

PLANNING COMMISSION RESOLUTION 2021-10

EXHIBIT A

**A RESOLUTION OF THE TOWN OF TRUCKEE PLANNING COMMISSION
APPROVING APPLICATION 2020-00000135/DP-MUP-PD-TM-AMD
(ESTATES MEADOWS PROJECT)**

PLANS, INCLUDING TENTATIVE MAP



LEGAL DESCRIPTION

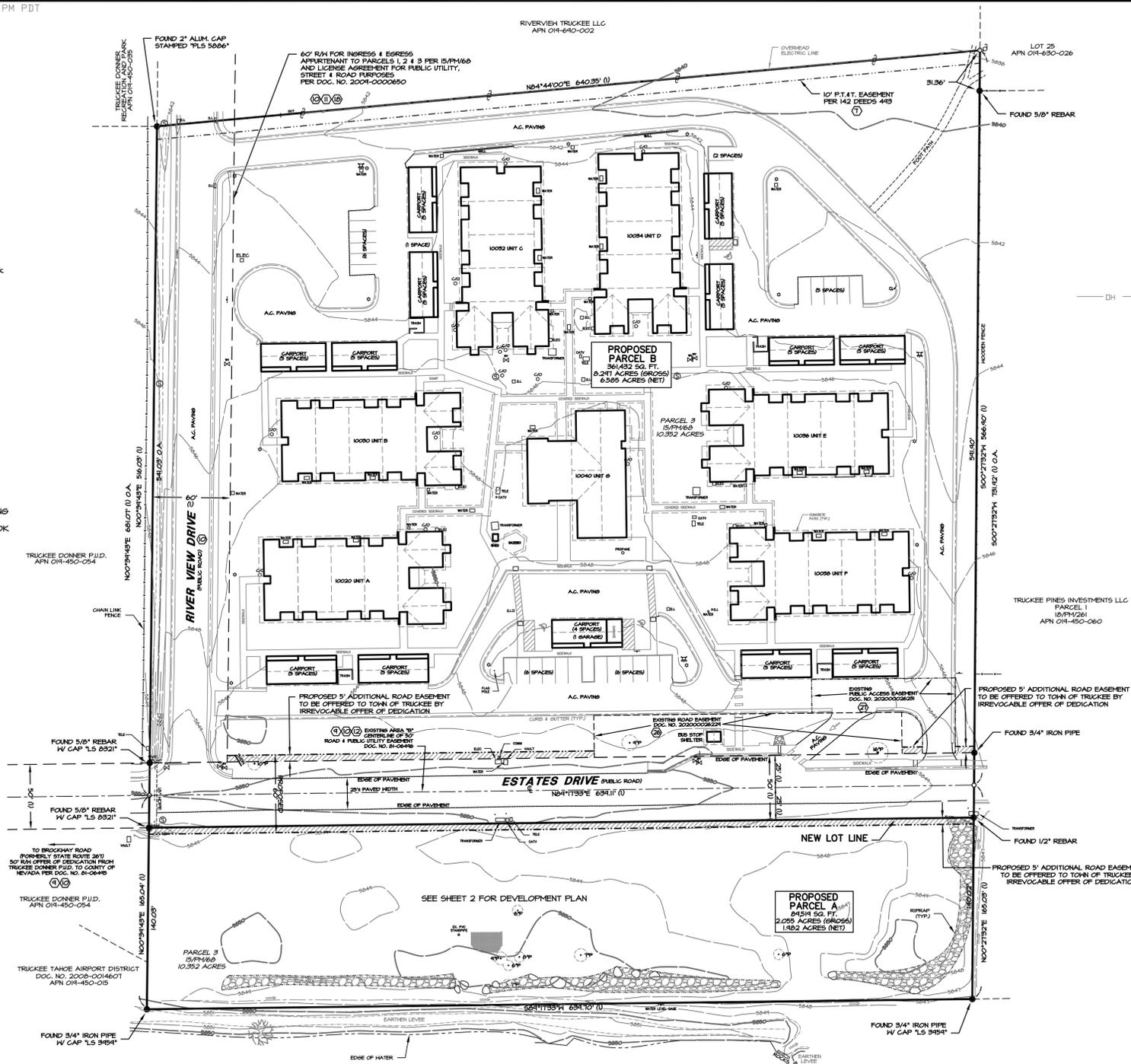
The land described herein is situated in the State of California, County of Nevada, Town of Truckee, described as follows:
 Parcel 3, as shown on that certain parcel Map #80-41, for Frank Aiello, filed in the office of the County Recorder of the County of Nevada, State of California, on March 17, 1981, in Book 15 of Parcel Maps, Page 68, Nevada County Records.

EXISTING PARKING TABLE

CARPORIT PARKING	64 SPACES
SURFACE PARKING	26 SPACES
GARAGE PARKING	1 SPACES
ACCESSIBLE PARKING	3 SPACES
TOTAL PARKING	94 SPACES

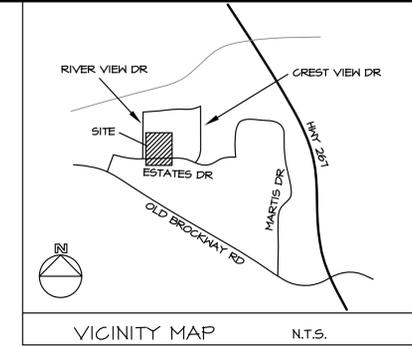
BASIS OF BEARINGS

THE MERIDIAN OF THIS SURVEY IS IDENTICAL TO THAT CERTAIN PARCEL MAP #80-41, NEVADA COUNTY, CALIFORNIA, ACCORDING TO THE MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF NEVADA COUNTY, STATE OF CALIFORNIA IN BOOK 15 OF PARCEL MAPS, PAGE 68, N.C.R.



LEGEND

- FOUND MONUMENT AS NOTED
- NOTHING FOUND OR SET
- ⊙ SEWER MANHOLE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ LIGHT
- ⊕ SIGN
- UTILITY AS NOTED
- ⊕ SEWER CLEANOUT
- ⊕ DRAIN INLET
- OVERHEAD ELECTRIC LINE
- (1) RECORD INFORMATION PER RECORDED PARCEL MAP, 15/PM/68



SERVICE PROVIDERS

- TELEPHONE: AT&T
5250 S. VIRGINIA AVE., STE. 204
RENO, NV 89502
(775) 683-5282
- SCHOOL DISTRICT: TAHOE-TRUCKEE UNIFIED SCHOOL DIST.
POST OFFICE BOX 458
TRUCKEE, CA 96160
(530) 581-3561
- FIRE PROTECTION: TRUCKEE FIRE PROTECTION DIST.
P.O. BOX 686
TRUCKEE, CA 96160
(530) 582-1850
- SOLID WASTE: TAHOE TRUCKEE SIERRA DISPOSAL
P.O. BOX 135
TAHOE CITY, CA 96145
(530) 583-0148
- GAS: SOUTHWEST GAS CORPORATION
10682 PIONEER TRAIL
TRUCKEE, CA 96161
(530) 582-1200
- SEWER: TRUCKEE SANITARY DISTRICT
12304 JOERGER DRIVE
TRUCKEE, CA 96161
(530) 581-3804
- WATER/ELECTRICITY: TRUCKEE DONNER PUBLIC UTILITY DIST.
P.O. BOX 304
TRUCKEE, CA 96160
(530) 582-3464
- CABLE TV: SUDDEN LINK COMMUNICATIONS
10607 N RIVER ST.
TRUCKEE, CA 96161
(530) 550-3400

EXISTING LAND USE INFORMATION

APN 019-450-047
 ADDRESSES: 10020, 10030, 10032, 10034, 10036, 10038 & 10040 ESTATES DR.
 TOTAL PROJECT AREA: 10.352 AC. GROSS
 1.676 AC. (LESS EXISTING ROAD & ACCESS EASEMENTS)
 8.676 AC. NET
 EXISTING USE: 60 UNITS (MULTI-FAMILY HOUSING)
 EXISTING DENSITY: 6.92 UNITS/ACRE
 ALLOWABLE DENSITY: 15 UNITS/ACRE

PROPOSED PARCEL A

DEVELOPMENT PARCEL - SEE SHEET 2 FOR DEVELOPMENT PLAN
 TOTAL PROJECT AREA: 2.055 AC. GROSS
 0.013 AC. (LESS 5' PROPOSED ROAD EASEMENT)
 1.982 AC. NET
 PROPOSED USE: 30 UNITS (MULTI-FAMILY HOUSING)
 PROPOSED DENSITY: 15.14 UNITS/ACRE
 ALLOWABLE DENSITY: 15 UNITS/ACRE

PROPOSED PARCEL B

EXISTING HOUSING - NO NEW DEVELOPMENT PROPOSED
 TOTAL PROJECT AREA: 8.247 AC. GROSS
 1.712 AC. (LESS EXISTING ROAD & ACCESS EASEMENTS AND 5' PROPOSED ROAD EASEMENTS)
 6.585 AC. NET
 PROPOSED USE: 60 UNITS (MULTI-FAMILY HOUSING)
 PROPOSED DENSITY: 9.11 UNITS/ACRE
 ALLOWABLE DENSITY: 15 UNITS/ACRE

DEVELOPMENT INFORMATION

OWNER/APPLICANT
 OREGON INVESTORS X LIMITED PARTNERSHIP,
 CASCADE HOUSING ASSOCIATION
 P.O. BOX 182
 SPRINGFIELD, OREGON 97471
 ATTN: CHRISTY ISHAM
 (541) 726-6187

LAND SURVEYOR
 ARNETT & ASSOCIATES, INC.
 KENNETH R. ARNETT, P.L.S.
 120 COUNTRY CLUB DR., SUITE #13
 INCLINE VILLAGE, NEVADA 89451
 (775) 831-8618

ENGINEER/ARCHITECT
 JK ARCHITECTURE & ENGINEERING
 CARLA SAMMIS, P.E.
 DAVID BOURKE, AIA
 P.O. BOX 1404
 TAHOE CITY, CALIFORNIA 96145
 (530) 583-9222

SURVEYOR'S STATEMENT

THIS MAP ACCURATELY CONFORMS TO THE MAP ACT REQUIREMENTS FOR TENTATIVE MAPS.

KENNETH R. ARNETT, PLS 5851 _____ DATE _____



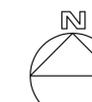
- NOTES:**
- THIS MAP IS BEING SUBMITTED AS A TENTATIVE MAP PURSUANT TO SECTIONS 66410 THROUGH 66419.59 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA, AS PREVIOUSLY APPROVED BY THE TOWN OF TRUCKEE, FILE NO. _____ TM.
 - BOUNDARY INFORMATION SHOWN PREPARED BY ARNETT & ASSOCIATES, INC. AND IS TAKEN FROM RECORD DATA.
 - TOPOGRAPHIC INFORMATION SHOWN PREPARED BY ARNETT & ASSOCIATES, INC. ELEVATIONS ARE ACCURATE TO ONE-HALF CONTOUR INTERVAL.
 - SEE ARCHITECTURAL AND CIVIL IMPROVEMENT PLANS FOR DETAILED DESIGN INFORMATION, GRADING, DRAINAGE, UTILITIES AND COVERAGE CALCULATIONS RELATING TO PARCEL A DEVELOPMENT.

