



SWANSBORO HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS

Application # COA-2023-03

I Hereby apply to the Swansboro Historic Preservation Commission for a Certificate of Appropriateness (COA) for the structure, project, or proposed restoration, modification or change one the following property located within the Historic District:

NAME: Brad and Kenna Phillips

MAILING ADDRESS: 205 S. Walnut St, Swansboro, NC, 28584

ADDRESS OF AFFECTED PROPERTY: 205 S. Walnut St, Swansboro NC 28584

PHONE NUMBERS: ^{Brad}_(Home) 919-815-5941 ^{Kenna}_(Work) 919-740-7201

Indicate if you need a pre-application review: ☒ Yes ☐ No

(Note: A pre-application review is required for all projects exceeding a cost of \$10,000 and/or involving new construction projects with a minimum square footage of 1,000 sq. ft. or addition of 500 sq. ft.)

INSTRUCTIONS:

- 1) Each application must include a written property description. In the space provided or on additional sheets, describe the nature and extent of the proposed work to include a listing of materials and dimensions. Provide sufficient detail to allow the Swansboro Historic Preservation Commission (SHPC) to make an informed decision regarding appropriateness.

- 2) For each specific type of activity, attach the following materials: (check the applicable category)

☒ **EXTERIOR ALTERATION:** Photograph(s) and sketch(es) showing existing conditions and proposed changes for each effected area.

☐ **NEW CONSTRUCTION:** a) Plot plan showing all new construction on proposed site; b) preliminary or final drawings showing proposed design of new construction or new addition (elevations required); c) descriptions, samples, and specifications indicating materials and textures used on exterior construction; d) statement by owner of how proposed new construction meets the intent of the SHPC design guidelines for projects involving new buildings with more than 1,000 sq. ft. or addition of 500 sq. ft.; and e) deed of property.

☒ **MOVING / DEMOLITION:** a) Photographs of building to be moved or demolished (including photos of all elevations and a streetscape); b) written description of reason for move or demolition; and c) for moving requests, a photograph of proposed site for relocated building and a plot plan showing exact building location with pertinent dimensions.

ALL SKETCHES, DRAWINGS, COLOR CHIPS, ETC. MUST BE SUBMITTED IN
MULTIPLES OF TWELVE (12) and "8 1/2 x 11" SIZE PAPER IS PREFERRED.

PROJECT DESCRIPTION (Attach additional sheets if necessary):

*Renovation of home damaged by Hurricane
Florence in 2018. see Attached plans.*

The applicant(s) and/or his/her representative(s) are required to appear before the Swansboro Historic Preservation Commission to present, discuss and clarify the application the night of the meeting. If the applicant is not the owner of the property a written statement by the owner is required prior to the meeting for the applicant to pursue the COA.

Any applicant(s) requiring a "CAMA" permit, must submit the approved CAMA application with CAMA official(s) signature(s), prior to the review of the COA by the Swansboro Historic Preservation Commission.

All applications become the property of the Swansboro Historic Preservation Commission for the Town of Swansboro. This application shall be completed and returned to the Code Enforcement Department at least seventeen (17) days before the Swansboro Historic Preservation Commission meeting at which the application may be considered.

It is the policy of the Swansboro Historic Preservation Commission that the board shall act as one body. Accordingly, individual members should not give personal opinions on applications submitted to the Swansboro Historic Preservation Commission, and no such individual opinion shall bind the SHPC in any way.

[Signature]
Signature of Applicant

03-23-2023
Date

STAFF USE ONLY

Application received by: *Peter Butler* Date: *3/23/23*
Application reviewed with applicant by: *Peter Butler* Date: *3/23/23*
How: In person _____ By Phone */email* ☒
Fee Paid: *\$200* Receipt Number *200004064*
Comments: _____

Proposed Rehabilitation

Of

The Clen Irvin House

205 S. Walnut Street

Swansboro, NC

Kenna and Brad Phillips

We are excited to present for your consideration an overview of our hopes and plans to rehabilitate this historic property. We intend to work closely with the Swansboro Historic Preservation Commission and Town staff to ensure that the home is structurally sound and reflects the period in which it was originally built while meeting the needs of full-time occupancy.

The journey so far has been slow yet the due diligence thorough. We have held on-site meetings with John P. Wood, NC State Historic Preservation Office, Sean Corcoran, PE, and John Dale, General Contractor, Tri County Contracting. All agree that the first order is to make the house “healthy” again. We will begin with a new foundation, roofing, siding and windows. Demolition throughout the entire project will be as recommended by the structural engineer in collaboration with the general contractor and by necessity. We will provide adequate insurance coverage on the entire project, including liability.

We appreciate the assistance of the Town of Swansboro, particularly Andrea Correll and Rebecca Brehmer whose guidance and encouragement have been professional, insightful, and invaluable.

