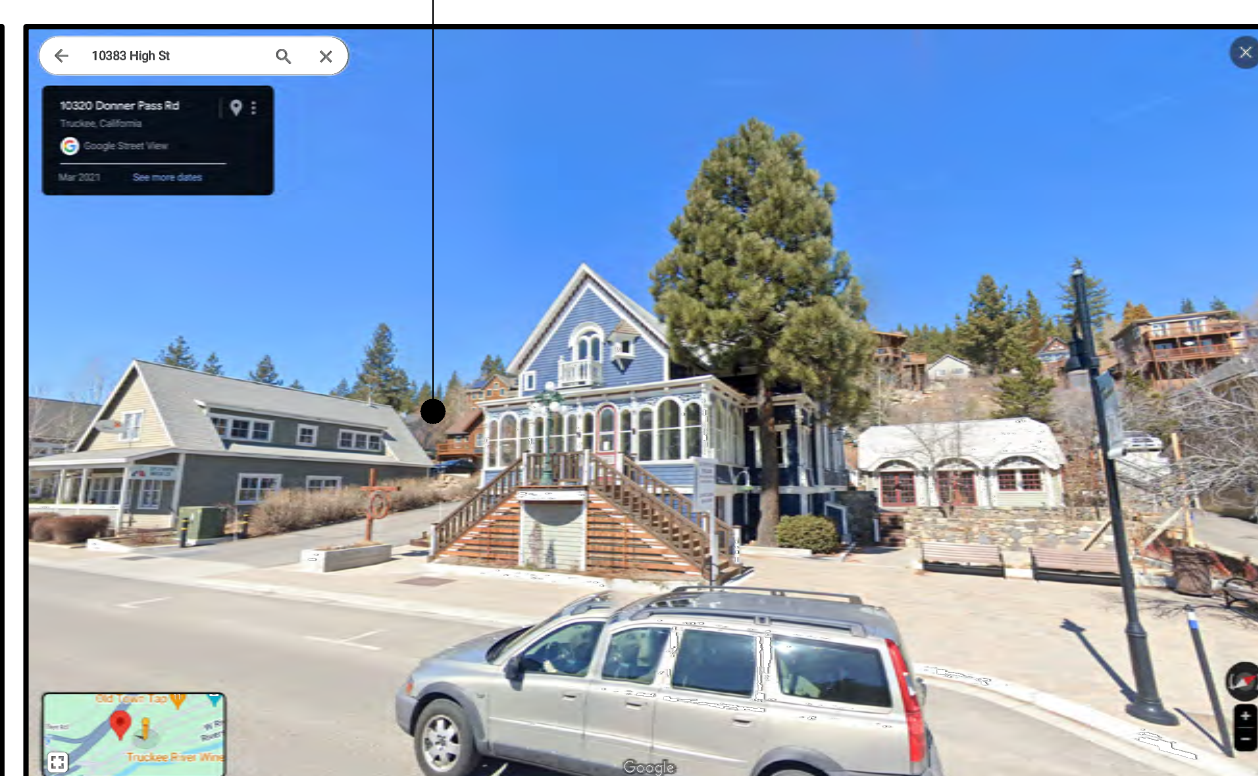
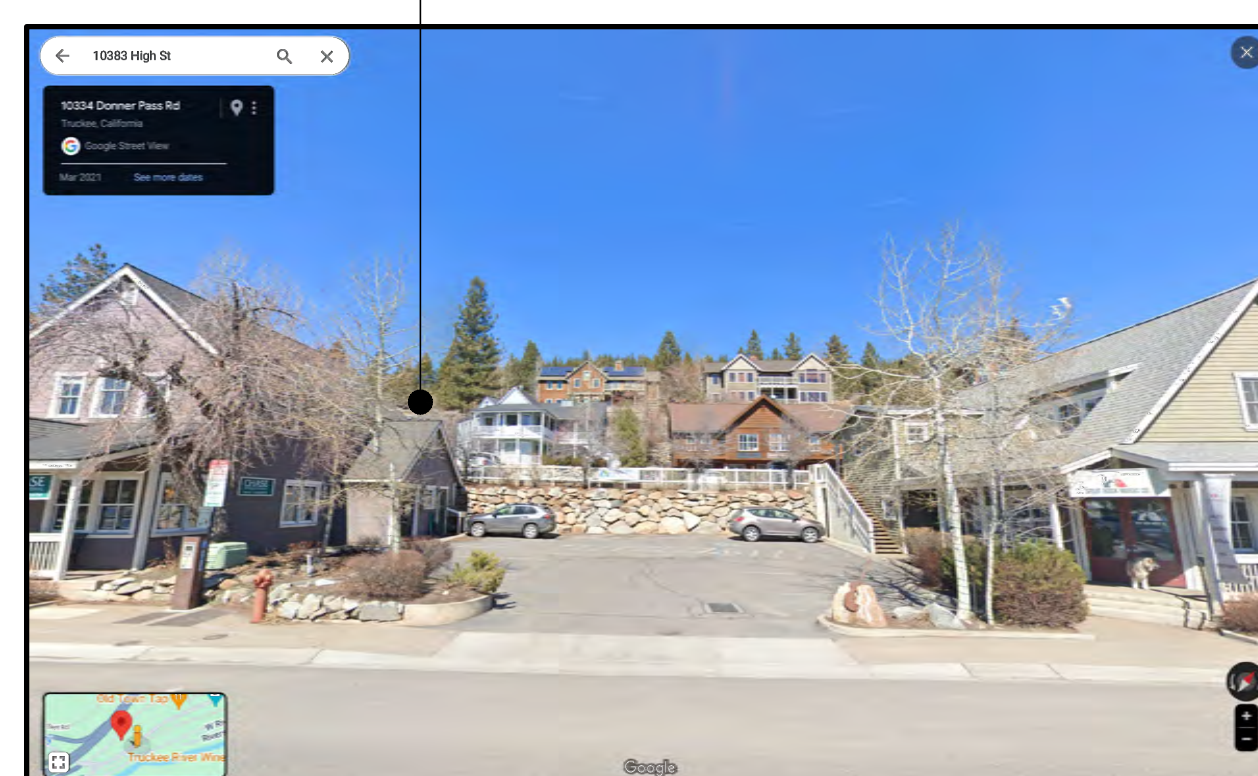
10383 HIGH STREET PROPERTY



BRICKELLTOWN NEIGHBORHOOD BELOW ON DONNER PASS ROAD

2

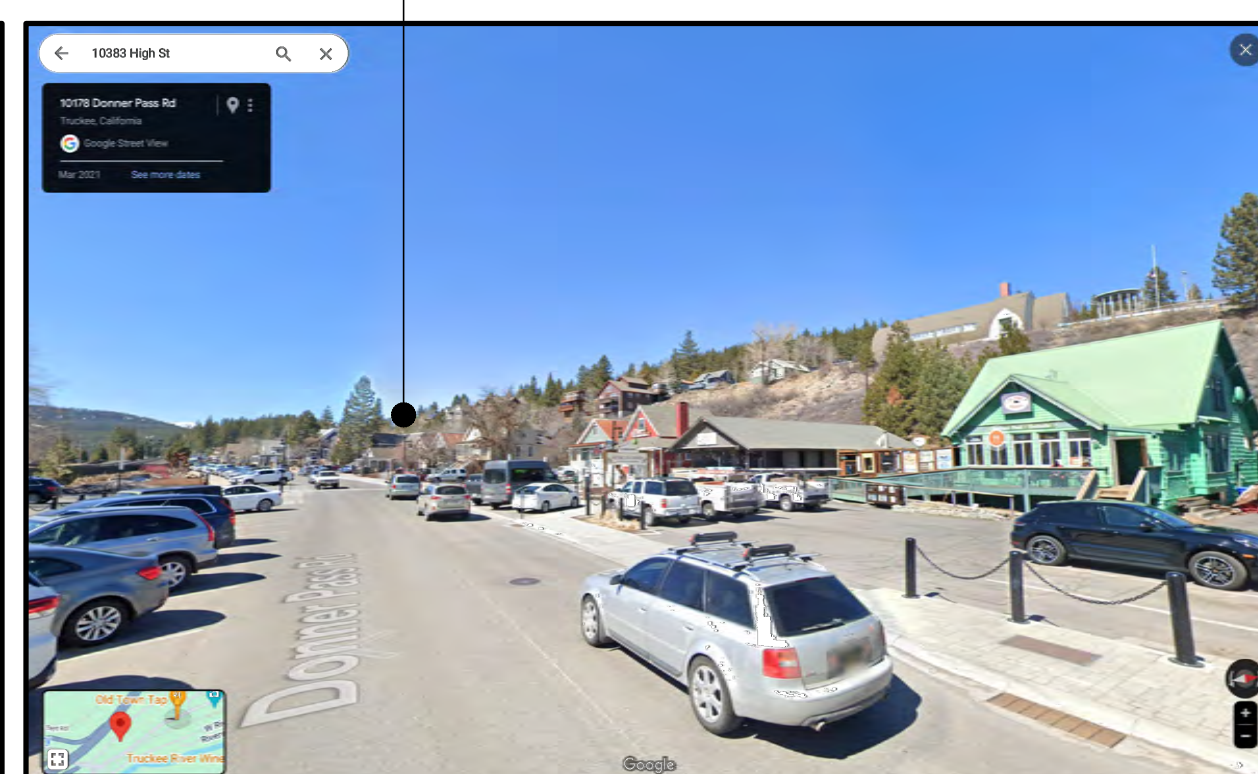
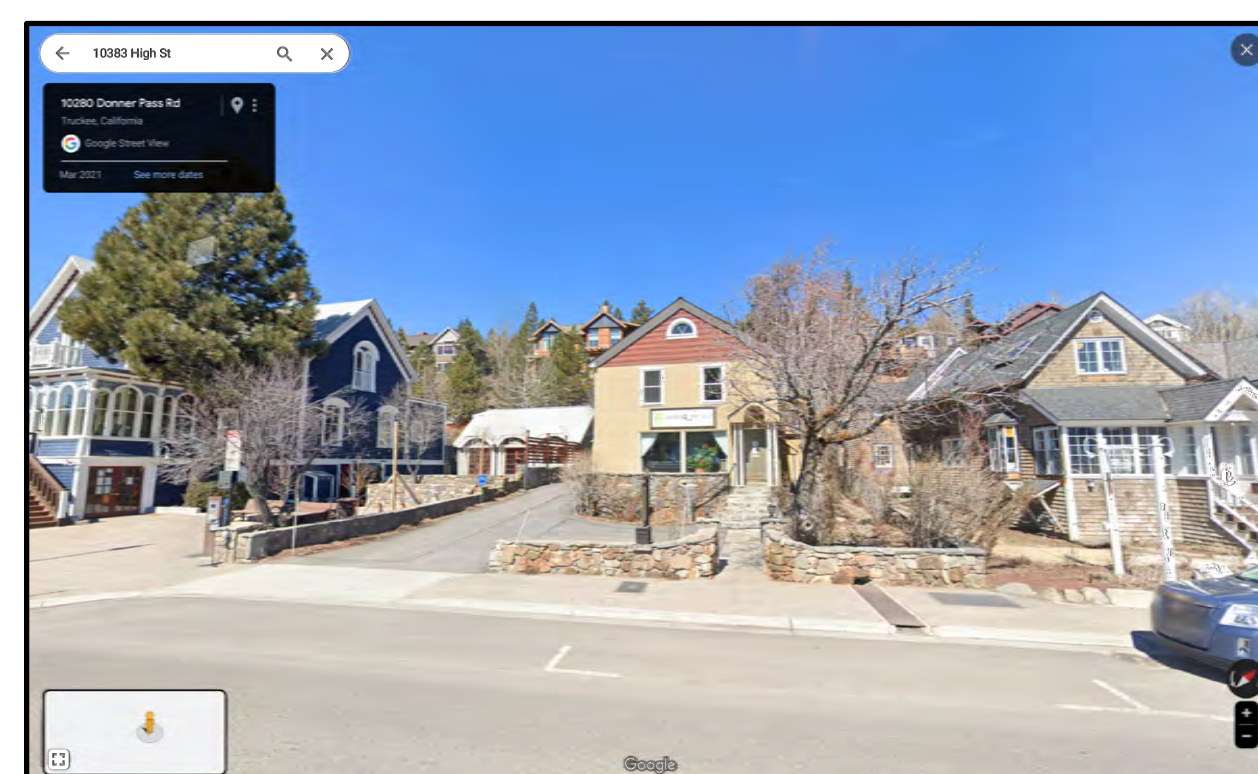
10383 HIGH STREET PROPERTY



BRICKELLTOWN NEIGHBORHOOD BELOW ON DONNER PASS ROAD

3

10383 HIGH STREET PROPERTY



BRICKELLTOWN NEIGHBORHOOD BELOW ON DONNER PASS ROAD

4

HIGH STREET RESIDENCE & ADU

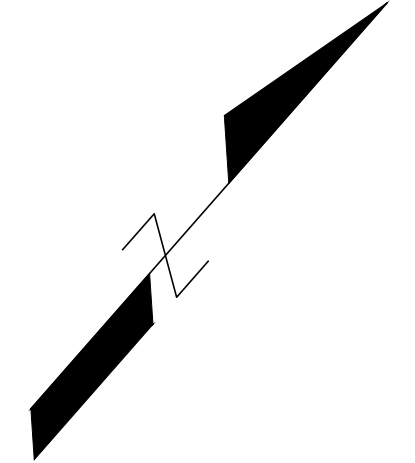
10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015

PAUL & SOPHIA FERRO
Client

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CONTEXT PLAN

SCALE : 1" = 40'-0"

1

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415.215.8904
www.Ascend-Arch.com

CONTEXT PLAN

A-004



HIGH STREET RESIDENCE & ADU

10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015

Project Name & Address

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ARCHITECTURAL SITE PLAN

A-100

SITE CALCULATIONS

SITE AREA	8,513 SF
SITE COVERAGE	
ALLOWABLE SITE COVERAGE	5,959 SF (70%)
BUILDING	2,859 SF
DRIVEWAY	260 SF
PAVED AREAS & RETAINING WALLS	511 SF
FRONT PORCH	131 SF
TOTAL PROPOSED SITE COVERAGE	3,761 SF (44%)
SITE DISTURBANCE	4,885 SF (57%)
PARKING	
REQUIRED PARKING	
SINGLE-FAMILY RESIDENCE	2
ADU (ATTACHED TO MAIN RESIDENCE AND WITHIN 1/2 MILE OF PUBLIC TRANSIT)	0
TOTAL	2
PARKING PROVIDED (ALL GARAGED)	2
SNOW STORAGE	
DRIVEWAY AREA	260 SF
REQUIRED SNOW STORAGE AREA (50%)	130 SF
PROVIDED SNOW STORAGE AREA	142 SF