REVISIONS	BY
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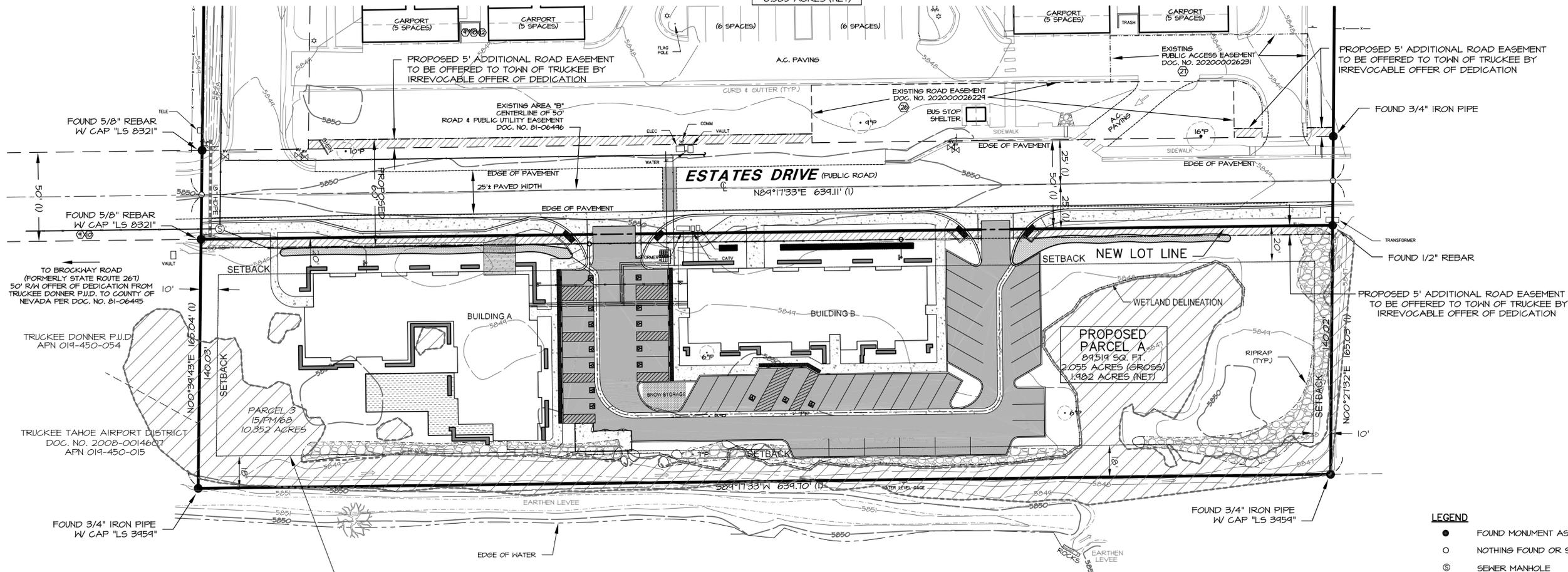
TENTATIVE PARCEL MAP
ESTATES MEADOW HOUSING
 PARCEL 3 PER PARCEL MAP #80-41, 15/PM/68
 TOWN OF TRUCKEE NEVADA COUNTY CALIFORNIA
 ADDRESSES: 10020, 10030, 10032, 10034, 10036, 10038 & 10040 ESTATES DR.

ARNETT & ASSOCIATES, INC.
 LAND SURVEYORS & PLANNERS
 923 INCLINE WAY, SUITE 4, INCLINE VILLAGE, NEVADA 89451
 TRUCKEE (530) 581-3806
 SOUTH TAHOE (775) 831-8618

DATE	5/11/22
SCALE	1" = 50'
DRAWN	JDT
JOB	19-01-04
FILE	TMDW6
SHEET	1



PROPOSED PARCEL B
 361,432 SQ. FT.
 8.241 ACRES (GROSS)
 6.585 ACRES (NET)



PROPOSED DEVELOPMENT SUMMARY

LOT AREA:	89,519 SF
5' ROADWAY EASEMENT:	3,196 SF
NET BUILDABLE AREA:	86,323 SF

COVERAGE ANALYSIS - WITHIN NET LOT AREA:	
BUILDING FOOTPRINT:	13,028 SF
DRIVEWAYS & PARKING:	18,268 SF
WALKWAYS & PATIO:	4,730 SF
TOTAL:	36,026 SF
ALLOWABLE COVERAGE (50%):	43,162 SF

COVERAGE ANALYSIS - WITHIN 5' ROADWAY EASEMENT:	
DRIVEWAYS & ROAD:	378 SF
WALKWAYS:	889 SF
TOTAL:	1,340 SF

PROPOSED BUILDING A:	
FOOT PRINT:	27,469 SF
GROSS FLOOR AREA:	24,552 SF
NUMBER OF UNITS:	16 - UNITS

PROPOSED BUILDING B:	
FOOT PRINT:	25,559 SF
GROSS FLOOR AREA:	210,880 SF
NUMBER OF UNITS:	14 - UNITS

TOTAL PROPOSED:	
NUMBER OF UNITS:	30 - UNITS

PARKING ANALYSIS:
 TOWN OF TRUCKEE DEVELOPMENT CODE 18.48.040

1.5 SPACES PER 1 BEDROOM UNITS	
GUEST PARKING 25%:	30 UNITS X 1.5 = 45 SPACES
ACCESSIBLE SPACES: 1 PER REQUIRED ACCESSIBLE UNIT:	0.25 X 45 SPACES = 11.25 SPACES
TOTAL REQUIRED PARKING:	TOTAL = 56 SPACES

TOTAL PROPOSED PARKING:	46 SPACES
ACCESSIBLE SPACES:	15 SPACES (INCLUDED IN 46 TOTAL)
REQUIRED BIKE PARKING:	3 SPACES
PROPOSED BIKE PARKING:	30 SPACES (INSIDE STORAGE SPACE IN BUILDING A)

SNOW STORAGE ANALYSIS:	
PARKING AREA:	17,817 SF
REQUIRED (50%):	8,909 SF
PROPOSED:	8,909 SF (50%)

(SEE SNOW STORAGE EXHIBIT)

TRUCKEE TAHOE AIRPORT DISTRICT
 APN 019-450-015

NOTE:
 SEE ARCHITECTURAL AND CIVIL IMPROVEMENT PLANS FOR DETAILED DESIGN INFORMATION, GRADING, DRAINAGE, UTILITIES AND COVERAGE CALCULATIONS RELATING TO PARCEL A DEVELOPMENT.

LEGEND

- FOUND MONUMENT AS NOTED
- NOTHING FOUND OR SET
- ⊙ SEWER MANHOLE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ LIGHT
- ⊕ SIGN
- ⊕ UTILITY AS NOTED
- ⊕ SEWER CLEANOUT
- ⊕ DRAIN INLET
- OH — OVERHEAD ELECTRIC LINE
- (1) RECORD INFORMATION PER RECORDED PARCEL MAP, 15/PM/68

RECORD DOCUMENTS:

THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION FURNISHED IN A PRELIMINARY TITLE REPORT BY PLACER TITLE COMPANY, ORDER NO. P-312135, DATED 10/9/2020.

THE FOLLOWING DOCUMENTS AFFECT THE PARCEL:

5. Rights of the public and of the Town of Truckee, as to that portion of the herein described property lying within Estates Drive, a public road.
6. An easement over said land for the right to flow and take water, repair and re-lay a pipeline and incidental purposes, as reserved by Jane Finnigan, et al. in deed recorded December 2, 1920, Book 151, Page 162, Official Records. NOT LOCATABLE FOR RECORD.
7. An easement over said land for a pole line and incidental purposes, as granted to Pacific Telephone and Telegraph Company, in deed recorded May 23, 1921, Book 142, Page 448, Beede. Affects: A Northern portion. No representation is made as to the current ownership of said easement. SHOWN HEREIN
8. Covenants, conditions and restrictions as contained in the deed from James C. McKinley, et al., recorded October 6, 1960, Book 286, Page 409, Official Records. SEE DOCUMENT FOR PARTICULARS
9. An "Irrevocable Offer to Dedicate" affecting a portion of said land for road purposes, public utility easement and incidental purposes, in favor of Town of Truckee, in a document recorded March 17, 1981, Instrument No. 81-6446, Official Records. Acceptance of Offer of Dedication recorded February 14, 2010, Instrument No. 2010-2950, Official Records. SHOWN HEREIN
10. Easements, dedications and/or notes as shown on the Parcel Map filed March 17, 1981, in Book 15 of Parcel Maps, at Page 68 which include:
 - A. Purpose: Road and Public Utility Easement. Affects: A strip of land 50 feet in width traversing a southerly portion. SHOWN HEREIN
 - B. Purpose: Ingress and Egress. Affects: A portion of the Heisterly 60 feet. SHOWN HEREIN
11. An easement over said land for ingress, egress and incidental purposes, as granted to Truckee Donner Public Utility District in deed recorded March 30, 1981, Instrument No. 81-1678, Official Records. Affects: A portion of the Heisterly 60 feet. No representation is made as to the current ownership of said easement. Terms and conditions as contained therein. SHOWN HEREIN
12. An easement over said land for ingress, egress, public utility purposes and incidental purposes, as granted to Benjamin Miller, in deed recorded September 21, 1981, Instrument No. 81-22950, Official Records. Affects: A southerly portion 50 feet in width. No representation is made as to the current ownership of said easement. SAID EASEMENT IS DESIGNATED AS AREA "B" ON PARCEL MAP NO. 81-41, FILED IN BOOK 15 OF PARCEL MAPS, PAGE 68, OFFICIAL RECORDS. SHOWN HEREIN
13. Terms and conditions as shown in the instrument entitled "Order of Sale" recorded September 30, 1981, Instrument No. 81-32416, Official Records. SEE DOCUMENT FOR PARTICULARS
17. The terms, conditions, provisions and stipulations as contained in the agreement entitled "Regulatory Agreement" by and between California Tax Credit Allocation Committee, and Oregon Investors X Limited Partnership, an Oregon Limited Partnership, recorded June 20, 2000, Instrument No. 2000-18754, Official Records. SEE DOCUMENT FOR PARTICULARS

18. The terms, conditions, provisions and stipulations as contained in the agreement entitled "License Agreement for Public Utility and Road use on and across Real Property," by and between Oregon Investors X, SHOWN HEREIN
19. Terms and conditions as contained in the instrument entitled "Affordable Housing Covenant" recorded January 20, 2012, Instrument No. 2012-571, Official Records. SEE DOCUMENT FOR PARTICULARS
20. The terms, conditions, provisions and stipulations as contained in the agreement entitled "Loan Agreement Truckee Donner Senior Apartments" by and between Town of Truckee Redevelopment Agency and Oregon Investors X, an Oregon Limited Partnership, recorded January 17, 2012, Instrument No. 2012-572, Official Records. SEE DOCUMENT FOR PARTICULARS
21. Terms and conditions contained in the instrument entitled "Notice of Affordability Restrictions" on Transfer of Property recorded January 20, 2012, Instrument No. 2012-573, Official Records. SEE DOCUMENT FOR PARTICULARS
25. The terms, conditions, provisions and stipulations as contained in the agreement entitled "Town of Truckee Regulatory and Rent Limitation Agreement," by and between Oregon Investors X Limited Partnership, an Oregon Limited Partnership, and Town of Truckee, recorded January 20, 2012, Instrument No. 2012-576, Official Records. SEE DOCUMENT FOR PARTICULARS
26. An "Irrevocable Offer to Dedicate" affecting a portion of said land for road easement and incidental purposes, in favor of Town of Truckee, in a document recorded October 5, 2020, Instrument No. 2020-26224, Official Records. Acceptance of Offer of Dedication for public road easement recorded October 5, 2020, Instrument No. 2020-26230, Official Records.
27. An "Irrevocable Offer to Dedicate" affecting a portion of said land for public access easement and incidental purposes, in favor of Town of Truckee, in a document recorded October 5, 2020, Instrument No. 2020-26231, Official Records. Acceptance of Offer of Dedication for public access easement recorded October 5, 2020, Instrument No. 2020-26232, Official Records.

