

83 Allen Street, Sylva, NC 28779

## **APPLICATION FOR ZONING TEXT OR MAP AMENDMENT**

---

Submit this completed application and all supporting documentation that may be helpful in the review process. In order to ensure that the proposed text amendment or map amendment complies with the Town of Sylva's regulations, we recommend that the applicant review the Town of Sylva Zoning Ordinance prior to application submittal. The request for a Zoning text or Zoning Map amendment may only be initiated by the Town Board of Commissioners, the Town Planning Board, Planning Staff, the owner of property in the Town of Sylva or a citizen of the Town of Sylva.

All responses in this application must be legible and filled out completely. Illegible and/or incomplete applications will be returned to the applicant. The application fee for a text amendment or map amendment is set forth in the Town of Sylva's fee schedule, is non-refundable and must be submitted with the completed application. For map amendment requests, a current survey prepared and sealed by an NC Registered Surveyor will be required. Applications are not accepted via facsimile or email. Please submit application, fees and supporting documentation to the Town of Sylva, 83 Allen Street, Sylva, NC 28779 via hand delivery or U.S. Mail.

Application deadlines are 30 days prior to the Town of Sylva's Planning Board next scheduled meeting. The applicant will be notified of scheduled hearing dates and times. The average text or map amendment petition timeline is 45 days from date of application to Town Hall. Depending on the complexity of the request, it is not unusual for a petition to take up to 6 months to be considered before the Town Board of Commissioners. Hearing schedules are not guaranteed and subject to change.

**Conditional Zoning Districts (CD)** are a zoning tool, permitted in accordance with NCGS 160D-703.b., which may be utilized to create new unique, site-specific districts for uses or developments that may have particular benefits and/or impacts on both the immediate area and the community as a whole. The development of these uses may require deviation of the general district standards. The applicant must provide an initial Master Site Plan and zoning proposal that includes all proposed uses and standards for the conditional zoning district being proposed. It is not the intention of Conditional Zoning to circumvent, reduce, or eliminate particular regulations as they would normally be applied to any particular district or use but rather provide flexibility and design standards unique to the subject property and use.

This negotiated approach between the applicant and the Town through a legislative decision allows maximum flexibility to tailor regulations to a particular site and project. Special restrictions have been placed on Conditional zoning. Conditional Zoning Districts occur at the owner's request and conditions cannot be imposed without the owner's agreement. The individual conditions and site-specific standards that can be imposed are limited to those that are needed to bring a project into compliance with town ordinances and adopted plans and to those addressing the impacts reasonably expected to be generated by the use of the site. The town must assure that all of the factors defining reasonable spot zoning are fully considered and that the public hearing record reflects that consideration.

Conditional Zoning shall be subject to the specific procedural rules located in Articles 3 and 5.

**PLEASE COMPLETE ALL SECTIONS OF THE APPLICATION;  
INCOMPLETE APPLICATIONS WILL BE RETURNED TO THE APPLICANT;  
INDICATE "NOT APPLICABLE" OR "N/A" WHERE APPROPRIATE**

**Contact Information:**

Applicant/Agent: JEREMIAH WIGGINS

(This person will be the contact person and will receive all mailings)

Address: 1261 BETS BEACH RD BRYSON CITY NC 28713

Phone: (828) 788-3381 Fax: \_\_\_\_\_

Email: jeremiahrwiggins@gmail.com

Property Owner(s): MOUNTAIN MODERN CONSTRUCTION, LLC

(If the owner is different than the applicant)

Address: 371 OLD CULLOWHEE RD SYLVA NC 28779

Phone: (828) 788-3381 Fax: \_\_\_\_\_

Email: jeremiahrwiggins@gmail.com

**Property Information:**

Property Location/Address(es): KEENER STREET SYLVA NC 28779

Tax Parcel Identification Number(s): 7641-07-0338

Current Use of Property(ies): VACANT

Acreage to be Rezoned: NA

Deed Book: \_\_\_\_\_ Page: \_\_\_\_\_ Lot / Tract Size: 0.22 (acres)

Property Street Frontage / Width: ~68 Property Depth: ~128

Flood Plain: NO FIRM Panel: \_\_\_\_\_

**Zoning Information:**

Current Zoning District(s): LDR

Requested Zoning District(s): LDR

Purpose of Zoning Change (optional): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## **APPLICATION REQUIREMENTS:**

All written materials and photographs must be a minimum of 8½"x11" paper; maps, surveys and plans must be submitted on a minimum 11"x17" paper. For the first level of review with the Town of Sylva Planning Board, the applicant must supply one (1) original and ten (10) copies of the completed application, supporting documents, photographs and materials. For Clerk advertisement and Board of Commissioners consideration, the Planning Staff may request additional documents as necessary. Please plan to attend all meetings and be prepared to answer questions or present information as necessary to the Planning Board or Town Board of Commissioners. Failure to attend may result in a delay or denial of your application.

1. **Legal description and property survey:** For a Major map amendment or if the applicant is seeking to subdivide a property to amend, attach a complete legal description (metes and bounds) of the property. Provide an existing survey of the property, with a scale indicating dimensions. If the applicant is seeking a text amendment, please attach a tax map with PIN number.
2. **Requested zoning change and use:** Indicate the current zoning classification and the proposed zoning classification being requested.
3. **Adjacent property zoning and land use:** Provide the current zoning and land use for the parcels immediately adjacent to the subject property (include all directions – north, south, east and west). Do not include right-of-way when considering adjacent uses.
4. **Land use and future development:** Describe how land use and future development conditions have changed that make the existing zoning designation unsuitable; include detail as to why a rezoning would be compatible with the character of the area.
5. **Public need:** Indicate the perceived need for the additional land to be zoned to the requested classification stated above.
6. **Community impact:** Describe the impact the proposed rezoning would generate on the adjacent properties and the surrounding neighborhoods/communities/businesses. Include in your discussion: transportation, utilities, storm water management, fire, public safety, open space, topography, density, property access and economic development. Provide in detail why or why not (and if so, how) the proposed rezoning will affect the surrounding properties.
7. **Infrastructure demand:** Describe the impact the proposed rezoning would have on public services, facilities and infrastructure (e.g. schools, parks, recreational services, roads, senior services, etc.). Provide in detail estimated demand for existing and/or new services based upon build-out and population projections.
8. **Zoning Ordinance and Comprehensive Plan compliance:** Explain how the proposed rezoning or development will be in compliance with Town's Land Use Plan and/or Comprehensive Plan.

**Notification:**

All property and business owners within 100 feet of the property being considered for a text or map amendment must be mailed an Adjacent Property Owner Notification a minimum 10 days prior to the Town of Sylva Planning Board and Town Board of Commissioners meetings. The applicant is responsible for supplying a list of the names and mailing address for these properties and businesses affected by the possible text or map amendment change. In addition, the applicant must supply two (2) set of stamped, addressed #10 envelopes for each property and business owner within a 100' radius. The return address should read:

Town of Sylva  
83 Allen Street  
Sylva, NC 28779

---

**SPOT ZONING**

**SPOT ZONING DEFINED:**

"A zoning ordinance, or amendment, which singles out and reclassifies a relatively small tract owned by a single person and surrounded by a much larger area uniformly zoned, so as to impose upon the smaller tract greater restrictions than those imposed upon the larger area, or so as to relieve the small tract from restrictions to which the rest of the area is subjected, is called spot zoning."

**How to determine whether a particular rezoning is spot zoning when a relatively small tract of land is:**

- o Zoned differently from the surrounding area
- o Not taking into account the larger community context
- o Not in accordance with the comprehensive plan

**Factors to Consider:**

**1. Size of Rezoning Area**

The smaller the area/tract the more likely the rezoning can be considered a spot zoning. The size of the tract must be looked at in context for the larger area.

**2. Compatibility with the Plan**

How consistent is the rezoning with the Land Use Plan(s). Relationship of the Town's Land use policies and objectives. Is the land suitable for the following:

- o Development (e.g., topography, soil types, wetland locations, and flood areas)
- o Availability of Services (e.g., water, sewer, roads)
- o Existing and Needed Land Uses.

**3. Benefits & Detriments**

Look at who will benefit and be harmed (if anyone) from the result of the rezoning (e.g. owner, adjacent owners & community at large).

**4. Relationships of Uses**

The relationship of the proposed uses versus the current uses on adjacent land.

**Authorization:**

**Note: If the person requesting of The Town of Sylva, to take action on a particular piece of property is not the owner of the property, or under contract to purchase, then the actual owner of the land must complete this form with his/her signature notarized. If the property owner is the applicant please complete the section below and sign as indicated.**

**Fax, Scan or Copied images of the original document will not be accepted.**

I, \_\_\_\_\_ (Land owner name) am the owner of the property located in the Town of Sylva Zoning Jurisdiction at:

Street address: \_\_\_\_\_ Property PIN: \_\_\_\_\_

I hereby authorize \_\_\_\_\_ (owner or applicant's name) to appear with my consent before the Town of Sylva Planning Board and Board of Commissioners in order to request a rezoning for the above noted location. I authorize the Town of Sylva to advertise and the applicant to present this matter in my name as the owner of the property. I hereby authorize the Town Officials to enter my property to conduct relevant site inspections as deemed necessary to process the application. All information submitted and required as part of the approval process shall become public records. I, as the land owner, hereby CERTIFY THAT THE INFORMATION CONTAINED HERIN IS TRUE TO THE BEST OF MY KNOWLEDGE; AND BY ACCEPTING THIS REZONING, if approved, shall in every respect conform to the terms of this application and to provisions of the Statutes and Ordinances regulating development in the Town of Sylva. Any VIOLATION of the terms above stated and/or Town Ordinances or Regulations will result in civil penalties. If there are any questions, you may contact me at:

Street Address: \_\_\_\_\_

City / State / Zip Code: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

Owners Signature: \_\_\_\_\_

Sworn to and subscribed before me, this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

Seal

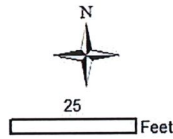
My commission expires: \_\_\_\_\_

Property Report for 7641-07-0338

9/15/2023



— Centerlines  
 [Pink Box] Parcels



**\*WARNING: THIS IS NOT A SURVEY!** This map is prepared for inventory of real property within Jackson County. It is compiled from recorded deeds, plats, and public data records. Users of this map are hereby notified that the aforementioned public information sources should be consulted for verification. Jackson County or any County representative assumes no legal responsibility for the contents of this map.

<p><b>Parcel Information</b></p> <p>Parcel ID: 7641-07-0338                  Parcel Address: KEENER ST                  Neighborhood Name: Cowan/Spring St                  Property Description: KEENER ST                  Sale Date: 2023-07-27                  Sale Price: \$42,000                  Plat Reference: None                  Transferring Reference: 2360/641                  Township: SYLVA CITY                  Assessed Acres: 0.2200</p>	<p><b>Ownership Information</b></p> <p>Owner Name #1: MOUNTAIN MODERN CONSTRUCTION LLC                  Owner Name #2:                  Mailing Address 1: 371 OLD CULLOWHEE RD                  Mailing Address 2:                  City/State/Zip: SYLVA NC 28779                  Owner Account: 193943</p>	<p><b>Tax/Value Information</b></p> <p>Fire District: None                  Building Value: \$0                  Land Value: \$23,100                  Assessed Total Value: \$23,100</p> <p><b>Zoning Information</b></p> <p>Zoning District: None                  Zoning Area: Sylva LDR - Low Density Residential                  Jurisdiction: None</p>
--	--	---



Jackson County Planning Department  
 538 Scotts Creek Road, Suite 217  
 Sylva, North Carolina 28779  
 Phone (828) 631-2282  
 Email: johnjeleniewski@jacksonnc.org

Zoning Permit Number:
Date Received:
Date Approved:

## Zoning Permit Application

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT

OWNER AND PROPERTY INFORMATION			
Property Owner: Mountain Modern Construction LLC		Property PIN: 7641-07-0338	
Address: 371 OLD CULLOWHEE RD		Property Address: TBD Keener Street	
City: Sylva	State: NC	Zip: 28779	City: Sylva State: NC Zip: 28779
Phone: 8287883381		Email: jeremiahrwiggins@gmail.com	

BUSINESS INFORMATION (If Applicable)			
Business / Project Name: Mountain Modern Construction, LLC			
Business / Project Address: TBD Keener ST		Business Contact Person: Jeremiah Wiggins	
City: Sylva	State: NC	Zip: 28779	Contact Phone: 8287883381
Business Phone: 8287883381		Contact Email: jeremiahrwiggins@gmail.com	
Business Use (Retail, Restaurant, Hotel, Office, Etc.): Residential			Sign Permit Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR OFFICE USE		
Ordinance Jurisdiction: <input type="checkbox"/> 441 Development Corridor <input type="checkbox"/> Cashiers Commercial Area <input type="checkbox"/> Cullowhee Planning Area <input type="checkbox"/> Town of Dillsboro <input type="checkbox"/> Forest Hills <input type="checkbox"/> Town of Sylva <input type="checkbox"/> Webster		
Zoning District:	Parcel Lot Size:	Building Sq. Ft.:
Parking Spaces / Handicap:	Building Floors:	Floor Business Located on:
Front Bldg. Setback (ft.):	Rear Bldg. Setback (ft.):	Side Bldg. Setback (ft.):
Front Landscape Buffer (ft.):	Rear Landscape Buffer (ft.):	Side Landscape Buffer (ft.):
Road Right-of-Way:	Building Frontage (ft.):	
Building Type: <input type="checkbox"/> Stand-alone Building <input type="checkbox"/> Shopping Center	Building Improvements: <input type="checkbox"/> New Construction <input type="checkbox"/> Existing	
Total Zoning Permit Fee:		

I affirm and certify that I understand and will comply with the provisions and regulations of any applicable Jackson County or District Ordinances. I further certify that the above statements and the statements and showings made in any paper or plans submitted herewith are true to the best of my knowledge and belief. Further, I understand that the application, attachments and fees become part of the Official Records of the Planning Department and are not returnable. I also recognize that if one or more deficiencies exist in the application, I will be notified of the deficient items, and the department shall take no further action on the application until the required information is submitted. I understand that misrepresentation of information contained within this application may be cause to void any development approvals associated with this application.

Applicant's Signature: <i>Jeremiah Wiggins</i> MEMBER MMC, LLC	Date: 8/23/2023
Planning Department Approval Signature:	Date:

Following the Approval Signature of the Planning Department, a Zoning Certificate of Compliance shall be issued.





PROJECT NO.  
4580

FP. NUMBER

PRINT NO.

