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**PLAN: 1625
BUILDING AREA**

CONDITIONED FLOOR AREA LVL 1	
LIVING AREA	: 675.69 SF
TOTAL	: 675.69 SF
CONDITIONED FLOOR AREA LVL 2	
LIVING AREA	: 952.00
GROSS BUILDING AREA	: 1,627.00
ENCLOSED NON-CONDITIONED FLOOR AREA	
GARAGE & STORAGE	: 267.56 SF
TOTAL	: 267.56 SF
COVERED DECK (LANDING) SPACE	
	: 49.33 SF
TOTAL	: 49.33 SF
NET BUILDING AREA	: 1944.58 SF

**PLAN: 1808
BUILDING AREA**

CONDITIONED FLOOR AREA LVL 1	
LIVING AREA	: 700 SF
CONDITIONED FLOOR AREA LVL 2	
LIVING AREA	: 1,108 SF
GROSS BUILDING AREA	: 1,808 SF
ENCLOSED NON-CONDITIONED FLOOR AREA	
GARAGE & STORAGE	: 436 SF
TOTAL	: 436 SF
PORCH ELEVATION A & B	
	: 26 SF
NET BUILDING AREA A & B	: 2,270 SF

**PLAN: 2016
BUILDING AREA**

CONDITIONED FLOOR AREA LVL 1	
LIVING AREA	: 788 SF
CONDITIONED FLOOR AREA LVL 2	
LIVING AREA	: 1,228 SF
GROSS BUILDING AREA	: 2,016 SF
ENCLOSED NON-CONDITIONED FLOOR AREA	
GARAGE & STORAGE	: 457 SF
TOTAL	: 457 SF
PORCH ELEVATION A	
	: 20 SF
PORCH ELEVATION B	
	: 25 SF
NET BUILDING AREA A	: 2,493 SF
NET BUILDING AREA B	: 2,498 SF

**Sheet
Number**

- 1
- 1.1
- 2.1
- 2.2
- 2.3
- 3.1
- 3.2
- 3.3
- 4.1
- 4.2
- 4.3

Sheet Name

- DESIGN REVIEW COVERSHEET
- BRYSON COTTAGES SITE PLAN
- 1625 - ELEVATION A
- 1625 - ELEVATION B
- 1625 - FLOORPLANS - A & B
- 1808 - ELEVATION A
- 1808 - ELEVATION B
- 1808 - FLOORPLANS - A & B
- 2016 - ELEVATION A
- 2016 - ELEVATION B
- 2016 - FLOORPLANS - A & B

BRYSON COTTAGES

DESIGN REVIEW

SUTTER CREEK, CA



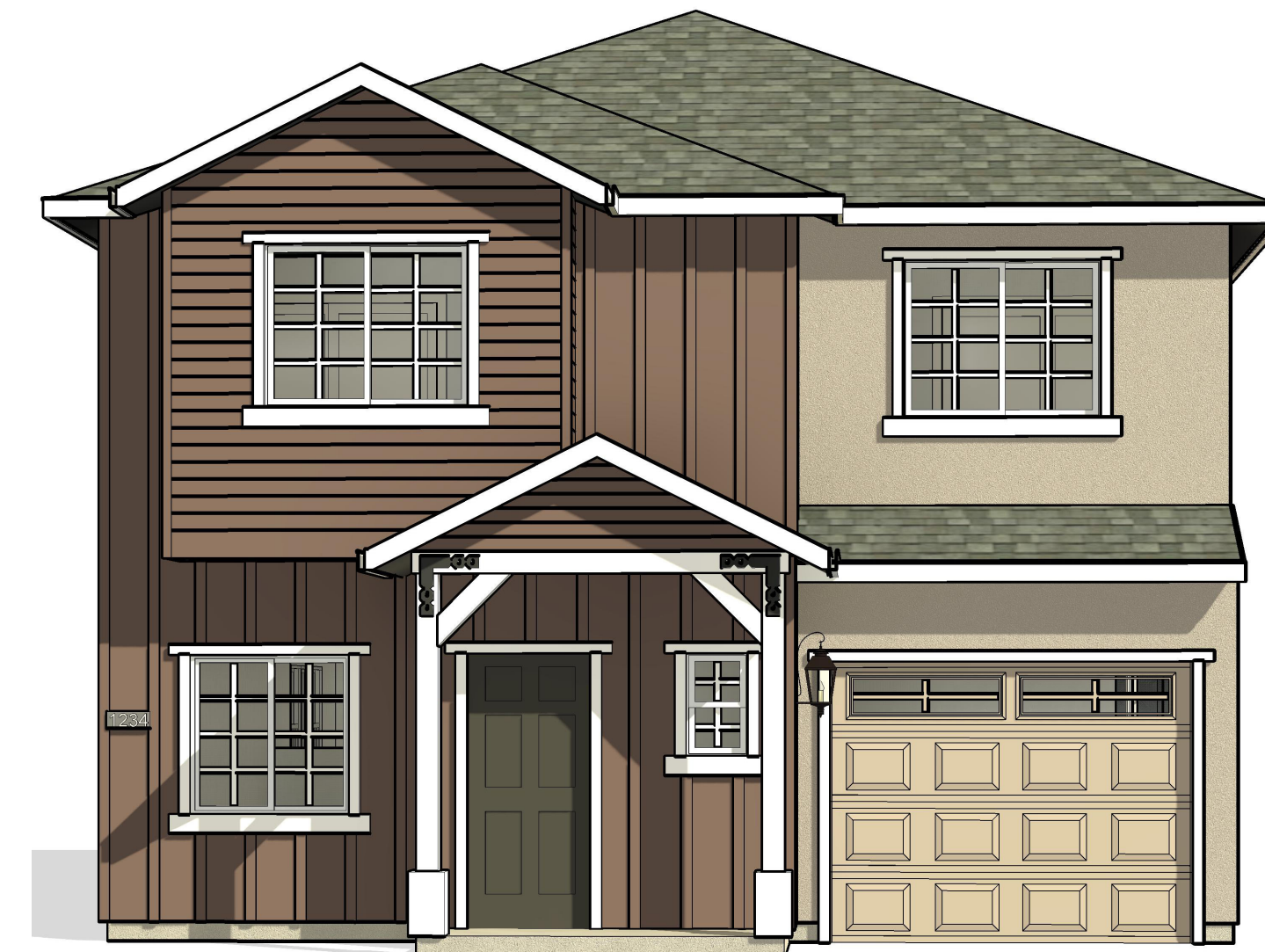
RIVERLAND HOMES, INC.
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

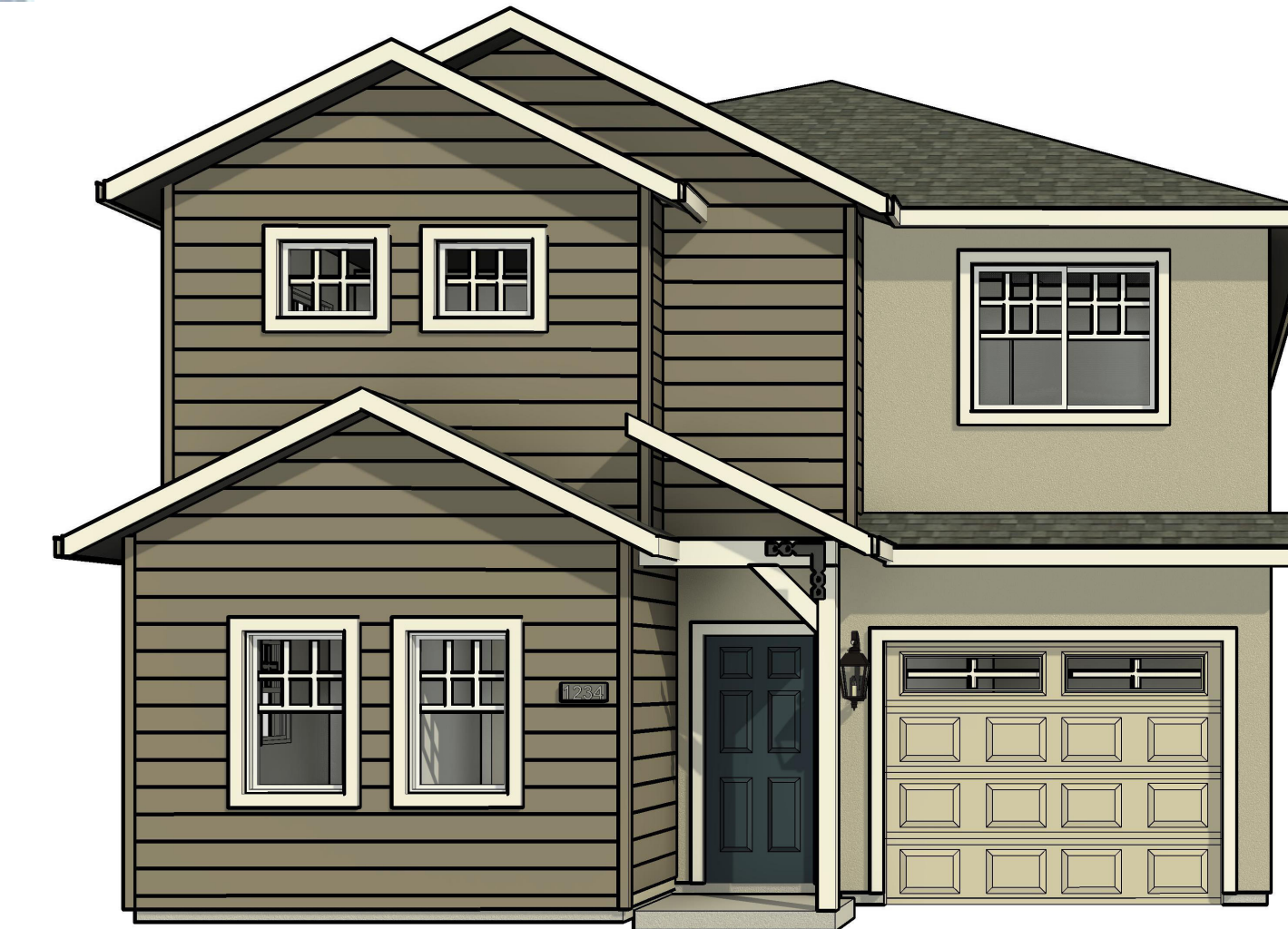
PROJECT:
BRYSON COTTAGES



1625 A



1808 A



2016 A



1625 B



1808 B



2016 B

DATE	10/31/25
PROJECT NO	N/A
REVISION	DATE

NOTES

**DESIGN
REVIEW
COVERSHEET**

SCALE: As indicated

1

DRAWN BY: RHI

FINAL SUBDIVISION MAP No. 175 BRYSON COTTAGES SUBDIVISION

LOTS 12 AND 13 OF UNIT No. 1, GOLD QUARTZ TERRACE FILED FOR RECORD ON FEBRUARY 25th, 1980
IN BOOK 4 OF SUBDIVISIONS, AT PAGE 72, OFFICIAL RECORDS OF AMADOR COUNTY, CALIFORNIA.
ALSO BEING A PORTION OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 11 EAST, MOUNT DIABLO MERIDIAN
IN THE CITY OF SUTTER CREEK, AMADOR COUNTY, CALIFORNIA