SITE PLAN KEYNOTES

NOTE: INFORMATION CONTAINED IN DETAIL DRAWINGS SUPERCEDES DESCRIPTION BELOW

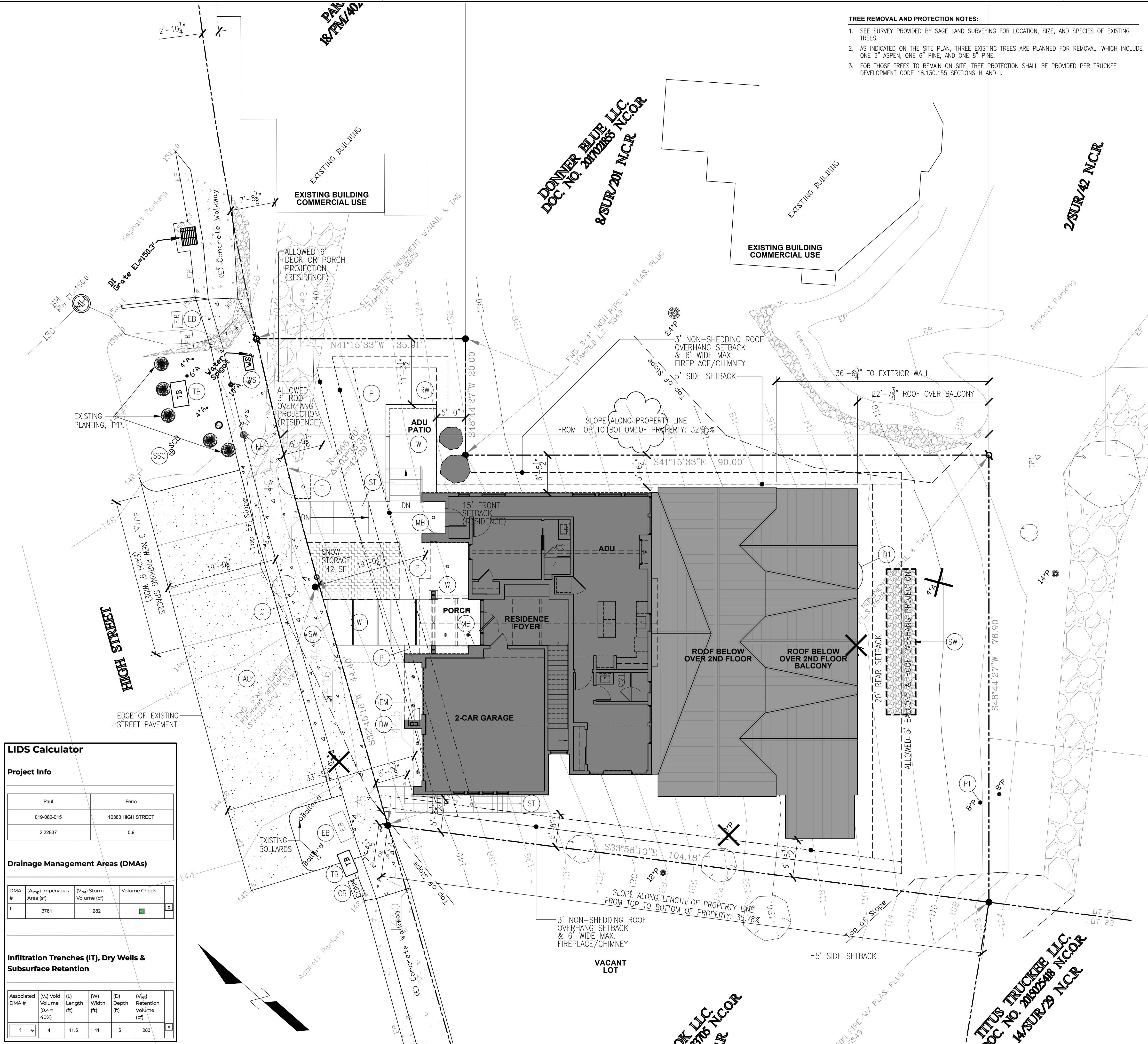
SYMBOL	DESCRIPTION
A	BACKLIT ADDRESS NUMBERS ON WALL, SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFO.
AC	ASPHALT CONCRETE PAVING, SEE CIVIL DRAWINGS
B	RELOCATED BOULDERS, SEE LANDSCAPE PLAN FOR ADDITIONAL INFO
C	NEW CONCRETE ROLLED CURB TO MATCH EXISTING AT STREET, SEE CIVIL DRAWINGS
CB	EXISTING COMMUNICATIONS BOX
D1	REMOVE EXISTING CONCRETE WELL STRUCTURE
DW	CONCRETE DRIVEWAY, MATCH SIDEWALK
EM	ELECTRICAL METER, SEE UPPER FLOOR ELECTRICAL PLAN FOR ADDITIONAL INFORMATION
EB	EXISTING ELECTRICAL BOX
FH	EXISTING FIRE HYDRANT
IT	INFILTRATION TRENCH, SEE CIVIL DRAWINGS
MB	MAILBOX
P	PLANTING AREA, SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
PT	PROTECTED TREE, SEE PROTECTION TREE NOTES ON L1.0.0
RB	ROCK BED
RW	CONCRETE RETAINING WALL, SEE ELEVATIONS AND SECTIONS FOR HEIGHTS
S	LED EXTERIOR LIGHT FIXTURE RECESSED INTO STAIR RISER OR SITE WALL, SEE A2.1.1 FOR ADDITIONAL LIGHTING INFORMATION
SS	SANITARY SEWER POINT OF CONNECTION / CLEAN OUT, SEE CIVIL DRAWINGS
SSC	EXISTING SANITARY SEWER CLEAN OUT
SST	SANITARY SEWER TRENCH, SEE CIVIL DRAWINGS
ST	STEPS / STAIR
SW	NEW CONCRETE SIDEWALK TO MATCH AND CONNECT WITH EXISTING CITY SIDEWALKS
SWT	STORMWATER TREATMENT INFILTRATION TRENCH: 5' WIDE X 25' LENGTH X 5' DEEP SEE LID CALCULATOR FOR MINIMUM REQUIREMENTS
T	ANIMAL RESISTANT TRASH ENCLOSURE
TB	EXISTING TELEPHONE BOX
TD	TRENCH DRAIN, SEE CIVIL DRAWINGS
UT	JOINT UTILITY TRENCH FOR WATER, ELECTRICAL, GAS, TELEPHONE, AND COMMUNICATIONS INTERNET & CABLE TV LINES, SEE CIVIL DRAWINGS
W	CONCRETE WALKWAY / PATIO, TYP.
WB	OUTLINE OF 1ST FLOOR WALLS BELOW
WC	POINT OF CONNECTION FOR WATER SERVICE, SEE FLOOR PLANS FOR ADDITIONAL INFORMATION AND LOCATION OF HOSE BIBS AND PLUMBING FIXTURES.
WS	EXISTING WATER SERVICE
X	TREE TO BE REMOVED, TYP., CONTRACTOR TO PROTECT ALL REMAINING TREES ON SITE. SEE TREE REMOVAL AND PROTECTION NOTES

GENERAL NOTES:

- CONTRACTOR TO CONSTRUCT SUITABLE NEW PAD FOR BUILDING GRADING TO BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER.
- CONTRACTOR TO PROVIDE SUITABLE DRAINAGE AWAY FROM BUILDING AT 6" FALL FOR 10 FEET AWAY FROM BUILDING OR AS INDICATED IN CIVIL DRAWINGS.
- CONTRACTOR TO INSTALL PERIMETER DRAINAGE SYSTEM PER CIVIL DRAWINGS.
- CONTRACTOR TO OBTAIN SERVICES OF LICENSED LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE PROPERTY.
- REFER TO CIVIL DRAWINGS FOR ALL GRADING, DRAINAGE, EROSION CONTROL AND UTILITY INFORMATION AND FLATWORK CONSTRUCTION DETAILS.
- CONTRACTOR TO REVIEW AND FOLLOW ALL GEOTECHNICAL REPORT RECOMMENDATIONS.
- CONTRACTOR TO VERIFY LOCATIONS OF ALL PROPOSED UTILITY STUB-OUTS AND METERS WITH COUNTY PRIOR TO START OF WORK.
- ALL EXTERIOR DOORS SHALL HAVE A MINIMUM 36" DEEP LANDING OUTSIDE. FOR IN-SWINGING DOORS, THE LANDING SHALL NOT BE MORE THAN 8 INCHES LOWER THAN THE THRESHOLD OF THE DOORWAY; AND FOR OUT-SWINGING DOORS, THE LANDING SHALL NOT BE MORE THAN 1 INCH LOWER THAN THE THRESHOLD. UNCOVERED IMPERVIOUS LANDINGS AT THE EXTERIOR SHALL HAVE A SLOPE OF 1/4 INCH PER FOOT AWAY FROM THE DOORWAY.
- SEE A2.1.1 FOR ELECTRICAL LEGEND AND NOTES.
- SEE G.0.0.1 FOR DEFENSIBLE SPACE NOTES.

TREE REMOVAL AND PROTECTION NOTES:

- SEE SURVEY PROVIDED BY SAGE LAND SURVEYING FOR LOCATION, SIZE, AND SPECIES OF EXISTING TREES.
- AS INDICATED ON THE SITE PLAN, THREE EXISTING TREES ARE PLANNED FOR REMOVAL, WHICH INCLUDE ONE 6" ASPEN, ONE 6" PINE, AND ONE 8" PINE.
- FOR THOSE TREES TO REMAIN ON SITE, TREE PROTECTION SHALL BE PROVIDED PER TRUCKEE DEVELOPMENT CODE 18.130.155 SECTIONS H AND I.



LIDS Calculator

Project Info

Paul	Ferro
019-080-015	10383 HIGH STREET
222837	0.9

Drainage Management Areas (DMAs)

DMA #	[A _{imp}] Impervious Area (sf)	[V _{imp}] Storm Volume (cf)	Volume Check
1	3761	282	<input checked="" type="checkbox"/>

Infiltration Trenches (IT), Dry Wells & Subsurface Retention

Associated DMA #	[V] Void Volume (0.4 = 40%)	[L] Length (ft)	[W] Width (ft)	[D] Depth (ft)	[V _{ret}] Retention Volume (cf)
1	4	11.5	11	5	283

ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"



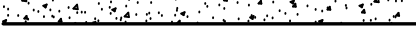
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WALL LEGEND



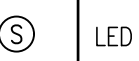
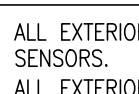
SYMBOL	DESCRIPTION
	2X4 WOOD STUDS @ 16" O.C. WITH 5/8" TYPE "X" PAINTED GYP. BD. EACH SIDE & ACOUSTICAL BATT INSULATION WITHIN. SEE FLOOR PLAN NOTE 2. SEE STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND WALL FRAMING INFORMATION.
	SEE EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES AND A.B.O.I. FOR TYPICAL EXTERIOR WALL ASSEMBLIES. SEE STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND WALL FRAMING INFORMATION.
	CONCRETE WALL, S.S.D.

FLOOR PLAN NOTES:

- DIMENSIONS:
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
 - ALL DIMENSIONS SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS, FACE OF CONCRETE WALLS & CONC. BLOCK WALLS, EDGE OF SLAB, FACE OF WOOD STUDS, AND CENTER OF DOORS & WINDOWS, U.O.N.
 - DIMENSIONS SHOWN FOR CASEWORK AND COUNTERTOPS SHALL BE FROM FACE OF WALL FINISH, UNLESS OTHERWISE NOTED.
 - TOILET LOCATION DIMENSIONS SHALL BE FROM FACE OF WALL / CASEWORK FINISH, U.O.N.

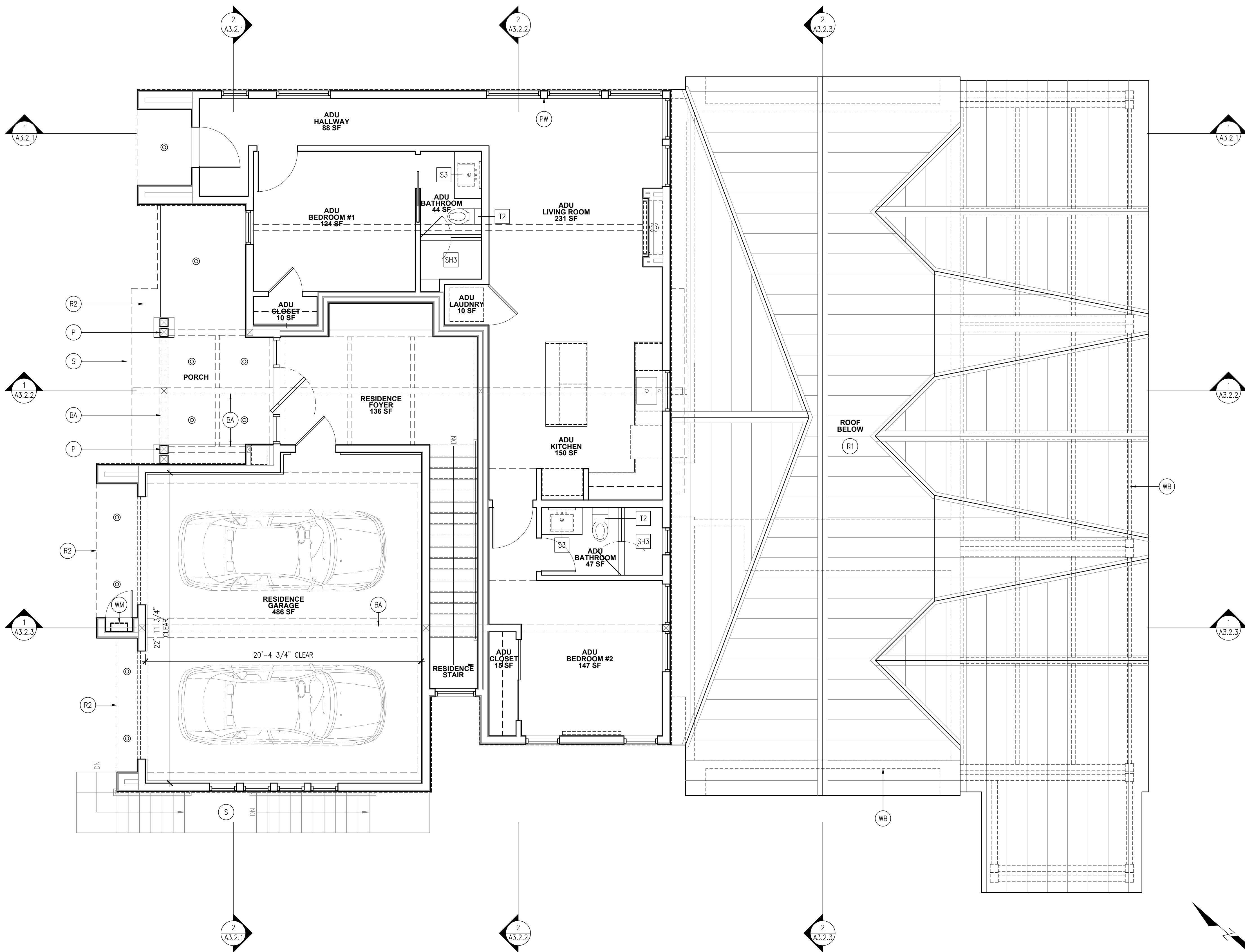
LIGHTING LEGEND

NOTE: INFORMATION CONTAINED IN DETAIL DRAWINGS SUPERCEDES DESCRIPTION BELOW

SYMBOL	DESCRIPTION
	LED DOWNLIGHT, RECESSED INTO EXTERIOR CEILINGS / SOFFITS
	LED EXTERIOR WALL MOUNTED LIGHT FIXTURE
	LED EXTERIOR GROUND LIGHT FIXTURE
	LED EXTERIOR LIGHT FIXTURE RECESSED INTO STAIR RISER OR SITE WALL

LIGHTING GENERAL NOTES:

- ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY LIGHT SWITCHES AND MOTION CONTROL WITH INFRARED SENSORS.
- ALL EXTERIOR LIGHTING SHALL BE RATED FOR WET LOCATION.
- ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT AND ENGINEERED TO MINIMIZE LIGHT GLARE UPWARD INTO THE NIGHT SKY.