Foundation/Crawlspace

Attached is Sean Corcoran's detailed overview of the repairs/replacements to the foundation. We will follow all his recommendations. The work will be performed by his company, Carolina Foundation and Repairs. See Attachment 1.

Roof

The entire roof will be replaced, including trusses and sheeting as needed.

On the back part of the house, the pitch will be changed slightly to repair the extensive damage, strengthen the roof line, and to improve the symmetric logic of the house.

New roof is to be standing seam metal with stainless steel connectors per specifications provided by Brent Tedder Roofing. Color is Ash Gray or Dove Gray, depending on availability. See Att. 2.

Gutters and downspouts will be installed and sized to ensure rainwater is diverted away from the foundation.

Windows, Siding and Doors

All windows will be replaced with fiberglass/wood clad windows as recommended by John Wood.

The front door will be new (none existing). It will be custom made steel by Raleigh Door, Jim Murray Owner.

Siding will be fiber cement lap siding. Color will be from the SHPC approved color pallet. Functional storm shutters will be restored to the house. Color will be from the SHPC approved color pallet.

Porches, Front and Back,

Demolition of front and back porches will be as necessary for replacement and recommended by the structural engineer.

The front porch will be replaced with wood flooring and concrete will be removed. Also, the carport and driveway will be removed and replaced by a connected side porch creating an "L" shaped porch.

Landscaping and Fencing

Landscaping will be in the flora and fauna appropriate to the area. Subtle low voltage lighting will highlight the home and garden features but not be intrusive to neighbors or the community.

A low, black aluminum fence with brick columns approximately 4 ft. in height will surround the property.

We will remove two trees, both Bradford pears, that were damaged in the hurricane. They are weakened, split, and endanger the house and property. Replacement will be with palms or similar trees.

Shed/Workshop

The shed/workshop will be renovated and converted to a detached front-loading garage, per consultation with John Wood. New siding and roof matching the house will be installed.

Sean Corcoran, PE Engineering Consultant

P.O. Box 672 • New Bern, North Carolina 28563 • 252-637-6667

To: Brad & Kenna Phillips
From: Sean Corcoran, PE
Subj: 205 S. Walnut St., Swansboro: Evaluation of General Structural-Related Issues
Date: 12-6-22

An inspection was performed at the above historic residence, to evaluate the general condition of the structure, following storm damage and abandonment.

Observations:

Attic/Roof/Wall Structure:

- Significant water damage was observed at the front and right-side porch structure, which is not considered serviceable. *See photo #1.*
- Much of the roof surface is concealed by tarps. The exposed portions are considered damaged or poorly executed, including the rear low-slope fiberglass shingle installation.
- Various modifications were present in the attic such as: new roof sheathing, collar-ties, and gable end framing. *See photo #2.*
- The ceiling joists have also been reinforced with 2 x 12's and ¾" plywood decking for storage. *See photo #3.*
- The front wall header over the front door is incomplete. *See photo #4.*
- Most of the walls have been significantly reinforced with 'sistered' wall studs and new sheathing. *See photo #5.*

Front Porch/Carport/Driveway:

- The front porch masonry perimeter is damaged at its base, visible from the crawlspace. *See photo #6.* The driveway exhibits severe cracking/displacement from nearby roots.

Second-Story Floor System:

- Individual second floor joists are over-drilled, requiring modifications/reinforcement.
- Drilled holes for second floor plumbing should be modified.

Foundation/Crawlspace:

- A general loss of masonry perimeter 'infill' was also noted along the left side of the home, leaving the crawlspace perimeter open to the elements. *See photo #7.*
- The crawlspace soil grade is uneven. General debris is present, which requires removal.
- Several poorly installed dry-stacked blocks have been placed below various areas of the floor.
- No formal crawlspace entry door is present. There is no vapor barrier or floor insulation (thermal barrier) present.
- The majority of the floor system has been completely replaced. An allowance should be considered to address the various interior block piers/girder installations. *See photo #8.*
- During the process of repairing the foundation perimeter, considered shifting the foundation to a 'closed & moisture controlled' space, devoid of foundation vents.

General Commentary:

1. The front porch and carport structure require complete reconstruction.
2. The roof surfaces should be restored using metal roofing components.
3. The reinforcement of the upper roof structure is considered effective. Perform similar improvements to all portions of the roof structure.
4. Wall structural improvements are also considered to be adequate. Some wall portions require completion.
5. The floor system main girders/piers require only minor/general modifications to be restored.
6. The foundation perimeter 'in-fill' requires restoration.
7. See Crawlspace recommendations below.