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE SURVEYOR, AND THE SAME MAY NOT BE DUPLICATED, MODIFIED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF ARNETT & ASSOCIATES.

REVISIONS	BY
3/10/21	
5/11/22	
REVISED PLAN PER KAE	
PARCEL A	

TENTATIVE PARCEL MAP
ESTATES MEADOW HOUSING
 PARCEL 3 PER PARCEL MAP #80-41, 15/PM/68
 TOWN OF TRUCKEE NEVADA COUNTY CALIFORNIA
 ADDRESSES: 10020, 10030, 10032, 10034, 10036, 10038 & 10040 ESTATES DR.

ARNETT & ASSOCIATES, INC.
 LAND SURVEYORS & PLANNERS
 923 INCLINE WAY, SUITE 4, INCLINE VILLAGE, NEVADA 89415
 NORTH TANGIE 17781 891-4618
 SOUTH TANGIE 18301 891-3006
 TRUCKEE 18301 891-6822

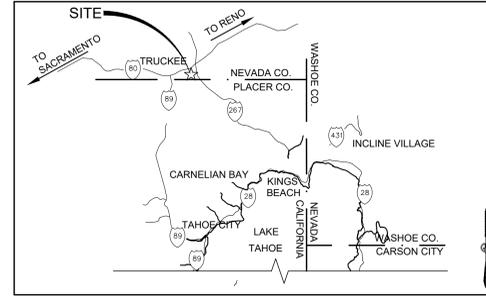
DATE	4/15/20
SCALE	1" = 30'
DRAWN	JDT
JOB	19-01-04
FILE	TMDNS
SHEET	2

PRELIMINARY DESIGN FOR ESTATES MEADOW HOUSING

OREGON INVESTORS X LIMITED PARTNERSHIP: CASCADE HOUSING ASSOCIATION
 10020 ESTATES DRIVE - TRUCKEE, CA 96161
 APN 019-450-047



LOCATION MAP



VICINITY MAP

SHEET INDEX

- C1.0 TITLE SHEET
- C2.0 EXISTING CONDITIONS & DEMO PLAN - WITH AERIAL OVERLAY
- C2.1 EXISTING CONDITIONS & DEMO PLAN - NO AERIAL PHOTO
- C3.0 OVERALL SITE - WITH AERIAL OVERLAY
- C3.1 PRELIMINARY SITE LAYOUT & UTILITIES
- C3.2 PRELIMINARY SITE LAYOUT & UTILITIES
- C4.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C4.1 PRELIMINARY GRADING & DRAINAGE PLAN
- C5.0 EROSION CONTROL & BMP PLAN

- A1.1 SOLAR EVALUATION
- A1.2 EXTERIOR LIGHTING PLAN
- AA2.1 PLANS BUILDING A
- AA2.2 ROOF PLAN BUILDING A
- AA3.1 EXTERIOR ELEVATIONS BUILDING A
- AB2.1 PLANS BUILDING B
- AB3.1 EXTERIOR ELEVATIONS BUILDING B

DEVELOPMENT INFORMATION:

OWNER/APPLICANT:	CASCADE HOUSING ASSOCIATION CONTACT: KRISTI ISHAM PO BOX 182 SPRINGFIELD, OR 97477 541.726.6187	WATER:	TRUCKEE DONNER PUD CONTACT: NEIL KAUFMAN 11570 DONNER PASS RD. P.O. BOX 309 TRUCKEE, CA 96160
ENGINEER:	JK ARCHITECTURE ENGINEERING CONTACT: CARLA SAMMIS POST OFFICE BOX 7409 TAHOE CITY, CA 96145 530.583.9222	ELEC.:	TRUCKEE DONNER PUD CONTACT: SANNA SCHLOSSER 11570 DONNER PASS RD. P.O. BOX 309 TRUCKEE, CA 96160
ARCHITECT:	JK ARCHITECTURE ENGINEERING CONTACT: DAVID BURKE POST OFFICE BOX 7409 TAHOE CITY, CA 96145 530.583.9222	FIRE DISTRICT:	TRUCKEE FIRE PROTECTION DISTRICT P.O. BOX 2768 TRUCKEE, CA 96161 PHONE: (530) 582-7855 KEVIN McKECHNIE DIVISION CHIEF/FIRE MARSHAL KEVINMCKECHNIE@TRUCKEEFIRE.ORG
LANDSCAPE ARCHITECT:	LJM DESIGN GROUP LANDSCAPE ARCHITECTURE AND PLANNING CONTACT: LAURA MELLO POST OFFICE BOX 507 TRUCKEE, CA 96160 530.587.6003	SEWER:	TRUCKEE SANITARY DISTRICT 12304 JOERGER DRIVE TRUCKEE, CA 96161-3312 PHONE: (530) 550-3135 FAX: (530) 587-4199 BLAKE TRESAN
SURVEYOR:	ARNETT & ASSOCIATES, INC. CONTACT: KEN@ARNETTCONSULTANTS.COM 120 COUNTRY CLUB DR. NO. 13 INCLINE VILLAGE, NV 89451 775.831.8618	TELEPHONE:	AT&T 11012 WEST RIVER ST. P.O. BOX 2896 TRUCKEE, CA 96160 PHONE: (530) 582-7943 FAX: (530) 587-6709 RICH VALDEZ
		CABLE TV:	SUDDENLINK COMMUNICATIONS 10807 W. RIVER STREET TRUCKEE, CA 96161 530.550.3900
		SCHOOL:	TRUCKEE-TAHOE UNIFIED SCHOOL DISTRICT CONTACT: MARK BUTTON 11839 DONNER PASS ROAD TRUCKEE, CA 96161 530.562.7900
		GAS:	SOUTHWEST GAS CORP. CONTACT: SHON NELSON 10682 PIONEER TRAIL TRUCKEE, CA 96161 PHONE: 775.887.2723

GENERAL NOTES

- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY ARNETT & ASSOCIATES, DATED 9/15/2020.

HORIZONTAL DATUM

TBD

VERTICAL DATUM

THE VERTICAL DATUM OF THE SURVEY IS NAVD 88. THE CONTOUR INTERVAL IS 1 FOOT. THE ACCURACY OF THE SURVEY IS ONE-HALF CONTOUR INTERVAL.

BENCHMARK

FOUND 3/4" REBAR W/ CAP "LS 8321" ELEV = 5848.5'

PROJECT INFORMATION:

PROJECT SUMMARY

APN(S): 019-450-047 (#9.62 ACRES)

EXISTING EASEMENTS:

SEE SHEET C2.0
SEE PARTIAL TOPOGRAPHIC SURVEY BY ARNETT, DATED 8/22/19

EXISTING ZONING:

RESIDENTIAL MULTI-FAMILY, RM-15 (15 DU/ACRE)

EXISTING LAND USE:

HIGH DENSITY RESIDENTIAL MULTI-FAMILY (6-12 DU/ACRE)

PROPOSED LAND USE:

TBD

SETBACKS:

FRONT: 15' SETBACK

SIDES: 10' SETBACK

REAR: 18' SETBACK

PROPOSED DEVELOPMENT SUMMARY

LOT AREA:	89,519 SF
5' ROADWAY EASEMENT:	3,196 SF
NET BUILDABLE AREA:	86,323 SF

COVERAGE ANALYSIS - WITHIN NET LOT AREA:

BUILDING FOOTPRINT:	13,028 SF
DRIVEWAYS & PARKING:	18,268 SF
WALKWAYS & PATIO:	4,730 SF

TOTAL: 36,026 SF

ALLOWABLE COVERAGE (50%): 43,162 SF

COVERAGE ANALYSIS - WITHIN 5' ROADWAY EASEMENT:

DRIVEWAYS & ROAD:	378 SF
WALKWAYS:	689 SF

TOTAL: 1,340 SF

PROPOSED BUILDING A:

FOOT PRINT:	17,469 SF
GROSS FLOOR AREA:	14,552 SF
NUMBER OF UNITS:	16 - UNITS

PROPOSED BUILDING B:

FOOT PRINT:	15,559 SF
GROSS FLOOR AREA:	10,880 SF
NUMBER OF UNITS:	14 - UNITS

TOTAL PROPOSED NUMBER OF UNITS: 30 - UNITS

PARKING ANALYSIS:

TOWN OF TRUCKEE DEVELOPMENT CODE 18.48.040

1.5 SPACES PER 1 BEDROOM UNITS

GUEST PARKING 25%

ACCESSIBLE SPACES: 1 PER REQUIRED ACCESSIBLE UNIT

TOTAL REQUIRED PARKING: 30 UNITS X 1.5 = 45 SPACES
 0.25 X 45 SPACES = 11.25 SPACES
 TOTAL = 56 SPACES

TOTAL PROPOSED PARKING: 46 SPACES
 ACCESSIBLE SPACES: 15 SPACES (INCLUDED IN 46 TOTAL)

REQUIRED BIKE PARKING: 3 SPACES

PROPOSED BIKE PARKING: 30 SPACES
 (INSIDE STORAGE SPACE IN BUILDING A)

SNOW STORAGE ANALYSIS:

PARKING AREA:	17,817 SF
REQUIRED (50%):	8,909 SF
PROPOSED:	8,909 SF (50%)

(SEE SNOW STORAGE EXHIBIT)

SITE STATISTICS:

	CUT	FILL	NET
EARTHWORK*	250 YDS	1,650 YDS	1,400 YDS (FILL)
AREA OF DISTURBANCE (LIMITS OF GRADING)	±1.30 AC		
IMPERVIOUS AREA	±0.90 AC		
TREE REMOVAL	5 (ONSITE)		

* EARTHWORK NUMBERS ARE PRELIMINARY ONLY AND SUBJECT TO CHANGE, AND IT DOES NOT INCLUDE UTILITY TRENCHING OR STRIPPING, SWELLING, SHRINKAGE OR LOSS FACTORS ARE NOT INCLUDED.

SEAL
 NOT FOR
 CONSTRUCTION

Project
 Cascade Housing
 ESTATES MEADOW HOUSING
 10020 Estate Drive
 Truckee, CA 96161
 APN: 019-450-047