DATE  
7/14/2023

DRAWN BY:  
J HUGHES

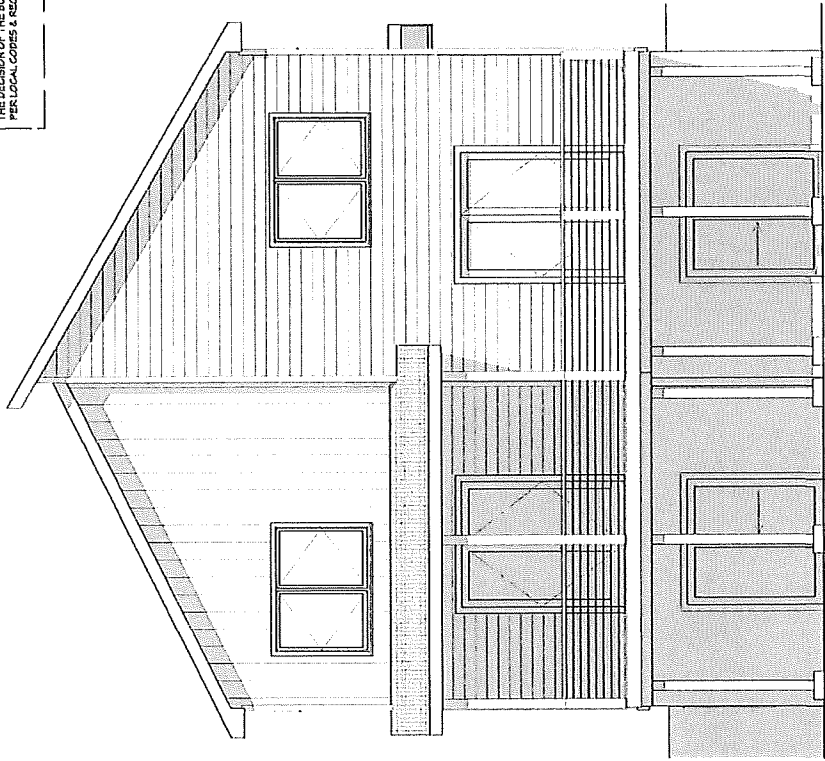
SCALE:  
3/16" = 1'-0"

REVISIONS
7-17-23 JH
08-08-23 JM
08-15-23 JM

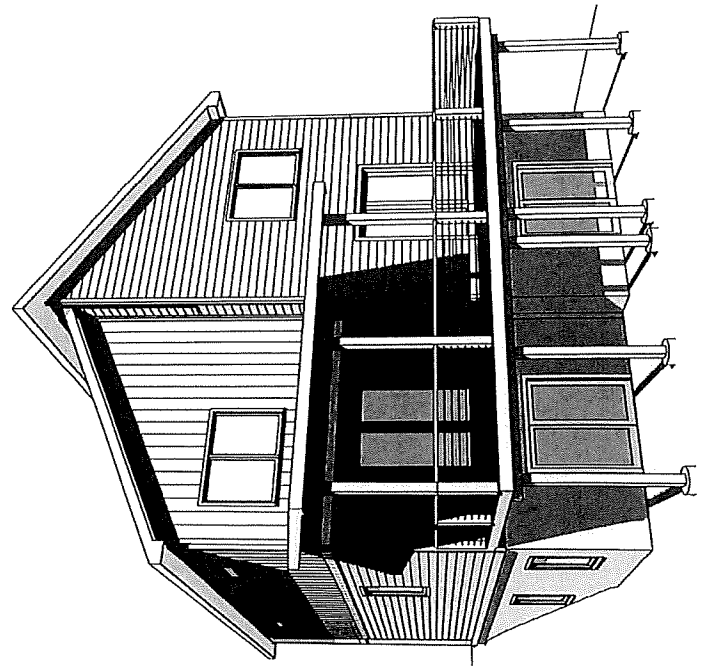
ELEVATION  
© 2023 KITUWAH MANUFACTURING, LLC

SHEET:  
1.3 OF 6

NOTE:  
PORCHES, DECKS AND/OR GARAGE TO BE  
THE DECISION OF THE BUILDER OR OWNER  
PER LOCAL CODES & REQUIREMENTS.



Exterior Elevation Back



WALNUT COVE MODIFIED A.I.C.  
1071 SQ. FT. FIRST FLOOR  
1071 SQ. FT. SECOND LEVEL  
2144 TOTAL SQ. FT.  
KITUWAH BUILDERS, LLC  
CUSTOMER -

NOTE:  
THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY. THEY MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN  
RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.



PROJECT NO. 4580

FP. NUMBER -

PRINT NO. -

DATE 7/10/2023

DRAWN BY: J HUGHES

SCALE: 3/16" = 1'-0"

REVISIONS	
7-17-23 JH	
08-14-2023	

FLOOR PLAN

SHEET: 2.0 OF 6

NOTE: TO SET/UP CONTRACTOR. INTERIOR MATE LINE DOORS ARE TEMPORARY INSTALLED. REMOVE THE TEMPORARY FASTENERS AND RESET THE DOOR FOR FINAL FINISH.

NOTE: TRADITIONAL VINYL WINDOW SIZES

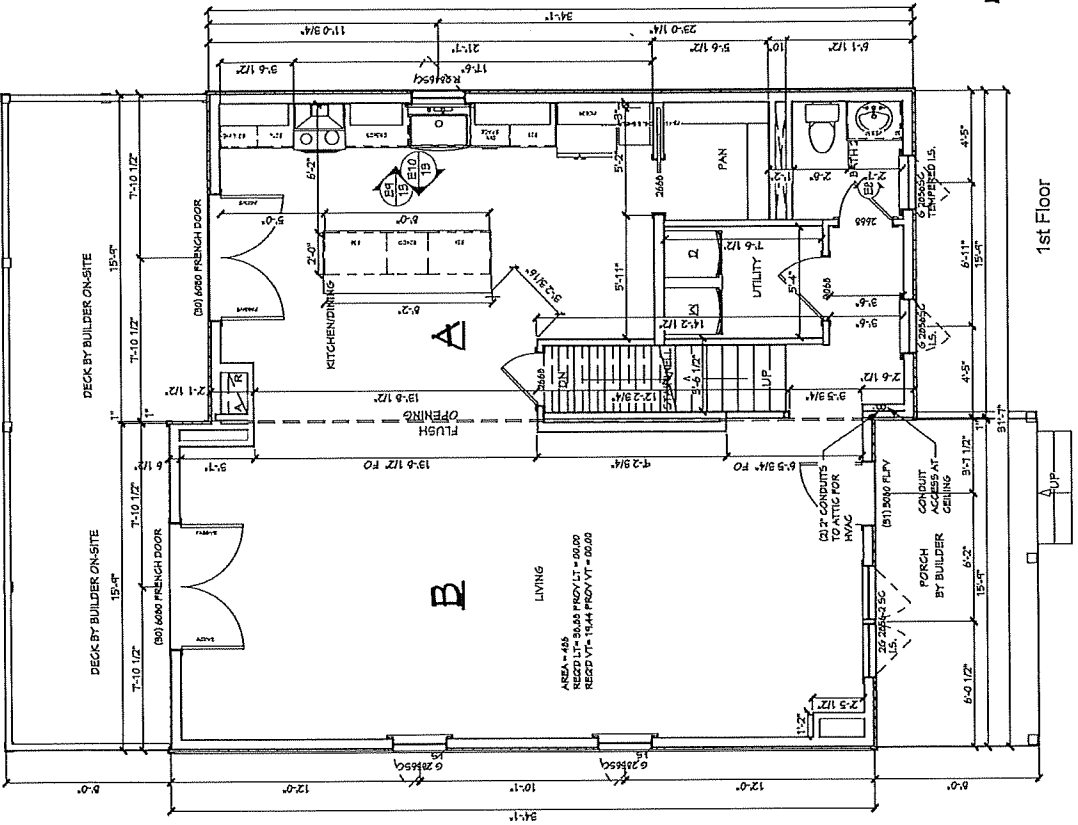
NOTE: AT LEAST ONE EGRESS WINDOW SHALL BE INSTALLED IN EACH BEDROOM

1ST FLOOR WINDOW HEADER UNLESS OTHERWISE NOTED

(1) 2X4 FLAT ENERGY HEADER, (USE 2X10 FLOOR RAIL ABOVE) (BIR PG 68)

NOTE: INTERIOR DOORS NOT ON A HARRIAGE LINE HAVE A 2X4 FLAT HEADER OTHER HEADER STRUCTURAL SUPPORT OPTIONS MAY BE LISTED ON FLOOR PLAN

WALNUT COVE MODIFIED ALT C  
 1071 SQ. FT. SECOND FLOOR  
 1071 SQ. FT. FIRST LEVEL  
 2144 TOTAL SQ. FT.  
 KITUWAH BUILDERS, LLC  
 CUSTOMER -



DOOR SCHEDULE 1ST FLOOR

QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
3060	L IN	30 1/2"	80"	36"	HINGED-PER ORDER
2660	L	30"	80"	30"	POCKET-PER ORDER
2660	L IN	26 1/2"	80"	30"	HINGED-PER ORDER
2660	L IN	26 1/2"	80"	30"	HINGED-PER ORDER
6080	R IN	72"	96"	17 1/2"	EXT. DOUBLE HINGED-GLASS PANEL
2660	R IN	30"	80"	30"	HINGED-PER ORDER
3080	R EX	36"	96"	36"	EXT. HINGED-GLASS PANEL

WINDOW SCHEDULE 1ST FLOOR

QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
20555C	TEMPERED IS	31 1/2"	65 1/2"	32"x66"	SINGLE CASMENT- YES
20556-2-SC	TEMPERED IS	65"	65 1/2"	65 1/2"x66"	MULLED UNIT
20555C	TEMPERED IS	31 1/2"	65 1/2"	32"x66"	SINGLE CASMENT-
20555C	TEMPERED IS	31 1/2"	65 1/2"	32"x66"	SINGLE CASMENT-
20555C	TEMPERED IS	31 1/2"	65 1/2"	32"x66"	SINGLE CASMENT-
20555C	TEMPERED IS	31 1/2"	65 1/2"	32"x66"	SINGLE CASMENT-

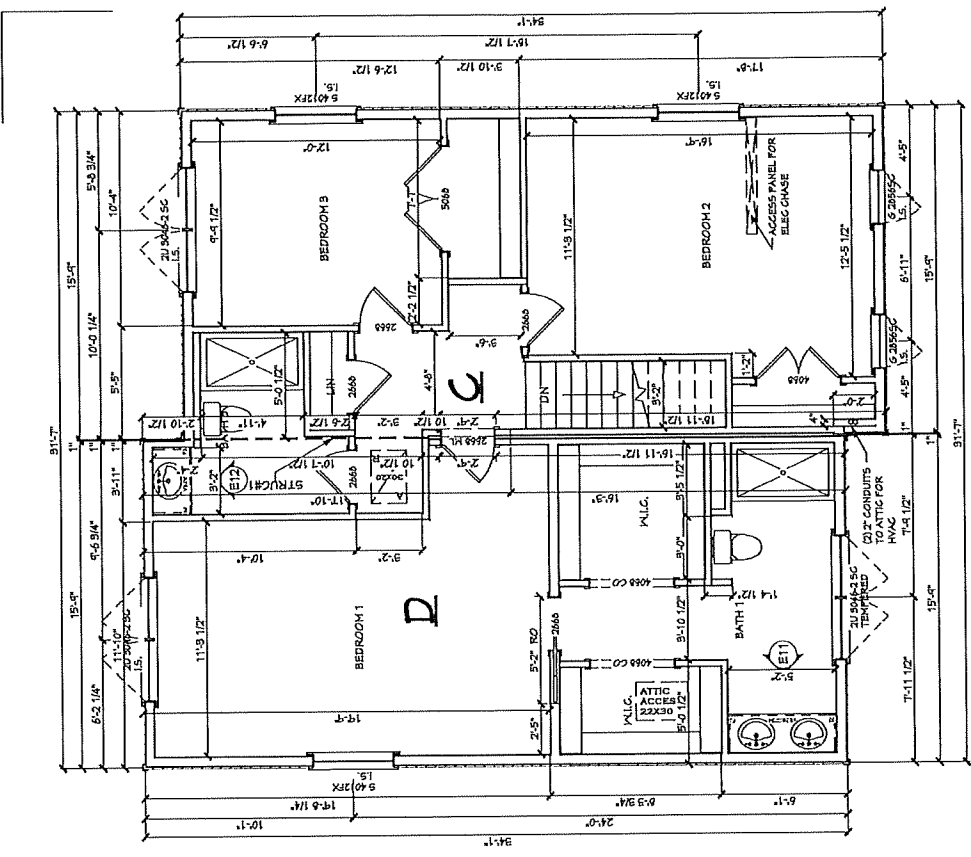
NOTE: 1.5" IN STOCK



**PROJECT NO.** 4880  
**PP. NUMBER**  
**PRINT NO.**  
**DATE** 7/14/2023  
**DRAWN BY:** J HUGHES  
**SCALE:** 3/16" = 1'-0"  
**REVISIONS**  
 7-17-23 JH  
 08-15-23 JM

© 2023 KITUWAH MANUFACTURING, LLC  
**FLOOR PLAN**

**SHEET:** 2.1 OF 6



**2nd Floor**  
**WALNUT COVE MODIFIED ALT C**  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITUWAH BUILDERS, LLC  
 CUSTOMER -

**NOTE:**  
 ALL EXTERIOR WINDOW & DOOR HEADERS TO BE (3)  
 2X6 SPPRZ HEADER UNLESS OTHERWISE NOTED  
 4" X 6" BEAM SPANS

**NOTE:**  
 ALL METALINE DOOR HEADERS TO  
 BE (2)X4 SPPRZ HEADER  
 -PER MODULE NO SPLICE  
 -UNLESS OTHERWISE NOTED  
 -4" X 6" BEAM SPANS


**NOTE:**  
 TO SET UP COUNTERTOPS, INTERIOR METALINE  
 DOORS ARE TEMPORARY INSTALLATIONS  
 REMOVE THE TEMPORARY INSTALLATIONS AND  
 RESET THE DOOR FOR FINAL FINISH.