Crawlspace/Foundation-Related Recommendations & Cost Basis:

1. General preparations:

- Provide crawlspace entry doors using treated components. [REDACTED]
- Remove & dispose of all general debris. Re-grade the crawlspace soil, as necessary. [REDACTED]

2. Address the structure/floor system:

- Allowance to remove & replace the previous poorly installed dry-stacked blocks, using new concrete mortared block pier supports, where necessary. [REDACTED]
- Front Porch Surface: Consider demolition/replacement of the front porch with a wooden deck structure. [REDACTED]s.
- Close/complete the foundation perimeter, using like-kind masonry. Allowance: [REDACTED]

3. Restore the thermal barrier:

- In lieu of standard floor insulation, install 1" rigid foam along the entire foundation interior perimeter. Maintain proper inspection gaps. Seal all joints and gaps using spray foam. Install R-19 batt insulation along the perimeter rim joist. Isolate the front porch structure from the main crawlspace. [REDACTED]

4. Provide a new vapor barrier:

- Provide a new 6-mil vapor barrier that is properly overlapped, and extended slightly up the exterior perimeter, providing 100% coverage. [REDACTED]

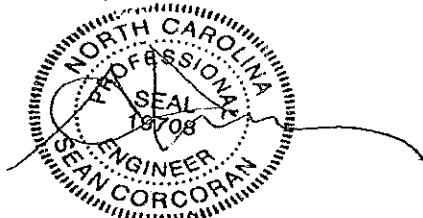
5. Improve the general moisture & thermal environment, by formally shifting to a 'closed and moisture-controlled' space:

- Improve general sealing along the entire foundation perimeter at all vents, doors and penetrations using rigid & spray foam. Provide replacement foundation vent covers, as necessary. [REDACTED]
- Install a Code-approved source of moisture control using a check valve, placed into the future HVAC supply system, which discharges a small amount of conditioned air into the crawlspace. [REDACTED]

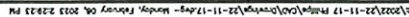
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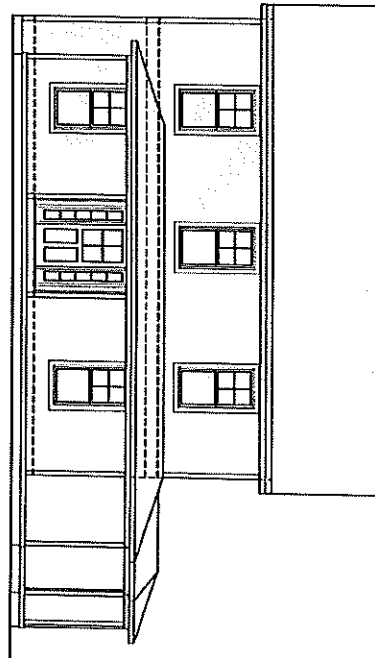
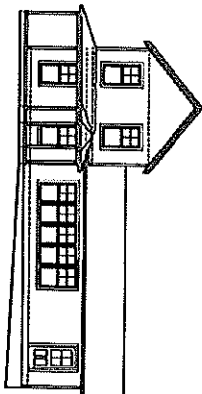
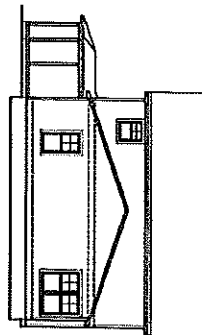
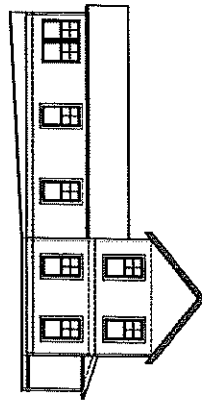
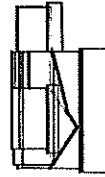
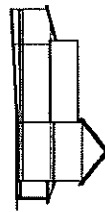
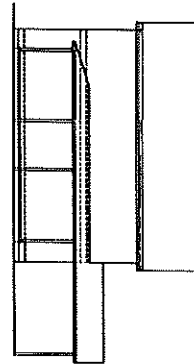
- *NC Sales Tax also applies.*
- *This report is the property of the client referenced above and is not intended for use by others.*
- *The cost of the repair/remediation of the items outlined in this report is based upon the completion of all of the items listed above. With the exception of items noted as an 'option', electing not to perform specific repairs will result in an increase in cost for remaining line items.*
- *Any proposed repairs/alterations to the floor system are intended to improve the structural integrity of the floor system but are not likely to restore the original floor level of the home. Complete removal and reconstruction is recommended for substantially damaged/un-level portions of the floor system.*
- *The structural repair process is likely to cause cracking, to interior drywall, tile & trim-related surfaces. Any cosmetic repairs are to be performed by others.*
- *The pricing outlined in this proposal is valid for 120 days.*