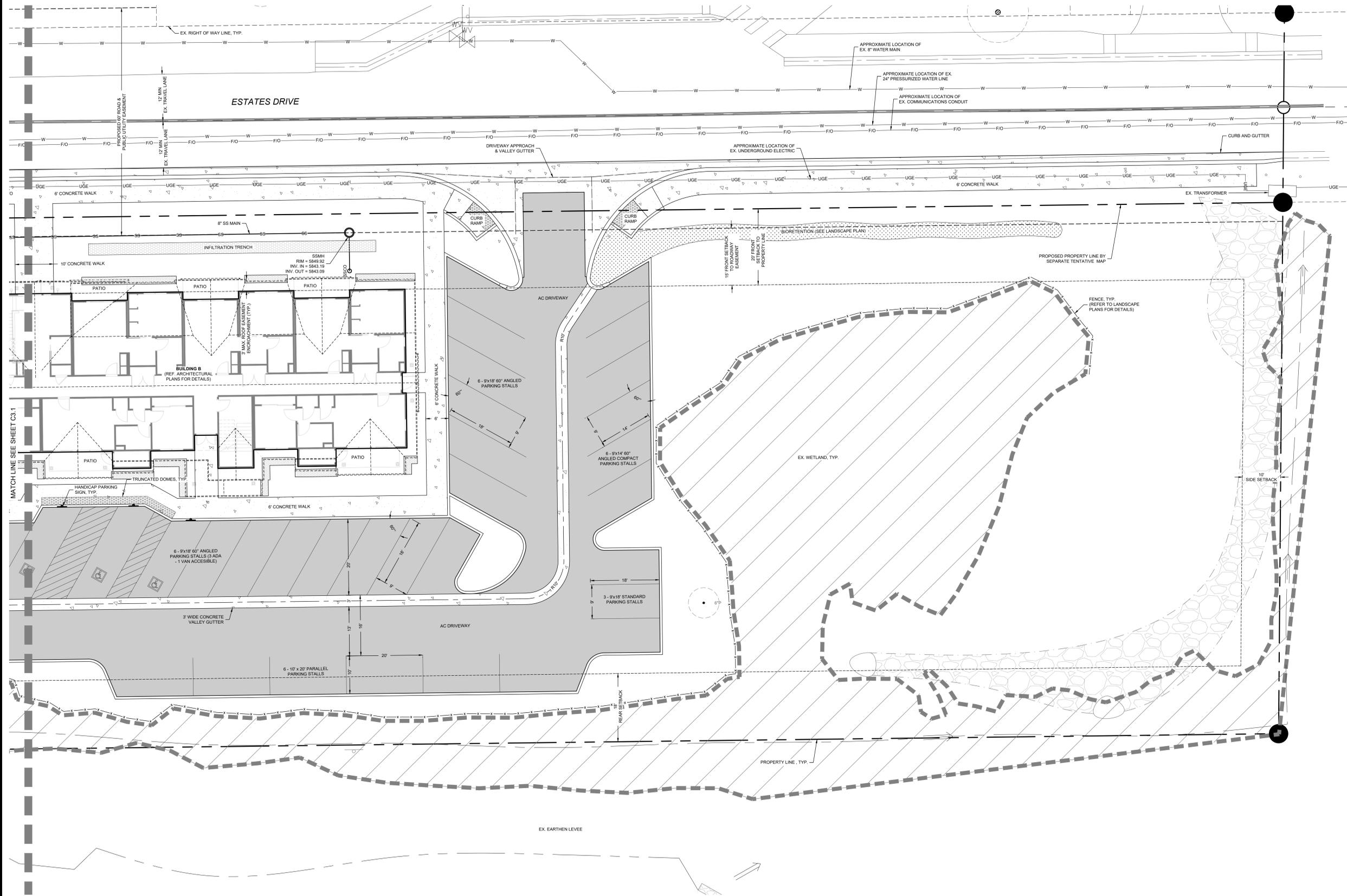
Drawing Title
Title Sheet

NO.	DATE	ISSUE

Drawn By
 BD
 Checked By
 CS
 Project No.
 19-170
 © Date
 APRIL 2022
 Drawing No.

C1.0

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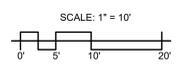
- NOTES**
- SEE SHEETS C4.0 & C4.1 FOR DETAILED GRADING INFORMATION
 - SEE SHEET C5.0 FOR TEMPORARY BMP INFORMATION

LEGEND: PROPOSED

- BUILDING FOOTPRINT
- BUILDING ROOF LINE
- ASPHALT DRIVEWAY
- CONCRETE
- ARMORED DRIPLINE
- BIORETENTION
- TRASH CAN

LEGEND: PROPOSED UTILITIES

- ELECTRIC
- UNDERGROUND ELECTRIC
- GAS
- JOINT TRENCH
- SANITARY SEWER
- WATER
- FIRE PROTECTION



SEAL
**NOT FOR
CONSTRUCTION**

**Preliminary Site Layout
& Utilities**

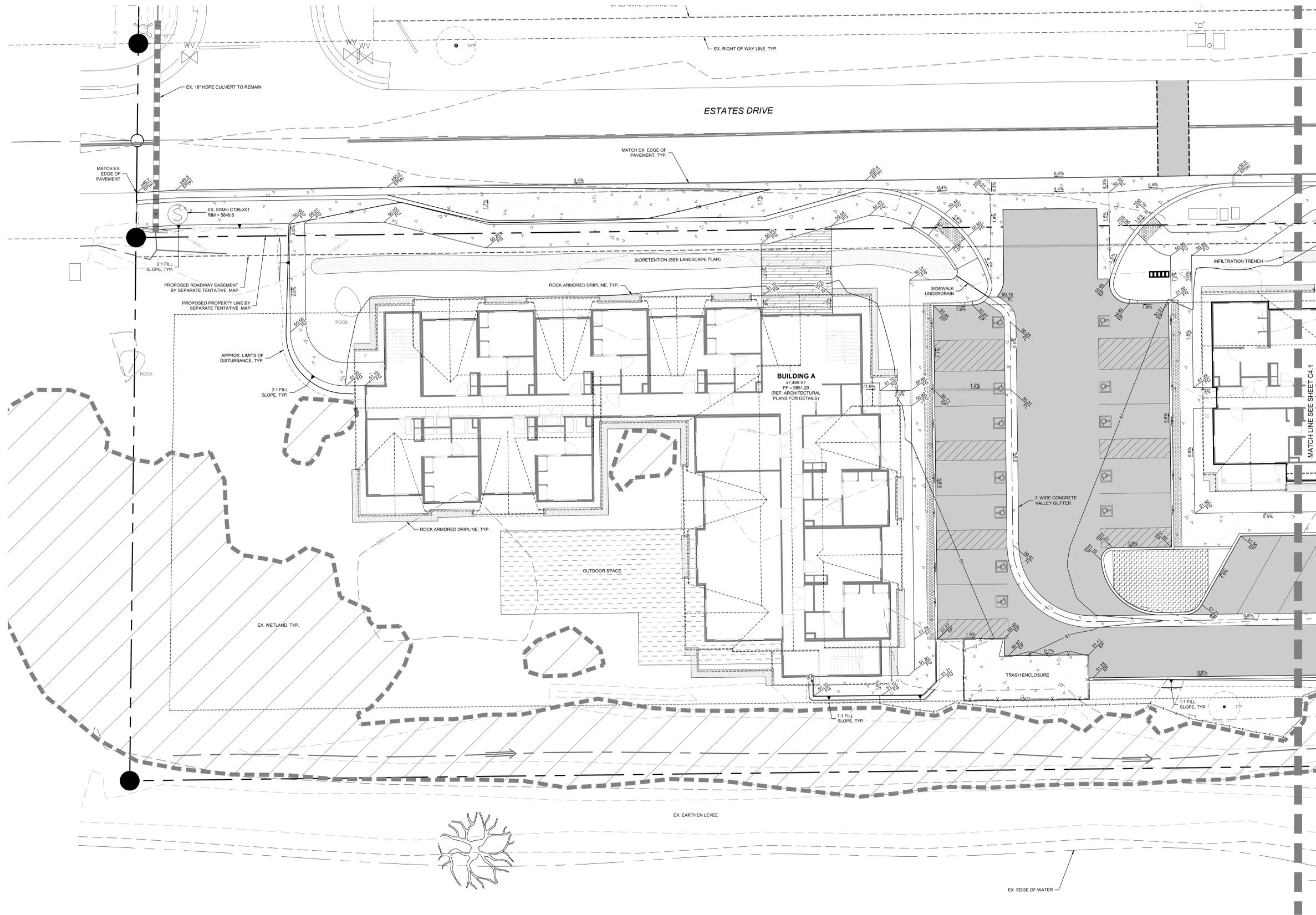
NO.	DATE	ISSUE

Project
**Cascade Housing
ESTATES MEADOW HOUSING**
10020 Estate Drive
Truckee, CA 96161
APN: 019-450-47

Drawn By
BD
Checked By
CS
Project No.
19-170
© Date
APRIL 2022
Drawing No.

C3.2

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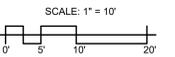


NOTES:

1. ADD 5800 TO ALL SPOT ELEVATIONS AND ALL PROPOSED CONTOUR LABELS.

LEGEND: PROPOSED

- GRADE BREAK
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS



SEAL
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CONSTRUCTION**

Project
**Cascade Housing
ESTATES MEADOW HOUSING
10020 Estate Drive
Truckee, CA 96161
APN: 019-450-47**

Drawing Title
**Preliminary Grading &
Drainage Plan**

NO.	DATE	ISSUE

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CS
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19-170
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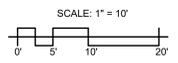


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NOTES:
 1. ADD 5800 TO ALL SPOT ELEVATIONS AND ALL PROPOSED CONTOUR LABELS.

LEGEND: PROPOSED

	GRADE BREAK
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS



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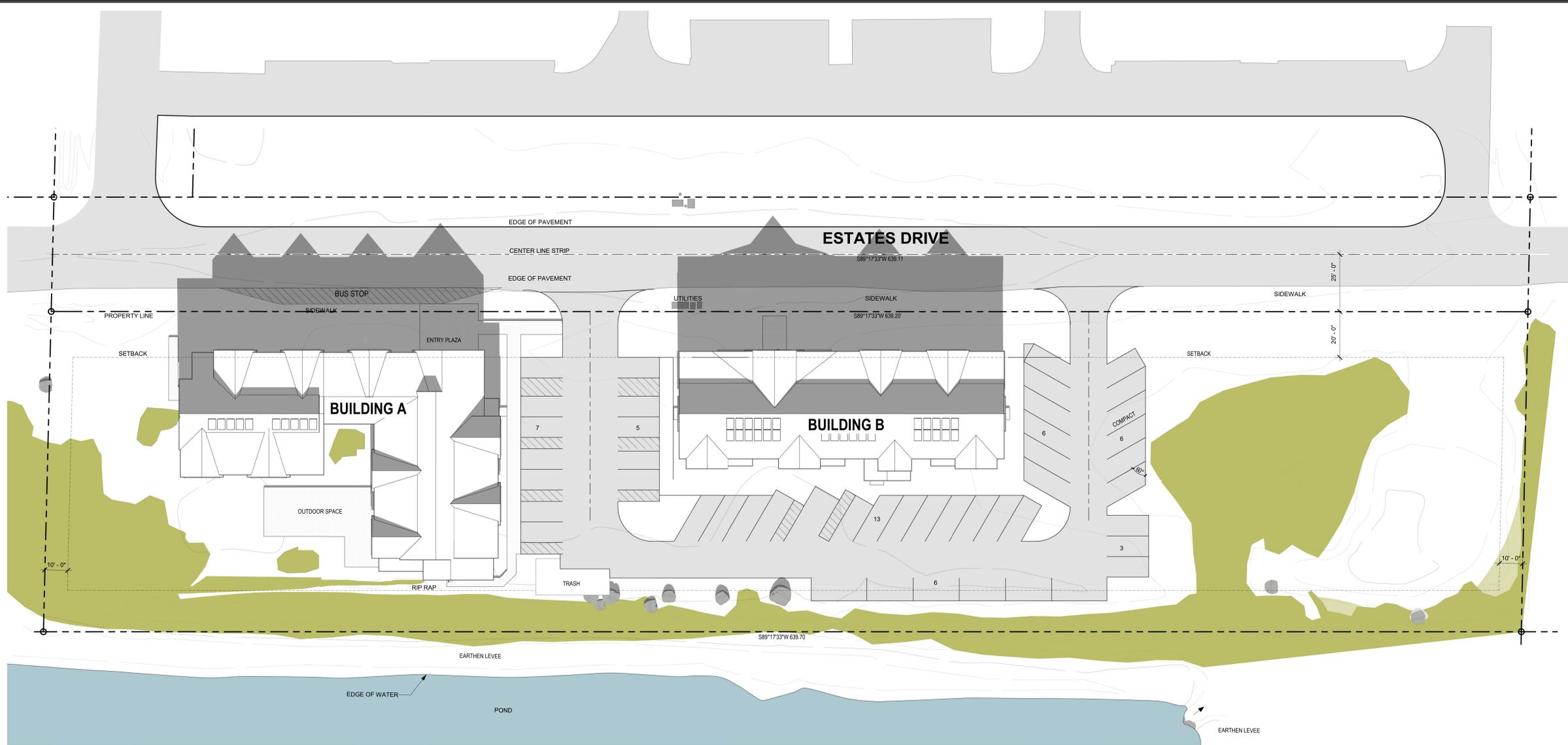
Drawing Title
Preliminary Grading & Drainage Plan

NO.	DATE	ISSUE

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ESTATES MEADOW HOUSING
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SHADOW DIAGRAM

1" = 20'-0"

SOLAR EVALUATION:

A) IDENTIFICATION OF BUILDING ORIENTATION FOR MAXIMUM SOLAR GAIN:

BUILDING B IS ORIENTED ALONG THE EAST-WEST AXIS FOR OPTIMAL SOLAR GAIN. BUILDING A'S L SHAPE PROVIDES FOR SOLAR GAIN IN THE MAJORITY OF THE UNITS AS WELL AS OPTIMAL SOLAR EXPOSURE FOR THE COMMUNITY ROOM AND OUTDOOR PATIO AREA.