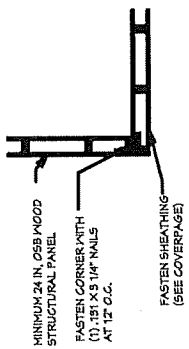
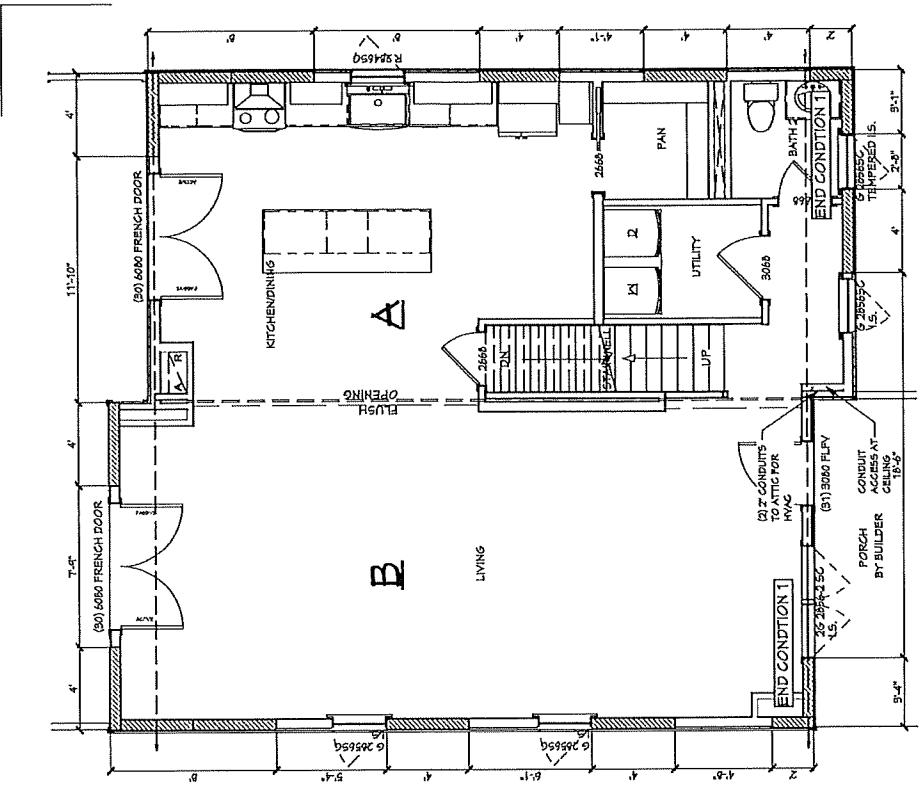
**NOTE:**  
 TRADITIONAL VINYL WINDOW SIZES  
**NOTE:**  
 AT LEAST ONE EGRESS WINDOW SHALL  
 BE INSTALLED IN EACH BEDROOM

**NOTE:**  
 I.S. = IN STOCK

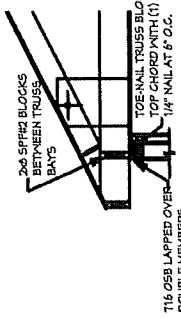
WINDOW SCHEDULE 2ND FLOOR			
LABEL	QTY	FLOOR WIDTH	HEIGHT
2U 3046-2 SC	2	72"	54"
I.S.			
G 2856SC	2	31 1/2"	65 1/2"
I.S.			
2U 3046-2 SC	1	72"	54"
TEMPERED			
S 4012FX	1	47 1/2"	13 1/2"
I.S.			
S 4012FX	2	47 1/2"	13 1/2"
I.S.			

DOOR SCHEDULE 2ND FLOOR			
LABEL	QTY	FLOOR SIZE	DESCRIPTION
2668 ML	1	2668 R IN	HINGED-PER ORDER
2668 L	1	2668 L	POCKET-PER ORDER
2668	3	2668 R IN	HINGED-PER ORDER
2668	1	2668 L IN	HINGED-PER ORDER
4068	1	4068 L R IN 48"	DOUBLE HINGED-PER ORDER
5068	1	5068 L R IN 60"	DOUBLE HINGED-PER ORDER

 <b>CARDINAL HOMES</b> PROJECT NO. 4580 PP. NUMBER - PRINT NO. - DATE 08-01-2023 DRAWN BY: J. MCCORMICK SCALE: 3/16" = 1'-0" REVISIONS:	© 2023 KITUAH MANUFACTURING, LLC <b>1ST FLOOR BRACED WALLS</b>	<b>SHEET:</b> 2.2 OF 6
	<b>WALNUT COVE MODIFIED ALT C</b> 1071 SQ. FT. FIRST FLOOR 2144 TOTAL SQ. FT. KITUAH BUILDERS, LLC CUSTOMER	



HINGED OVERHANG



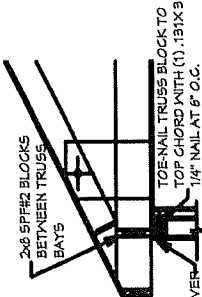
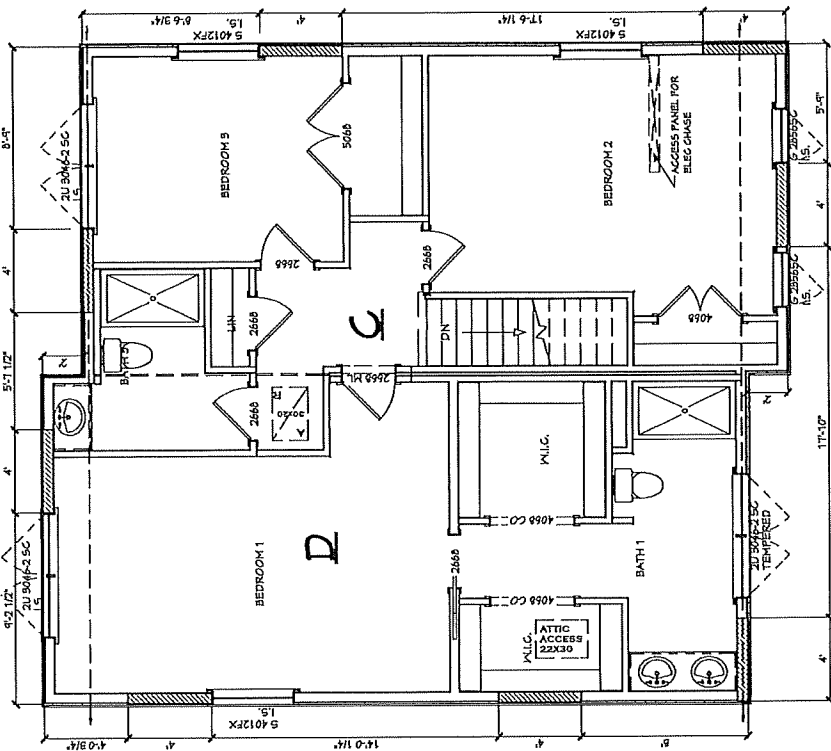
TOE-NAIL TRUSS BLOCKS TO TOP CHORD WITH (1) 18T X 3 1/4\"/>

TOE-NAIL TRUSS BLOCKS TO TOP CHORD WITH (1) 18T X 3 1/4\"/>

THIS DETAIL APPLIES ONLY TO WALLS WITH 2x4 SHEATHING FROM CALIFORNIA REFER TO CALIFORNIA REFER TO CALIFORNIA

NOTE: PANEL LOCATIONS ARE APPROPRIATE

**WALNUT COVE MODIFIED ALT C**  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITUAH BUILDERS LLC  
 CUSTOMER



TOE-NAIL TRUSS BLOCK TO TOP CHORD WITH (1) 1/4" X 3 1/2" NAIL AT 8" O.C.

HINGED OVERHANG  
 TOE-NAIL ROOF BAND TO TOP PLATE WITH THIS (1) 1 1/2" X 3 1/2" NAIL AT 8" O.C. (NOTE APPLIES ONLY TO THE SHADED REGIONS SHOWN)

THIS DETAIL APPLIES ONLY TO THE SHADED REGIONS SHOWN FROM CALC MANUAL REFERENCE CHUBBCCORPORATION

NOTE:  
 PANEL LOCATIONS ARE APPROXIMATE





CARDINAL HOMES®

PROJECT NO. 4580

FP NUMBER

PRINT NO.

DATE 07-25-2023

DRAWN BY: T. YOUNGER

SCALE: 3/16" = 1'-0"

REVISIONS
08-01-23 JM

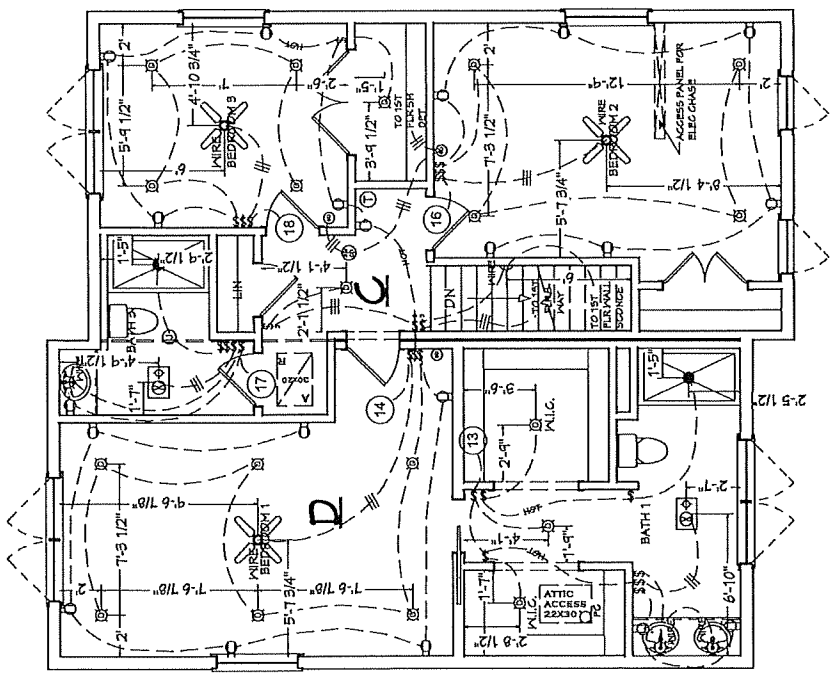
© 2023 KITUWAH MANUFACTURING, LLC  
2ND FLOOR ELECTRICAL

SHEET: 3.1 OF 6

SYMBOL	DESCRIPTION
	Ceiling Fan (Wire Only)
	Ventilation Fans: Ceiling Mounted, Wall Mounted, Downlight, WP, Downlight, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Surface Pendant, Downlight, WP, Downlight, Heat Lamp, Low Voltage
	Down Light, WP, Downlight
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT6, TV/Cable (conduit only)
	Telephone Jack Conduit
	Thermostat
	Door Bell Transformer, Door Chime, Door Bell Button
	Smoke Detector, Carbon Monoxide / SD Combo
	Under Cabinet Lights
	Electrical Distribution Panel

WALNUT COVE MODIFIED ALT G  
1071 SQ. FT. FIRST FLOOR  
1071 SQ. FT. SECOND LEVEL  
2144 TOTAL SQ. FT.  
KITUWAH BUILDERS LLC  
CUSTOMER

- ELECTRICAL NOTES:
- ALL GENERAL BRANCH CIRCUITS SHALL BE 20 AMP. ALL OTHER CIRCUITS LISTED AS DEDICATED ON THE ELECTRICAL PANEL CIRCUIT BREAKER SHALL BE SIZED AS REQUIRED BY LISTING FOR INDIVIDUAL ITEMS. ALL GENERAL BRANCH RECEPTACLES ARE TO BE TAMPER RESISTANT EXCEPT FOR RECEPTACLES LOCATED WITHIN A DESIGNATED SPACE FOR AN APPLIANCE THAT IN THE FUTURE WILL BE USED TO POWER IT.
  - GENERAL CIRCUITING INFORMATION:
    - ONE CENTRAL HEATING CIRCUIT (SPACE SHALL BE ALLOWED FOR ON MAIN PANEL UNLESS OTHERWISE NOTED) SHALL BE INSTALLED FOR THE ENTIRE RESIDENCE.
    - KITCHEN SHALL INCLUDE ALL APPLIANCES AND DINING AREA RECEPTACLES - 20 AMP CIRCUITS, MINIMUM NUMBER IS 3. ALL BATHING SPACES, INCLUDING DINING ROOM, DINING ROOMS, BREAKFAST ROOMS, ETC., SHALL BE PROVIDED WITH THIS 20 AMP PROTECTION.
    - RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT PROTECTION. SHALL KITCHEN RECEPTACLES IN KITCHEN AND ONE DEDICATED TO ANY CIRCUIT FOR DRYER.
    - GENERAL LIGHTING AND CONVENIENCE RECEPTACLE BRANCH CIRCUITS AS DESIGNED PER THESE NOTES SHALL BE INSTALLED IN ALL ROOMS AND AREAS.
    - RECEPTACLES SHALL BE INSTALLED ON THE INSIDE COVER OF EVERY PANEL BOARD ENCLOSURE FOR CIRCUIT IDENTIFICATION. THE NUMBERS 1 THROUGH 14 SHALL BE RESERVED FOR THE FOLLOWING DEDICATED CIRCUITS: RANGE, POWER HEATER, WATER HEATER, DISHWASHER, SINK, AND ONE DEDICATED TO ANY CIRCUIT FOR DRYER. ALL OTHER NUMBERS MAY BE USED FOR GENERAL BRANCH CIRCUITS OR AS REQUIRED FOR ADDITIONAL DEDICATED CIRCUITS. ALL CIRCUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND AS DESIGNATED TO THAT CIRCUIT.
    - NONMETALLIC CABLE (NM) IS USED THROUGHOUT AND IS INSTALLED AND SUPPORTED AS PER NATIONAL ELECTRICAL CODE (NEC).
    - POWER AND LIGHTING DISTRIBUTION:
      - GENERAL USE RECEPTACLES SHALL BE DISTRIBUTED WITHIN THE RESIDENCE.
      - GENERAL USE RECEPTACLES SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: TO SERVE ANY OTHER OUTLETS OR DEVICES. SHALL KITCHEN APPLIANCE COUNTER TOP RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT PROTECTION. SHALL KITCHEN RECEPTACLES. EACH BATHROOM SHALL HAVE A MINIMUM OF ONE WALL RECEPTACLE INSTALLED ADJACENT TO EACH LAVATORY. THIS RECEPTACLE SHALL BE PROVIDED WITH GROUND FAULT PROTECTION.
      - RECEPTACLES SHALL BE INSTALLED WITH A MINIMUM OF TWO OUTDOOR GFCI RECEPTACLES ON SITE IF GRADE LEVEL DOES NOT ALLOW RECEPTACLE INSTALLATION AT THE GRADE LEVEL. THESE RECEPTACLES SHALL BE PROVIDED WITH GFCI PROTECTION.
      - ALL SHOCK DETECTORS SUPPLIED AND INSTALLED BY CARDINAL HOMES AND ALSO THOSE THAT ARE SITE INSTALLED SHALL BE APPROVED AND LISTED AS REQUIRED. THEY SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND AS DESIGNATED TO THAT CIRCUIT. RECEIVING PRIMARY POWER FROM A PERMANENT LIGHTING SOURCE WITH PROVISIONS FOR BATTERY BACK-UP POWER. THE POWER SOURCE SHALL BE FROM A CIRCUIT THAT WOULD BE IN NORMAL DAILY USE BY THE HOUSEHOLD. THE SHOCK DETECTOR POWER SOURCE SHALL BE SO INSTALLED AS TO BE PROTECTED FROM OVERHEATING. ALL SHOCK DETECTORS MUST BE LISTED TO BE CONTAINED IN THE SAME CIRCUIT.
      - ALL SHOCK DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND AS DESIGNATED TO THAT CIRCUIT. ALL SHOCK DETECTORS MUST BE LISTED TO BE CONTAINED IN THE SAME CIRCUIT.
      - ALL SHOCK DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND AS DESIGNATED TO THAT CIRCUIT. ALL SHOCK DETECTORS MUST BE LISTED TO BE CONTAINED IN THE SAME CIRCUIT.