Sincerely,



Sean Corcoran, PE





COOPERATION INFO:
ALL CONTRIBUTION TO THIS OR OTHER ALL
STATE AND LOCAL GOVERNMENT OFFICE

| | |
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| A KENODEL FOR MR. & MRS. PHILLIPS SWANBORO, NC | |
| SWANBORO, NC 286 WALNUT STREET SWANBORO, NC | |
| TRICOUNTY CONST. NEWPORT, NC | |
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Damaged tree to be removed



Shed Interior/Ceiling damage



Shed Exterior



Current Exterior showing steps + Porch



Fence w/ brick - Example



Shutter 2 - closed



Shutter 1 - open



Photo #1: Significant water damage was observed to the roof system associated with the front porch/carport structure.



Photo #2: Attic construction: new roof sheathing, gable end wall studs/sheathing, collar-ties, reinforced ceiling joists and 3/4" plywood attic decking.



Photo #3: The upper ceiling joists have been reinforced with 2 x 10's and $\frac{3}{4}$ " plywood.



Photo #4: The front door/wall framing support is incomplete.



Photo #5: Significantly modified/reinforced stud walls/structural sheathing & new windows.



Photo #6: The masonry front porch perimeter exhibits damage to its interior perimeter, as noted from the crawlspace.



Photo #7: A general loss of masonry infill has occurred along the left side of the home.



Photo #8: The floor system is comprised of new/treated components. New girders are present which are supported upon some residual dry-stacked block piers. No floor insulation is present.

Environmentally Smart Colors—Designed Energy Efficient



TERRA COTTA



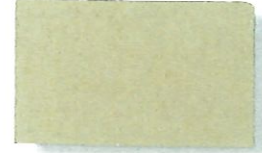
AGED COPPER



SOLAR WHITE +



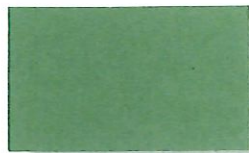
SANDSTONE +



SURREY BEIGE



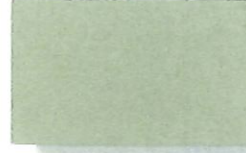
COLONIAL RED +



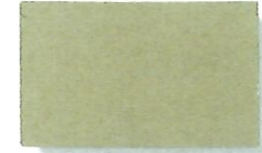
PATINA GREEN



REGAL WHITE +



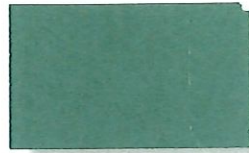
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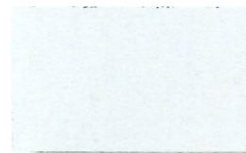
SIERRA TAN +



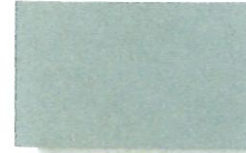
REGAL RED *



HEMLOCK GREEN *



STONE WHITE



DOVE GRAY



MEDIUM BRONZE +



BURGUNDY *



HARTFORD GREEN * +



SLATE BLUE



SLATE GRAY +



MANSARD BROWN +



MATTE BLACK +



EVERGREEN +



REGAL BLUE * +

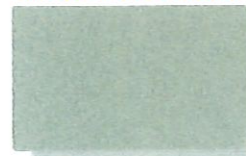


CHARCOAL GRAY +



DARK BRONZE +

Metallic Colors



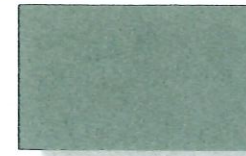
SILVER *



COPPER *



CHAMPAGNE *



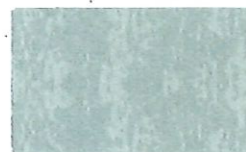
PRE-WEATHERED *
GALVALUME[®]



ACRYLIC COATED
GALVALUME[®]

Non-Painted

Weathered Colors



GALV-TEN[™] RAW *



COPPER-TEN[™] RAW *



COR-TEN AZP[®] RAW *



VINTAGE[®]

* Available at a slight price premium.


+ Available in 26ga SMP

* Also available in Robust.

Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with either Kynar 500[®] or Hylar 5000[®] resins, which provide superior color retention and allow Sheffield Metals to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Champagne, Silver, and Pre-Weathered Galvalume. Steelscape's Vintage carries a 20 year Finish Warranty. Please contact your representative for more information.


At Home Improvement Retailer

Close X




36 in. x 80 in. Savannah
Right-Hand 6 Lite Clear
Stained Mahogany Wood
Prehung Front Door
by Steves & Sons

Related Videos & 360° View



Product Images



Hover Image to Zoom

Live Chat

Feedback

Example of front and back door



Anderson A series windows will be white



Example of what brick foundation will look like