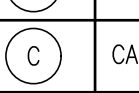
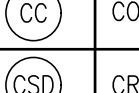
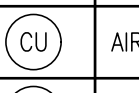
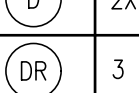
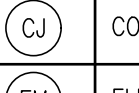



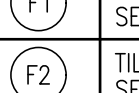
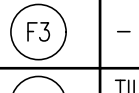
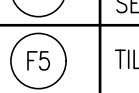
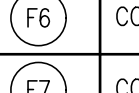
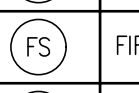
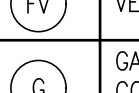
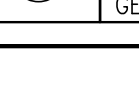
THIRD FLOOR PLAN - 172 SF RESIDENCE; 533 SF GARAGE; 999 SF ADU

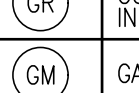
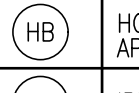
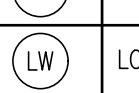
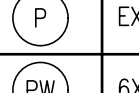
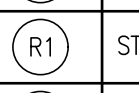
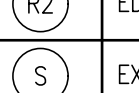
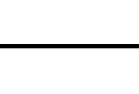
SCALE: 1/4" = 1'-0"


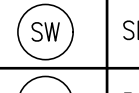
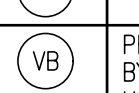
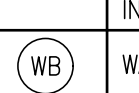
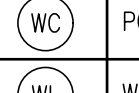
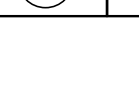
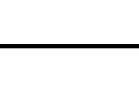
FLOOR PLAN KEYNOTES

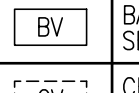
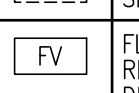
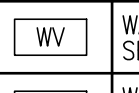


NOTE: INFORMATION CONTAINED IN DETAIL DRAWINGS SUPERCEDES DESCRIPTION BELOW

SYMBOL	DESCRIPTION
	EXPOSED BEAM ABOVE, SEE RCP AND STRUCTURAL DRAWINGS.
	BUILT-IN BBO WITH GAS LINE
	CASEWORK AND/OR COUNTERTOP PROVIDED BY OWNER
	CONCRETE CURB AT BOTTOM OF WALL, S.S.D.
	CRAWL SPACE DOOR IN FLOOR. FINISH TO MATCH SURROUNDING FLOOR FINISH
	AIR CONDITIONER CONDENSER UNIT SET ON CONCRETE SLAB
	2X6 STAINED CEDAR WOOD DECKING OVER BEAMS / JOISTS, S.S.D.
	3 INCH LAYER OF 3/4" DRAIN ROCK
	CONTROL JOINT IN CONCRETE SLAB, S.S.D.
	ELECTRICAL METER

	WOOD FLOORING, SEE X/X AT WOOD FRAMED FLOOR, SEE FINISH PLAN FOR MATERIAL SPEC.
	TILE FLOORING, SEE X/X AT WOOD FRAMED FLOOR, SEE FINISH PLAN FOR MATERIAL SPEC.
	-
	TILE FLOORING AT BATHROOM OVER ELECTRIC RADIANT HEATING SYSTEM, SEE X/X, SEE FINISH PLAN FOR MATERIAL SPEC.
	TILE FLOORING AT SHOWER
	CONCRETE SLAB AT GARAGE, SEE X/X
	CONCRETE SLAB AT COVERED WALKWAY, SEE X/X
	FIRE SPRINKLER RISER
	VENT OPENING IN FOUNDATION WALL AT CRAWL SPACE, SEE PLAN FOR SIZE
	GAS GENERATOR ON CONCRETE SLAB. OWNER TO PURCHASE GAS GENERATOR. GENERAL CONTRACTOR TO ROUGH-IN GAS AND ELECTRICITY, INSTALL CONCRETE PAD, INSTALL GENERATOR, AND PROVIDE ELECTRICAL HOOK-UP.

	GUARDRAIL, 42" MIN. ABOVE FINISH FLOOR U.O.N., SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
	GAS METER
	HOSE BIB AT 3 FEET ABOVE FINISH GRADE, RECESS INTO WALL FOR ANTI-FREEZE, PROVIDE APPROVED ANTI-SIPHON VALVES PER CPC 603.5.7.
	IRRIGATION CONTROLLER, SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
	LOW WALL, SEE ELEVATIONS AND BUILDING SECTIONS FOR HEIGHT AND MATERIAL OF WALL
	EXPOSED WOOD POST, S.S.D.
	6X WIDE POST BETWEEN WINDOWS, S.S.D.
	STANDING SEAM METAL ROOF BELOW, SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
	EDGE OF ROOF / BUILDING OVERHANG ABOVE, SEE UPPER FLOOR PLAN & ROOF PLAN
	EXTERIOR STAIR AND LANDING, SEE SITE PLAN FOR ADDITIONAL INFO

	SHELVES
	SHELF & ROD AT CLOSET
	SITE WALL, SEE EXTERIOR SITE PLAN AND ELEVATIONS FOR MATERIAL SPECIFICATIONS.
	ROOF EAVE / SOFFIT VENT STRIP, SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
	PROVIDE CLASS 1 VAPOR BARRIER OVER GROUND AT CRAWL SPACE. JOINTS SHALL OVERLAP BY 6" AND SHALL BE SEALED OR TAPED. EDGES OF THE BARRIER SHALL EXTEND 6" MIN. UP THE STEM WALLS AND SHALL BE ATTACHED AND SEALED TO THE STEM WALLS OR INSULATION.
	WALL / BEAM BENEATH ROOF, SEE FLOOR PLANS BELOW
	POINT OF CONNECTION FOR WATER SERVICE WITH ON/OFF VALVE
	WATER LINE TO SERVE REFRIGERATOR

	BASEBOARD SUPPLY REGISTER / VENT, SEE MECHANICAL PLANS FOR DUCTWORK LAYOUT
	CEILING SUPPLY REGISTER / VENT, SEE MECHANICAL PLANS FOR DUCTWORK LAYOUT
	FLOOR SUPPLY REGISTER / VENT, AT WOOD FLOORS, PROVIDE WOOD REGISTER THAT MATCHES WOOD FLOORING, SEE MECHANICAL PLANS FOR DUCTWORK LAYOUT.
	WALL SUPPLY REGISTER / VENT, SEE MECHANICAL PLANS FOR DUCTWORK LAYOUT
	WALL REGISTER / VENT FOR RETURN AIR BACK TO FURNACE, SEE MECHANICAL PLANS FOR DUCTWORK LAYOUT

SEE A2.1.2 FOR FLOOR PLAN NOTES; SEE A2.1.3 FOR PLUMBING

THIRD FLOOR PLAN

A-211

HIGH STREET RESIDENCE & ADU

10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015
Project Name & Address

PAUL & SOPHIA FERRO
Client

Issuance	Date
PRELIMINARY APPLICATION	11.25.24
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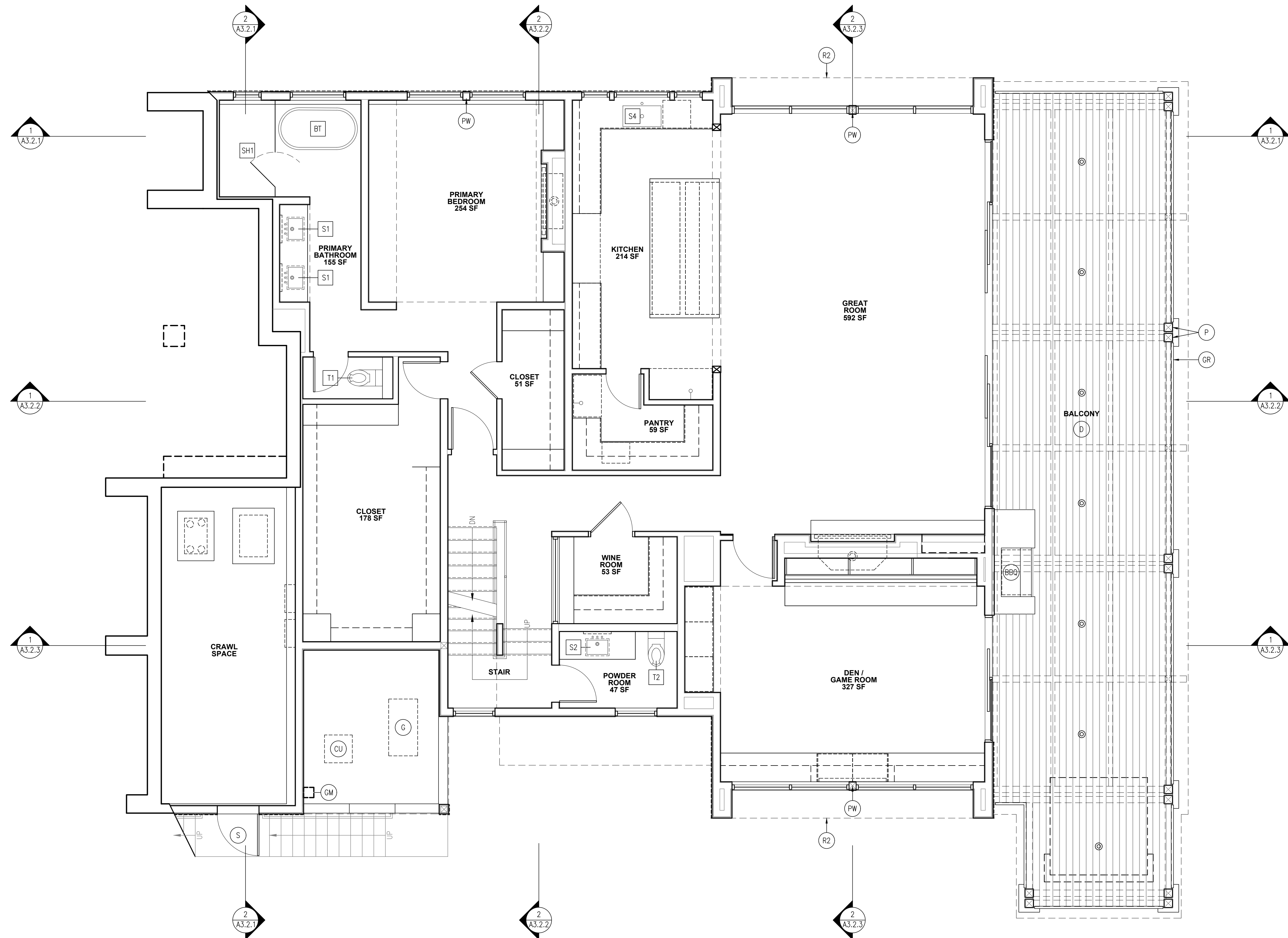
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SECOND FLOOR PLAN

A-212



SECOND FLOOR PLAN - 2,346 SF RESIDENCE

SCALE : 1/4" = 1'-0"

FLOOR PLAN NOTES

NOTE: INFORMATION CONTAINED IN DETAIL DRAWINGS SUPERCEDES DESCRIPTION BELOW

- INFORMATION CONTAINED IN DRAWINGS SUPERCEDES DESCRIPTION IN WALL LEGEND.
- ALL INTERIOR GYPSUM BOARD SHALL HAVE A LEVEL 5 SMOOTH FINISH AND PAINTED U.O.N. GYPSUM BOARD WITHIN GARAGE SHALL HAVE A LEVEL 4 SMOOTH FINISH AND PAINTED.
- NOT USED
- AT WALLS THAT ENCLOSE TUB AND SHOWER ENCLOSURES OR OTHER WET AREAS, USE WATER-RESISTANT BACKER BOARD (GREEN BOARD) INSTALLED TO A POINT A MINIMUM OF 72" ABOVE THE SHOWER / TUB DRAIN. DO NOT INSTALL A VAPOR BARRIER BEHIND THE WATER-RESISTANT BOARD. DO NOT INSTALL THE WATER-RESISTANT BOARD ON THE CEILING UNLESS JOISTS ARE NO GREATER THAN 12 INCHES APART.
- AT WALLS WHICH HAVE A GLASS TILE FINISH, USE A CEMENTITIOUS BACKER BOARD SUBSTRATE, AS RECOMMENDED BY THE TILE MANUFACTURER.
- AT INTERIOR WALLS THAT HAVE SHEAR WALL SHEATHING, FUR OR SHIM THOSE PORTIONS OF THE WALL THAT ARE NOT TO RECEIVE THE SHEAR WALL SHEATHING AS REQUIRED TO ENSURE THAT THE WALL FINISH IS CONTINUOUS THE FULL LENGTH OF THE WALL. S.S.D. FOR LOCATION OF SHEAR WALLS.
- SEE SPECIFICATIONS FOR WALL WEATHER BARRIER AND BUILDING INSULATION. ALL INSULATION SHALL HAVE AT LEAST 30% POST-CONSUMER RECYCLED CONTENT AND SHALL BE LOW-EMITTING (CERTIFIED CA RESIDENTIAL SECTION 01350).
- APPROVED SEISMIC OR EXCESS FLOW GAS SHUT-OFF DEVICES SHALL BE INSTALLED WHERE REQUIRED PER LOCAL ORDINANCES. REFER TO THE BUILDING & SAFETY DIVISION OF THE LOCAL BUILDING DEPARTMENT FOR AN APPROVED LIST OF DEVICES.
- THE WALLS, FLOOR, AND CEILING/FLOOR SEPARATING THE GARAGE FROM THE SURROUNDING HABITABLE SPACES / ROOMS SHALL PROVIDE A 1-HOUR FIRE-RATED OCCUPANCY SEPARATION.
- ALL ACCESSIBLE HOT WATER PIPES SHALL BE INSULATED.
- PROVIDE CONCRETE-RATED MOISTURE BARRIER BENEATH ALL STRUCTURAL CONCRETE SLABS ON GRADE.
- PROVIDE SOLID BACKING AT ALL ATTACHMENTS TO WALLS. REVIEW LOCATIONS WITH ARCHITECT OR OWNER PRIOR TO CLOSING WALLS, U.O.N.
- NO CONDUIT OR PIPING SHALL BE ROUTED ON THE EXTERIOR FACE OF THE BUILDING OR ON THE FACE OF INTERIOR WALLS/CEILINGS WITHOUT ARCHITECT'S ACCEPTANCE PRIOR TO INSTALLATION. ANY SUCH INSTALLATION, IF ALLOWED, SHALL BE ROUTED WITHIN STRUCTURE BAYS IN AN ORGANIZED AND EFFICIENT MANNER. CONTRACTOR SHALL PROPOSE SPECIFIC ROUTING PRIOR TO INSTALLATION FOR REVIEW AND ACCEPTANCE BY ARCHITECT. CONTRACTOR TO REMOVE ANY UNUSED INSTALLED J-BOXES.
- ALL EXPOSED PIPING AND CONDUIT ALLOWED PER ABOVE SHALL BE DONE IN THE MOST UNOBTRUSIVE, NEAT WAY POSSIBLE, WITH CARE TAKEN TO KEEP IT TUCKED TIGHT TO SURFACES, CORNERS, ETC. COORDINATE ALL EXPOSED RUNS IN FIELD WITH ARCHITECT PRIOR TO INSTALLATION. ANY EXPOSED CONDUIT, PIPING, ETC, SHALL BE PAINTED OR COLORED TO MATCH ADJACENT SURFACE, U.O.N.
- ALL PENETRATIONS THROUGH FIRE-RESISTANCE RATED VERTICAL PARTITIONS AND/OR HORIZONTAL FLOOR-CEILING ASSEMBLIES SHALL BE SEALED AND PROTECTED WITH FIRE RESISTANCE RATED THROUGH-PENETRATION AND/OR MEMBRANE PENETRATION ASSEMBLIES.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY.
- ALL OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED OR OTHERWISE SEALED TO LIMIT AIR INFILTRATION.
- PRE-FAB FIREPLACES SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. PROVIDE HEARTH EXTENSION AS REQUIRED BY MANUFACTURER.
- ALL EXTERIOR DOORS SHALL HAVE A MINIMUM 36" X 36" LANDING OUTSIDE. FOR IN-SWINGING DOORS, THE LANDING SHALL NOT BE MORE THAN 7-1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY, AND FOR OUT-SWINGING DOORS, THE LANDING SHALL NOT BE MORE THAN 1" LOWER THAN THE THRESHOLD. LANDINGS AT THE EXTERIOR SHALL HAVE A SLOPE OF 1/4" PER FOOT AWAY FROM THE DOORWAY.
- SEE OWNER FOR INTERIOR PAINT COLORS AND LOCATIONS. PAINT SHALL BE LOW-VOC (<50 GPL VOCs)