PROJECT NO.  
4580

FP. NUMBER

PRINT NO.

DATE  
7/14/2023

DRAWN BY:  
J HUGHES

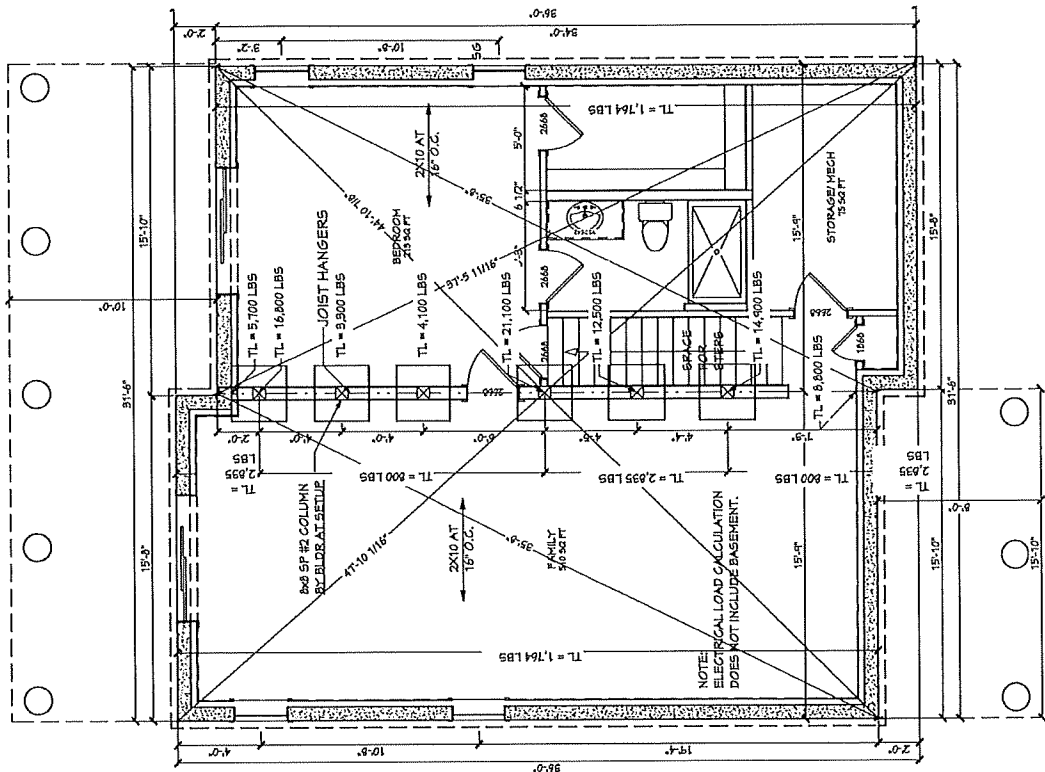
SCALE:  
3/4" = 1'-0"

REVISIONS
7-17-23 JH

FOUNDATION

SHEET:  
4.0 OF 6

WALNUT COVE MODIFIED ALT C  
1071 SQ. FT. FIRST FLOOR  
1071 SQ. FT. SECOND LEVEL  
2144 TOTAL SQ. FT.  
KITUWAH BUILDERS, LLC  
CUSTOMER



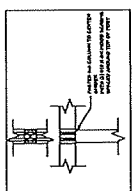
FOUNDATION PLAN IS FOR PERIMETER DIMENSIONS AND PIER LOCATIONS ONLY AND IS DESIGNED ON INFORMATION SUBMITTED. ANY ALTERATIONS TO THE EXTERIOR DIMENSIONS OR CHANGES TO HAVING WALL OPENINGS AFTER THE DESIGN SET HAS BEEN MADE WILL IMPACT THIS DESIGN AND AN DESIGN AND DISCUSS TO BE BY BUILDER ON-SITE SUBJECT TO INSPECTION AND APPROVAL BY BUILDER. OFFICIAL BASED ON LOCAL SOIL CONDITIONS.

SIZE OF FDN. WALL AND FOOTING THICKNESS AS REQUIRED BY LOCAL PERMITS UNDER THE FOLLOWING CONDITIONS- FOUNDATION SHALL BE ON PROPOSED FINISH GRADE. FOUNDATION SUBJECT TO INSPECTION AND APPROVAL BY AUTHORITY HAVING JURISDICTION- BY BUILDER ON-SITE.


IMPORTANT: BUILDER SHALL THERMALLY ISOLATE THE UNCONDITIONED AND UNCONDITIONED SPACES- IT IS SUGGESTED AT A MINIMUM TO INSULATE THE BASEMENT STAIR WALLS, UNDER THE STAIR, AND UTILIZE AN INSULATED DOOR, WEATHER STRIPPED WITH A SWEEEP- BY BUILDER ON-SITE.

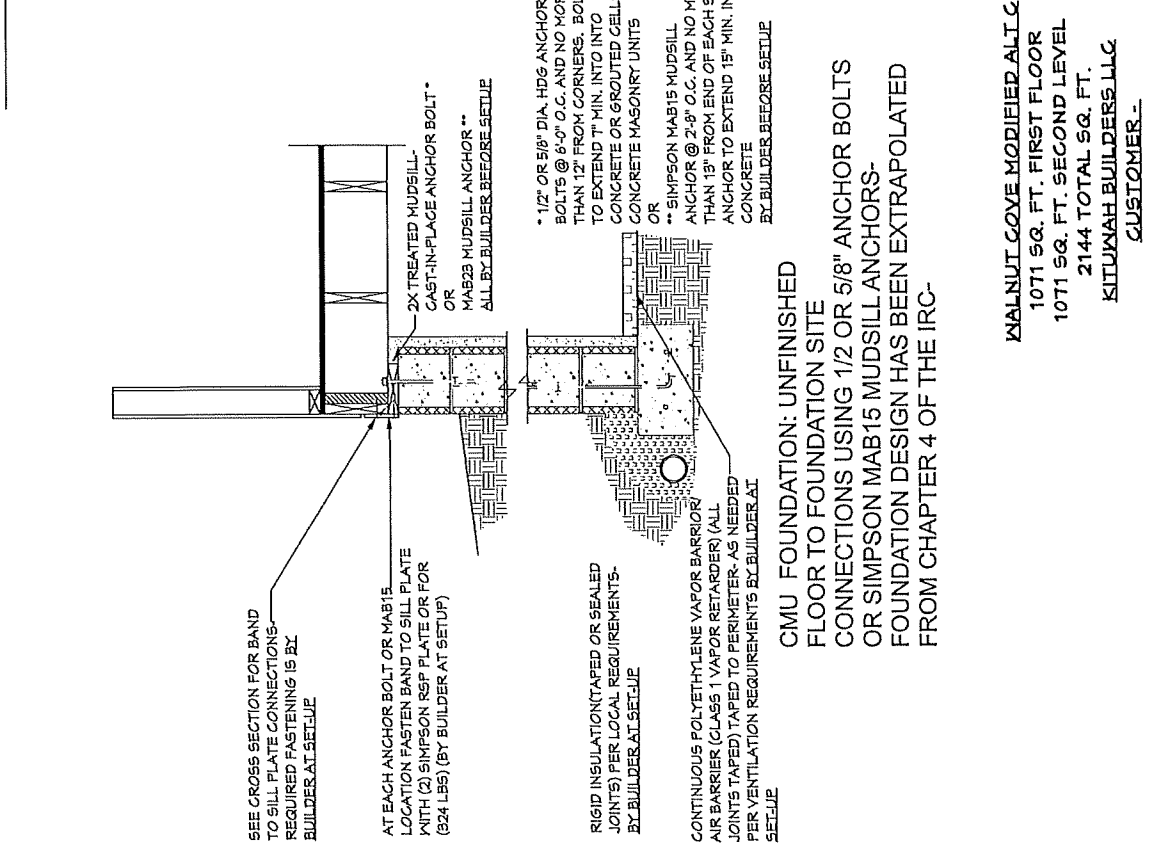
IMPORTANT: BASEMENT ELECTRICAL REQUIREMENTS- SMOKE DETECTOR(S) SHALL TIE IN WITH THE CH SUPPLIED CIRCUIT. LIGHTING, RECEPTACLES, ETC. SHALL BE THE DECISION OF THE BUILDER OR OWNER & SUBJECT TO LOCAL INSPECTION- 100% BY BUILDER.

IMPORTANT: WINDOW AND EGRESS (EXIT) OPENING LOCATIONS TO BE THE DECISION OF THE BUILDER OR OWNER & SUBJECT TO LOCAL INSPECTION 100% BY BUILDER.





 <b>CARDINAL HOMES</b> PROJECT NO. 4860 FP. NUMBER - PRINT NO. - DATE 7/14/2023 DRAWN BY: J HUGHES SCALE: 3/16" = 1'-0" REVISIONS	<b>FOUNDATION</b>	SHEET: 4.1 OF 6	
			© 2023 KITUWAH MANUFACTURING, LLC



**FOUNDATION NOTES:**

1.) THIS FOUNDATION IS BASED UPON THE FOLLOWING LOADING CONDITIONS:  
 ROOF LIVE LOAD: SEE COVERPAGE  
 FLOOR LIVE LOAD: 40 P.S.F.  
 WIND LOADING: SEE COVERPAGE  
 MINIMUM ALLOWABLE SOIL BEARING: 2,000 P.S.F. (2,500 P.S.F. GA)  
 IF THESE CONDITIONS CANNOT BE VERIFIED (FIELD), THEN THE FOUNDATION MUST BE ADJUSTED BY A REGISTERED ENGINEER OR ARCHITECT IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE.

2.) BUILDER MUST CHECK AND CONFIRM ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.

3.) FOUNDATION PLAN IS FOR DIMENSIONS ONLY. FOUNDATION DESIGN AND COMPLETION TO BE BY BUILDER INCLUDING FOOTING DRAINS, VAPOR BARRIER, SILL PLATES, WATER-PROOFING, INSULATION, BACKFILL AND ALL FINISH WORK. ALL WORK MUST COMPLY WITH STATE AND LOCAL CODES AS WELL AS PROFESSIONAL STANDARDS.

4.) ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH (fc) OF 2,500 P.S.I. ALL STEEL TO BE GRADE 40 OR BETTER. STEEL MUST COMPLY WITH ASTM A615.

5.) ALL MASONRY UNITS ARE TO BE LAID IN TYPE "M" OR "S" MORTAR. HOLLOW MASONRY PIERS TO BE CAPPED WITH 4" SOLID MASONRY FOR 1 STORY & 8" SOLID MASONRY FOR 2 & 2+ STORIES. SEE APPLICABLE CODES FOR ALTERNATE METHODS.

6.) THE GRABSPACE MUST BE PROVIDED WITH AN ACCESS PANEL MEASURING 18" X 24". IF MECHANICAL EQUIPMENT IS LOCATED IN GRABSPACE AREA, THE ACCESS TO BE 22" WIDE X 30" HIGH MINIMUM.

7.) GRABSPACE AREA SHALL BE PROVIDED WITH VENTILATION OPENINGS THROUGH THE FOUNDATION WALL. THE MINIMUM NET AREA OF VENTILATION SHALL BE 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR SPACE.

THIS NUMBER MAY BE REDUCED DEPENDING ON LOCAL CODE JURISDICTIONS. THE VENTILATION OPENINGS SHALL BE PLACED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING AND MAY BE CORROSION-RESISTANT WIRE MESH WITH THE LEAST DIMENSION BEING 1/8". EXCEPTIONS EXIST THAT MAY REDUCE THE NUMBER OF FOUNDATION VENTS. TYPE OF VENT OR REQUIRE AN APPROVED VAPOR BARRIER IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO COMPLY WITH LOCAL CODES & REQUIREMENTS.

8.) ALL FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED SOIL OR ENGINEERED FILL. EXTERIOR FOOTINGS SHALL EXTEND BELOW APPLICABLE FROST LINE AND AT LEAST 12" BELOW THE UNDISTURBED SOIL. SEE APPLICABLE CODE FOR EXCEPTIONS. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE FOR FOOTINGS SHALL BE 2500 PSI AFTER 28 DAYS.

9.) FOUNDATION ANCHORAGE PER SECTION R409.1.6

10.) FINISH GRADE SHALL FALL AWAY A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

11.) PROVIDE TERMITES SHIELDS AS REQUIRED BY LOCAL CODE AND SUSCEPTIBLY.

12.) INFILTRATION. ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION.

**CMU FOUNDATION: UNFINISHED FLOOR TO FOUNDATION SITE CONNECTIONS USING 1/2 OR 5/8" ANCHOR BOLTS OR SIMPSON MAB15 MUDDSILL ANCHORS- FOUNDATION DESIGN HAS BEEN EXTRAPOLATED FROM CHAPTER 4 OF THE IRC-**

**WALNUT COVE MODIFIED ALT C**  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITUWAH BUILDERS LLC  
 CUSTOMER -



**CARDINAL HOMES**

PROJECT NO. 4800

FP NUMBER -

PRINT NO. -

DATE 07-25-2023

DRAWN BY: T. YOUNGER

SCALE: 3/8" = 1'-0"

REVISIONS
08-09-23 J.M.
08-15-23 J.M.