FOR: BRYSON COTTAGES L.L.C.
DEED REF.: 2007-0007115

BY: WARD ASSOCIATES
1493 CALAVERITAS ROAD
SAN ANDREAS, CALIFORNIA 95249

LEGEND AND NOTES

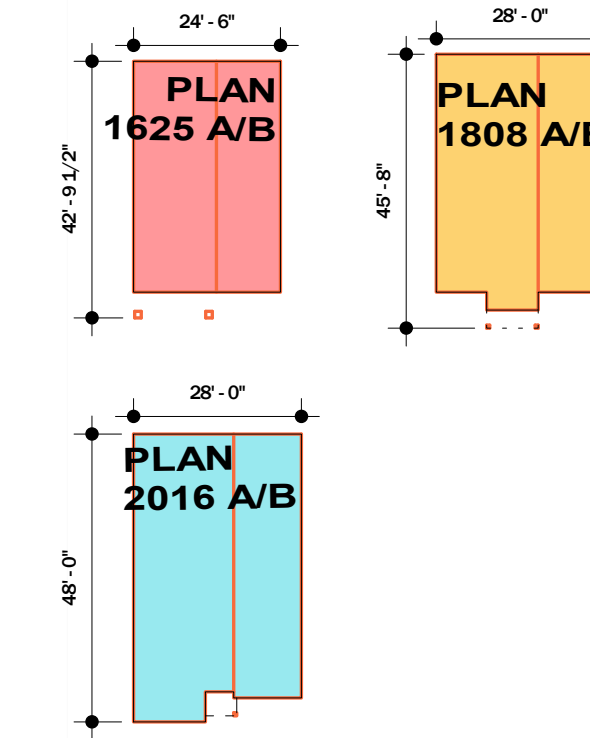
- INDICATES: FOUND MONUMENTS AS NOTED.
- INDICATES: SET 1/2" REBAR CAPPED L.S. 6425.
- INDICATES: CALCULATED POINT, NOTHING SET.
- (U.O.) INDICATES: UNKNOWN ORIGIN.
- (S.F.N.F.) INDICATES: SEARCHED FOR, NOT FOUND.
- (r) INDICATES: RADIAL BEARING
- LC INDICATES: LONG CHORD
- (a) INDICATES: RECORD DATA PER BOOK 4 OF SUBDIVISIONS, PAGE 76-77.
- (m) INDICATES: MEASURED ON THIS SURVEY.
- (P.U.E.) INDICATES: PUBLIC UTILITY EASEMENT
- INDICATES: PUBLIC UTILITY EASEMENT
- INDICATES: PRIVATE ROAD RIGHT-OF-WAY, P.U.E. & DRAINAGE EASEMENT
- INDICATES: EASEMENT AS NOTED

LEGEND

- BUILDING SETBACK LINES
- FRONT HOUSE SETBACK: 20'
 - FRONT GARAGE SETBACK: 15'
 - REAR HOUSE SETBACK: 10'
 - SIDE SETBACK: 5'

PLANS USED

SAMPLE LAYOUT ONLY,
SUBJECT TO CHANGE.



COURSE	BEARING	DISTANCE
1	S 44°39'58" E	46.93'
2 - LC	N 34°11'33" W	18.86'
3 - LC	N 18°34'31" W	3.46'
4 - LC	N 04°06'22" W	17.12'
5 - LC	S 02°35'37" W	26.30'
6 - LC	S 06°49'59" E	20.05'
7 - LC	S 15°27'22" E	22.35'
8 - LC	S 23°50'05" E	18.85'
9 - LC	S 31°58'08" E	21.15'
10	S 36°16'15" E	12.89'
11	S 36°16'15" E	29.83'
12 - LC	N 30°38'35" W	9.81'
13 - LC	N 11°20'59" W	23.63'
14	S 02°18'58" W	5.93'
15	S 69°32'23" W	32.33'
17	N 16°09'13" E	32.04'

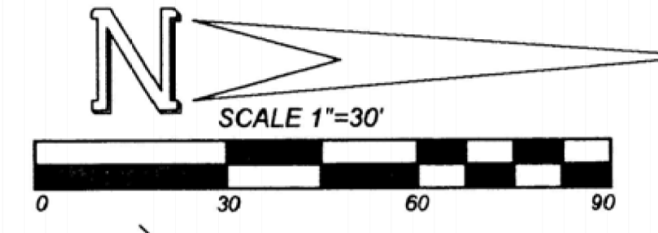
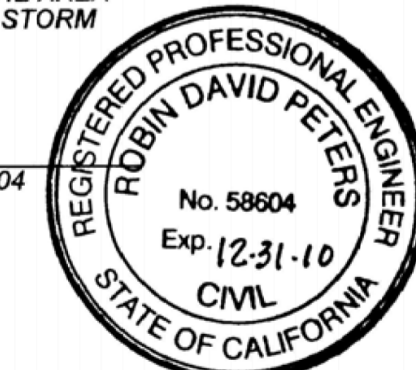
COURSE	BEARING	DISTANCE
52	N 45°18'28" E	23.19'
53	S 56°29'26" E	18.69'
54	S 70°50'44" E	51.62'
55	N 79°05'21" E	11.92'
56 - LC	S 04°54'10" E	17.49'
57	N 70°50'41" W	37.31'
58 - LC	N 76°43'20" W	69.40'

CURVE	RADIUS	ARC LENGTH	DELTA
C 56	156.00'	17.50'	06°29'38"
C 58	295.00'	60.51'	11°45'09"

INUNDATION CERTIFICATE

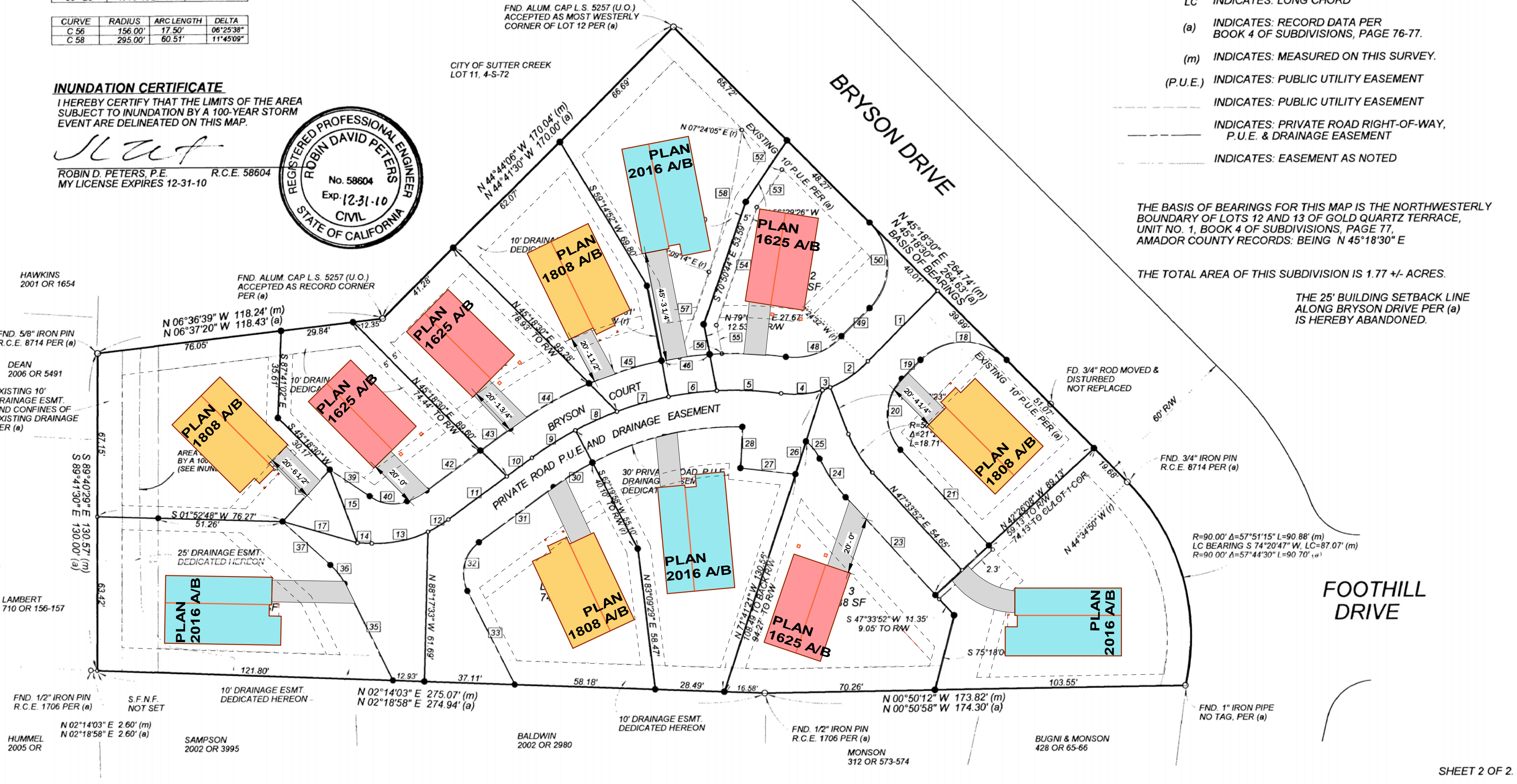
I HEREBY CERTIFY THAT THE LIMITS OF THE AREA SUBJECT TO INUNDATION BY A 100-YEAR STORM EVENT ARE DELINEATED ON THIS MAP.