SEE A2.1.1 FOR WALL LEGEND,
FLOOR PLAN KEYNOTES, AND
LIGHTING LEGEND;
SEE A2.13 FOR PLUMBING
FIXTURE LEGEND

SEE A2.1.1 FOR WALL LEGEND,
FLOOR PLAN KEYNOTES, AND
LIGHTING LEGEND



**HIGH STREET
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10383 HIGH STREET
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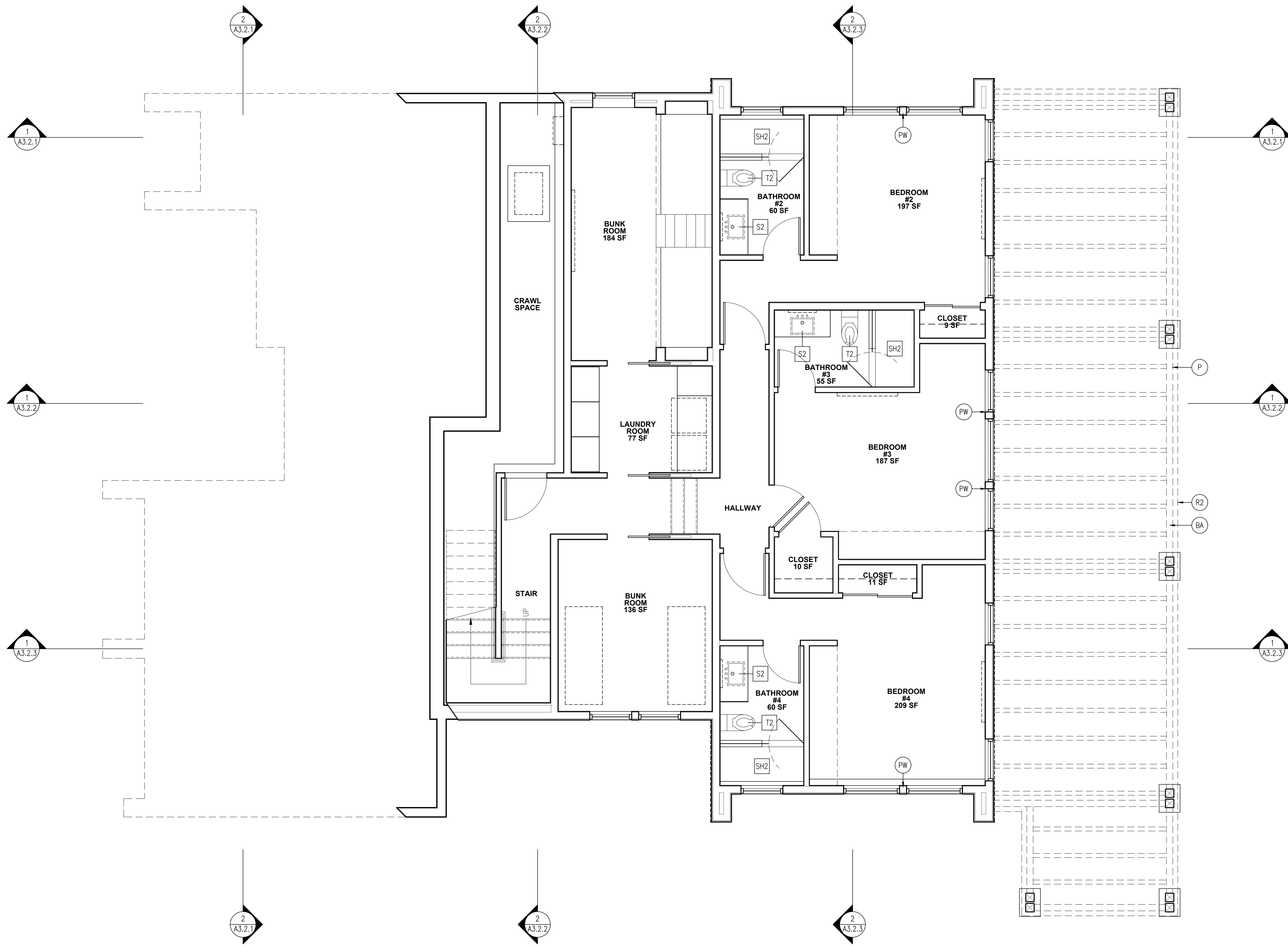
PAUL & SOPHIA FERRO

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FIRST FLOOR PLAN - 1,552 SF RESIDENCE

SCALE : 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	COLOR	NOTES
BT	BATHTUB AND FAUCET				
S1	BATHROOM VANITY W/ SINKS & FAUCET				
S2	BATHROOM VANITY W/ SINKS & FAUCET				
S3	BATHROOM VANITY W/ SINKS & FAUCET				
S4	KITCHEN SINK, FAUCET & GARBAGE DISPOSAL W/ AIR SWITCH				PROVIDE PUSH-BUTTON AIR-SWITCH FOR GARBAGE DISPOSAL IN COUNTERTOP NEAR SINK
S5	KITCHEN SINK, FAUCET & GARBAGE DISPOSAL W/ AIR SWITCH				PROVIDE PUSH-BUTTON AIR-SWITCH FOR GARBAGE DISPOSAL IN COUNTERTOP NEAR SINK
S6	LAUNDRY SINK & FAUCET				

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	COLOR	NOTES
SH1	BATHROOM SHOWER & SHOWERHEAD				
SH2	BATHROOM SHOWER & SHOWERHEAD				
SH3	BATHROOM SHOWER & SHOWERHEAD				
T1	TOILET				
T2	TOILET				

PLUMBING NOTES:

- GENERAL CONTRACTOR SHALL INSTALL EQUIPMENT AND PROVIDE ROUGH-IN OF WATER AND ELECTRICAL TO SERVE EQUIPMENT / FIXTURES.
- INSTALL ALL EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- PROVIDE ROUGH OPENING CLEARANCES PER EQUIPMENT MANUFACTURER'S SPECIFICATIONS.
- PLUMBING FIXTURES SHALL MEET THE FOLLOWING WATER CONSERVING FLOW RATES - TOILETS: ≤ 1.28 GALLONS PER FLUSH; SINGLE SHOWERHEADS: ≤ 1.8 GPM AT 80 PSI; MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEAD CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM AT 80 PSI, OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME; LAVATORY FAUCETS: MAXIMUM FLOW RATE ≤ 1.2 GPM AT 60 PSI AND MINIMUM FLOW RATE $\geq .8$ GPM AT 20 PSI; KITCHEN FAUCETS: ≤ 1.8 GPM AT 60 PSI WITH TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
- SEE MECHANICAL SPEC SECTION FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- AT THE KITCHEN, A 2" ACCESSIBLE PLUMBING CLEANOUT UNDER THE SINK SHALL BE PROVIDED IF THE SINK IS THE HIGHEST FIXTURE ON THE SYSTEM. AN AIR-GAP ABOVE THE SINK RIM SHALL BE INSTALLED BETWEEN THE DISHWASHER DRAINPIPE AND THE GARBAGE DISPOSAL INLET.
- A LISTED ANTI-SCALD / PRESSURE BALANCE VALVE IS REQUIRED IN ALL BATHTUB AND SHOWER COMPARTMENTS.
- SHOWER WASTE PIPE SHALL BE A MINIMUM OF 2 INCHES.
- PLASTIC LINERS AND UNDERLAYMENT (SHOWER PANS) MUST BE SLOPED A MINIMUM OF 1/4 INCH PER FOOT TO THE DRAIN AND BE WRAPPED UP THE WALL A MINIMUM OF 3 INCHES ABOVE THE DAM. A WATER TEST IS REQUIRED TO VERIFY THE PAN DOES NOT LEAK AND TO VERIFY THE WEEP HOLES ARE DRAINING CORRECTLY.
- ALL NEW PLUMBING PIPING IS REQUIRED TO BE TESTED WITH 10 FEET HEAD OF WATER ABOVE THE HIGHEST FIXTURE OR AN AIR TEST OF 5 LBS.
- TOILETS AND ALL PLUMBING FIXTURES MUST BE SEALED AT ALL WALL AND FLOOR PENETRATIONS.
- PLUMBING FIXTURES (WATER CLOSETS & URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 4.303.1.1 THROUGH 4.303.1.4.4
- PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.
- ALL PLUMBING PENETRATIONS THROUGH THE GARAGE FIRE WALL SHALL BE METALLIC, INCLUDING TRAPS.
- ALL SHOWERS AND TUB/SHOWERS SHALL HAVE A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES WITH A WATER TEMPERATURE MAXIMUM SETTING OF 120 DEGREES F (49 DEGREES C).
- WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 36" EARTH COVERING. COMPLY WITH 15.04.010 OF TOWN OF TRUCKEE MUNICIPAL CODE. IF INSTALLED IN EXTERIOR WALLS, INSTALL TO THE INSIDE SURFACE AND INSULATE ON THE UNHEATED SIDE OF THE PIPES WITH MATERIAL OF EQUIVALENT R-VALUE OF WALL INSULATION AS CONSIDERED/REQUIRED IN ENERGY ANALYSIS. WATER PIPING SHALL NOT BE INSTALLED OR CONCEALED IN UNHEATED ATTICS, CPC 312.6 WATER SUPPLY SYSTEM, INCLUDING HOT AND COLD, SHALL BE DESIGNED AND INSTALLED FOR WINTERIZATION AND FREEZE PROTECTION, SUCH AS ALLOWING FOR ROUTINE DRAINAGE OF THE SYSTEM TO PREVENT FREEZING. THE WATER SUPPLY SHALL BE EQUIPPED WITH A READILY ACCESSIBLE SHUT OFF VALVE, VALVE(S) AND/OR DRAIN PORT(S) WHEN USED SHALL BE READILY ACCESSIBLE, INSULATED FOR PROTECTION FROM FREEZING, AND SHALL BE PROTECTED FROM THE POTENTIAL FOR BACK FLOW. ALL WATER PIPING SHALL BE GRADED TO DRAIN. PLASTIC MATERIALS FOR WATER SERVICE PIPING OUTSIDE UNDERGROUND SHALL HAVE A BLUE INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR INSTALLED ADJACENT TO THE PIPING. THE TRACER WIRE SHALL BE NOT LESS THAN 18 AWG AND THE INSULATION TYPE SHALL BE SUITABLE FOR DIRECT BURIAL. WATERLINE TO BE INSPECTED BEFORE COVERING.
- PLUMBING FIXTURES ON FLOOR LEVELS BELOW THE CLOSEST UPSTREAM MANHOLE AND/OR SEPTIC SYSTEM SHALL BE PROVIDED WITH AN APPROVED BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SHALL NOT DISCHARGE INTO THE BACKWATER VALVE (CPC 710.1).
- FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER PER CPC 1007.1. UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 6 FEET FROM AN UNDERFLOOR ACCESS, ACCESS DOOR OR TRAP DOOR OR PIPED TO OUTSIDE THE BUILDING PER CPC 707.9. ABS AND PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS PER CPC 312.13 AND 14.

1

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**FIRST FLOOR
PLAN**

A-213



HIGH STREET RESIDENCE & ADU

10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015

Project Name & Address

PAUL & SOPHIA FERRO
Client

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ROOF PLAN

A-214

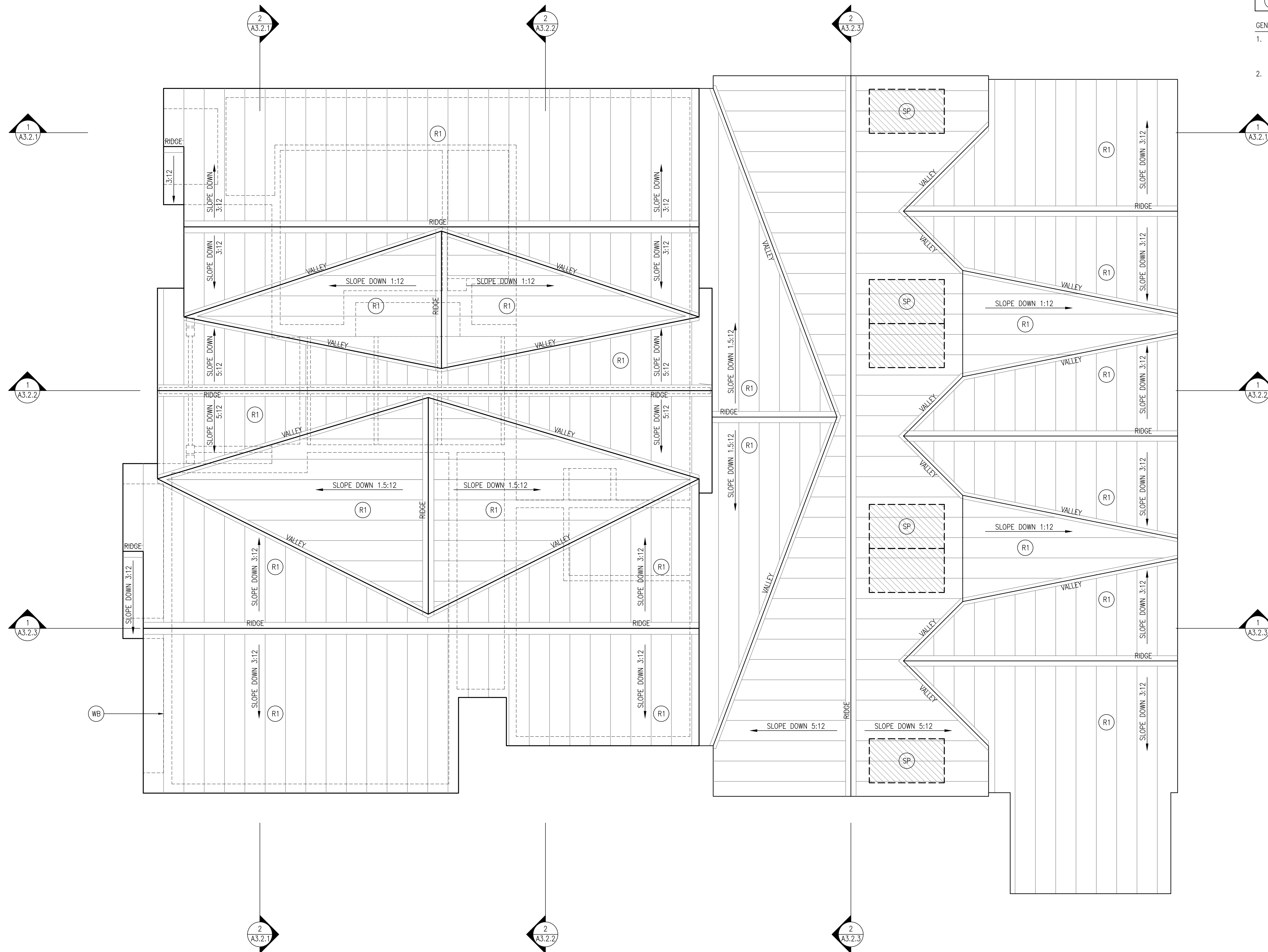
ROOF PLAN NOTES

NOTE: INFORMATION CONTAINED IN DETAIL DRAWINGS SUPERCEDES DESCRIPTION BELOW

SYMBOL	DESCRIPTION
(C)	CRICKET WITH STANDING SEAM METAL ROOFING, SEE R1 KEYNOTE FOR ADDITIONAL INFO.
(R1)	METAL STANDING SEAM ROOFING: VERTICAL SEAM, 24 GA, 18" COVERAGE FLAT PAN, "MATTE BLACK" BY METAL SALES OVER ROOF UNDERLAYMENT (SEE NOTE 2). UNVENTED ROOF ASSEMBLY PER CRC R806.5-5.1.3, SEE 2/A2.1.3. EAVE & RAKE OVERHANGS OUTSIDE THE THERMAL ENVELOPE SHALL BE VENTED TO PREVENT CONDENSATION ACCUMULATION. SEE "V" KEYNOTE, BUILDINGS SECTIONS, AND DETAILS.
(RO)	ROOF OVERHANG: SEE BUILDING / WALL SECTIONS FOR DIMENSIONS AT VARIOUS EAVE & RAKE CONDITIONS
(SP)	PHOTOVOLTAIC SOLAR PANEL SYSTEM
(V)	ROOF EAVE / SOFFIT VENT STRIP. U.O.N., 2" INCH WIDTH MIN, "VULCAN VENT" OR EQUAL TO RESIST FLAME AND EMBER INTRUSION. SEE SECOND FLOOR PLAN FOR VENT STRIP LOCATIONS AT LOWER ROOFS.
(WB)	WALL / BEAM BENEATH ROOF. SEE FLOOR PLANS & RCPS