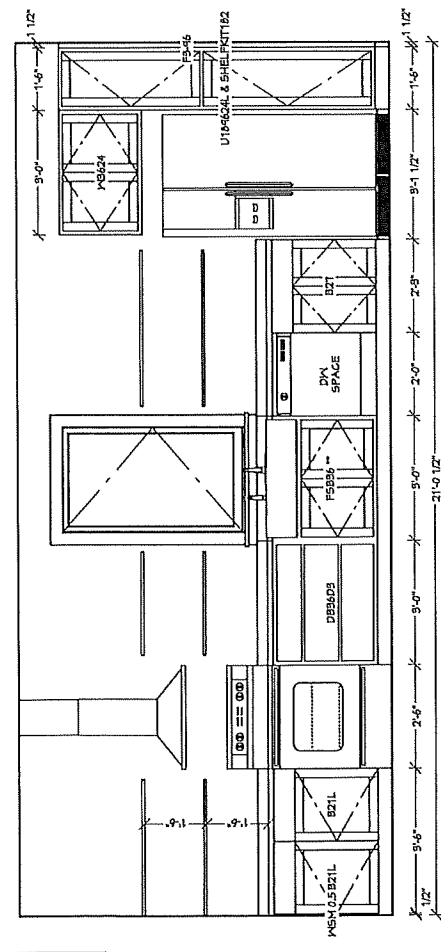
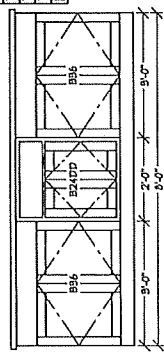
© 2023 KITWAH MANUFACTURING, LLC

**CABINETS**

SHEET: CABINETS

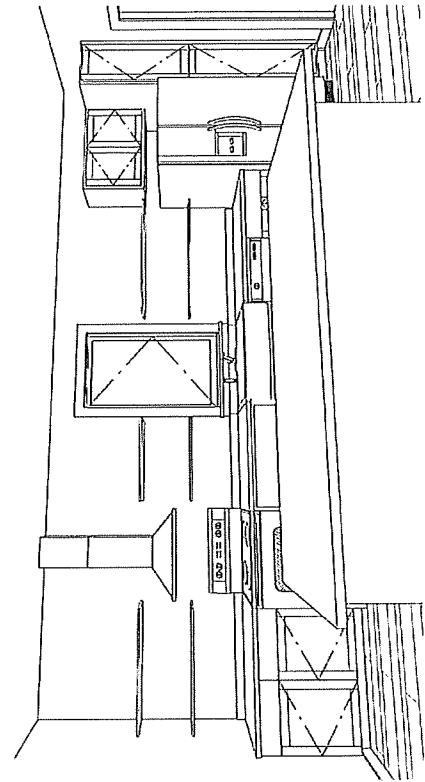
LABEL	QTY	FLOOR
B21L	2	1
B27	1	1
FSB36 **	1	1
WSM 0.5	1	1
B36	2	1
DB36D3	1	1
F3-96	1	0
F330	1	1
F330	1	1
F330	4	2
U189624L & SHELFKIT182	1	1
VSB30	1	1
VSB60DB4	1	2
VSDR36	1	2
VSDB42	1	0
W3624	1	1
B24DD	1	1

CABINET BLOCKING SCHEDULE	HEIGHT
LOCATION TO TOP	34-1/2"
BASE	54"
WALL BOTTOM	84IN
WALL AT TOP	90IN
30IN WALL	96IN
42IN WALL	96IN

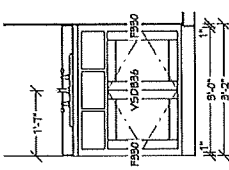


KITCHEN 2

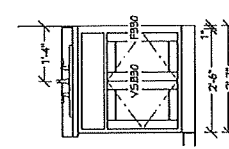
KITCHEN 1



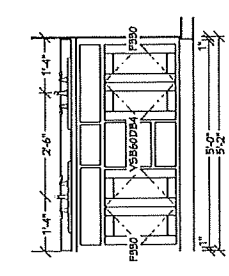
**WALNUT COVE MODIFIED ALT C**  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITWAH BUILDERS LLC  
 CUSTOMER



BATH 3



BATH 2



BATH 1

NOTE: THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY. MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

# SHOP DRAWING GENERAL INFORMATION PAGE

**CODES & STANDARDS**

Building Code: 2012/2015/2018/2019 IRC, 2012 IBC, 2018 NRCR  
 ESR Report number: ESR-1662 August 2018  
 3rd Party Inspection Agency: PFS Corporation, Madison WI  
 Quality Assurance Manual: Superior Walls of America 2005 Edition  
 Site Preparation Guide: Superior Walls Builder Guideline Booklet Rev. June 2022  
 Fire Test Standards: ASTM E119 ANSIIUL 1715

**WALL MATERIALS**

Concrete Compressive Strength: Min. 5,000 PSI  
 water/cement Ratio: <0.40  
 Reinforcing Steel: No. 4 and larger - 60,000 PSI  
 No. 3 and smaller - 40,000 PSI  
 Secondary Reinforcement: Polypropylene Fiber  
 Embedded Wood Blocking: Preservatively Pressure Treated  
 EPS Foam Insulation: Flame Spread: 20  
 Smoke Development: 240  
 XPS Foam Insulation: Flame Spread: 5  
 Smoke Development: 165

**SITE/WALL CONDITIONS**

Frost Depth: Min. 12 inches  
 assumed Soil Bearing Capacity: 2,000 PSF  
 Seismic Category: A, B, C  
 Basic Wind Speed: 155 maximum PSF  
 Wall Loading: 7,500 Pounds/LF (uniform) Maximum  
 Brickledge Loading: 2,900 Pounds/LF Maximum  
 Crushed Stone Footing Depth: Min. 6 inches thick or more (see table in Builder Guideline Booklet Table R403.4)  
 Crushed Stone Footing Width: See Crushed Stone Footing Chart in Builder Guideline Booklet  
 Crushed Stone Size: 3/4 inch and smaller (cleaned)  
 Backfill Material: 100 LB/CF Equivalent Fluid Pressure Max (see Builder Guideline booklet for more information)  
 Beam Pocket(s) & Point Load(s): 38,000 Pound Maximum - Data supplied by Customer/Builder (see plan for location and sizes)

**GENERAL NOTES**

1. Jobsite shall be prepared by the builder in accordance with the Superior Walls of America builder Guideline Booklet - Site Preparation and Framing Attachment Requirements (Rev. January 2016).
2. Auxiliary drain pipe must be four (4) inch diameter perforated, covered with filter fabric and directed to a sump pit or daylight.
3. Builder shall establish the elevation benchmark (if necessary)
4. Builder shall insure proper site access for trucks and crane.

**INSTALLATION NOTES**

1. Installation shall be supervised by a Superior Walls certified installer.
2. Certification is obtained through Superior Walls of America, Ltd.
3. Installation shall comply with Superior Walls of America's Installation Manual (Rev. July 2011).

**DRAWING NOTES**

1. All measurements for brick, stone, or support ledges are from Top Of Wall (TOW).
2. Drawings are not to scale.

**DAMP PROOFING**

Superior Walls are recognized by the ICC-ES as an alternative method of providing foundation wall damp proofing. No additional damp proofing is required. (See ESR-1662 & ICC-ES Legacy Report 21-72)

**PLEASE NOTE**

To comply with building code requirements, the framing/decking connections at the top of the Superior Walls and floor slab at the bottom of the Superior Wall MUST be completed PRIOR to backfilling.

**CUSTOMER RELEASE**

The attached drawing was created from information and dimensions provided by the customer/builder. Superior Walls of North Carolina, Inc. is not responsible for deviations from the Blue Print or information provided by the customer/builder.

I have reviewed the attached drawing & all of the dimensions and objects therein; I understand the Superior Walls will be custom manufactured per this drawing specifically for my project. By signing below I am certifying that I have reviewed the attached drawing and all of its listed dimensions and I accept FULL RESPONSIBILITY of any and all measurements and information provided by me/my associates/my company.

CUSTOMER MUST SIGN & DATE BELOW

Customer/Builder Signature & Date

**PROJECT:**

Job Number: -  
 Job Name: Kituwah\_Kreener Ave  
 Job Address: Kreener Ave  
 Lot #: -

**BUILDER:**

Company: Kituwah  
 Contact: -  
 Phone/Email: -

**MUNICIPALITY:**

Jackson County  
 SYLVA, NC



3570 S. Main Street  
 Salisbury, NC 28147  
 Phone: 704-636-6200  
 Toll-Free: 877-896-9255  
 www.superiorwallsnc.com

**DRAWING DATA:**

Job Number: -  
 Sales Rep: B.BAUER

Drawn By: JG

Date Created: Jul. 21, 2023  
 Date Modified: Jul. 27, 2023  
 Revision: 2

Pages: 5

**Superior Walls®** FOUNDATION DRAWING

10' WALLS - TOTAL LENGTH: 135'  
 1/2" DIA. x 6" BOLTS FOR SILL PLATE  
 2 1/2" INSULATION

#	DESCRIPTION	WIDTH	HEIGHT	FROM TOP OF WALL	FROM BOT OF WALL	MAX HDR CAPACITY
32	SLAB CONNECTOR					
ID #	OBJECT					
A 2	DOOR SLIDING GLASS DOOR, STYLE 1	72"	80"	36"	4"	3400 PLF
B 4	WINDOW STYLE 1	36"	60"	36"	24"	5500 PLF

**PLEASE NOTE:**  
 Adjustments made after sign-offs may incur an additional \$200 service charge

- BUILDER CHECK LIST:**
- RO'S/DIMS/WALL HEIGHT CORRECT?
  - OBJECT OPENINGS CORRECT?
  - WOOD BUTTS IND./RECID?
  - SUPPORT/BRICK LEDGES CORRECT?
  - EXTRA SUPPORT IND. FOR PT. LOAD?

SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**OWNER/BUILDER NOTIFICATION:**  
 BY SIGNING THESE DRAWINGS YOU ARE ACKNOWLEDGING THAT THE WALLS WILL BE BUILT TO THE DIMENSIONS INDICATED ON THESE PLANS, AND THAT YOU ARE ASSUMING ANY AND ALL LIABILITY THAT MAY RESULT FROM THE WALLS BEING MANUFACTURED AS SHOWN

THESE DRAWINGS ARE APPROVED FOR FINAL PRODUCTION AS ILLUSTRATED AND NOT SUBJECT TO CHANGE.  
 CUSTOMER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**Superior Walls**  
 of North Carolina  
 3570 S. Main Street  
 Salisbury, NC 28147  
 Phone: 704-636-6200  
 Toll-Free: 877-898-9255

REV.	DATE	BY
1	07-21-23	JG
2	07-27-23	JG

PROJECT: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_

STATUS: ISSUED FOR APPROVAL

SALESMAN: B. EBLIET

FILE NAME: Plans\_Superior Walls

SHEET TITLE: SUMMARY

SHEET NO. 2 of 5

Kreener Ave  
 Kituwah



3570 S. Main Street  
 Salisbury, NC 28147  
 Phone: 704-636-6200  
 Toll-Free: 877-896-9255

REV.	DATE	BY
1	07-21-23	JG
2	07-27-23	JG

PROJECT: **Kreener Ave  
 Kituwah**

BUILDER:

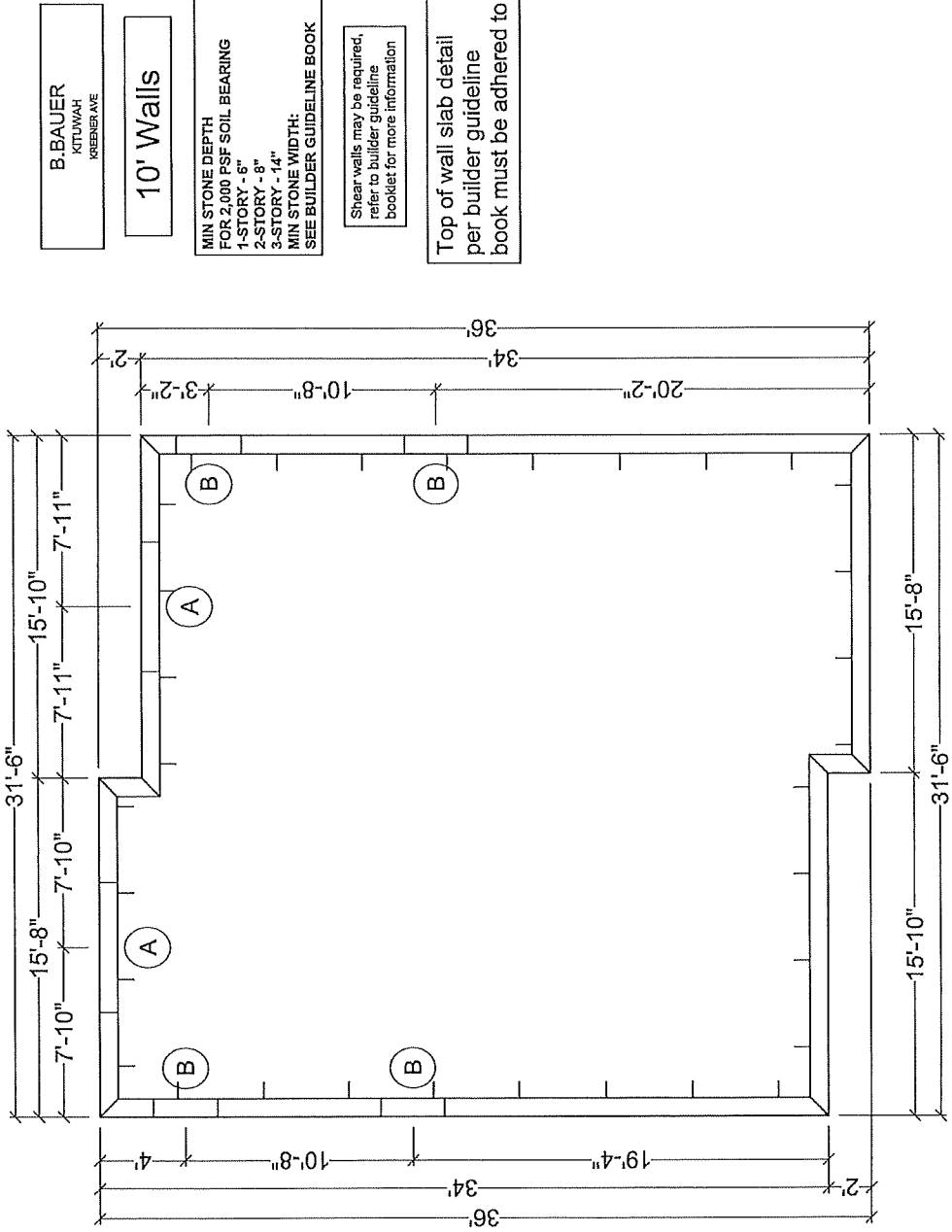
STATUS: ISSUED FOR APPROVAL

SALESMAN: B. BAUER

RELEASE: *Kituwah, NC*

SHEET TITLE: PLAN W/O DIMS

SHEET NO. 3 of 5



**B. BAUER**  
 KITUWAH  
 KREENER AVE

**10' Walls**

MIN STONE DEPTH  
 FOR 2,000 PSF SOIL BEARING  
 1-STORY - 6"  
 2-STORY - 8"  
 3-STORY - 14"  
 MIN STONE WIDTH:  
 SEE BUILDER GUIDELINE BOOK