B) APPROPRIATE LANDSCAPING:

SEE LANDSCAPE DRAWINGS

C) LOT SIZE AND SHAPE:

THE LOT IS LONGEST ON THE EAST-WEST AXIS, ALLOWING FOR BUILDINGS TO BE SPREAD ACROSS THE EAST-WEST AXIS AND MAXIMIZE EACH BUILDINGS SOLAR OPPORTUNITIES.

D) BUILDING HEIGHT:

BOTH BUILDINGS A & B HAVE SIMILAR RIDGE HEIGHTS WITH THE PRIMARY ROOF FORM BROKEN DOWN WITH SMALLER GABLE ENDS TO REDUCE SHADOW COVERAGE ON PARKING AREAS AND SIDEWALKS.

E) ROOF EAVE DESIGN:

ROOF EAVES ARE DESIGNED TO HELP BLOCK SUMMER SUN BUT ALLOW FOR SUNLIGHT TO ENTER THE BUILDINGS IN THE WINTER MONTHS.

F) SOLAR PROTECTION AND STREET LAYOUT:

THERE IS NO SUBSTANTIAL NON-PROTECTED GLAZING ON THE SOUTH ELEVATIONS THAT COULD POTENTIALLY CAUSE OVERHEATING.

G) POTENTIAL IMPACTS TO ADJACENT PROPERTIES:

THE SHADOWS CAST BY THE PROPOSED BUILDINGS DO EXTEND OUT INTO ESTATES DR. BUT DO NOT IMPACT THE EXISTING BUILDINGS ACROSS THE STREET.

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SOLAR EVALUATION

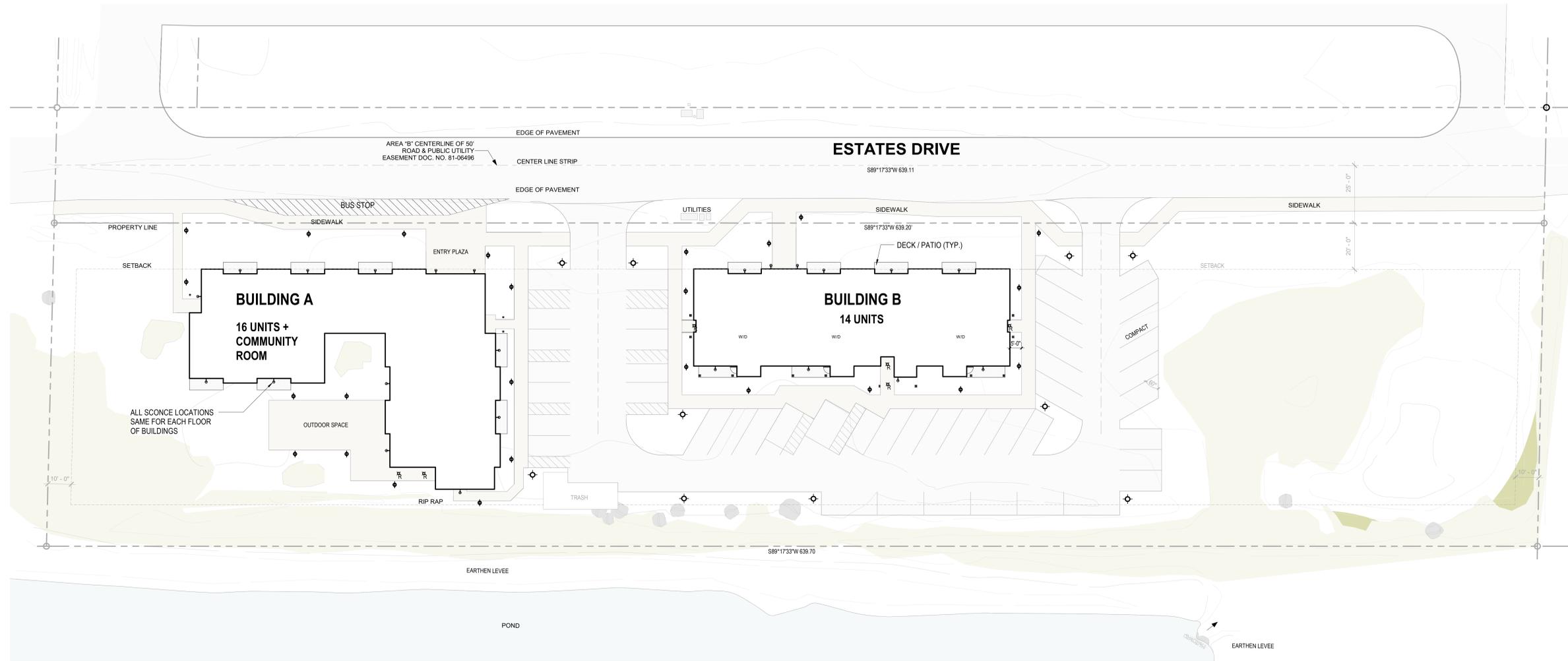
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 BIM 360://19-170 Truckee Dome 2 - Apr 06 10:10 Truckee Dome - Site Plan.rvt
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LEGEND

-  WALL SCONCE
-  PATH BOLLARD
-  POLE LIGHT
-  CEILING LED LIGHT

1 EXTERIOR LIGHTING PLAN
1" = 20'-0"

LIGHTING LEGEND

WALL SCONCE

GENERATION LIGHTING
8537401-57: SMALL ONE OUTDOOR WALL LANTERN
1100 LUMENS @ 11 WATTS LED
3000K
WEATHERED PEWTER



PATH BOLLARD

VONN LIGHTING
32" MODERN VOB14798BL LOW-VOLTAGE 5-WATT
INTEGRATED LED OUTDOOR BOLLARD
269 LUMENS @ 5 WATTS
3000K
MATTE BLACK



CEILING LED LIGHT

LDN4 SQUARE SERIES
LDN 4" LED SQUARE DOWNLIGHT
3000K
1500 LUMENS @ 20.0 WATTS
BLACK TRIM



POLE LIGHT

LIGHT
STERNBERG LED LIGHTING
1A-SL630-12L30T3-MDL18-SV1-RP34
1200 LUMENS
3000K
BLACK TEXTURED



POLE

450 LEXINGTON SERIES
HEIGHT: 10'
WIDTH: 4"
BLACK TEXTURED



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Drawing Title
**EXTERIOR LIGHTING
PLAN**

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Project
Cascade Housing
ESTATES MEADOW HOUSING
10020 Estate Drive
Truckee, CA 96161
APN: 019-450-47

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LEGEND

1BEDROOM UNIT	9,733 S.F.
COMMON SPACE	4,798 S.F.

GROSS BUILDING AREA:

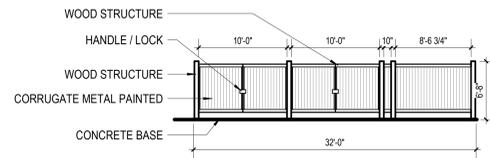
FIRST FLOOR	7,469 SF
SECOND FLOOR	7,083 SF
TOTAL	14,552 SF

UNCONDITIONED AREA:

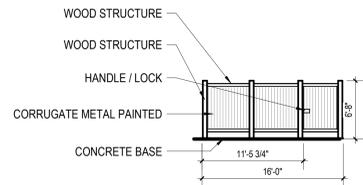
FIRST FLOOR PATIOS	507 SF
SECOND FLOOR DECKS	652 SF
TOTAL	1,159 SF



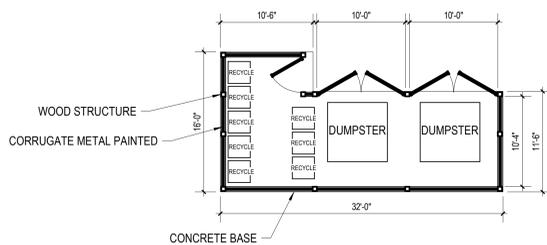
2 SECOND FLOOR PLAN
1/8" = 1'-0"



5 TRASH ENCLOSURE NORTH ELEVATION
1/8" = 1'-0"



4 TRASH ENCLOSURE EAST ELEVATION
1/8" = 1'-0"



3 TRASH ENCLOSURE PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

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 4/7/2022 4:19:58 PM

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Project
CASCADE HOUSING
ESTATES MEADOW HOUSING
 10020 Estate Drive
 Truckee, CA 96161
 APN: 019-450-47

Drawing Title
FLOOR PLANS BUILDING A

NO.	DATE	ISSUE

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 Drawing No.

AA2.1



6 SOUTHWEST AXON 3D VIEW



5 NORTHEAST AXON 3D VIEW



4 WEST ELEVATION

1/8" = 1'-0"



2 SOUTH ELEVATION

1/8" = 1'-0"



3 EAST ELEVATION

1/8" = 1'-0"



1 NORTH ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIALS

- A. HORIZONTAL LAP SIDING: HARDIEPLANK CEDARMILL FINISH W/ KHAKI BROWN COLOR
- B. VERTICAL SIDING: HARDIEBOARD CEDARMILL FINISH W/ MONTEREY TAUPE COLOR
- C. CORRUGATED METAL SIDING: METALSALES RIBBED T16-L W/ MISTIQUE PLUS COLOR
- D. TRIM: HARDIETRIM RUSTIC FINISH W/ TIMBER BARK COLOR
- E. ROOFING: CERTAINTED LANDMARK SHINGLES WEATHER WOOD COLOR
- F. EXTERIOR DOORS: PAINTED WOOD TO MATCH TIMBER BARK COLOR
- G. WINDOWS: MILGARD VINYL WINDOWS W/ BRONZE COLOR
- H. FASCIA: HARDIETRIM RUSTIC FINISH W/ TIMBER BARK COLOR
- J. FLASHING: METALSALES PREFINISHED METAL W/ MISTIQUE PLUS COLOR
- K. CONCRETE: POURED IN PLACE SMOOTH TEXTURE W/ NATURAL LOOKING SEALER
- L. HEAVY TIMBER: COLUMNS & BEAMS, SIZE PER ENGINEER, STAIN TO MATCH TRIM
- M. EXTERIOR LIGHTING: SEE LIGHTING PLAN A1.2
- N. SOLAR PANELS: SUNPOWER W/ BLACK COLOR
- O. DECK RAILING: 2" GALVANIZED STEEL MESH PANELS W/ 3X6 WOOD TOP RAIL, 3X4 WOOD BOTTOM RAIL & 6X6 WOOD POSTS, STAIN WOOD TO MATCH TRIM

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Drawing Title
**EXTERIOR ELEVATIONS
BUILDING A**

NO.	DATE	ISSUE

Project
**Cascade Housing
ESTATES MEADOW HOUSING
10020 Estate Drive
Truckee, CA 96161
APN: 019-450-47**