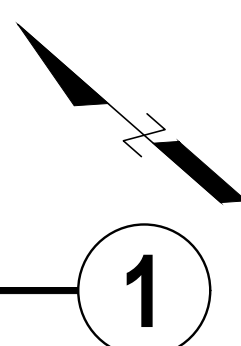
GENERAL NOTES:

- DIMENSIONS SHOWN AT ROOF RAKES ARE FROM OUTER FACE OF WALL FRAMING AT BUILDING WALLS WALLS TO END OF ROOF JOISTS / BEAMS. DIMENSIONS SHOWN AT ROOF EAVES ARE FROM OUTER FACE OF WALL FRAMING AT BUILDING WALLS WALLS TO LOWER END OF ROOF JOISTS / BEAMS.
- ROOF UNDERLAYMENT SHALL BE WIP 300HT BY CARLISLE. INSTALL PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. INSTALL IN SHINGLE FASHION WITH 3-1/2" MIN. EDGE SPLICE AND 6" MIN. END SPLICE.



ROOF PLAN

SCALE: 1/4" = 1'-0"



**HIGH STREET
RESIDENCE & ADU**

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**EXTERIOR
PHOTOS &
RENDERINGS**

A-301



PROPOSED VIEW FROM HIGH STREET

1B



EXISTING VIEW FROM HIGH STREET

1A



PROPOSED VIEW FROM HIGH STREET

3



PROPOSED VIEW FROM HIGH STREET

2

**HIGH STREET
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**EXTERIOR
PHOTOS &
RENDERINGS
A-302**



PROPOSED VIEW FROM HIGH STREET

1B



EXISTING VIEW FROM HIGH STREET

1A



PROPOSED VIEW FROM DONNER PASS ROAD

2B



EXISTING VIEW FROM DONNER PASS ROAD

2A



PROPOSED VIEW FROM DONNER PASS ROAD

3B



EXISTING VIEW FROM DONNER PASS ROAD

3A

**HIGH STREET
RESIDENCE & ADU**

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PROPOSED VIEW FROM SOUTH-EAST DRIVEWAY

1C



PROPOSED VIEW FROM SOUTH-EAST DRIVEWAY

1B



EXISTING VIEW FROM SOUTH-EAST DRIVEWAY

1A



PROPOSED VIEW FROM DONNER PASS ROAD

2B



EXISTING VIEW FROM DONNER PASS ROAD

2A



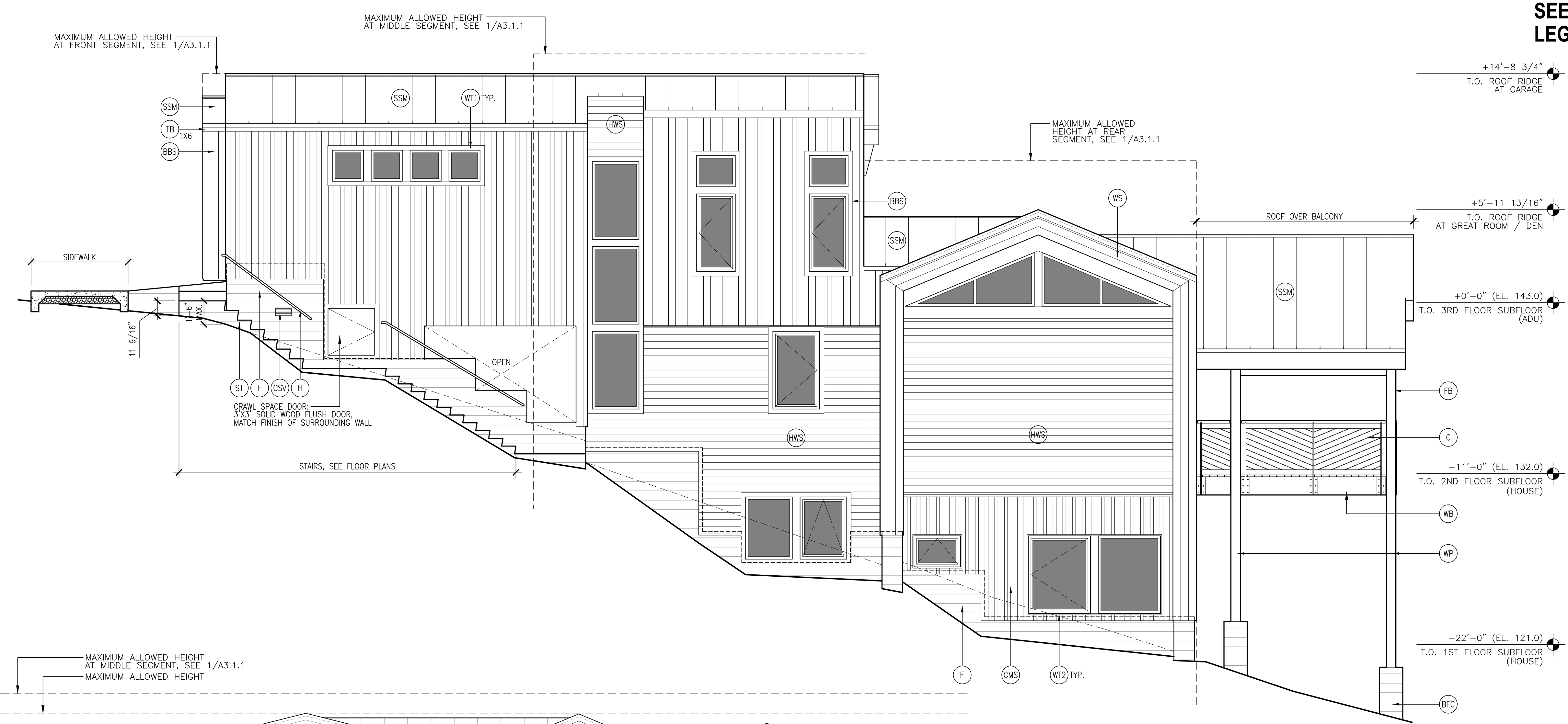
SEE A3.1.1 FOR EXTERIOR MATERIAL LEGEND AND ELEVATION KEYNOTES

HIGH STREET RESIDENCE & ADU

10383 HIGH STREET
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WEST / SIDE ELEVATION

SCALE : 1/4" = 1'-0"

1



SOUTH / REAR ELEVATION

SCALE : 1/4" = 1'-0"

2

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EXTERIOR ELEVATIONS

A-312

**HIGH STREET
RESIDENCE & ADU**

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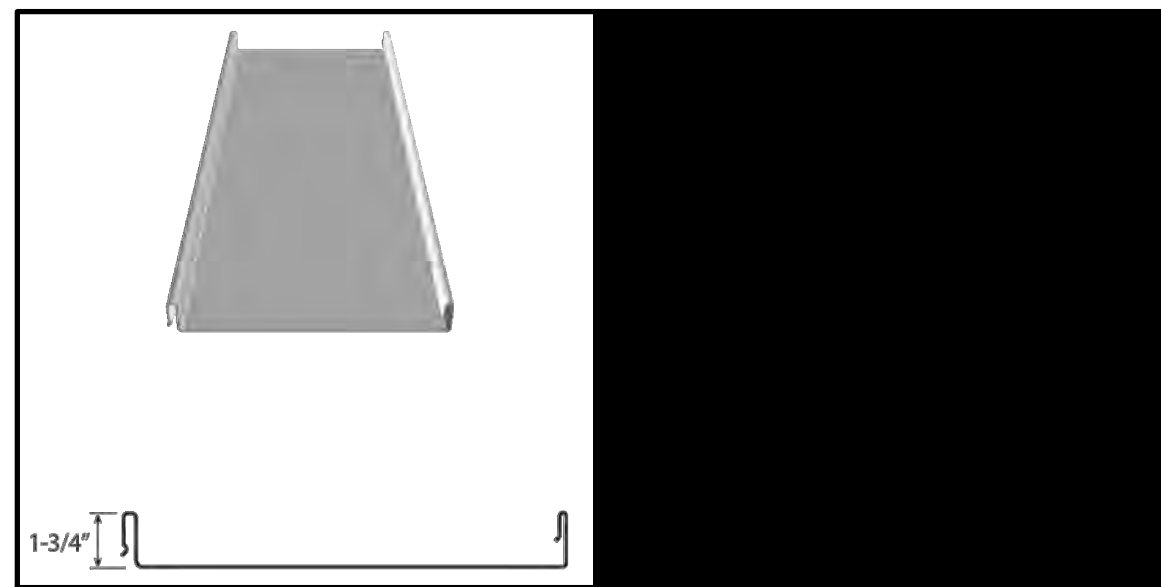
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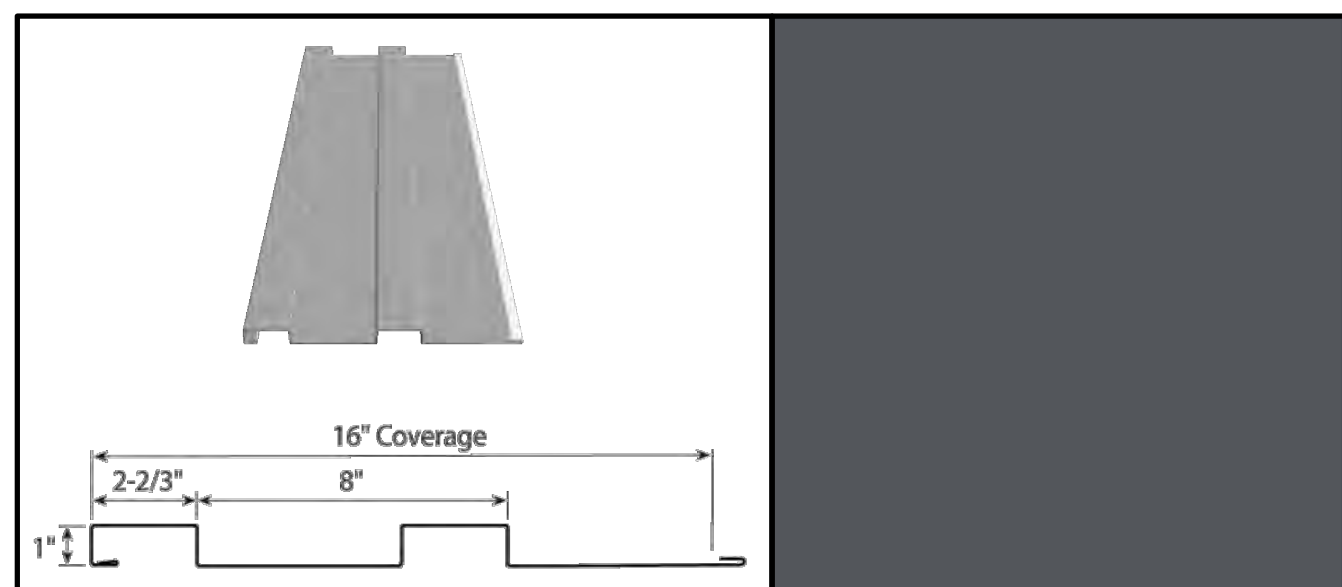
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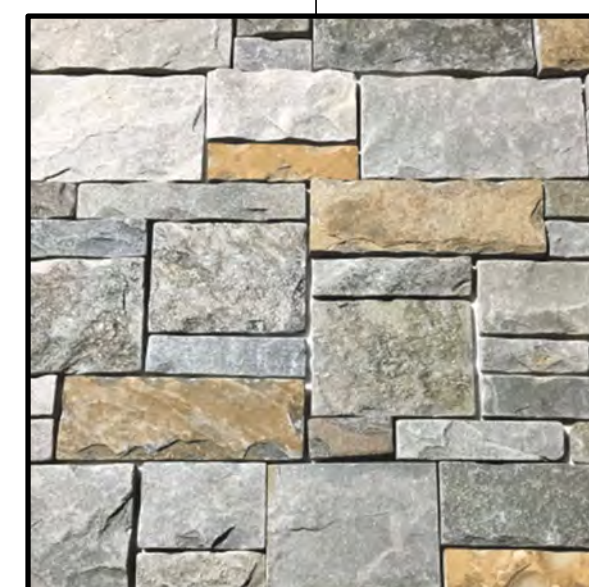
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SSM: STANDING SEAM METAL ROOFING, SEE A-311 AND A-214 FOR ADDITIONAL INFO (WINDOW FRAMES & GUARDRAILS TO MATCH COLOR)



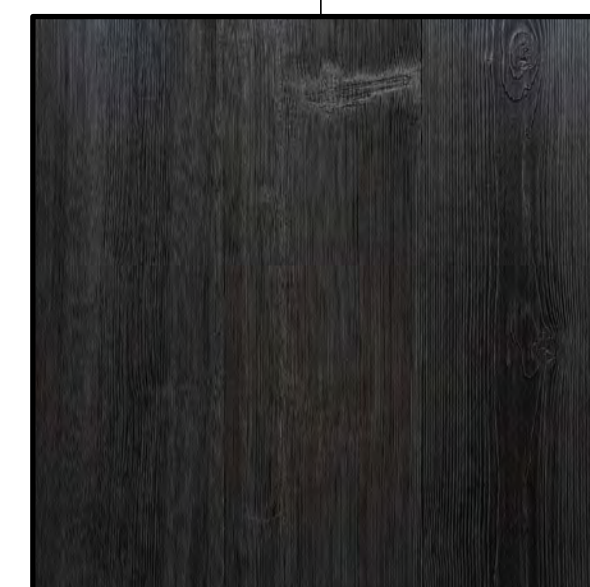
CMS: CORRUGATED METAL SIDING AT BASE OF EAST & WEST ELEVATIONS, SEE A-311 FOR ADDITIONAL INFO



SV: STEEL QUARTZ ASHLAR QUARTZITE, NATURAL CLEFT FACE RANDOM SIZES SEE A-311 FOR ADDITIONAL INFO



BFC: BOARD FORM CONCRETE AT FOUNDATION AND RETAINING WALLS



BBS: HEWN BOARD & BATTEN WOOD SIDING, SEE A-311 FOR ADDITIONAL INFO.