ROBIN D. PETERS, P.E.
R.C.E. 58604
MY LICENSE EXPIRES 12-31-10



COURSE	BEARING	DISTANCE
18 - LC	S 00°19'18" W	35.35'
19	S 44°39'55" E	11.00'
20 - LC	S 88°33'03" E	29.12'
21	N 47°33'51" E	55.91'
22	S 42°26'08" E	30.00'
23	S 47°33'52" W	56.95'
24 - LC	N 56°03'30" E	19.20'
25 - LC	S 02°05'16" W	9.07'
26	S 71°41'21" E	14.21'
27	S 06°41'55" W	22.57'
28	N 86°56'25" W	16.92'
29 - LC	S 13°00'19" E	63.76'
30 - LC	S 31°58'10" E	18.90'
31	S 36°16'14" E	38.06'
32 - LC	S 76°13'47" E	20.55'
33	N 63°48'35" E	43.23'
35	S 63°48'36" W	44.65'
36 - LC	S 53°04'34" W	9.68'
37	S 42°20'32" W	26.50'
38	N 47°39'28" W	28.92'
39	N 33°55'14" E	19.80'
40 - LC	N 08°01'11" E	15.58'
41 - LC	N 28°41'30" W	9.24'
42	N 36°16'11" W	27.61'
43	N 36°16'11" W	15.11'
44 - LC	S 29°23'26" E	37.38'
45 - LC	S 16°42'38" E	31.53'
46 - LC	S 07°13'41" E	20.04'
47 - LC	S 02°11'58" W	31.23'
48 - LC	N 20°04'12" W	24.43'
49	N 44°41'32" W	16.45'
50 - LC	N 89°40'44" W	35.36'

CURVE	RADIUS	ARC LENGTH	DELTA
C 18	25.00'	39.26'	89°58'25"
C 20	21.00'	32.17'	87°46'08"
C 24	65.00'	19.27'	16°59'46"
C 25	21.00'	9.14'	24°55'52"
C 29	126.00'	64.49'	29°19'37"
C 30	126.00'	18.92'	08°36'13"
C 32	16.00'	22.32'	79°55'06"
C 36	26.00'	9.74'	21°28'04"
C 40	16.00'	16.27'	58°15'10"
C 41	35.00'	9.26'	15°09'47"
C 44	156.00'	37.47'	13°45'41"
C 45	156.00'	25.58'	11°35'55"
C 46	156.00'	20.06'	07°21'57"
C 47	156.00'	31.28'	11°29'21"
C 48	26.00'	25.43'	56°01'53"
C 50	23.00'	39.28'	90°01'32"



THE BASIS OF BEARINGS FOR THIS MAP IS THE NORTH-WESTERLY BOUNDARY OF LOTS 12 AND 13 OF GOLD QUARTZ TERRACE, UNIT NO. 1, BOOK 4 OF SUBDIVISIONS, PAGE 77, AMADOR COUNTY RECORDS. BEING N 45°18'30" E

THE TOTAL AREA OF THIS SUBDIVISION IS 1.77 +/- ACRES.

THE 25' BUILDING SETBACK LINE ALONG BRYSON DRIVE PER (a) IS HEREBY ABANDONED.

SHEET 2 OF 2

LOT #	1	2	3	4	5	6	7	8	9	10	11	12
LOT COVERAGE %	18.2	11.4	14.2	17.2	15.6	15.2	18.4	20.3	22.1	24.4	19	16.5



RIVERLAND HOMES, INC.
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
SILVER EAGLE

PROJECT:
SILVER EAGLE
DESIGN REVIEW
SITE PLAN

DATE: 10.31.2025
PROJECT NO:
REVISION: DATE:

NOTES

BRYSON COTTAGES
SITE PLAN

SCALE: As indicated

1.1

DRAWN BY: DAVID SUSHCH

COLOR PACKAGE 1



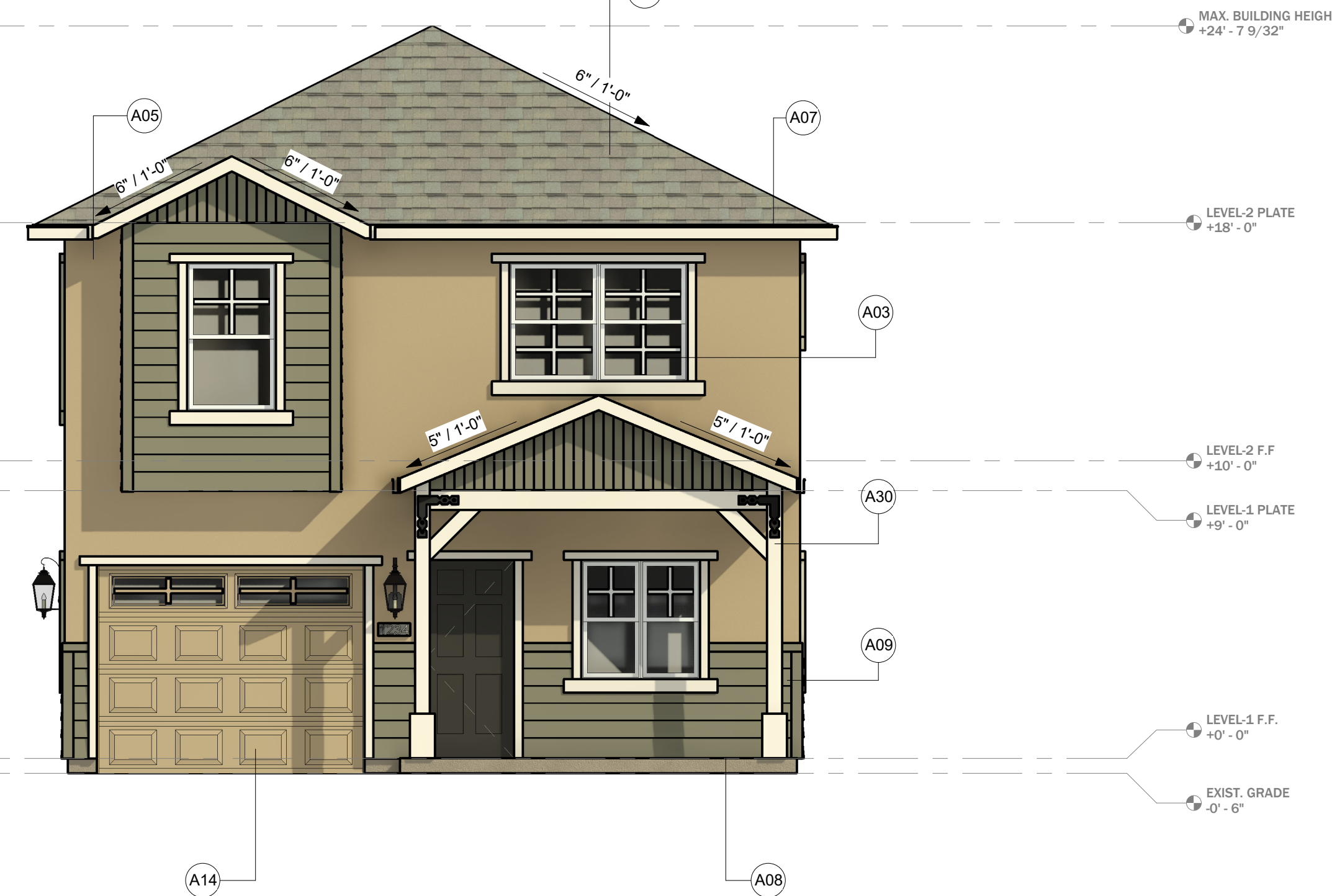
2 EXTERIOR ELEVATION - LEFT OPT A
SCALE: 1/4" = 1'-0"

SHEET KEYNOTES

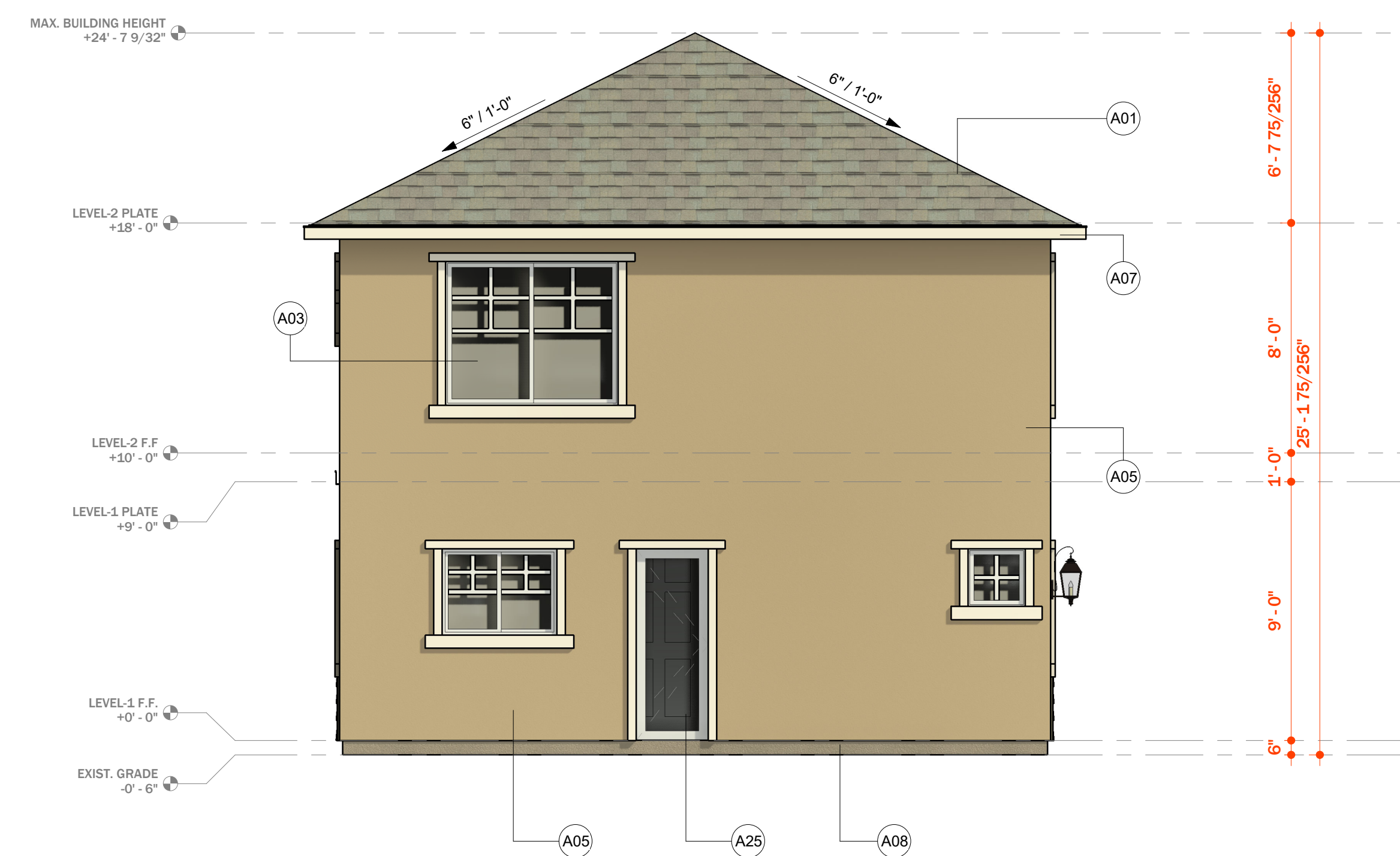
Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER

SHEET KEYNOTES

Key Value	Keynote Text
A08	SCREED LINE
A09	LAP SIDING
A14	GARAGE DOOR
A18	MASONRY VENEER (BUILDERS CHOICE)
A25	EXTERIOR DOOR POST
A30	POST



1 EXTERIOR ELEVATION - FRONT OPT A
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - REAR OPT A
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - RIGHT OPT A
SCALE: 1/4" = 1'-0"