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LEGEND

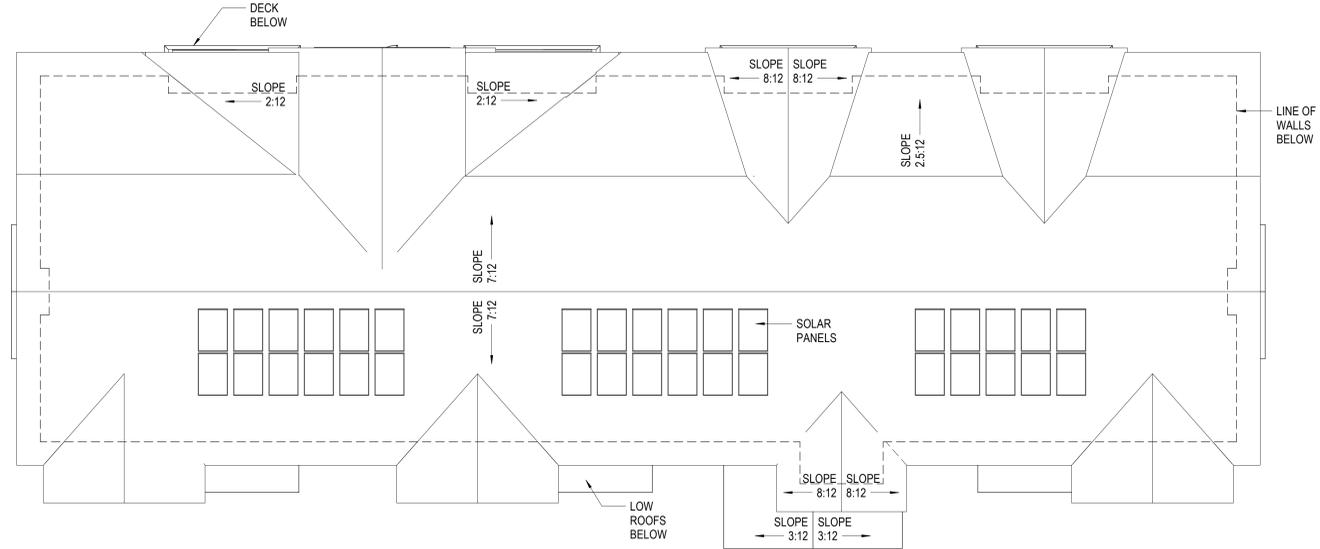
1BEDROOM UNITS	8,352 S.F.
COMMON SPACE	2,252 S.F.

GROSS BUILDING AREA:

FIRST FLOOR	5,559 SF
SECOND FLOOR	5,321 SF
TOTAL	10,880 SF

UNCONDITIONED AREA:

FIRST FLOOR PATIOS	507 SF
FIRST FLOOR STORAGE	136 SF
SECOND FLOOR DECKS	507 SF
TOTAL	1,150 SF



3 ROOF PLAN
1/8" = 1'-0"



2 SECOND FLOOR PLAN
1/8" = 1'-0"



1 FIRST FLOOR PLAN
1/8" = 1'-0"

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PLANS BUILDING B

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Truckee, CA 96161
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6 NORTHWEST AXON 3D VIEW



5 SOUTHEAST AXON 3D VIEW



4 SOUTH ELEVATION

1/8" = 1'-0"



2 WEST ELEVATION

1/8" = 1'-0"



3 NORTH ELEVATION

1/8" = 1'-0"



1 EAST ELEVATION

1/8" = 1'-0"

EXTERIOR MATERIALS

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- L. HEAVY TIMBER: COLUMNS & BEAMS, SIZE PER ENGINEER, STAIN TO MATCH TRIM
- M. EXTERIOR LIGHTING: SEE LIGHTING PLAN A1.2
- N. SOLAR PANELS: SUNPOWER W/ BLACK COLOR
- O. DECK RAILING: 2" GALVANIZED STEEL MESH PANELS W/ 3X6 WOOD TOP RAIL, 3X4 WOOD BOTTOM RAIL & 6X6 WOOD POSTS, STAIN WOOD TO MATCH TRIM

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**EXTERIOR ELEVATIONS
BUILDING B**

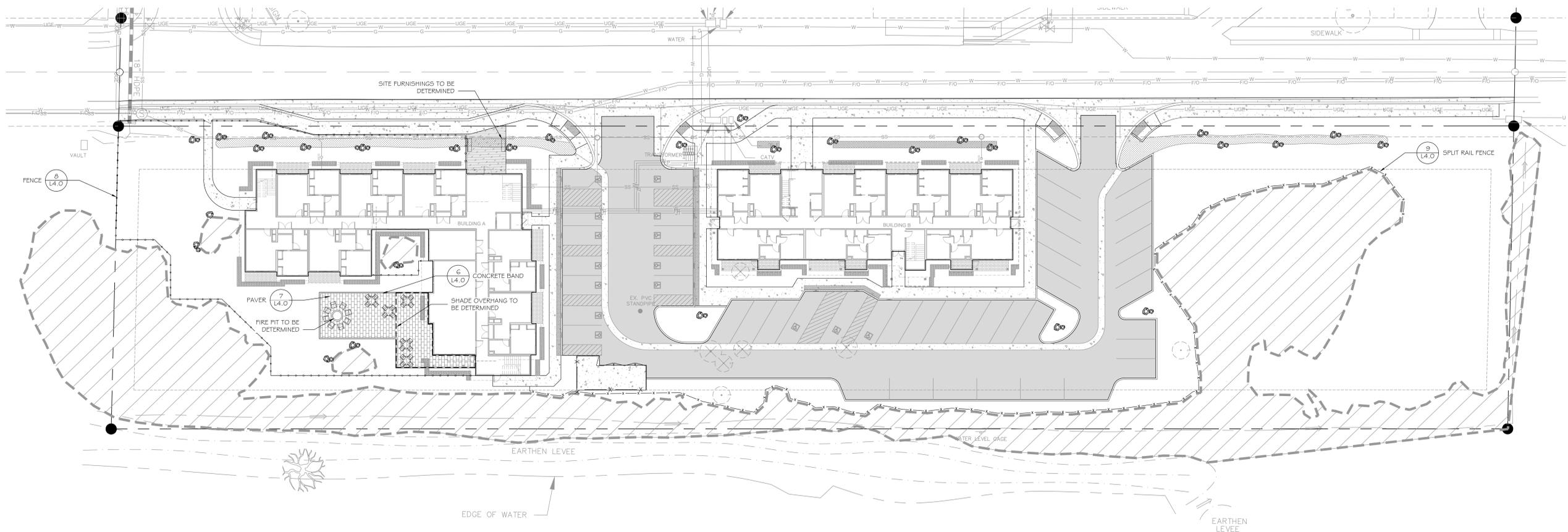
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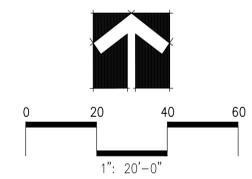
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 BIM 360/193 10 Truckee Owner 2 April 07, 2022 10:10:08 AM
 4/7/2022 5:02:31 PM



GENERAL NOTES

- INSPECTIONS:**
- ALL LOCAL CODES SHALL BE MET. CONTRACTOR TO NOTIFY USA TO DETERMINE UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT.
 - PLAN IS DIAGRAMMATIC ONLY. EXACT LOCATION OF SHRUBS AND TREES SHALL BE DETERMINED IN THE FIELD WITH LANDSCAPE ARCHITECT. ALL PLANT MATERIAL MUST BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO PLANTING.
- SCHEDULING:**
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE FOR THE FOLLOWING SITE OBSERVATIONS AND OR MEETINGS, SUBJECT TO OWNER'S APPROVAL:
 - PRE-CONSTRUCTION MEETING WITH ALL PARTIES.
 - PLANT MATERIALS ON SITE, PRIOR TO INSTALLATION.
 - OPEN TRENCH, MAINLINE (WITH VALVES ATTACHED) PRESSURE TEST.
 - FINAL PROJECT WALK-THRU.
 - CONTRACTOR SHALL COORDINATE AND PROVIDE ALL INCIDENTAL WORK WITH OTHER TRADES, I.E., PAVING, PLUMBING, ELECTRICAL ETC.
- GRADING:**
- ALL PLANTING AREA GRADES AND PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY PLANT INSTALLATION. CALL 48 HOURS PRIOR TO ANY WORK AND AFTER ALL MATERIALS ARE ON SITE.
 - SMOOTH TRANSITION BETWEEN FINISH GRADE, SIDEWALK AND HEADERS SHALL BE REQUIRED PRIOR TO PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE IN ALL ORNAMENTAL PLANTING AREAS.
- SOIL AMMENDMENT:**
- ALL PLANTING AREAS SHALL BE CULTIVATED TO A MINIMUM DEPTH OF 6 INCHES, WITH REMOVAL OF ALL DEBRIS, WEEDS AND ROCK EXCEEDING 3 INCHES IN DIAMETER. IMPORT TOPSOIL SHALL BE ADDED TO ALL PARKING LOT ISLANDS AND TO ELEVATE GRADE. SUCH SOIL SHALL BE FRIABLE. AS MUCH AS POSSIBLE, NATIVE TOPSOIL IS TO BE STOCKPILED AND REPLACED. AMEND SOIL WITH 6 CY ORGANIC AMENDMENT PER 1000 S.F.
- PLANTING:**
- DIG THE PLANTING HOLE TWICE THE DIAMETER OF THE CONTAINER AND NO DEEPER, (SEE DETAIL). WET SOIL PRIOR TO PLANTING. PLACE PLANT IN THE HOLE SLIGHTLY HIGHER THAN THE SURROUNDING GRADE. BACK FILL WITH A 50:50 MIXTURE OF 'PLANTING MIX', (SEE BELOW) AND THE NATIVE SOIL. SOIL TO BE MIXED THOROUGHLY. FIRM THE BACK FILL, PLACE A SMALL WELL AROUND THE PERIMETER OF THE HOLE AND WATER THOROUGHLY BY HAND. COMMENCE WITH THE REGULAR WATERING SCHEDULE IMMEDIATELY.
- REVEGETATION:**
- TO REVEGETATE DISTURBED AREAS, TILL AND MULCH SOIL TO 8" PRIOR TO SEED APPLICATION.

- SUBSTITUTIONS:**
- CONTRACTOR SHALL MAKE ALL ATTEMPTS TO ACQUIRE SPECIFIED PLANT MATERIAL. SUBSTITUTIONS WILL BE CONSIDERED AFTER CONTRACTOR PROVIDES, IN WRITING, FROM AT LEAST THREE SUPPLIERS, THAT PROPOSED PLANT MATERIAL IS NOT AVAILABLE. THESE LETTERS AND PROPOSED SUBSTITUTIONS MUST BE RECEIVED BY THE LANDSCAPE ARCHITECT A MINIMUM OF TWO WEEKS PRIOR TO THE ONSET OF DEMOLITION AND OR CONSTRUCTION.
- FERTILIZER:**
- GRANULAR FERTILIZER IN BALANCED FORMULA SHALL BE USED FOR ALL PRE-PLANT APPLICATIONS.
- IRRIGATION:**
- ALL AREAS SHALL HAVE 100% COVERAGE WITH AUTOMATIC LOW-FLOW IRRIGATION SYSTEM.
- MULCH:**
- MULCH ALL PLANTING AREAS WITH A 2 INCH DEPTH OF COARSELY CHIPPED, FIR OR PINE BARK, I.E., "WALK-ON BARK" MULCH UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.
- MAINTENANCE:**
- ALL PLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING COMPLETION OF INSTALLATION AND APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL GUARANTEE ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR FOLLOWING THE END OF THE MAINTENANCE PERIOD AND FINAL WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
 - ALL WORK SHOWN IS NEW AND PART OF THIS CONTRACT UNLESS NOTED AS EXISTING. PROTECT ALL EXISTING WORK TO REMAIN UNLESS NOTED OTHERWISE.
- DAMAGES:**
- CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.
- CLEANUP:**
- UPON COMPLETION, REMOVE ALL EXTRANEOUS MATERIALS AND DEBRIS, SWEEP AND WASH THE AREA CLEAN, REMOVE ALL PLANT LABELS FROM NURSERY.
- WINTERIZATION:**
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DRAINING IRRIGATION SYSTEM IN PREPARATION FOR THE FIRST WINTER AFTER CONSTRUCTION HAS BEEN COMPLETED. INSTRUCT OWNER'S REPRESENTATIVES IN PROPER PROCEDURES. WINTERIZATION SHALL PROCEED AS FOLLOWS:
 - CLOSE THE GATE VALVE IN IRRIGATION MAIN LINE LOCATED AT THE WATER METER.
 - INSERT A QUICK COUPLING QUILL, CONNECTED TO AIR COMPRESSORS, INTO THE QUICK COUPLING VALVE LOCATED AT THE WATER METER.
 - FOLLOWING START OF THE AIR COMPRESSOR, PROGRAM IRRIGATION CONTROLLER THROUGH THREE (3) COMPLETE CYCLES OR UNTIL ALL WATER HAS BEEN FORCED OUT OF SYSTEM.
 - INSERT A QUICK COUPLING QUILL INTO QUICK COUPLING VALVE AT DEAD END RUNS OF MAIN LINE TO FORCE OUT ALL REMAINING TRAPPED WATER.
 - REMOVE THE COMPRESSOR, LEAVING THE GATE VALVE TO IRRIGATION SYSTEM CLOSED.