HWS: MONTANA TIMBER HORIZONTAL WOOD SIDING AND WOOD BEAMS & POSTS, SEE A-311 FOR ADDITIONAL INFO.

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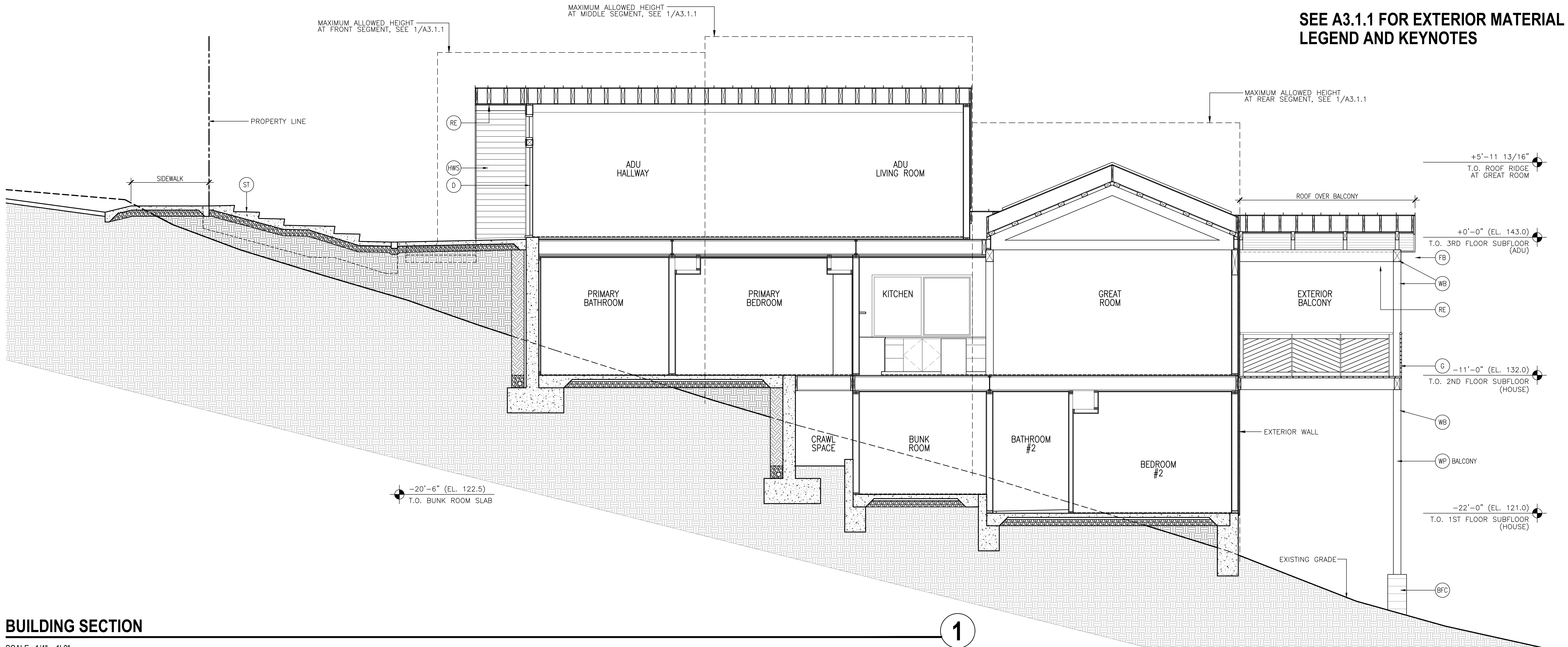
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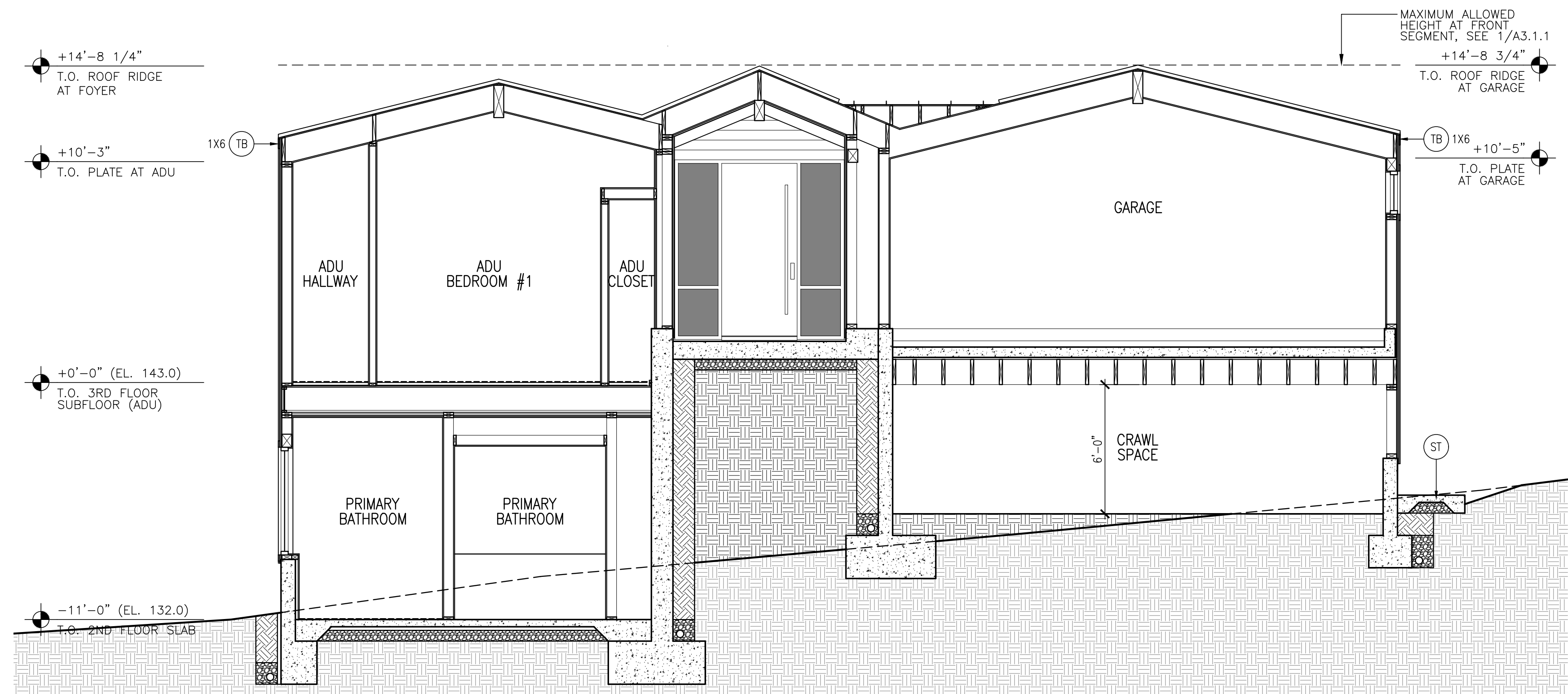
BUILDING SECTIONS

A-321



BUILDING SECTION

SCALE: 1/4" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"

2

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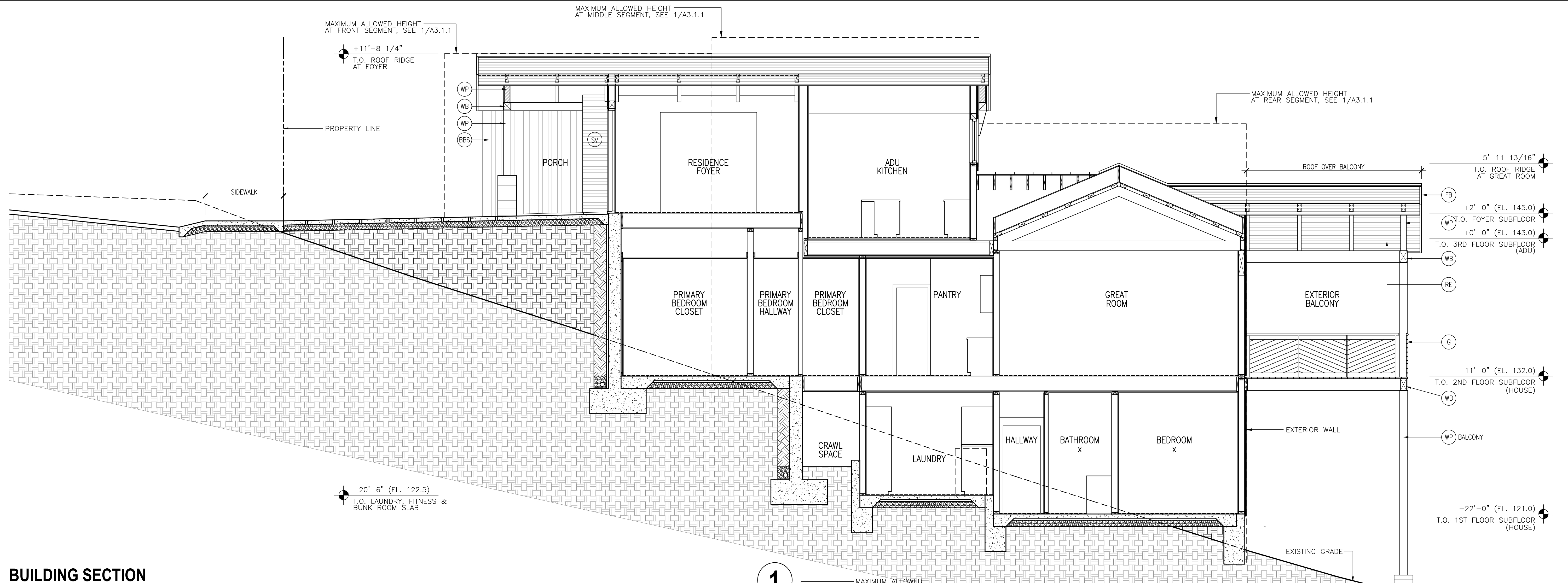
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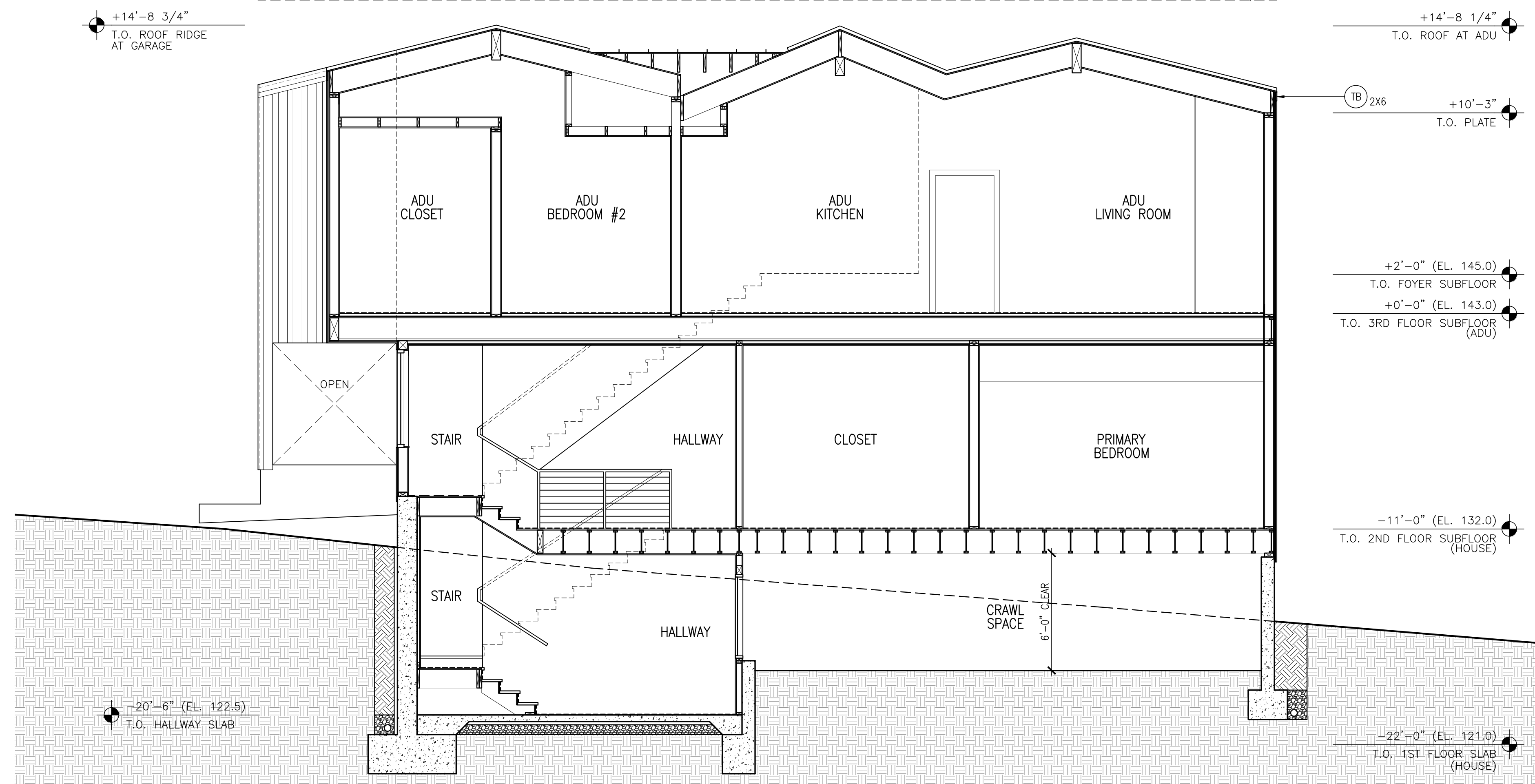
BUILDING SECTIONS

A-322



BUILDING SECTION

SCALE: 1/4" = 1'-0"



BUILDING SECTION

SCALE: 1/4" = 1'-0"

SEE A3.1.1 FOR EXTERIOR MATERIAL
LEGEND AND KEYNOTES

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DESIGN REVIEW APPLICATION	12.10.25