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PROJECT:
BRYSON COTTAGES

DATE 10/31/25
PROJECT NO N/A
REVISION DATE

NOTES

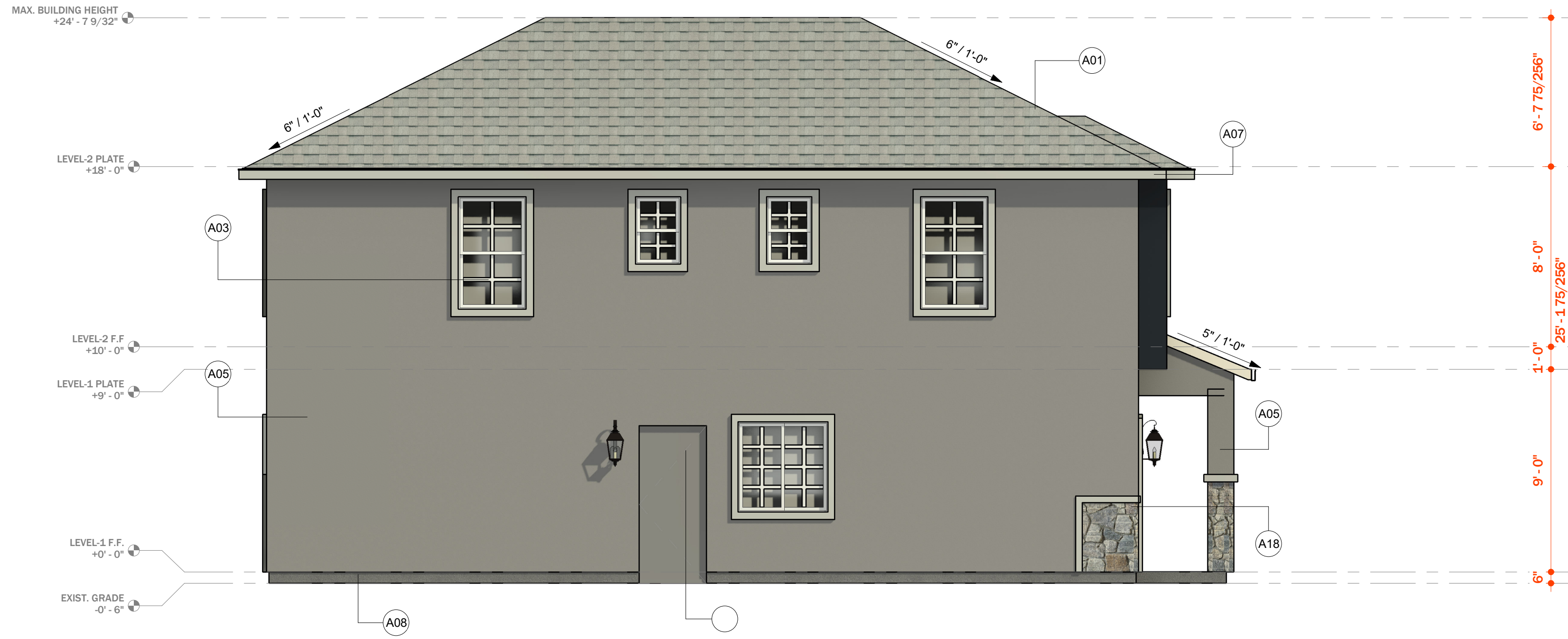
1625 - ELEVATION A

SCALE: 1/4" = 1'-0"

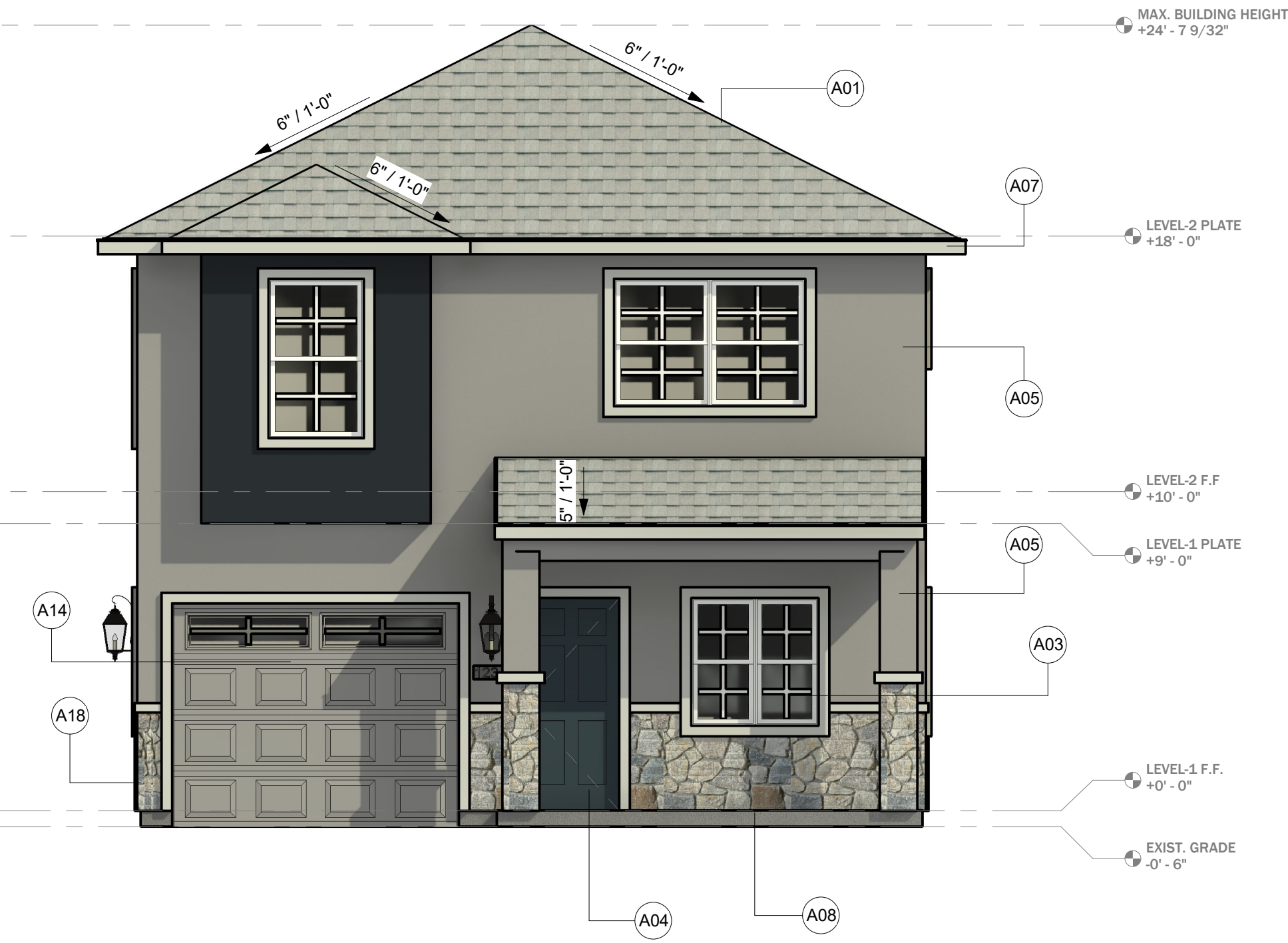
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DRAWN BY: RHI