Shear walls may be required,  
 refer to builder guideline  
 booklet for more information

Top of wall slab detail  
 per builder guideline  
 book must be adhered to

CUSTOMER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**Superior Walls**  
 of North Carolina  
 3570 S. Main Street  
 Salisbury, NC 28147  
 Phone: 704-636-6200  
 Toll-Free: 877-896-9255

REV.	DATE	BY
1	07-21-23	JG
2	07-27-23	JG

PROJECT: **Kreener Ave**  
 BUILDER: **Kituwah**

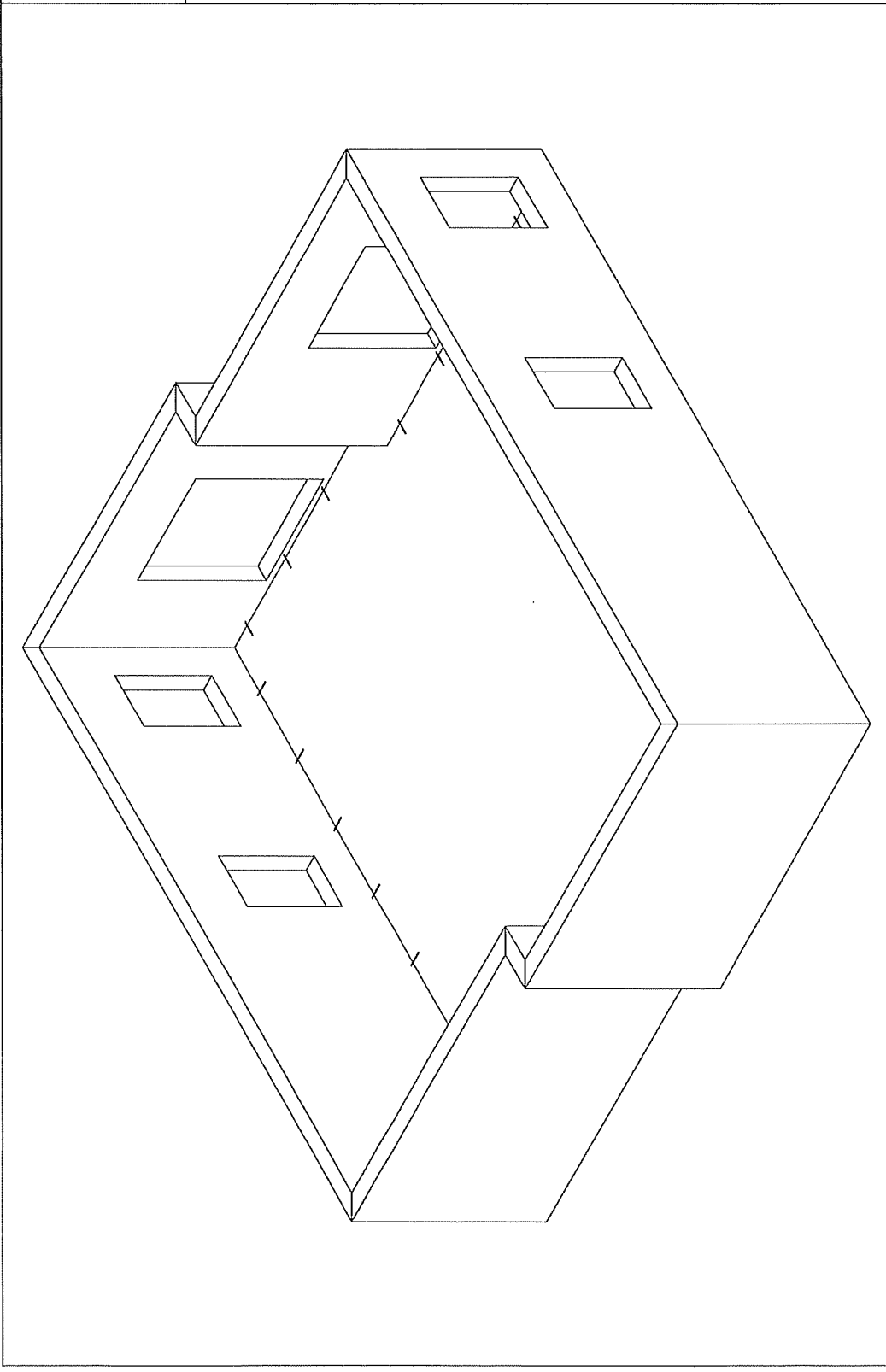
STATUS: ISSUED FOR APPROVAL

SALESMAN: B. BAUER


FILENAME: *Kituwah\_Kreener Ave*

SHEET TITLE: ISOMETRIC 1

SHEET NO. 4 of 5



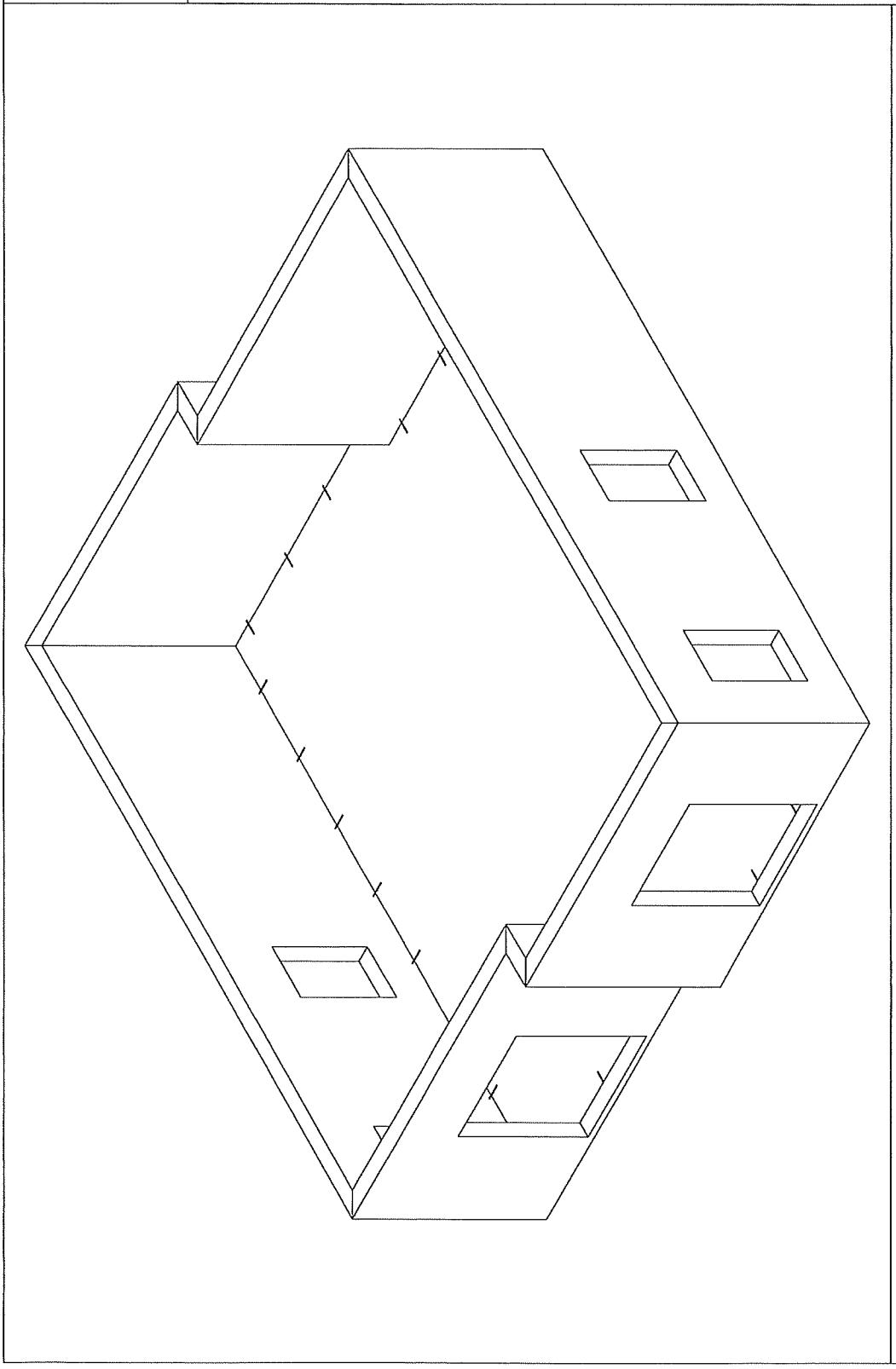
CUSTOMER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_


 3570 S. Main Street  
 Salisbury, NC 28147  
 Phone: 704-636-6200  
 Toll-Free: 877-896-9255

REV.	DATE	BY
1	07-21-23	JG
2	07-27-23	JG

PROJECT: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 STATUS: ISSUED FOR APPROVAL  
 SALESMAN: B. BAUER  
 FILE NAME: Block\_Underlaid.dwg  
 SHEET TITLE: ISOMETRIC 2  
 SHEET NO. 5 of 5

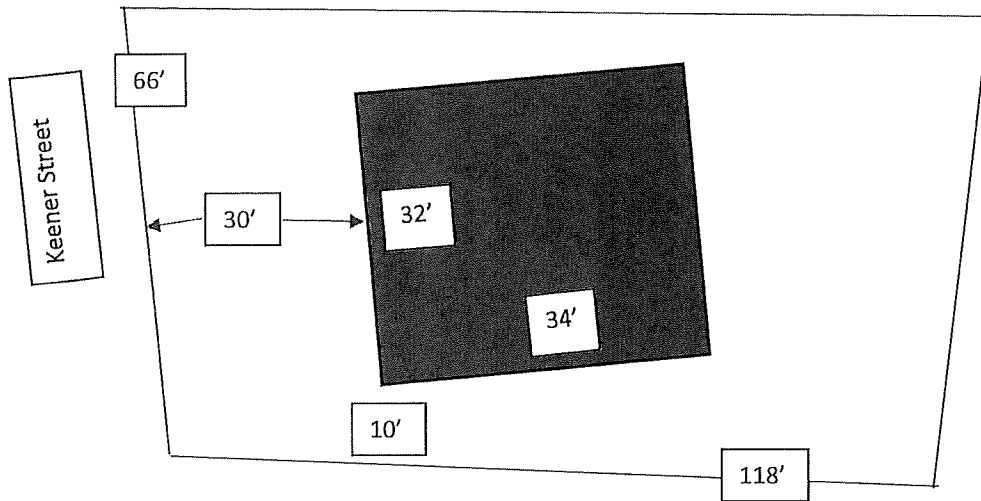
Kreener Ave  
 Kituwah



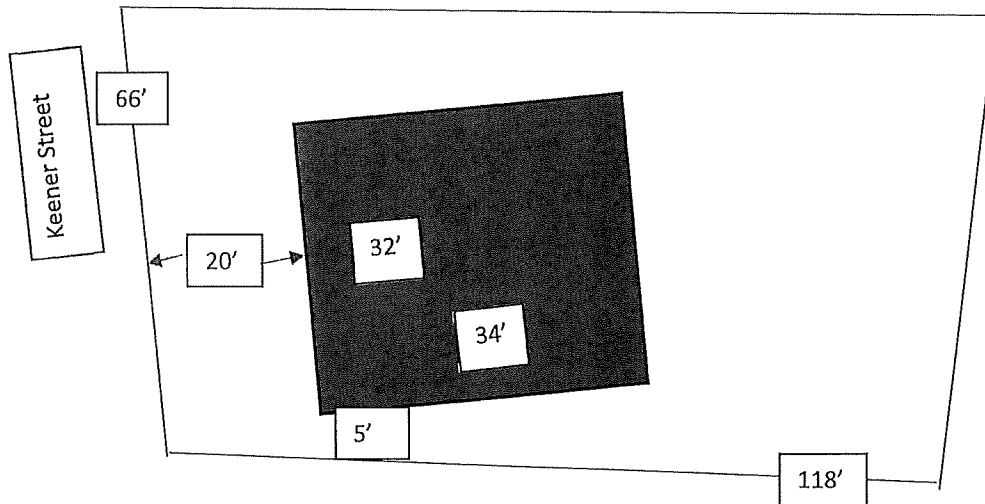
CUSTOMER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

# Mountain Modern Construction LLC

7641-07-0338



Site Alternative 20' Front, Side 5' – Pending October Planning Board







PROJECT NUMBER  
4580

PRINT NO.  
06/22/2018

SCALE:  
N.T.S.