REVISIONS	BY

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Truckee, CA 96161
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Email: info@ljm.com
CA Lic. #8828 NV Lic. #423

L J M
DESIGN GROUP

ESTATES MEADOW SENIOR HOUSING

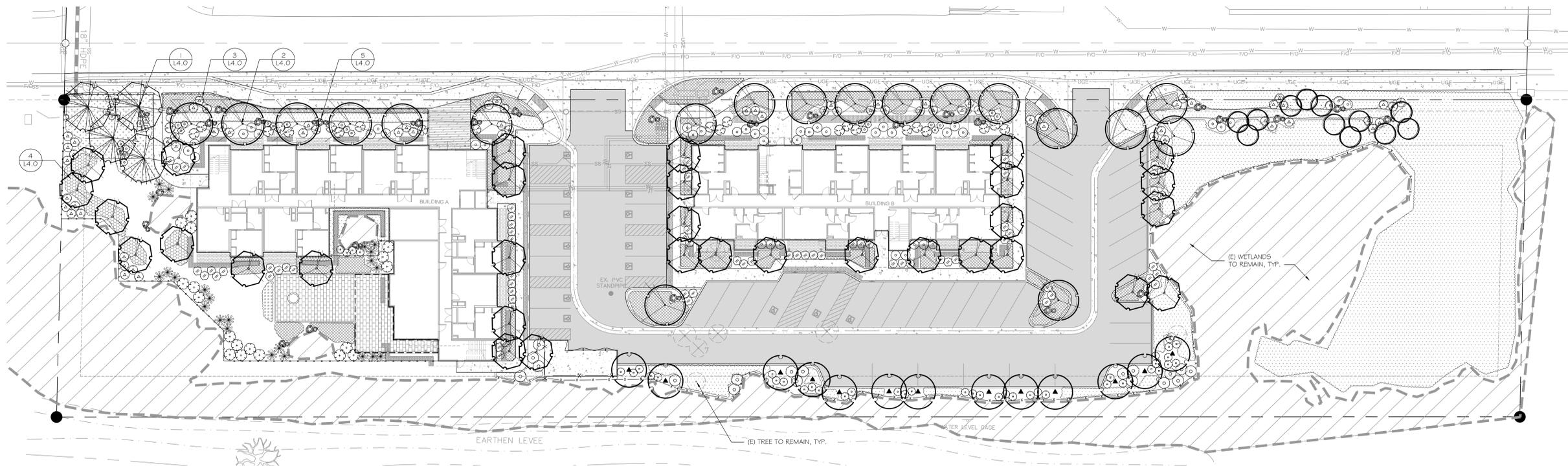
10020 ESTATES DRIVE
TRUCKEE CA. 96161

LAYOUT PLAN

PRELIMINARY - NOT FOR CONSTRUCTION



DATE: APRIL 2022
SCALE: 1"=20'-0"
DRAWN BY: KHB
JOB:
LAYOUT
SHEET NUMBER
L1.0
OF 4 SHEETS



PLANT LEGEND					
SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	WUCOLS
TREES					
	<i>Acer ginnala</i>	Amur Maple	13	15 Gal	Medium
	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	19	24" Box	Medium
	<i>Malus x 'Snowdrift'</i>	Snowdrift Flowering Crabapple	32	15 Gal	Medium
	<i>Pinus jeffreyi</i>	Jeffrey Pine	4	24" Box	Low
	<i>Populus tremuloides</i>	Quaking Aspen	12	15 Gal	Naturalized
	Existing Pine to Remain		4		Low
SHRUBS					
	<i>Pinus mugo mugo</i>	Dwarf Mugo Pine	23	5 Gal	Low
	<i>Prunus besseyi</i>	Western Sand Cherry	72	5 Gal	Medium
	<i>Prunus cistena</i>	Purple-Leaf Plum	44	5 Gal	Medium
	<i>Ribes roezlii</i>	Sierra Gooseberry	22	1 Gal	Low
	<i>Spiraea j. 'Goldflame'</i>	Goldflame Spiraea	72	1 Gal	Low
RIPARIAN TRANSITION SHRUBS					
	<i>Cornus stolonifera</i>	Red-Twig Dogwood	18	5 Gal	High
	<i>Ribes nevadense</i>	Sierra Currant	18	5 Gal	Medium
	<i>Salix purpurea</i>	Purple Willow	23	5 Gal	High
	<i>Symphoricarpos mollis</i>	Creeping Snowberry	36	5 Gal	Low
SEED MIXES AND GROUND COVERS					
	<i>Lavandula a. 'Munstead'</i>	Munstead Lavander	18" O.C.	1 Gal	Low
	<i>Rubus parvifolius</i>	Thimbleberry	3" O.C.	1 Gal	High
	Perennial Mix*		24" O.C.	1 Gal	Medium
	Forest Understorey Seed Mix**		17.75 lbs/acre		Medium
	Riparian Re-veg Mix***		14.50 lbs/acre		High

***PERENNIAL MIX (TO BE PLACED W/ L.A. PRESENT)**
Aquilegia caerulea Rocky Mtn. Columbine
Aquilegia formosa Western Columbine
Coreopsis g. 'Sunburst' Sunburst Coreopsis
Lupinus hyl. 'Russell' Russell Hybrid Lupine
Oenothera caespitosa White Evening Primrose
Sedum 'Autumn Joy' Autumn Joy Sedum

****FOREST UNDERSTOREY SEED MIX**
Festuca idahoensis Joseph 5 lb.
Koeleria macrantha Prairie Junegrass 3 lb.
Poa secunda Sandberg Bluegrass 2 lb.
Purshia tridentata Mountain Sagebrush 2 lb.
Linum lewisii Blue Flax 1 lb.
Balsamorhiza sagittata Arrowleaf Balsamroot 1 lb.
Lupinus arcticus Silvery Lupine 1 lb.
Fenestron eritoni Firecracker Fenestron 1 lb.
Eriogonum umbellatum Sulphur Flower 5 lb.
Paeonia brownii Western Peony 5 lb.
Artemisia tridentata Mountain Sagebrush 5 lb.
Ribes cereum Wax Currant 25 lb.
17.75 lbs/acre

*****RIPARIAN RE-VEG MIX**
Elymus glaucus Blue Wildrye 4 lb.
Festuca idahoensis Blue Bunchgrass 4 lb.
Hordeum brachyantherum Meadow Barley 2 lb.
Elymus trichoides Creeping Wildrye 2 lb.
Deschampsia caespitosa Tufted Hairgrass 1.5 lb.
Ribes cereum Wax Currant 5 lb.
Aquilegia formosa Western Columbine .25 lb.
Mimulus lewisii Monkey Flower .25 lb.
14.5 lbs/acre

NOTE: PER TOWN OF TRUCKEE DISTURBED AREAS, ALL DISTURBED AREAS OF A PROJECT SITE NOT INTENDED FOR A SPECIFIC USE, INCLUDING PAD SITES IN SHOPPING CENTERS HELD FOR FUTURE DEVELOPMENT, SHALL BE LANDSCAPED WITH TREES, SHRUBS, HERBACEOUS PERENNIALS, AND GROUNDCOVER. NATIVE PLANTS ADAPTED TO THE SPECIFIC MICROCLIMATE ARE PREFERRED. HOWEVER, WELL-ADAPTED, NONINVASIVE, MAY BE CONSIDERED APPROPRIATE FOR USE. TREES AND SHRUBS SHALL BE PROVIDED AT A RATE OF ONE TREE AND FOUR SHRUBS FOR EVERY 100 SQUARE FEET OF LANDSCAPED AREAS OR FRACTION THEREOF. DISTURBED AREAS INCLUDE AREAS ON THE PROJECT SITE THAT ARE NOT ASSOCIATED WITH THE PROJECT BUT WERE DISTURBED BY PREVIOUS GRADING ACTIVITIES, STRUCTURES AND/OR SUBSTANTIAL REMOVAL OF VEGETATION ON THE SITE.

PLANTING NOTES

INSPECTIONS:
 1. ALL LOCAL CODES SHALL BE MET. CONTRACTOR TO NOTIFY USA TO DETERMINE UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT.
 2. PLAN IS DIAGRAMMATIC ONLY. EXACT LOCATION OF SHRUBS AND TREES SHALL BE DETERMINED IN THE FIELD WITH LANDSCAPE ARCHITECT. ALL PLANT MATERIAL MUST BE INSPECTED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER PRIOR TO PLANTING.

SCHEDULING:
 3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE FOR THE FOLLOWING SITE OBSERVATIONS AND OR MEETINGS, SUBJECT TO OWNER'S APPROVAL:
 A. PRE CONSTRUCTION MEETING WITH ALL PARTIES.
 B. PLANT MATERIALS ON SITE, PRIOR TO INSTALLATION.
 C. OPEN TRENCH, MAINLINE (WITH VALVES ATTACHED) PRESSURE TEST.
 D. FINAL PROJECT WALK-THRU.
 CONTRACTOR SHALL COORDINATE AND PROVIDE ALL INCIDENTAL WORK WITH OTHER TRADES, I.E., PAVING, PLUMBING, ELECTRICAL ETC.

GRADING:
 5. ALL PLANTING AREA GRADES AND PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY PLANT INSTALLATION. CALL 48 HOURS PRIOR TO ANY WORK AND AFTER ALL MATERIALS ARE ON SITE.
 6. SMOOTH TRANSITION BETWEEN FINISH GRADE, SIDEWALK AND HEADERS SHALL BE REQUIRED PRIOR TO PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE IN ALL ORNAMENTAL PLANTING AREAS.

SOIL AMENDMENT:
 7. ALL PLANTING AREAS SHALL BE CULTIVATED TO A MINIMUM DEPTH OF 6 INCHES, WITH REMOVAL OF ALL DEBRIS, WEEDS AND ROCK EXCEEDING 3 INCHES IN DIAMETER. IMPORT TOPSOIL SHALL BE ADDED TO ALL PARKING LOT ISLANDS AND TO ELEVATE GRADE. SUCH SOIL SHALL BE FRIABLE. AS MUCH AS POSSIBLE, NATIVE TOPSOIL IS TO BE STOCKPILED AND REPLACED. AMEND SOIL WITH 6 CY ORGANIC AMENDMENT PER 1000 S.F.