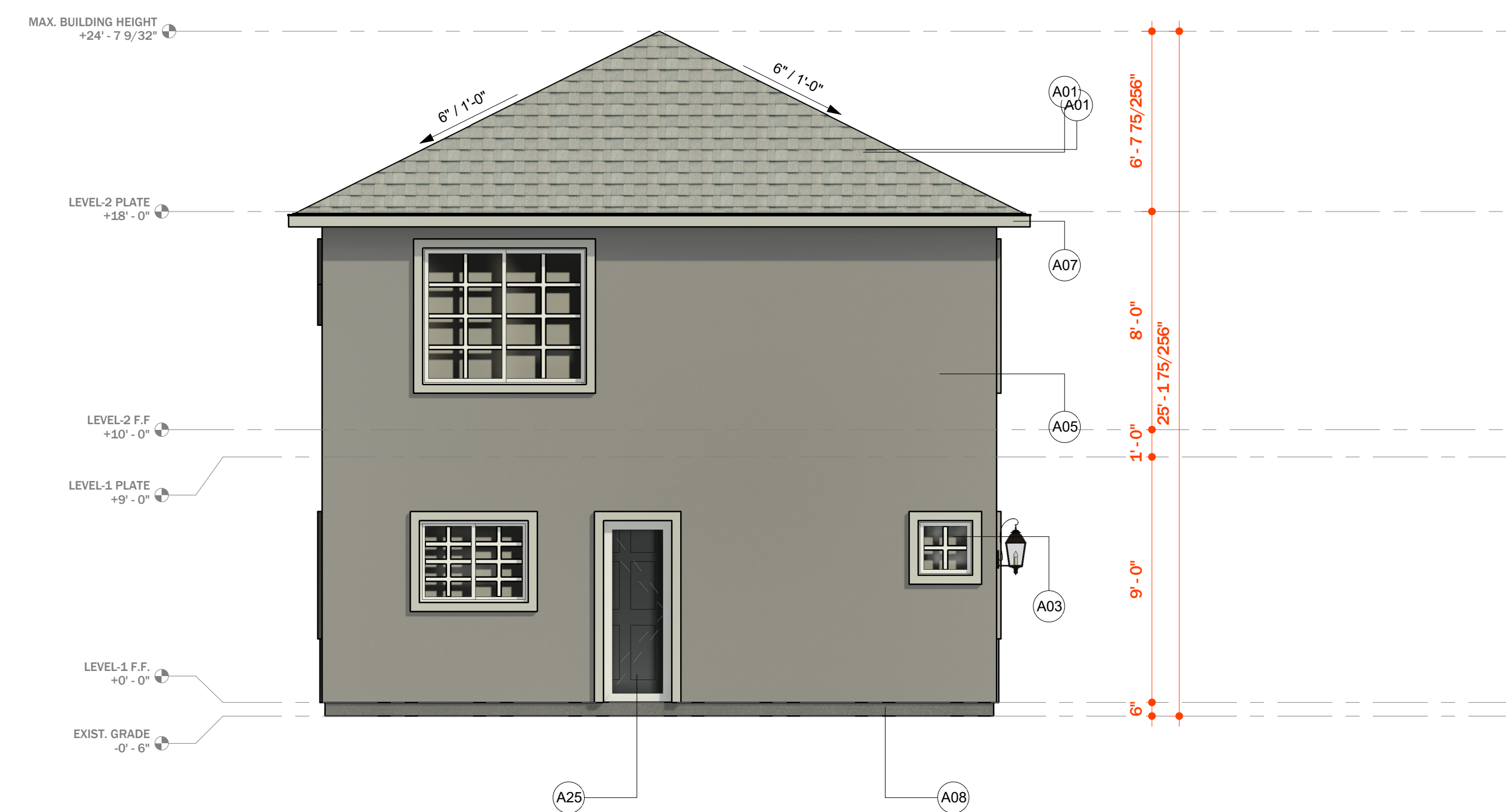
COLOR PACKAGE 2



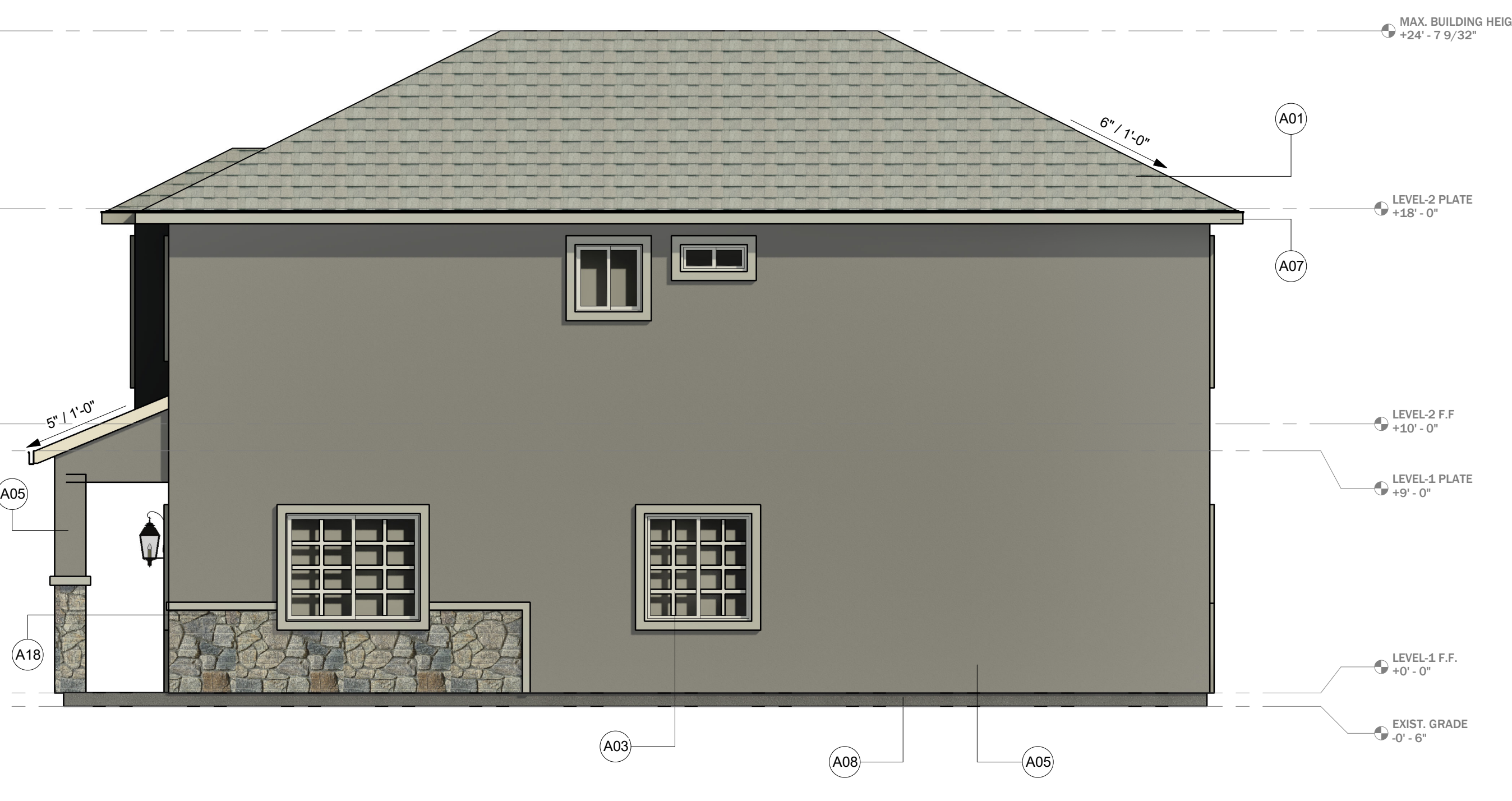
2 EXTERIOR ELEVATION - LEFT OPT B
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - FRONT OPT B
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - REAR OPT B
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - RIGHT OPT B
SCALE: 1/4" = 1'-0"

SHEET KEYNOTES

Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER

SHEET KEYNOTES

Key Value	Keynote Text
A08	SCREED LINE
A09	LAP SIDING
A14	GARAGE DOOR
A18	MASONRY VENEER (BUILDERS CHOICE)
A25	EXTERIOR DOOR POST
A30	POST



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BRYSON COTTAGES

DATE	10/31/25
PROJECT NO	N/A
REVISION	DATE

NOTES

1625 - ELEVATION B

SCALE: 1/4" = 1'-0"

2.2

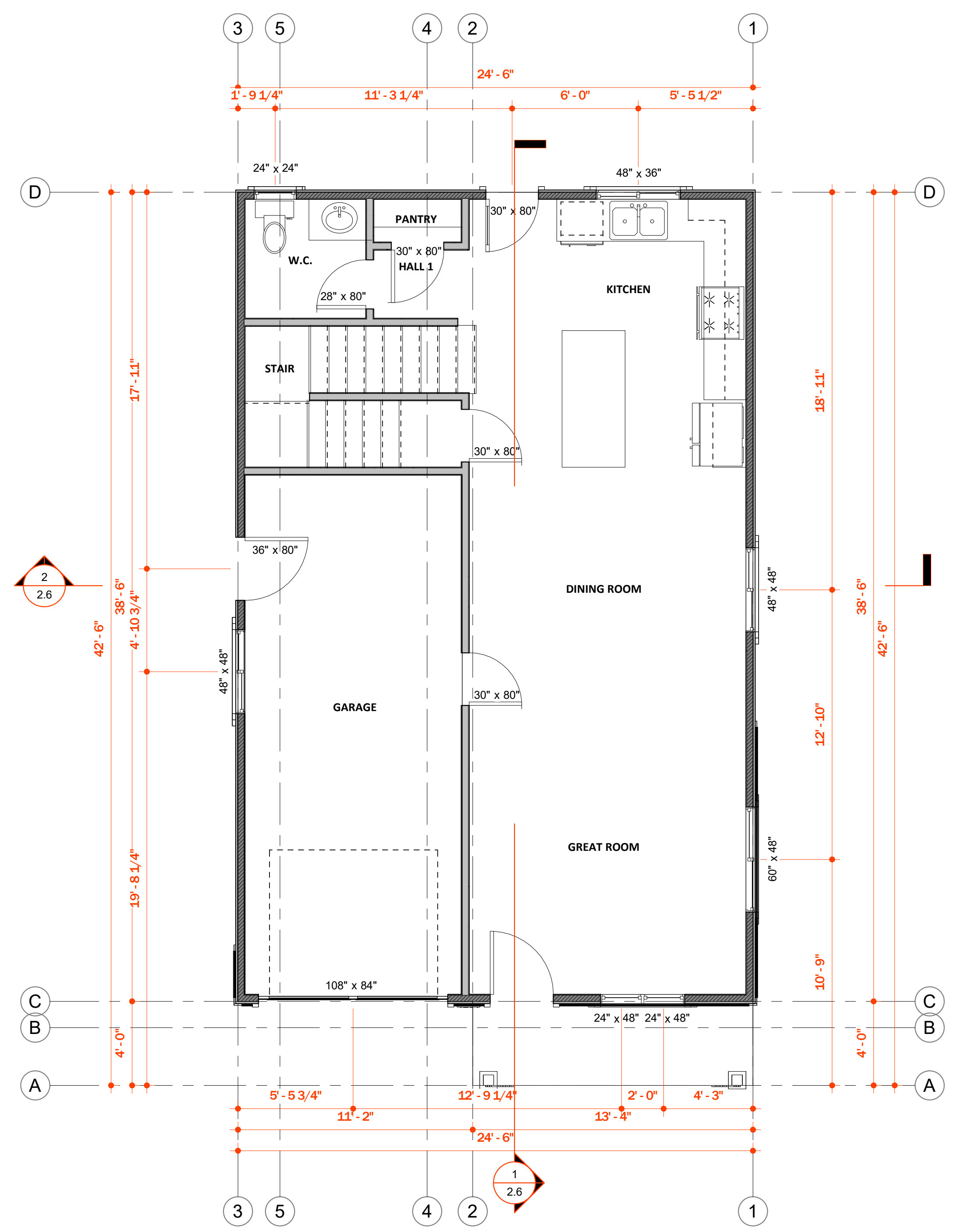
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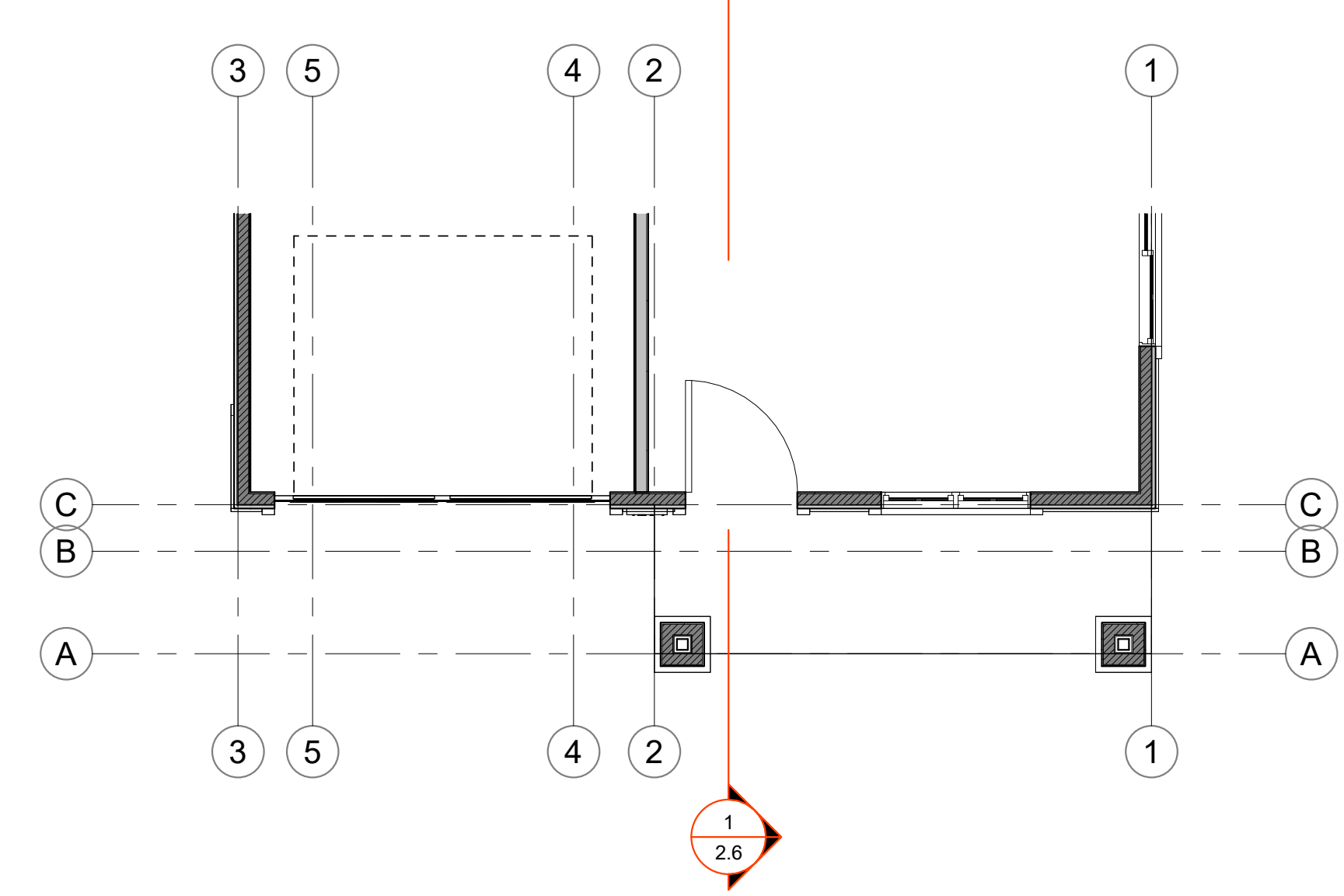
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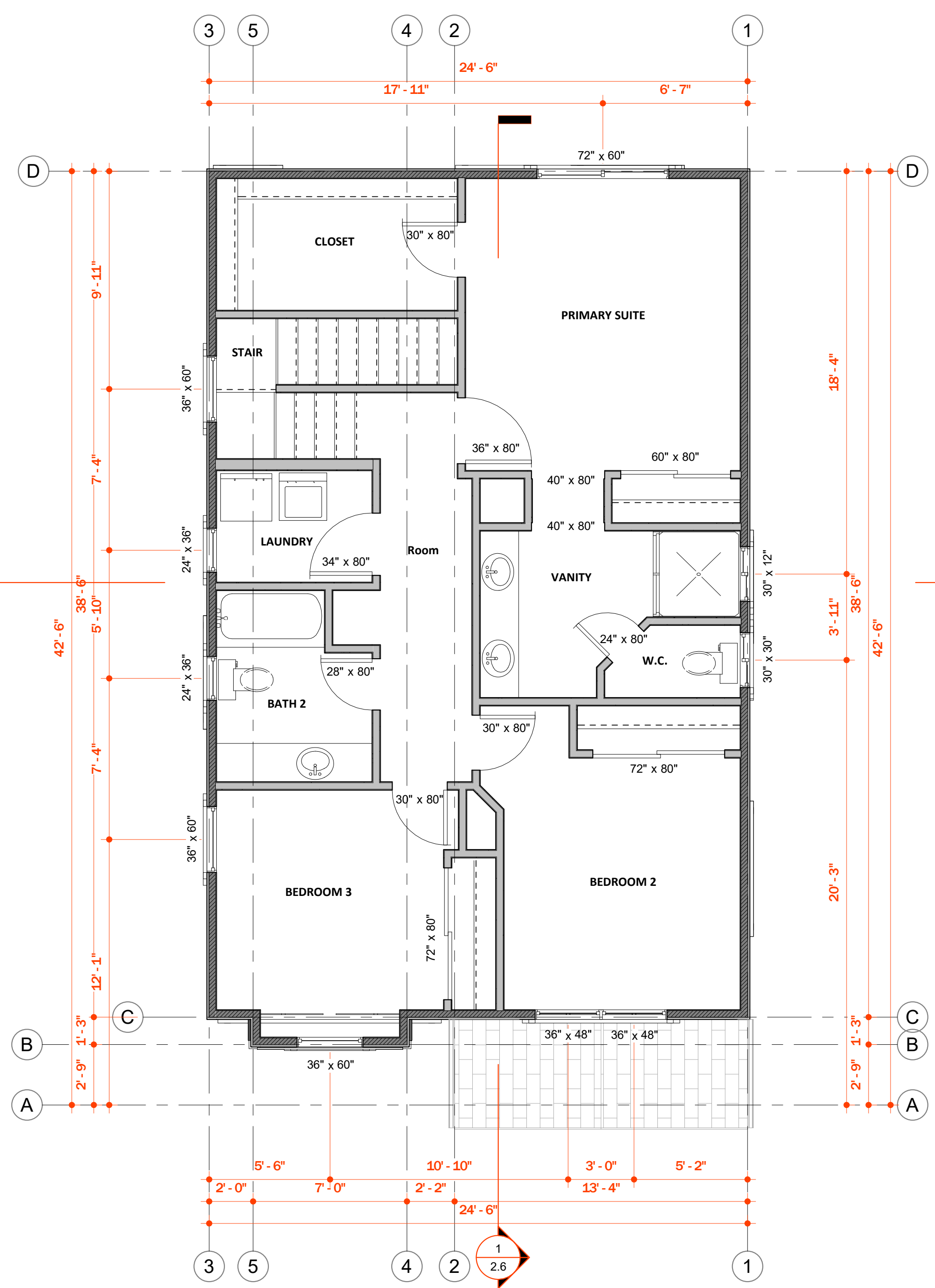
1 FLOOR PLAN - LEVEL 1 - OPT A