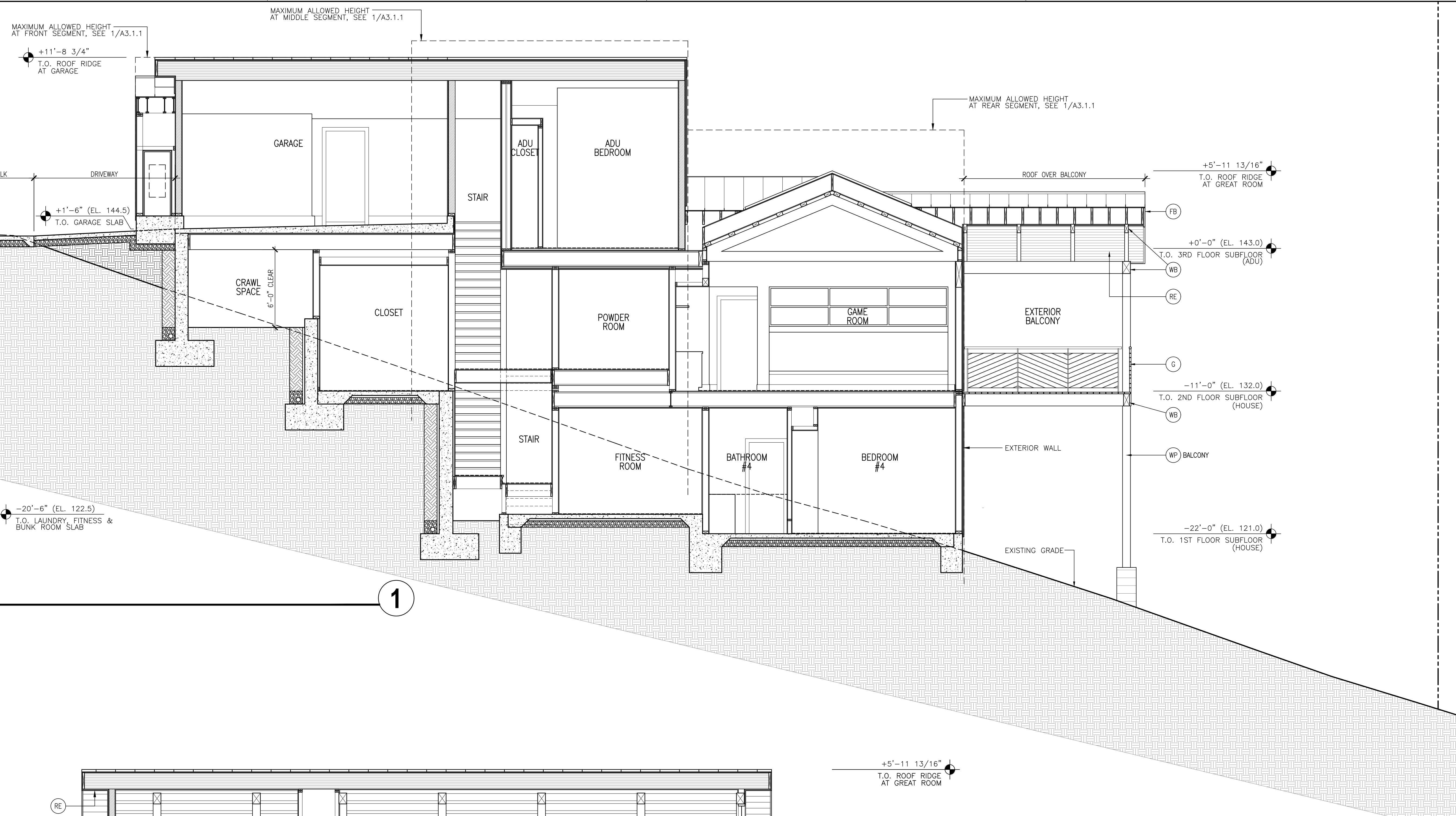
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BUILDING SECTIONS

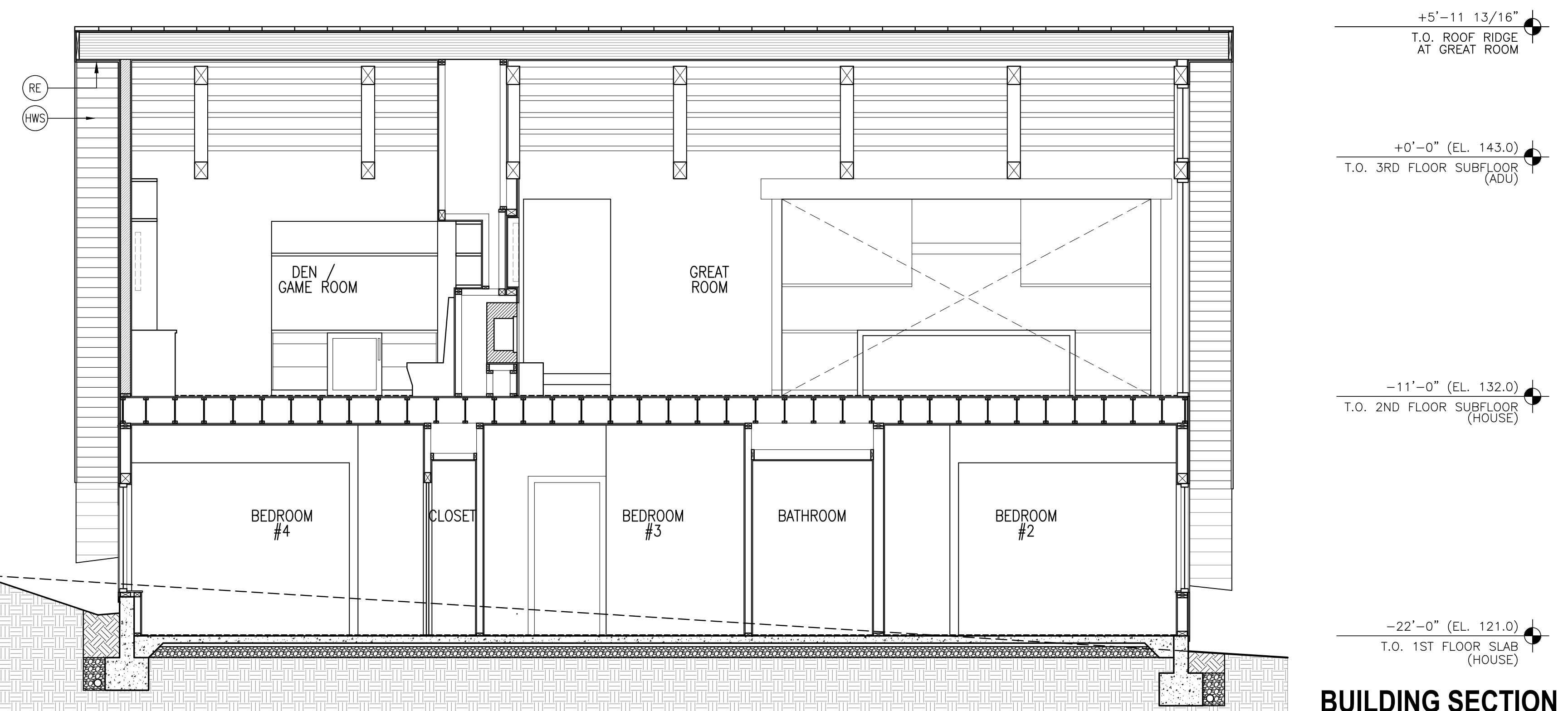
A-323



BUILDING SECTION

SCALE : 1/4" = 1'-0"

1



BUILDING SECTION

SCALE : 1/4" = 1'-0"

2

SEE A3.1.1 FOR EXTERIOR MATERIAL LEGEND AND KEYNOTES

**HIGH STREET
RESIDENCE & ADU**

10383 HIGH STREET
TRUCKEE, CA 96161
APN 019-080-015

Project Name & Address

PAUL & SOPHIA FERRO
Client

Issuance	Date
PRELIMINARY APPLICATION	11.25.24
DESIGN REVIEW APPLICATION	06.24.25
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**BUILDING
SECTIONS**

A-324



BUILDING SECTION

SCALE : 1/4" = 1'-0"

1

SEE A3.1.1 FOR EXTERIOR MATERIAL
LEGEND AND KEYNOTES

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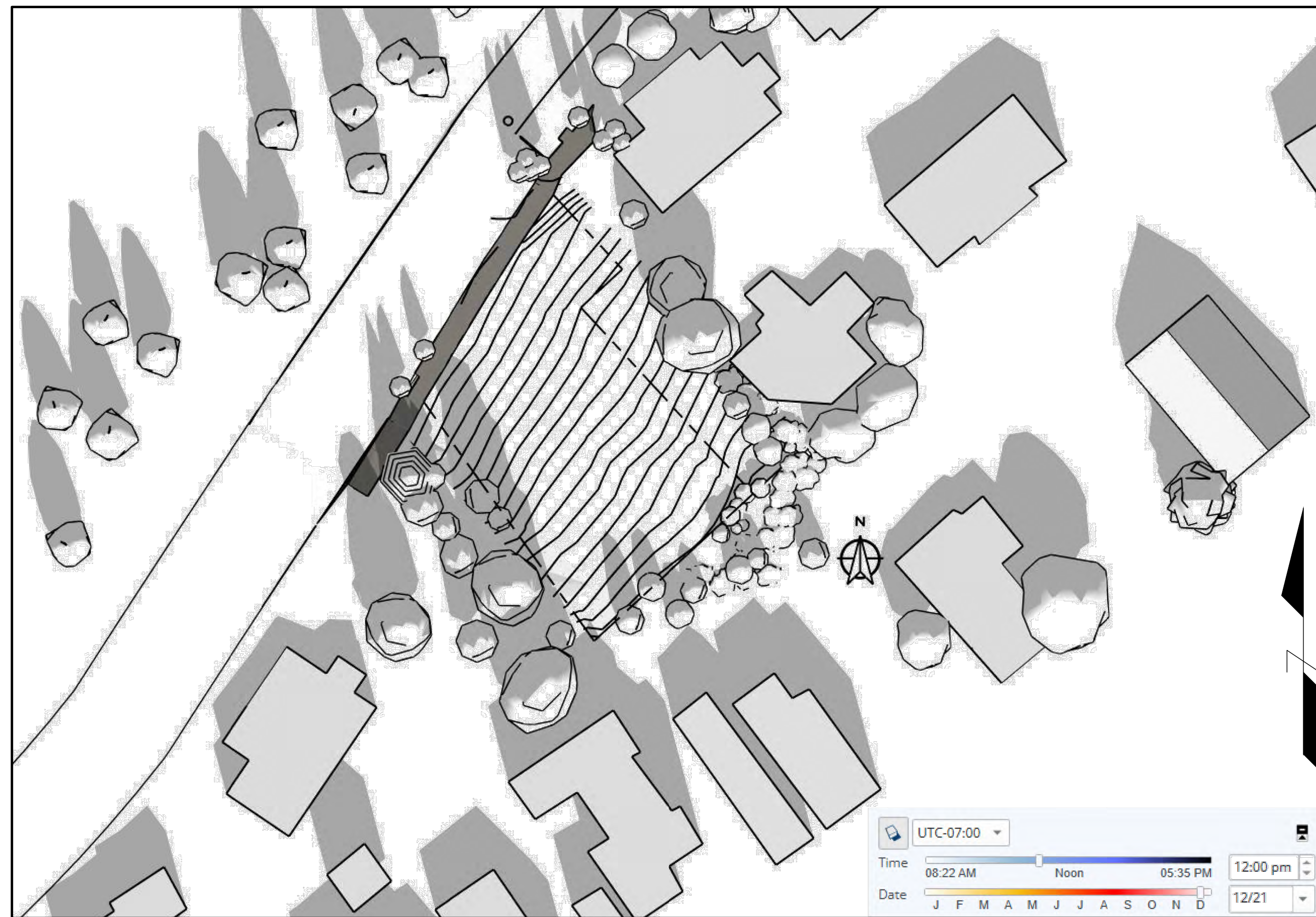
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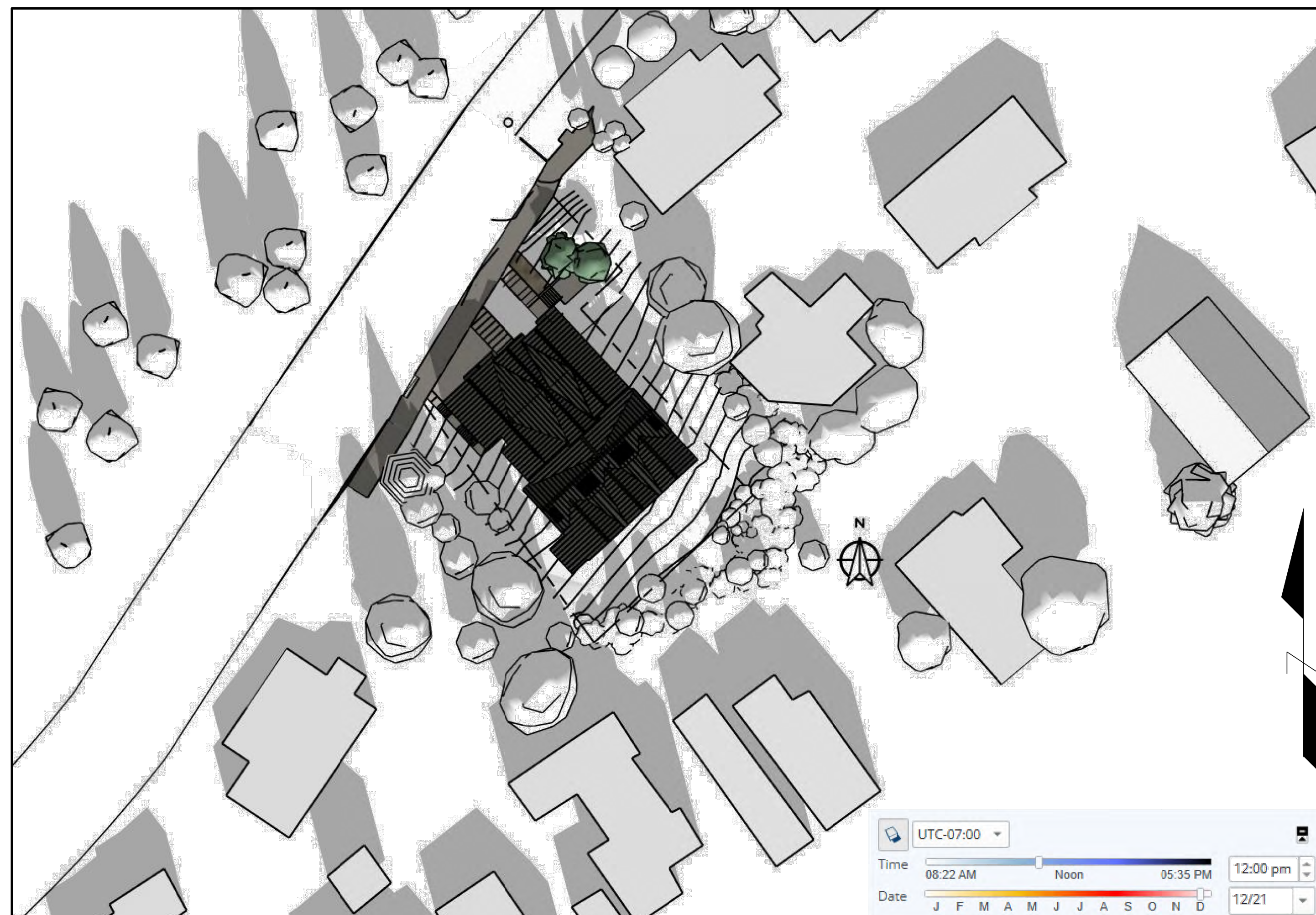
**SHADOW
STUDY**

A-401



EXISTING SHADOW STUDY - DECEMBER 21 AT NOON

1



PROPOSED SHADOW STUDY - DECEMBER 21 AT NOON

2

TREE PROTECTIO NOTES:

1. FENCING AT THE DRIPLINE OR AT THE LIMITS OF GRADING SHOULD BE LOCATED WITHIN THE DRIPLINE SHALL BE INSTALLED PRIOR TO THE START OF ANY GRADING OR CONSTRUCTION ACTIVITY. IF THE DRIPLINE FENCING IS DETERMINED TO UNREASONABLY OBSTRUCT CONSTRUCTION ACCESS OR OPERATIONS, THE REVIEW AUTHORITY MAY ALLOW MODIFICATIONS TO THIS REQUIREMENT, INCLUDING TEMPORARY CONSTRUCTION PAVING WITHIN A TREE'S DRIPLINE.
2. NO GRADE CUTS SHALL OCCUR WITHIN SIX FEET OF THE TRUNK OF A TREE TO BE RETAINED AND NOT GRADE CUTS SHALL OCCUR WITHIN THE DRIPLINE OF SUCH TREE, EXCEPT THAT WHEN RECOMMENDED BY A CERTIFIED ARBORIST OR REGISTERED PROFESSIONAL FORESTER, GRADE CUTS NOT TO EXCEED A MAXIMUM OF ONE FOOT IN DEPTH MAY BE PERMITTED WHEN NOT CLOSER THAN SIX FEET OF THE TRUNK AND NOT EXCEEDING ONE-THIRD OF THE AREA OF THE DRIPLINE OF THE TREE; PROVIDED, HOWEVER, THAT HIGHER STANDARDS MAY BE APPLIED BY THE REVIEW AUTHORITY.
3. NO FILL SHALL BE PLACED WITHIN SIX FEET OF THE TRUNK OF A TREE TO BE RETAINED AND NO FILL SHALL BE PLACED WITHIN THE DRIPLINE OF SUCH TREE, EXCEPT THAT WHEN RECOMMENDED BY A CERTIFIED ARBORIST OR REGISTERED PROFESSIONAL FORESTER, UP TO ONE-THIRD OF THE AREA OF THE DRIPLINE OF SUCH TREE MAY BE FILLED NOT EXCEEDING A MAXIMUM DEPTH OF ONE FOOT, WITH NO FILL PLACED WITHIN SIX FEET OF THE TRUNK; PROVIDED, HOWEVER, THAT HIGHER STANDARDS MAY BE APPLIED BY THE REVIEW AUTHORITY.
4. NO MECHANICAL TRENCHING SHALL BE ALLOWED WITHIN THE DRIPLINE OR A TREE TO BE RETAINED. IF IT IS NECESSARY TO INSTALL UNDERGROUND UTILITIES WITHIN THE DRIPLINE OF A TREE, THE TRENCH SHALL BE HAND DUG IN THE VICINITY OF MAJOR TREE TO PREVENT ROOT CUTTING AND MANGLING WHICH MAY BE CAUSED BY HEAVY EQUIPMENT.
5. SUPPORT ROOTS THAT ARE INSIDE THE DRIPLINE OF THE TREE SHALL BE PROTECTED.
6. CROSS-SECTION DRAWINGS OF PROPOSED GRADING MAY BE REQUIRED WHERE TREES ARE LOCATED ADJACENT TO ROADWAYS, NEW SLOPE OR CRITICAL AREAS.
7. DRAINAGE CHANGES SHALL BE MINIMIZED WITHIN DRIPLINES OF TREES TO BE RETAINED.
8. NO IRRIGATION SYSTEM SHALL BE INSTALLED WITHIN THE DRIPLINE OF A TREE WHICH MAY BE DETRIMENTAL TO THE PRESERVATION OF THE TREE UNLESS SPECIFICALLY AUTHORIZED BY THE REVIEW AUTHORITY OR THE TOWN PLANNER.
9. PAVING WITHIN THE DRIPLINE OF A TREE TO BE RETAINED SHOULD BE STRINGENTLY MINIMIZED, WITH NO PAVING WITHIN SIX FEET OF THE TRUNK. WHEN PAVING IS NECESSARY WITHIN THE DRIPLINE, POROUS MATERIAL SHOULD BE USED, AND NOT COVER MORE THAN ONE-THIRD OF THE AREA OF THE DRIPLINE.
10. FENCING, A MINIMUM OF THREE FEET TALL WITH POSTS PLACED NO FURTHER THAN 10 FEET APART, SHALL BE INSTALLED AT THE EDGE OF THE TREE DRIPLINE (OR WIDER IF NECESSARY FOR DISTINCTIVE TREES) AND AT THE BOUNDARY OF ANY OPEN SPACE TRACTS, RIPARIAN AREAS OR CONSERVATION EASEMENTS THAT ABUT THE PARCEL BEING DEVELOPED.
11. THE FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
12. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE DRIPLINES, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, EQUIPMENT OR PARKED VEHICLES.

13. THE TREE DRIPLINES SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUN-OFF.
14. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING, OR OTHER ACTIVITY SHALL OCCUR WITHIN THE DRIPLINE UNLESS APPROVED BY THE REVIEW AUTHORITY OR TOWN PLANNER.
15. CONSTRUCTION ACTIVITY SHALL BE PROCEED, EXCEPT INSTALLATION OF EROSION CONTROL MEASURES, UNTIL THE TOWN HAS INSPECTED AND APPROVED THE INSTALLATION OF THE REQUIRED TREE PROTECTION MEASURES AND A BUILDING AND/OR GRADING PERMIT HAS BEEN ISSUED BY THE TOWN.

PLANTING NOTES:

1. PLANT QUANTITIES PROVIDED ON PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR, CONTRACTOR TO VERIFY ALL QUANTITIES.
2. THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THE WORK PROGRESSES.
3. LOCATION OF PLANTS ON PLANS IS DIAGRAMMATIC. CONTRACTOR SHALL REVIEW FINAL PLANT MATERIAL LOCATIONS PRIOR TO PLANTING WITH OWNER / LANDSCAPE ARCHITECT
4. SHRUB/GROUNDCOVER PLANTING AREAS SHALL RECEIVE 3 TO 4 INCHES OF GROUND WOOD MULCH. IN SAGEBRUSH AREAS, USE 1 TO 2 INCHES OF NATIVE GRAVEL MULCH. MULCHED AREAS SHALL BE TOP DRESSED WITH A THIN LAYER OF PINE NEEDLES.
5. AT ALL PLANTING, MIX COMPOSTED SOIL AMENDMENT AND ORGANIC FERTILIZER INTO THE WIDE PLANTING HOLE SURROUNDING THE ROOTBALL - LESS FOR DRYLAND SPECIES AND MORE FOR WOODLAND PLANTS. ALL PLANTING AREAS TO BE TILLED WITH AMENDED SOIL PER SPECIFICATIONS, SOIL PLANS AND AGRONOMIC SOILS REPORT.
6. SEE PLANTING DETAILS AND SPECIFICATIONS FOR PLANTING AND MAINTENANCE INSTRUCTIONS.
7. ALL LANDSCAPE PLANTING AND MAINTENANCE SHALL CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
8. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO COMMENCING LANDSCAPE PLANTING WORK. WHERE IN-THE-FIELD CONFLICTS ARISE BETWEEN PLANT AND UTILITY LOCATIONS, THE CONTRACTOR SHALL MAKE THE NECESSARY ADJUSTMENTS TO PLANT PLACEMENT WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, IN ORDER TO ACHIEVE OPTIMUM DESIGN INTENT.
9. PROTECT EXISTING PLANTS TO REMAIN AS DOCUMENTED IN PLANS. AVOID UNNECESSARY ROOT DISTURBANCE, COMPACTION OF SOILS WITHIN DRIP LINE, OR LIMB BREAKAGE. DO NOT STORE MATERIAL OR DISPOSE OF ANY MATERIAL OTHER THAN CLEAN WATER WITHIN DRIP LINE. PROVIDE ADEQUATE IRRIGATION DURING CONSTRUCTION. REPLACE ANY TREE OR SHRUB DAMAGED DURING CONSTRUCTION WITH PLANTS OF EQUAL SIZE AND VALUE AT NO ADDITIONAL COST.
10. IN ALL AREAS WHERE ASPHALT OR CONCRETE PAVING IS TO BE REMOVED AND REPLACED WITH PLANTING, REMOVE ALL EXISTING AGGREGATE BASE, GRAVEL, ETC. LEAVE ONLY NATIVE SOIL OR EXISTING CLEAN FILL. PLANTING AREA TO AMENDED AND COMPACTED PER PLANS AND SPECIFICATIONS.
11. FINE GRADING IN ALL PLANTING AREAS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS, COORDINATE FINISH GRADE TO ALLOW FOR SPECIFIED DEPTH OF MULCH.
12. PLANTS TO BE NURSERY GROWN, OF THE FINEST QUALITY AND FREE OF DISEASE OR DAMAGE AND INSPECTED/APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
13. ALL TREES TO BE CENTERED IN TREE PITS UNLESS OTHERWISE NOTED.

SITE PLAN KEYNOTES

NOTE: INFORMATION CONTAINED IN DETAIL DRAWINGS SUPERCEDES DESCRIPTION BELOW

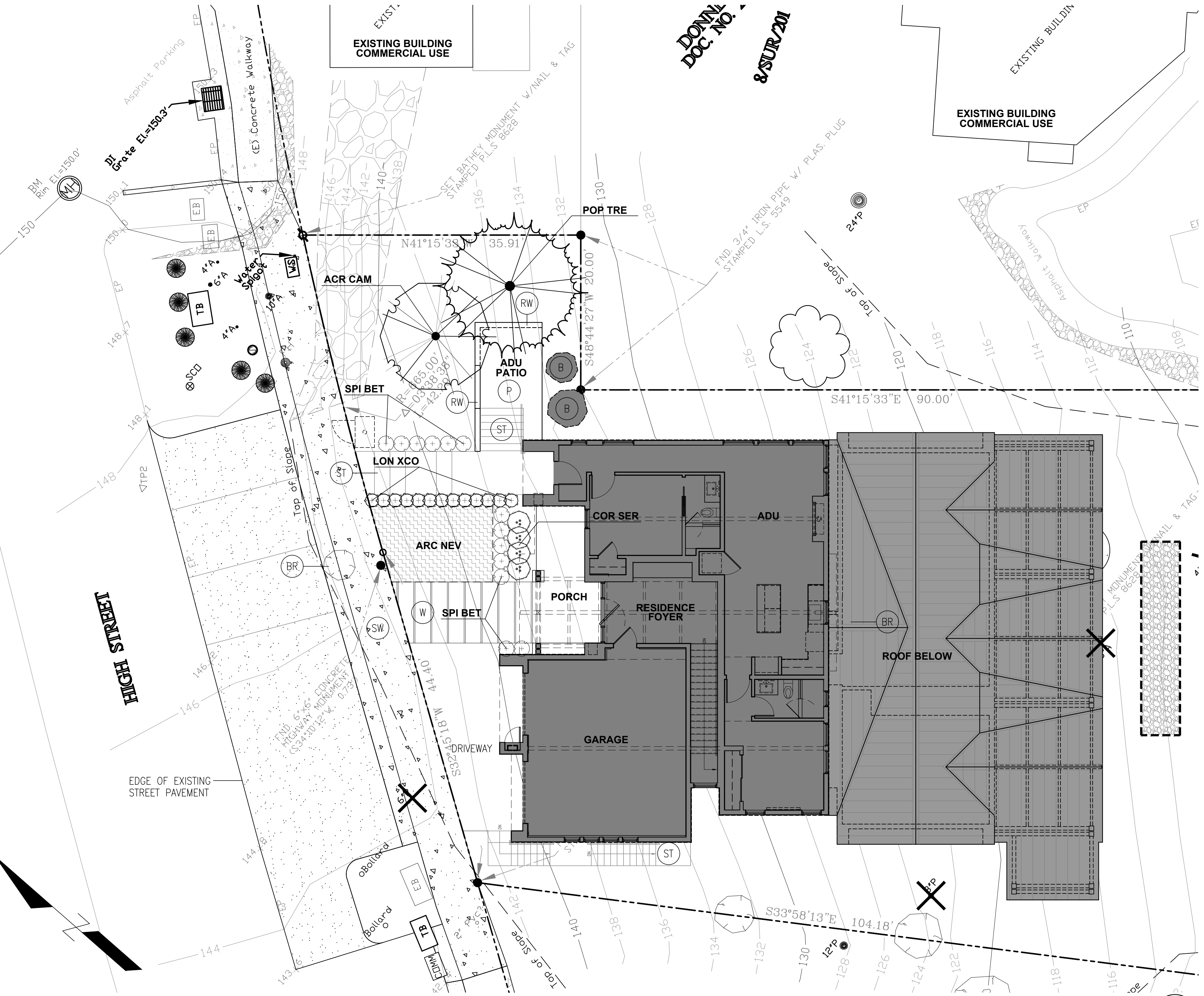
SYMBOL	DESCRIPTION
(B)	EXISTING BOULDERS FOUND ON SITE TO BE RELOCATED TO THIS LOCATION. CONTRACTOR TO GATHER AND SAVE EXISTING BOULDERS AND COORDINATE WITH OWNER ON FINAL PLACEMENT IN NEW LOCATIONS. SEE GENERAL LANDSCAPE NOTE 10.
(BR)	EXISTING BOULDER TO BE RELOCATED ON SITE. SEE KEYNOTE B AND GENERAL LANDSCAPE NOTE 10.
(P)	PATIO, SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFO
(PB)	PLANTER BOX
(PT)	PROTECTED TREE, SEE PROTECTION TREE NOTES
(RW)	SITE WALL, SEE ARCHITECTURAL SITE PLAN AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFO.
(SW)	NEW SIDEWALK, SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFO
(ST)	STAIR, SEE ARCHITECTURAL SITE PLAN AND FLOOR PLANS FOR ADDITIONAL INFO
(W)	NEW WALKWAY, SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFO
(X)	TREE TO BE REMOVED, TYP. CONTRACTOR TO PROTECT ALL REMAINING TREES ON SITE. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION ABOUT TREE PROTECTION.

GENERAL LANDSCAPE & IRRIGATION NOTES:

1. THIN ALL DEAD AND DAMAGED NATIVE VEGETATION. ENSURE ALL NATIVE VEGETATION IS THINNED TO PROVIDE AN ADEQUATE WILDFIRE BUFFER / DEFENSIBLE SPACE.
2. ALL PLANTING AREAS AND TREES SHALL BE IRRIGATED. ALL IRRIGATION TO CONFIRM TO APPLICABLE STATE AND LOCAL CODES.
3. IRRIGATION COMPONENTS TO BE COMMERCIAL GRADE AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
4. IRRIGATION SYSTEM TO BE A LOW FLOW DRIP SYSTEM FOR WATER CONSERVATION. EMITTER FLOW TO BE PLANT SPECIFIC AS REQUIRED BY SITE LOCATION AND SPECIES WATER REQUIREMENTS.
5. PROVIDE MINIMUM SIX STATION COMMERCIAL WEATHER RESISTANT IRRIGATION CONTROLLER.
6. INSTALL FUNCTIONING IRRIGATION SYSTEM PRIOR TO INSTALLING PLANTS. PLANT LOCATIONS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT. EQUIPMENT CONFLICTING WITH PLANT LOCATIONS SHALL BE ADJUSTED.
7. ALL AREAS DISTURBED SHALL BE RE-VEGETATED WITH NATIVE SEED MIXTURE AND ALL AREAS OF EXPOSED SOIL SHALL BE STABILIZED WITH PINE STRAW.
8. ALL AREAS TO BE LANDSCAPED SHALL BE PROTECTED WITH CONSTRUCTION FENCING AND EROSION CONTROL.
9. PLANTING AND IRRIGATION MODIFICATIONS SHALL BE HAND TRENCHED / DUG IF WITHIN TREE DRIPLINES.
10. LANDSCAPE BOULDERS SHALL BE BURIED TO A MINIMUM OF 1/3 TOTAL HEIGHT OF BOULDER.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	POP TRE	1	POPULUS TREMULOIDES	QUAKING ASPEN	24"	
	ACR CAM	1	ACER CAMPESTRE	HEDGE MAPLE	24"	
SHRUBS						
	COR SER	4	CORNUS SERICEA	RED TWIG DOGWOOD	15 GAL.	
	LON XCO	13	LONICERA X CONJUGIALIS 'PURPLEFLOWER'	PURPLEFLOWER HONEYSUCKLE	5 GAL.	
	SPI BET	13	SPIRAEA BETULIFOLIA	WHITE SPIREA	5 GAL.	
SHRUB AREAS						
	ARC NEV		ARCTOSTAPHYLOS NEVADENSIS	PINE MAT MANZANITA	10 GAL.	24" o.c.



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

1



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LANDSCAPE PLAN

L-100