525 BARNESVILLE HIGHWAY WYLLIEBURG, VA, 23976  
© 2023 KITUAH MANUFACTURING, LLC  
Email: cardinal@cardinalhomes.com  
PH: 1-434-735-8111  
FAX: 1-434-735-8924



COVER PAGE 4

**GENERAL NOTES**

- 1) THE ENCLOSED PLANS (SPECIFICATIONS ARE THE SOLE PROPERTY OF KITUAH MANUFACTURING, LLC DBA CARDINAL HOMES) (CH, CH1, & CARDINAL) ANY UNAUTHORIZED USE OF THESE DRAWINGS WITHOUT THE SOLE WRITTEN CONSENT FROM CARDINAL IS PROHIBITED.
- 2) CARDINAL WILL BE CONSIDERED AS A MATERIAL PROVIDER IN ALL BUILDING PROJECTS. CARDINAL IS SUPPLYING BUILDING COMPONENTS TO A LICENSED GENERAL CONTRACTOR.
- 3) DETAILS ON THE ATTACHED PLANS DRAWN OR OUTLINED BY THE FOLLOWING LINE TYPE: \_\_\_\_\_ OR NOTED BY BUILDER ON SITE OR BY BUILDER AT SETUP. HELP DEPICT THE BUILDING IN A MORE COMPLETED STATE. CARDINAL'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND FABRICATION OF MODULES IN ITS PRODUCTION FACILITY. ALL SITE CONSTRUCTION IS PERFORMED UNDER THE DIRECTION OF THE BUILDER. THE BUILDER MUST MAKE SURE THAT ALL ACCESSORY STRUCTURES, INCLUDING BUT NOT LIMITED TO: PORCH ROOFS, DECKS, GARAGES, OVER-FRAMING, AND BUMP-OUT DORMERS, COMPLY WITH ALL APPLICABLE BUILDING CODES. THESE SITE-BUILT ACCESSORY STRUCTURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE AUTHORITY HAVING JURISDICTION.
- 4) NOTES ON THE PLANS MARKED WITH A BR OR B.R. MEANS BUILDER REQUEST
- 5) IT IS THE RESPONSIBILITY OF THE PURCHASER TO INSURE THESE PLANS CONFORM TO LOCAL ORDINANCES IN RESPECT TO BUILDING SIZE, HEIGHT, SETBACK, OR AESTHETICS WHICH IS ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
- 6) IT SHALL BE THE PURCHASER'S RESPONSIBILITY TO JUSTIFY ANY MODIFICATIONS, ADDITIONS, SITE COMPLETION OF UNFINISHED ATTIC/SBONUS AREAS AND ARE SUBJECT TO INSPECTION BY THE AUTHORITY HAVING JURISDICTION.
- 7) PLANS MAY BE REVERSED. PLANS MAY BE MASTERED.

**ATTENTION LOCAL INSPECTION DEPARTMENT**

- THE FOLLOWING ITEMS HAVE NOT BEEN COMPLETED BY CARDINAL, HAVE NOT BEEN INSPECTED BY THE THIRD PARTY RADCO, AND ARE NOT CERTIFIED BY THE RADCO FOR THESE ITEMS. THE LOCAL INSPECTION DEPARTMENT FOR THESE ITEMS MUST BE DETERMINED AT THE LOCAL LEVEL.
- ALL ATTACHED ENTITLED "FIELD INSTALLATION" ARE INCOMPLETE.
- IF THIS STRUCTURE IS IN A THERMAL ZONE MORE STRINGENT THAN THAT LISTED ON THESE PLANS, IS SET ON PILINGS, OR IS INSTALLED AT A MOUNTAIN REGION OR COASTAL HIGH HAZARD OR OCEAN HAZARD SITE SUCH THAT WIND OR OTHER DESIGN PARAMETERS ARE INCREASED, THE DESIGN MUST BE DETERMINED TO BE ADEQUATE FOR ACTUAL SITE CONDITIONS. ALTERATIONS MAY BE REQUIRED TO BRING THE HOME INTO COMPLIANCE WITH THE MORE STRINGENT CONDITIONS.

**BUILDING SITE INSTALLATION REQUIREMENTS**

- FOUNDATION, INCLUDES THE ATTACHMENT OF CARDINAL'S MODULES TO THE FOUNDATION
- MODULAR INTER-CONNECTIONS, ADJUSTMENTS, AND FINISHING, AND ATTACHING BAY WINDOWS AND SIMILAR ASSEMBLIES WHERE FACTORY INSTALLATION WOULD COMPLICATE THE DELIVERY OF THE MODULES.
- SIDING (IE END WALLS, 2ND STORY), ROOF CRICKETS, & ROOFING (IE PORCH AREAS, VALLEYS) NOT INSTALLED BY CARDINAL. BUILDERS MAY REQUEST THAT SOME AREAS BE LEFT UNFINISHED, OR CARDINAL MAY DETERMINE THAT SOME SIDING OR ROOFING SHOULD BE LEFT-OFF TO GAIN EFFICIENCY OVERALL IN THE BUILDING PROCESS.
- ELECTRICAL INTER-CONNECTIONS (E.G. CONNECTION TO PUBLIC UTILITIES, TERMINATING WIRES LEFT UNCONNECTED TO ACCOMMODATE SITE INSTALLED FIXTURES, CONNECTIONS BETWEEN MODULES, UNCOMPLETED HOME RUNS AND SUB-FEEDS TO MAIN PANEL, PANELS SHIPPED LOOSE FOR INSTALLATION IN BASEMENT OR GARAGE, MAIN DISCONNECT IF REQUIRED, CRAWLSPACE LIGHTS AND RECEPTACLES, SMOKE DETECTORS ABOVE OR BELOW THE MAIN LEVELS)

SEALS/STAMPS

**BUILDING CODES**

**NORTH CAROLINA**  
CITY OR COUNTY: SWAIN COUNTY  
(\* - Indicates Jurisdiction has Approved Amendments)  
BUILDING - NC RESIDENTIAL CODE, 2018 EDITION  
PLUMBING - NC RESIDENTIAL CODE, 2018 EDITION  
MECHANICAL - NC RESIDENTIAL CODE, 2018 EDITION  
ENERGY - CH, 11 NC RESIDENTIAL CODE, 2018 EDITION (RESCHECK PER 2018 IECC)  
ELECTRICAL - NC ELECTRICAL CODE, 2017 ED.  
ACCESSIBILITY - NA

**CONSTRUCTION**

FRAMING:  
2X10 SFF#2 AT 16" O.C.  
9 1/4" I-JOIST MAY BE USED AS AN ALTERNATE  
OPEN WEB JOISTS MAY BE USED AS AN ALTERNATE

RAILS:  
2X10 OUTER RAIL & 9/4" LVL INNER RAIL AT MARRIAGE  
WALL & 2X10 OUTER AND INNER RAIL AT SIDEWALL

DECKING:  
3/4" TAG DECKING GULDED W/ CONSTRUCTION  
ADHESIVE AND FASTENED WITH 1 1/2 X 2" NAILS AT 6"  
O.C. EDGE & 12" O.C. FIELD

WALLS:  
2x6 SFF#2, SP#2, OR BETTER AT 16" OC

CEILING (LOWER FLOOR OF STACKED MODULES)  
IF APPLICABLE  
2X6 #2 SFF OR BETTER = 24" O.C. ≤14ft, >14ft = 16" O.C.  
CEILING FINISH:  
1/2" GYPSUM, PRIMED

ROOF:  
SEE PROFILE OF TRUSS OR RAFTER FOR MATERIALS  
SPACING AND CONNECTIONS

SHEATHING:  
7/16 OSB SHEATHING FASTENED WITH .089 X 2 1/4"  
NAILS AT 5" O.C. AT EDGE AND 6" O.C. FIELD

LVL  
LVL WILL HAVE A MINIMUM VALUE OF 2.0E, 3100 P#1,  
750 F#p UNLESS OTHERWISE NOTED ON PLANS

PROJECT NUMBER 4580  
PRINT NUMBER  
MODEL NAME WALNUT COVE MOD. ALT C  
BUILDER KITUAH BUILDERS  
CUSTOMER  
STATE NORTH CAROLINA  
CITY OR COUNTY SWAIN COUNTY  
ADDRESS:

**DESIGN CRITERIA**

CONSTRUCTION TYPE:	V-8
COMPANION CODE:	R-3
NUMBER OF STOREYS:	2
FIRE RATING ON EXT. WALLS:	NA
FIRE PROTECTION PROVISIONS:	NO
FLOOD HAZARD ZONE:	NO
SPRINKLER SYSTEM:	NO
COASTAL CONSTRUCTION:	NO

WIND:	120 MPH (3 SEC GUST) Vult. EXP. - B
BUILDING CATEGORY:	II
IMPORTANCE FACTOR:	1.00
Sepp:	.18 / -.18

SEISMIC DESIGN CATEGORY:	C
ZONE:	4
GROUND SNOW LOAD:	30 PSF
DEAD LOAD:	10 PSF
LIVE LOAD:	20 PSF
MAXIMUM DESIGN MEAN ROOF HEIGHT:	23 FT
FLOOR:	10 PSF
DEAD LOAD:	40 PSF
LIVE LOAD:	30 PSF

**INSULATION SCHEDULE**

CEILING:	R-38	FIBERGLASS
SLOPED:	R-NA	FIBERGLASS (IF APPLICABLE)
WALL:	R-18	FIBERGLASS
KNEEWALL:	R-NA	FIBERGLASS (IF APPLICABLE)
FLOOR:	R-30	FIBERGLASS

THERMAL REQUIREMENTS ZONE 4  
HEAT DEGREE DAYS SEE RESCHECK

**LABELS**  
RADCO STATE LABELS LOCATED ON THE INSIDE OF THE ELECTRICAL PANEL COVER (1) STATE VALIDATION STAMP (LABEL) PER DETAILING UNIT (1) STATE VALIDATION STAMP (LABEL) ATTACHED TO EACH PANELIZED MODULE COMPONENT (1) THE RADCO LABEL PER MODULE AND EACH MODULAR COMPONENT IF SEPARATE

1 STATE VALIDATION STAMP AND 4 RADCO LABELS  
DATA PLATE LOCATED IN THE INSIDE OF THE ELECTRICAL PANEL COVER



PROJECT NUMBER  
4580

PRINT NO.  
06/2021 LC08

SCALE:  
N.T.S.

525 BARNESVILLE HIGHWAY WYLLIESBURG VA, 23076  
© 2023 KITUAH MANUFACTURING, LLC  
PH: 1-434-735-0111 FAX: 1-434-735-6024  
Email: cardinal@cardinalhomes.com



COVER PAGE B

**WINDOW SCHEDULE**

VIEW	W/O/P	DESCRIPTION	SIZE	R.O.	U-VAL	SHGC	MINIMUM PR.P.F.	LIGHT.S.P.F.	VENT.S.F.	EGRS.S.P.F.
GS	West	3062 Cabinet	2'-0" X 5'-0"	2'-0" X 5'-0"	0.35	0.29	29	10.5	16.5	9.25
R	West	244 Cabinet	2'-0" X 4'-0"	2'-0" X 4'-0"	0.35	0.29	29	21	16.5	9.25
S	West	407FX	3'-0" X 4'-0"	4'-0" X 1'-0"	0.35	0.29	29	21.8	19.7	9.85
ZU	West	3062 Cabinet	0'-0" X 4'-0"	6'-0" X 4'-0"	0.35	0.29	29	21.8	19.7	9.85

**EXT. DOOR SCHEDULE**

DOOR	W/O/P	DESCRIPTION	SIZE	R.O.	U-VAL	SHGC	MINIMUM PR.P.F.	LIGHT.S.P.F.	VENT.S.F.
30	Back	Finish door	6'-0" X 8'-0"	6'-0" X 8'-0"	0.43	0.45	33	39.2	19.5
31	Jamb	Finish door	3'-0" X 8'-0"	3'-0" X 8'-0"	0.3	0.24	16.5	16.5	19.5

**BUILDING SITE INSTALLATION REQUIREMENTS (CONTINUED)**

- PLUMBING INTER-CONNECTIONS (E.G. SITE INSTALLED FIXTURES (PLUMB ONLY), CONNECTION TO PUBLIC SEWER OR PRIVATE SEPTIC SYSTEMS, CONNECTIONS LISTED AS "SITE INSTALLED" CONNECTIONS SUCH AS HORIZONTAL DRAIN LINES)
- THIS STRUCTURE MUST BE CONNECTED TO A PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE SYSTEMS ARE AVAILABLE
- ALL ASPECTS OF HEATING & COOLING SYSTEM, AIR RETURN BOX OUT IS SUPPLIED, BUT IS NOT DESIGNED AS AN AIR RETURN METAL DUCT TO BE SUPPLIED AND INSTALLED BY BUILDER ON-SITE - 10KVA ASSUMED FOR HVAC SYSTEMS AND 10KVA ASSUMED FOR THE FLOOR OR ABOVE GRADE LEVEL, SUPPLIED AND INSTALLED BY BUILDER ON-SITE - THE MINIMUM GUARDRAIL HEIGHT IS 36 INCHES
- GARAGE FIRE SEPARATION
- UNFINISHED ATTIC SPACE OR ATTICS AS WELL AS BASEMENT STAIRS AND WALLS, INCLUDING ALL REQUIRED INSULATION
- UNFINISHED ATTIC SPACE - 1" CA SKIMM, EDGE - 1/8" SKIMM, CORNER - 1/8" SKIMM
- THIS STRUCTURE IS TO BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AN ENERGY COMPLIANCE CERTIFICATE AS REQUIRED PER THE ENERGY CODE (LOCATE IN THE ELEC. PANEL COVER)
- ALL TRUSS LISTED BY BUILDER ON-SITE OR BY BUILDER AT SETUP IN PLAN SETS
- SEE TRUSS SECTION(S) FOR SITE INSTALLATION REQUIREMENTS FOR THE ROOF SYSTEM
- ALL PREVISIONS REGARDING RADON CONTROL METHODS
- BUILDERS RESPONSIBLE TO "FLUFF" THE ROOF INSULATION AND FLOOR INSULATION AFTER SET
- FIRE SEPARATION SHALL BE EQUAL TO OR GREATER THAN 10FT
- BLOWER DOOR TEST AS REQUIRED BY THE ENERGY CODE WILL BE PERFORMED BY THE BUILDER ON-SITE
- DRYER EXHAUST DISCHARGED TO OUTSIDE OR THROUGH ROOF VENT (A LINT TRAP IS REQUIRED IF THE VENT IS DUCTED VERTICALLY)
- RADCO STATE LABELS LOCATED ON THE INSIDE OF THE ELECTRICAL PANEL COVER (1) STATE VALIDATION STAMP (LABEL) PER DWELLING UNIT; (1) STATE VALIDATING STAMP (LABEL) ATTACHED TO EACH PANELIZED MODULAR COMPONENT; (1) THIRD PARTY LABEL PER MODULE
- WINDOW FALL PROTECTION: ALL OPERABLE PORTION OF WINDOWS ARE 24" OR GREATER ABOVE FINISHED FLOOR AND 8FT OR MORE ABOVE FINISHED GRADE OR WILL BE SUPPLIED WITH AN OPENING LIMITING DEVICE
- CAPE / UNFINISHED ATTIC AREAS: IT WILL BE THE RESPONSIBILITY OF THE BUILDER TO BE IN COMPLIANCE WITH LOCAL BUILDING CODE AND REQUIREMENTS FOR LIGHT AND VENT
- DRIP EDGE IS PARTIALLY INSTALLED BY CARDINAL - BUILDER TO INSTALL REMAINDER AT SET-UP.
- THIS STRUCTURE HAS BEEN DESIGNED FOR ERECTION OR INSTALLATION ON A SITE BUILT PERMANENT FOUNDATION AND IS NOT DESIGNED TO BE MOVED ONCE SO ERECTED.