SCALE: 1/4" = 1'-0"



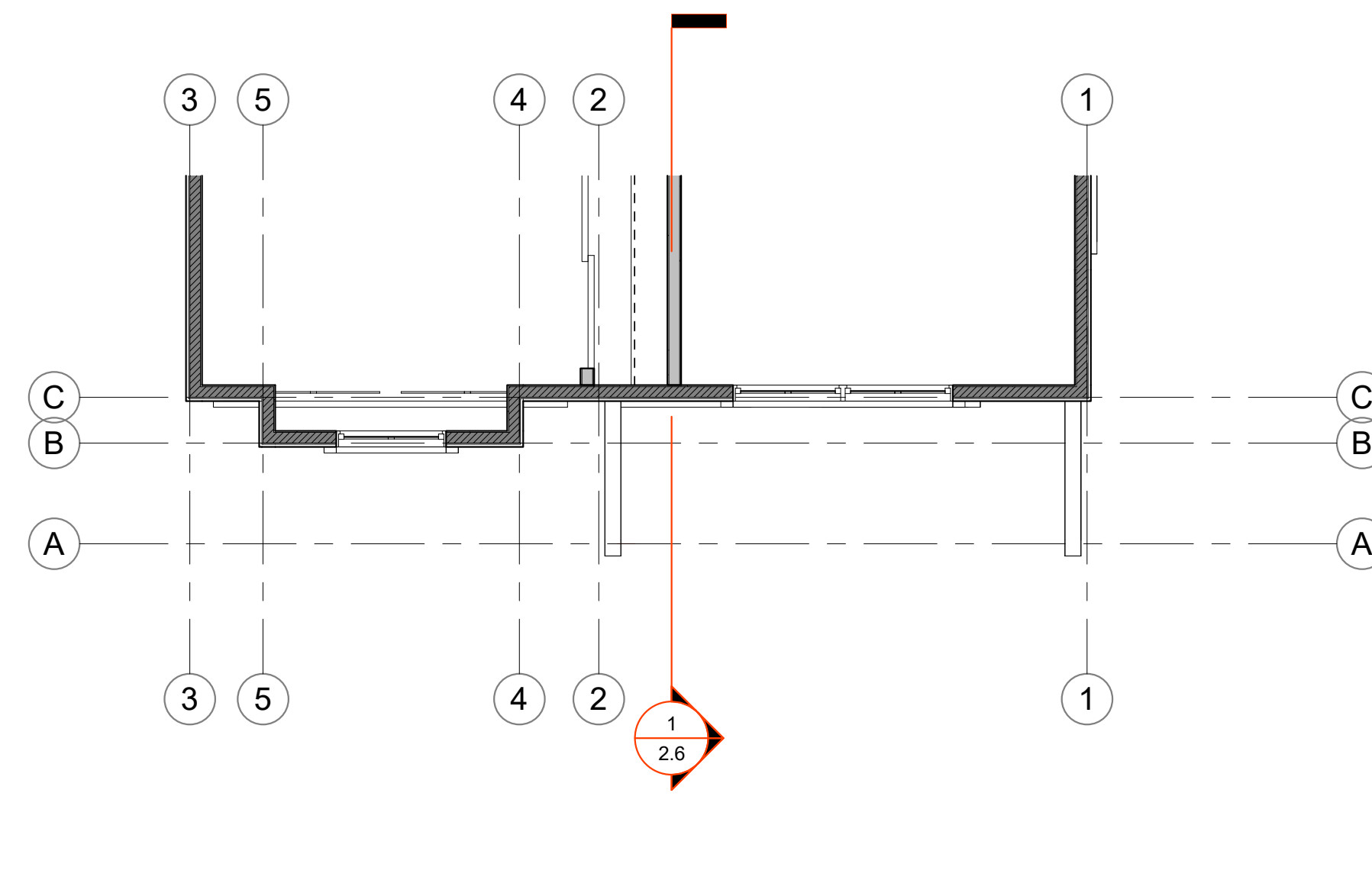
3 FLOOR PLAN - LEVEL 1 - OPT B

SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - LEVEL 2 - OPT A

SCALE: 1/4" = 1'-0"



4 FLOOR PLAN - LEVEL 2 - OPT B

SCALE: 1/4" = 1'-0"

LEGEND: FLOOR PLAN

- (N) BED1 (REBID)
- WINDOW SYMBOL: SEE WINDOW SCHEDULE SHEET.
NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24", WIDTH 20", SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
- DOOR SYMBOL: SEE DOOR SCHEDULE SHEET
- OPENING SYMBOL: SEE OPENING SCHEDULE SHEET
- NEW EXTERIOR WALL CONSTRUCTION - 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE. SEE EXTERIOR ELEVATIONS FOR LOCATION AND TYPE OF EXTERIOR FINISH.
- NEW INTERIOR WALL CONSTRUCTION - 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW INTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW EXTERIOR WALL CONSTRUCTION - 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- DOORS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
DOOR TO HAVE LEVER HANDLES
- WINDOWS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER- CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
- (N) WATER CLOSET: AS SELECTED BY OWNER
- SHOWER KITS DETAILS TO BE DETERMINED BY OWNER
- (N) SHOWER KIT: AS SELECTED BY OWNER
SHOWER ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"=12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- TUB ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"=12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- (N) LAVATORY: AS SELECTED BY OWNER
- OPTIONAL: MASTER BATHROOM VANITIES TO BE 36" COMFORT HEIGHT, WITH WHEELCHAIR ACCESSIBLE (OPEN KNEE SPACE).
- OPTIONAL: SINGLE LEVER WATER CONTROLS.
- TOWEL RING
- TOWEL BAR
- ROBE HOOK
- (N) CABINETS: AS SELECTED BY OWNER
(N) COUNTER TOPS: AS SELECTED BY OWNER
(N) BACKSPLASHES: AS SELECTED BY OWNER
- (N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"=12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
- FRONT DOOR LANDING TO BE A MINIMUM OF 5'X5'.
- (N) RANGE: AS SELECTED BY OWNER
- (N) REFRIGERATOR: AS SELECTED BY OWNER
- (N) DISHWASHER: AS SELECTED BY OWNER
- (N) SINK: AS SELECTED BY OWNER

RIVERLAND HOMES, INC.

RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT
BRYSON COTTAGES

DATE	10/31/25
PROJECT NO	N/A
REVISION	DATE

NOTES

1625 - FLOORPLANS - A & B

SCALE: 1/4" = 1'-0"

2.3

DRAWN BY: RHI

COLOR PACKAGE 3

SHEET KEYNOTES

Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER
A08	SCREED LINE
A09	LAP SIDING
A12	STREET ADDRESS
A14	GARAGE DOOR
A17	STUCCO FOAM BOARD
A18	MASONRY VENEER (BUILDERS CHOICE)
A30	POST



RIVERLAND HOMES, INC
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PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE	10.31.2025
PROJECT NO	N/A
REVISION	DATE

NOTES

1808 - ELEVATION A

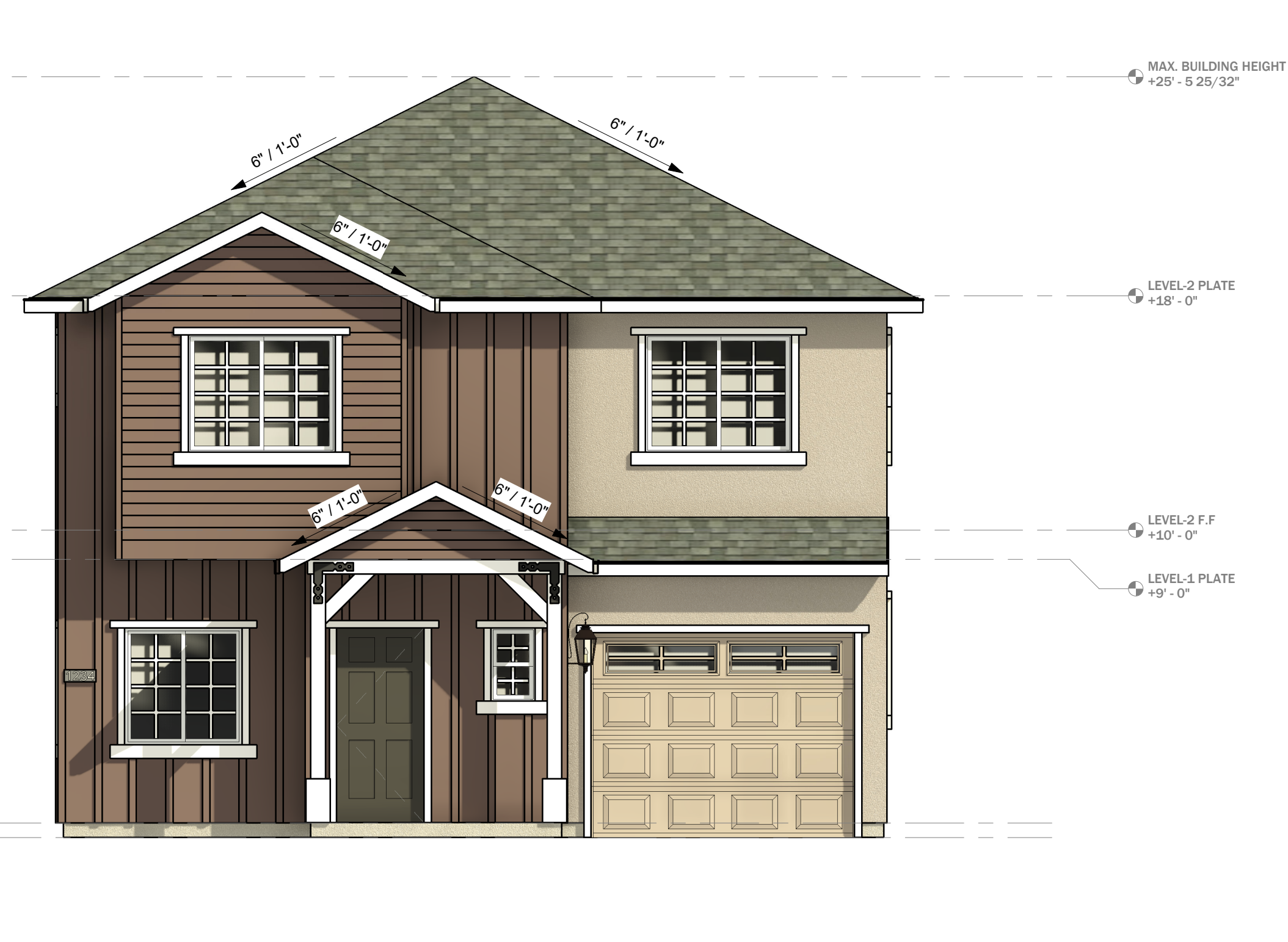
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3.1