PLANTING:
 8. DIG THE PLANTING HOLE TWICE THE DIAMETER OF THE CONTAINER AND NO DEEPER, (SEE DETAIL). WET SOIL PRIOR TO PLANTING. PLACE PLANT IN THE HOLE SLIGHTLY HIGHER THAN THE SURROUNDING GRADE. BACK FILL WITH A 50:50 MIXTURE OF "PLANTING MIX", (SEE BELOW) AND THE NATIVE SOIL. SOIL TO BE MIXED THOROUGHLY. FIRM THE BACK FILL, PLACE A SMALL WELL AROUND THE PERIMETER OF THE HOLE AND WATER THOROUGHLY BY HAND. COMMENCE WITH THE REGULAR WATERING SCHEDULE IMMEDIATELY.

REVEGETATION:
 9. TO REVEGETATE DISTURBED AREAS, TILL AND MULCH SOIL TO 8" PRIOR TO SEED APPLICATION.

SUBSTITUTIONS:
 10. CONTRACTOR SHALL MAKE ALL ATTEMPTS TO ACQUIRE SPECIFIED PLANT MATERIAL. SUBSTITUTIONS WILL BE CONSIDERED AFTER CONTRACTOR PROVIDES, IN WRITING, FROM AT LEAST THREE SUPPLIERS, THAT PROPOSED PLANT MATERIAL IS NOT AVAILABLE. THESE LETTERS AND PROPOSED SUBSTITUTIONS MUST BE RECEIVED BY THE LANDSCAPE ARCHITECT A MINIMUM OF TWO WEEKS PRIOR TO THE ONSET OF DEMOLITION AND OR CONSTRUCTION.

FERTILIZER:
 11. GRANULAR FERTILIZER IN BALANCED FORMULA SHALL BE USED FOR ALL PRE-PLANT APPLICATIONS.

IRRIGATION:
 12. ALL AREAS SHALL HAVE 100% COVERAGE WITH AUTOMATIC LOW-FLOW IRRIGATION SYSTEM.

MULCH:
 13. MULCH ALL PLANTING AREAS WITH A 2 INCH DEPTH OF COARSELY CHIPPED, FIR OR PINE BARK, I.E., "WALK-ON BARK" MULCH UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.

MAINTENANCE:
 14. ALL PLANTED AREAS SHALL BE MAINTAINED FOR A PERIOD OF SIXTY DAYS FOLLOWING COMPLETION OF INSTALLATION AND APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL GUARANTEE ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR FOLLOWING THE END OF THE MAINTENANCE PERIOD AND FINAL WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

DAMAGES:
 15. ALL WORK SHOWN IS NEW AND PART OF THIS CONTRACT UNLESS NOTED AS EXISTING. PROTECT ALL EXISTING WORK TO REMAIN UNLESS NOTED OTHERWISE.
 16. CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.

CLEANUP:
 17. UPON COMPLETION, REMOVE ALL EXTRANEOUS MATERIALS AND DEBRIS, SWEEP AND WASH THE AREA CLEAN, REMOVE ALL PLANT LABELS FROM NURSERY.

WINTERIZATION:
 18. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DRAINING IRRIGATION SYSTEM IN PREPARATION FOR THE FIRST WINTER AFTER CONSTRUCTION HAS BEEN COMPLETED. INSTRUCT OWNER'S REPRESENTATIVES IN PROPER PROCEDURES.
 WINTERIZATION SHALL PROCEED AS FOLLOWS:
 1. CLOSE THE GATE VALVE IN IRRIGATION MAIN LINE LOCATED AT THE WATER METER.
 2. INSERT A QUICK COUPLING QUILL, CONNECTED TO AIR COMPRESSORS, INTO THE QUICK COUPLING VALVE LOCATED AT THE WATER METER.
 3. FOLLOWING START OF THE AIR COMPRESSOR, PROGRAM IRRIGATION CONTROLLER THROUGH THREE (3) COMPLETE CYCLES OR UNTIL ALL WATER HAS BEEN FORCED OUT OF SYSTEM.
 4. INSERT A QUICK COUPLING QUILL INTO QUICK COUPLING VALVE AT DEAD END RUNS OF MAIN LINE TO FORCE OUT ALL REMAINING TRAPPED WATER.
 5. REMOVE THE COMPRESSOR, LEAVING THE GATE VALVE TO IRRIGATION SYSTEM CLOSED.

LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
STREET FRONTAGE- 1 TREE / 20 LF + 1 SHRUB / 5 LF	640' = 32 TREES / 128 SHRUBS	32 TREES / 132 SHRUBS
REAR PROPERTY LINE AT PARKING LOT - 1 TREE / 20 LF + 1 SHRUB / 5 LF	273' = 14 TREES / 55 SHRUBS	14 TREES / 55 SHRUBS
PARKING LOT PLANTING- 2 TREES + 4 SHRUBS PER 5 PARKING SPACES	46 SPACES = 19 TREES, 37 SHRUBS	23 TREES, 53 SHRUBS
TOTAL LANDSCAPE REQUIRED	65 TREES / 220 SHRUBS 13- 24" BOX / 154- 5 GAL	69 TREES / 240 SHRUBS 14- 24" BOX / 168- 5 GAL
TOTAL LANDSCAPE PROPOSED		
TREES- PRESERVE 4 PINES 69 NEW TREES- 14 / 24" BOX (20% OF REQUIRED), 55 / 1.5 GAL		TOTAL 73 TREES
SHRUBS- PRESERVE EXISTING PLANTS ALONG PROPERTY AS POSSIBLE. 240 SHRUBS- 168 / 5 GAL (70% REQUIRED) + 72 / 1 GAL MIN.		TOTAL 240 SHRUBS

REVISIONS BY

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LANDSCAPE ARCHITECTURE AND PLANNING

L J M
DESIGN GROUP

ESTATES MEADOW SENIOR HOUSING

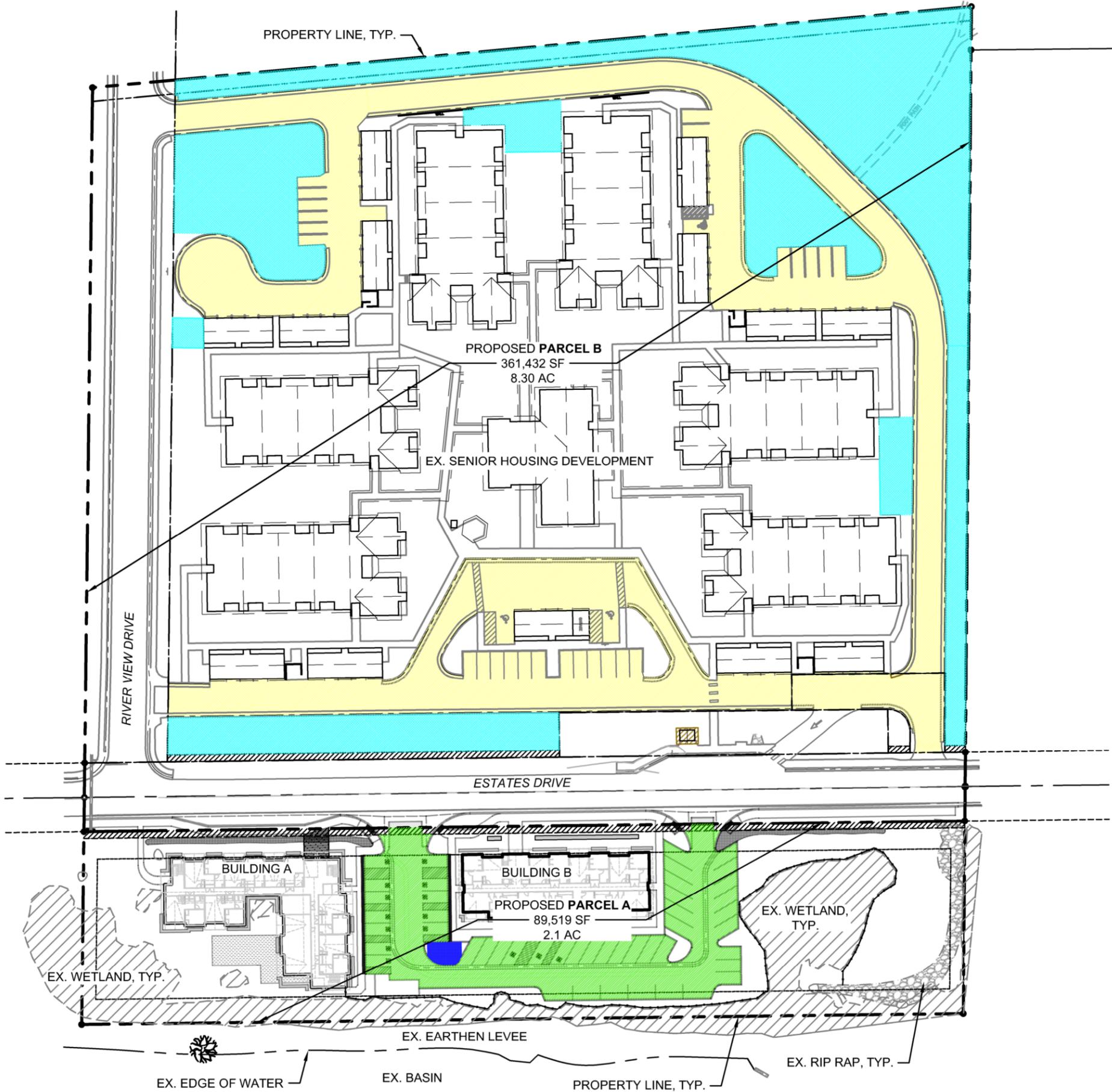
10020 ESTATES DRIVE
TRUCKEE CA. 96161

PLANTING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

RESERVED LANDSCAPE ARCHITECT
Lance J. Mello
C-3828
REN
STATE OF CALIFORNIA

DATE: APRIL 2022
SCALE: 1"=20'-0"
DRAWN BY: KHB
JOB: PLANTING
SHEET NUMBER: **L2.0**
OF 4 SHEETS



LEGEND:

- PARCEL "A" PROPOSED PARKING & DRIVEWAY (±17,817 SF)
- PARCEL "A" PROPOSED SNOW STORAGE (±357 SF)
- PARCEL "B" EXISTING PARKING & DRIVEWAY (±67,596 SF)
- PARCEL "B" AVAILABLE SNOW STORAGE (±57,944 SF)

SNOW STORAGE ANALYSIS

PARCEL "A":

TOTAL PARKING & DRIVEWAY AREA:	± 17,817 SF
REQUIRED SNOW STORAGE AREA (50%):	± 8,909 SF
PROPOSED SNOW STORAGE:	± 357 SF
ADDITIONAL STORAGE REQUIRED:	± 8,552 SF

PARCEL "B":

TOTAL PARKING & DRIVEWAY AREA:	± 67,596 SF
REQUIRED SNOW STORAGE AREA (50%):	± 33,798 SF
AVAILABLE SNOW STORAGE:	± 57,944 SF
EXCESS SNOW STORAGE:	± 24,146 SF

PARCEL "A" & "B" COMBINED:

TOTAL PARKING & DRIVEWAY AREA:	± 85,413 SF
REQUIRED SNOW STORAGE AREA (50%):	± 42,707 SF
PROPOSED SNOW STORAGE:	± 58,301 SF
EXCESS SNOW STORAGE:	± 15,594 SF



SCALE: N.T.S.

DATE: 04/13/2022
JOB NO: 19-170
SHEET TITLE:

SNOW STORAGE EXHIBIT

**CASCADE HOUSING
ESTATES MEADOWS HOUSING**

**JK ARCHITECTURE
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