**STATE SPECIFIC NOTES / REQUIREMENTS**

SOFFIT MATERIALS FOR THIS UNIT ASSUME THAT THE BUILDING FACE WILL BE 10FT OR GREATER FROM THE PROPERTY LINE. UNDERLAYMENT AND VENTILATION IN ACCORDANCE WITH SECTION R703.11.3, NC RESIDENTIAL CODE, MUST BE PROVIDED AND INSTALLED AT THE SIDE AND INSPECTED BY THE LOCAL JURISDICTION.

SPECIAL MOUNTAIN REGION. ELEVATION PER WIND SPEED DESIGN MAXIMUM OF 3,000 FEET FOR 120 MPH WIND

IF THIS STRUCTURE IS IN A THERMAL ZONE MORE STRINGENT THAN THAT LISTED ON THESE PLANS, IS SET ON PILINGS, OR IS INSTALLED AT A MOUNTAIN REGION OR COASTAL HIGH HAZARD SITE SUCH THAT WIND OR OTHER DESIGN PARAMETERS ARE INCREASED, THE DESIGN MUST BE DETERMINED TO BE ADEQUATE FOR ACTUAL SITE CONDITIONS. ALTERATIONS MAY BE REQUIRED TO BRING THE HOME INTO COMPLIANCE WITH THE MORE STRINGENT

THIS MODEL NOT TO BE LOCATED IN A COASTAL-HIGH HAZARD OR OCEAN HAZARD AREA.

SEALS/STAMPS

**CARDINAL HOMES**  
 PROJECT NO. 4580  
 FP. NUMBER -  
 PRINT NO. -  
 DATE 7/14/2023  
 DRAWN BY: J. HUGHES  
 SCALE: 3/16" = 1'-0"  
 REVISIONS:  
 7-17-23 JH  
 08-08-23 JM  
 08-15-23 JM

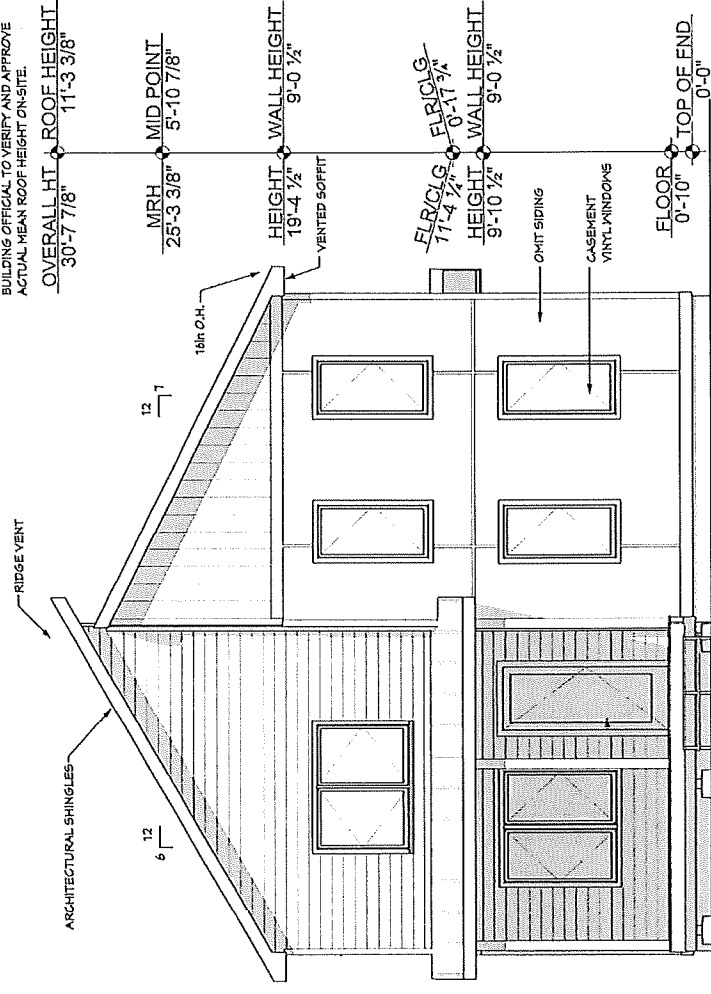
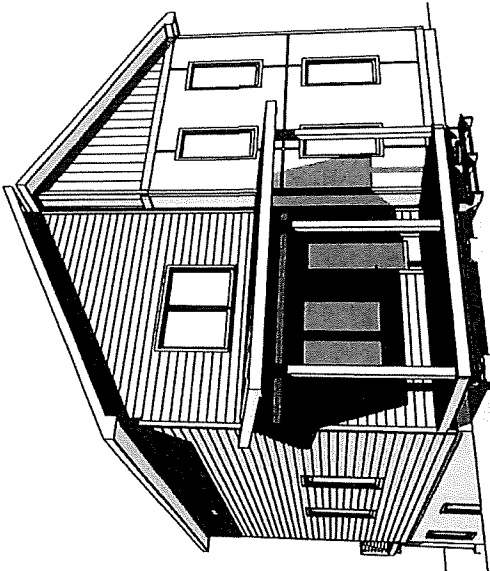
© 2023 KITUWAH MANUFACTURING, LLC

**ELEVATION**

SHEET: 1.0 OF 6

NOTE: PORCHES, DECKS AND/OR GARAGE TO BE THE DECISION OF THE BUILDER OR OWNER PER LOCAL CODES & REQUIREMENTS.

ADD FOUNDATION EXPOSURE TO OVERALL DIMENSIONS FOR AN ACCURATE ASSESSMENT OF THE OVERALL HEIGHT AND MEAN ROOF HEIGHT. BUILDING OFFICIAL TO VERIFY AND APPROVE ACTUAL MEAN ROOF HEIGHT ON-SITE.



Exterior Elevation Front

**WALNUT COVE MODIFIED ALT C**  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITUWAH BUILDERS, LLC  
 CUSTOMER -

NOTE: THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY. THEY MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN THESE RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

NOTE:  
 PORCHES, DECKS AND/OR GARAGE TO BE  
 THE DECISION OF THE BUILDER/OWNER  
 PER LOCAL CODES & REQUIREMENTS.



**CARDINAL  
 HOMES @**

PROJECT NO.  
 4580

FP. NUMBER  
 -

PRINT NO.  
 -

DATE  
 7/14/2023

DRAWN BY:  
 J HUGHES

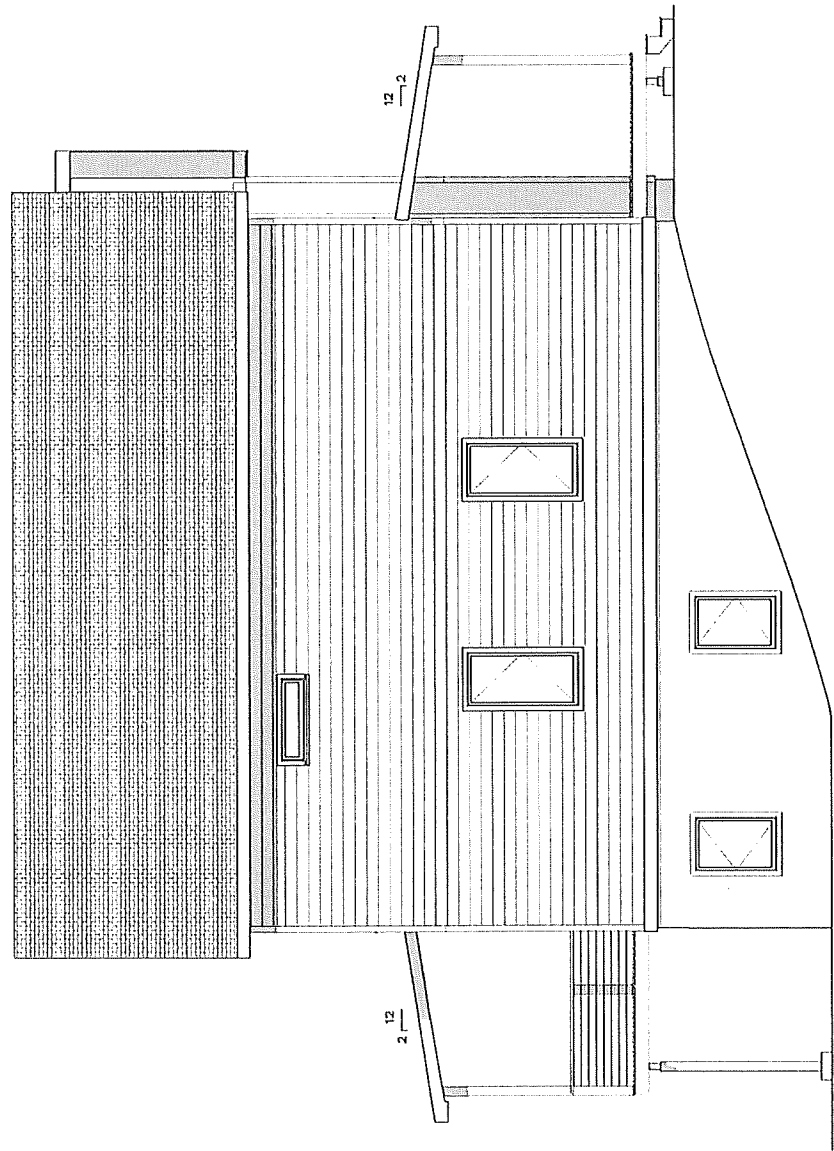
SCALE:  
 3/16" = 1'-0"

REVISIONS
7-17-23 JH
08-08-23 JM
08-15-23 JM

ELEVATION

© 2023 KITUWAH MANUFACTURING, LLC

SHEET:  
 1.1 OF 6

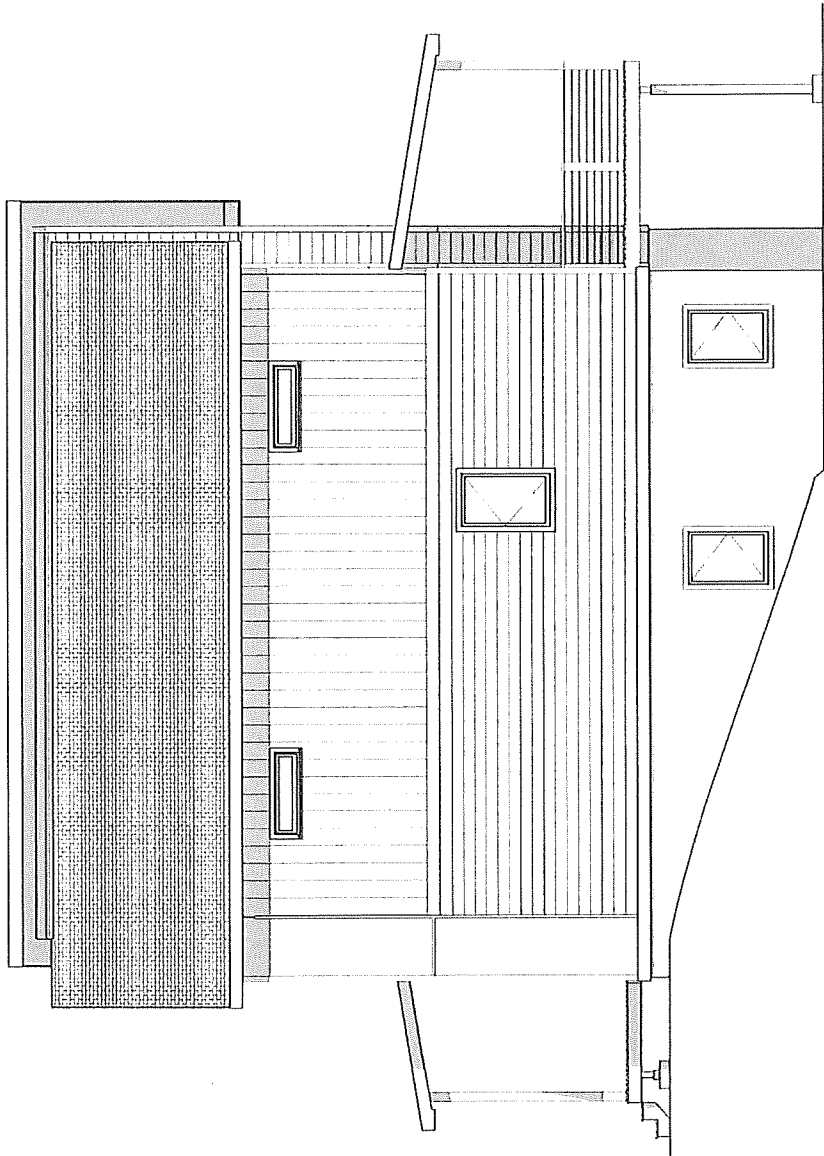


Exterior Elevation Left

**WALNUT COVE MODIFIED ALT G**  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITUWAH BUILDERS, LLC  
 CUSTOMER -

NOTE:  
 THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY, MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN  
 RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.


NOTE:  
 PORCHES, DECKS AND/OR GARAGE TO BE  
 THE DECISION OF THE BUILDER/OWNER  
 PER LOCAL CODES & REQUIREMENTS.



Exterior Elevation Right

WALNUT COVE MODIFIED ALT. C  
 1071 SQ. FT. FIRST FLOOR  
 1071 SQ. FT. SECOND LEVEL  
 2144 TOTAL SQ. FT.  
 KITUWAH BUILDERS, LLC  
 CUSTOMER

NOTE:  
 THESE RENDERINGS ARE AN ARTIST'S DEPICTION ONLY, MAY NOT REFLECT THE ACTUAL FINAL PRODUCT. PLAN UPDATES MAY NOT BE REFLECTED IN  
 RENDERINGS. REFER TO THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

 <b>CARDINAL          HOMES</b>	PROJECT NO. 4580	FP. NUMBER	PRINT NO.	DATE 7/14/2023	DRAWN BY: J HUGHES	SCALE: 3/16" = 1'-0"	REVISIONS 7-17-23 J.H. 08-08-23 J.M. 08-15-23 J.M.	© 2023 KITUWAH MANUFACTURING, LLC ELEVATION	SHEET: 1.2 OF 6