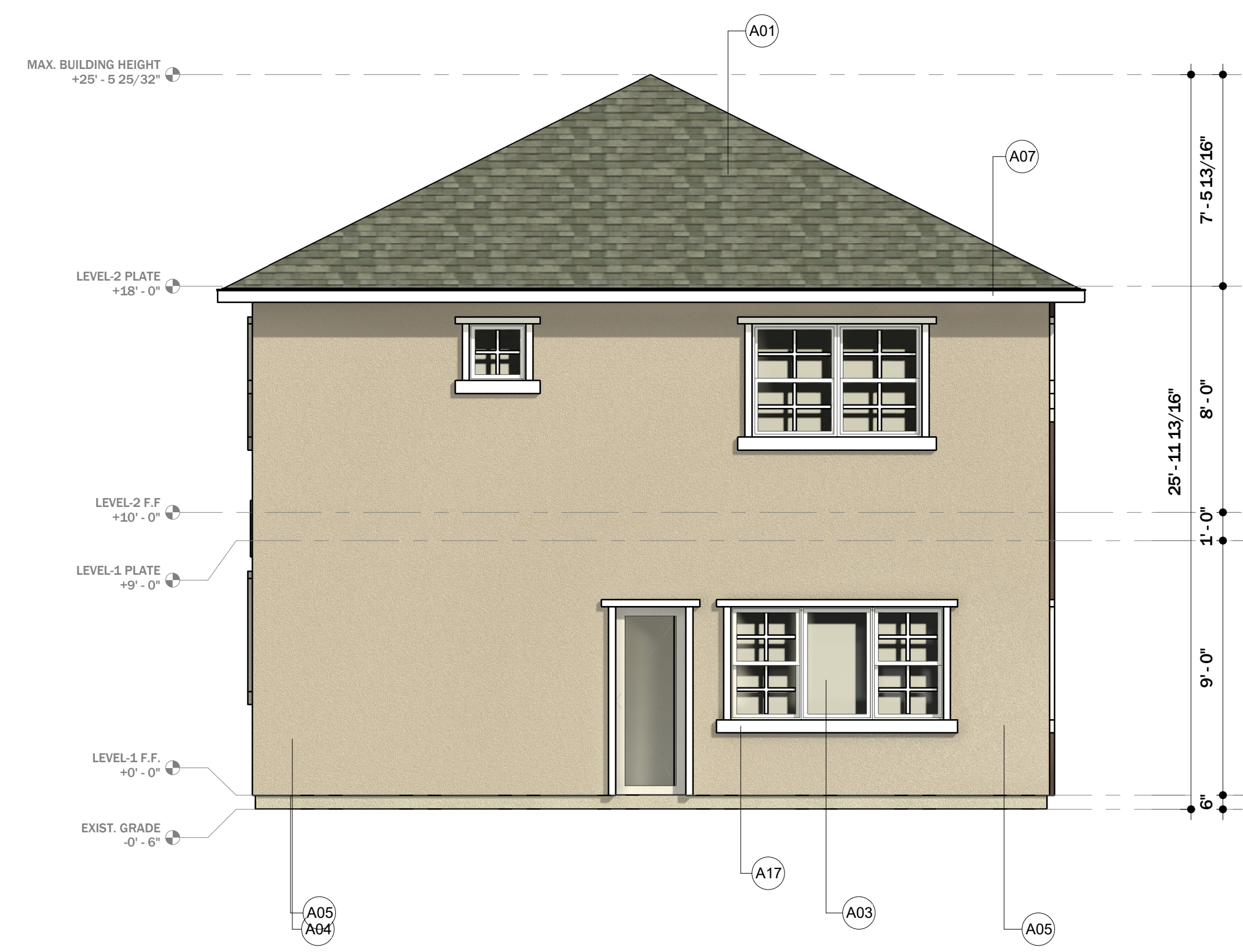
DRAWN BY: RHI



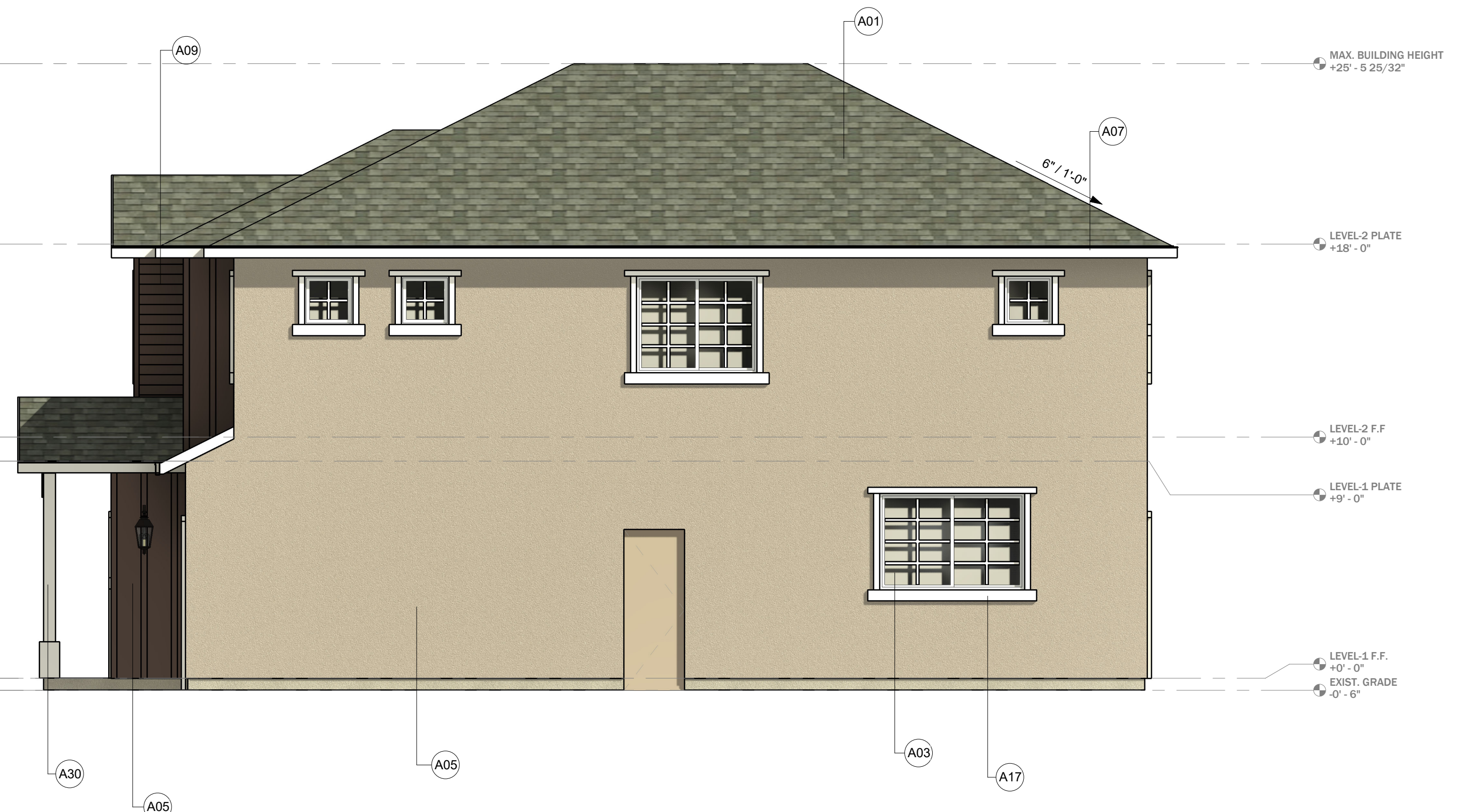
3 EXTERIOR ELEVATION A - LEFT
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION A - FRONT
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION A - REAR
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION A - RIGHT
SCALE: 1/4" = 1'-0"

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COLOR PACKAGE 4

SHEET KEYNOTES

Key Value	Keynote Text
A01	ROOFING
A03	WINDOWS
A04	ENTRY DOOR
A05	EXTERIOR 1-COAT STUCCO SYSTEM
A07	ROOF FACIA GUTTER
A08	SCREED LINE
A09	LAP SIDING
A12	STREET ADDRESS
A14	GARAGE DOOR
A17	STUCCO FOAM BOARD
A18	MASONRY VENEER (BUILDERS CHOICE)
A30	POST



RIVERLAND HOMES, INC
4170 Douglas Blvd., #150
Granite Bay, CA 95746
Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE	10.31.2025
PROJECT NO	N/A
REVISION	DATE

NOTES

1808 - ELEVATION B

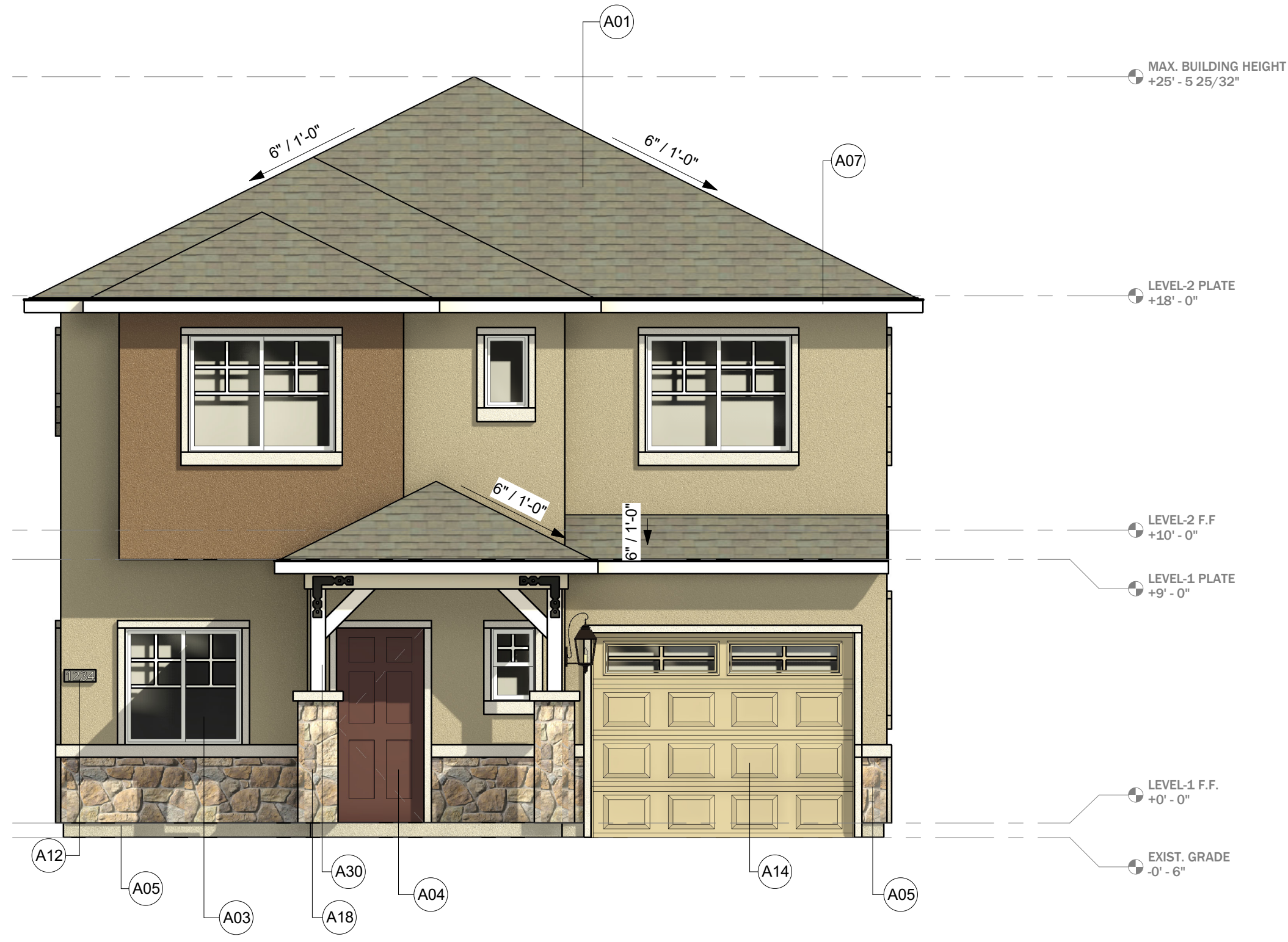
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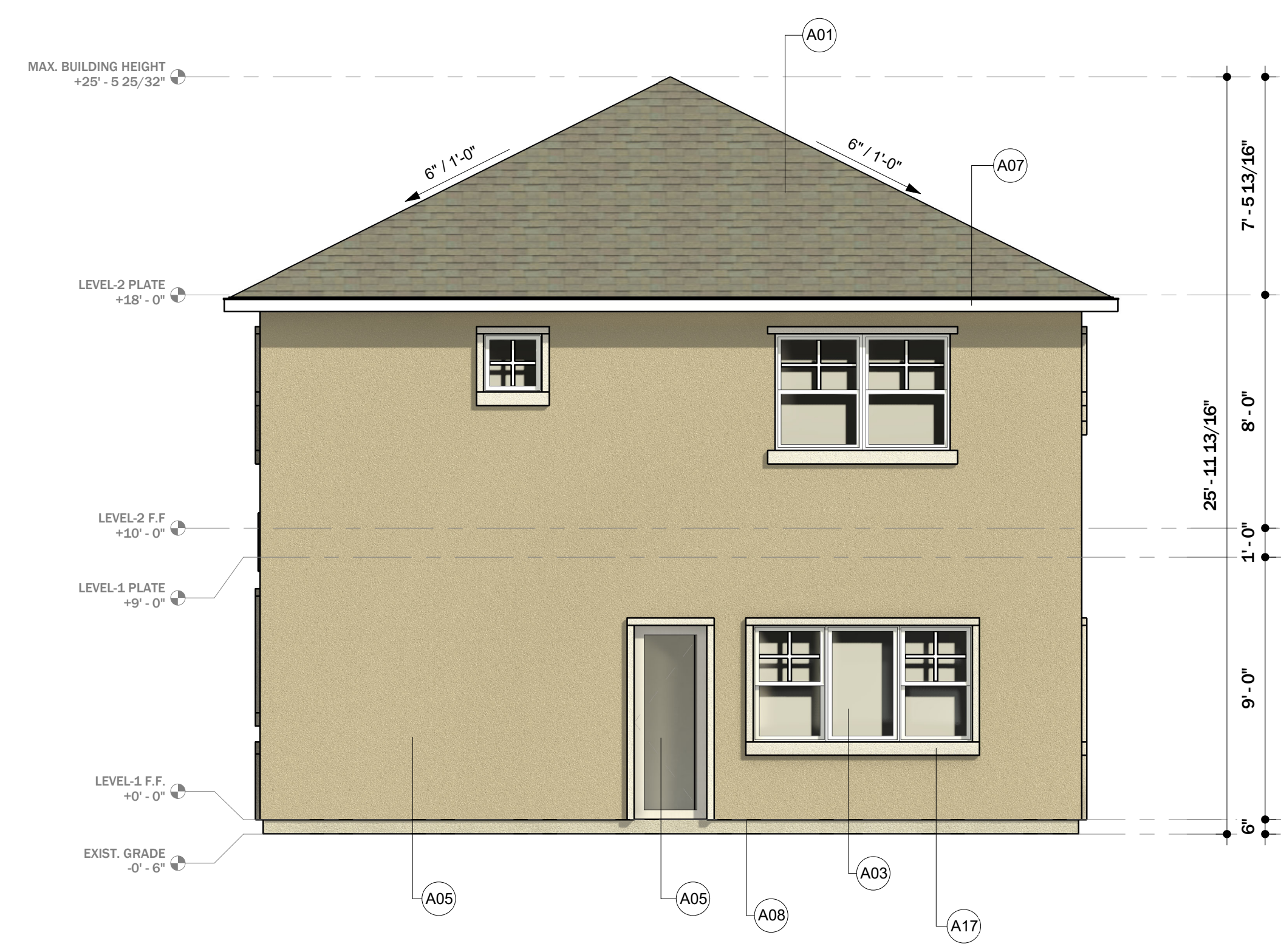
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1 EXTERIOR ELEVATION B - FRONT
SCALE: 1/4" = 1'-0"



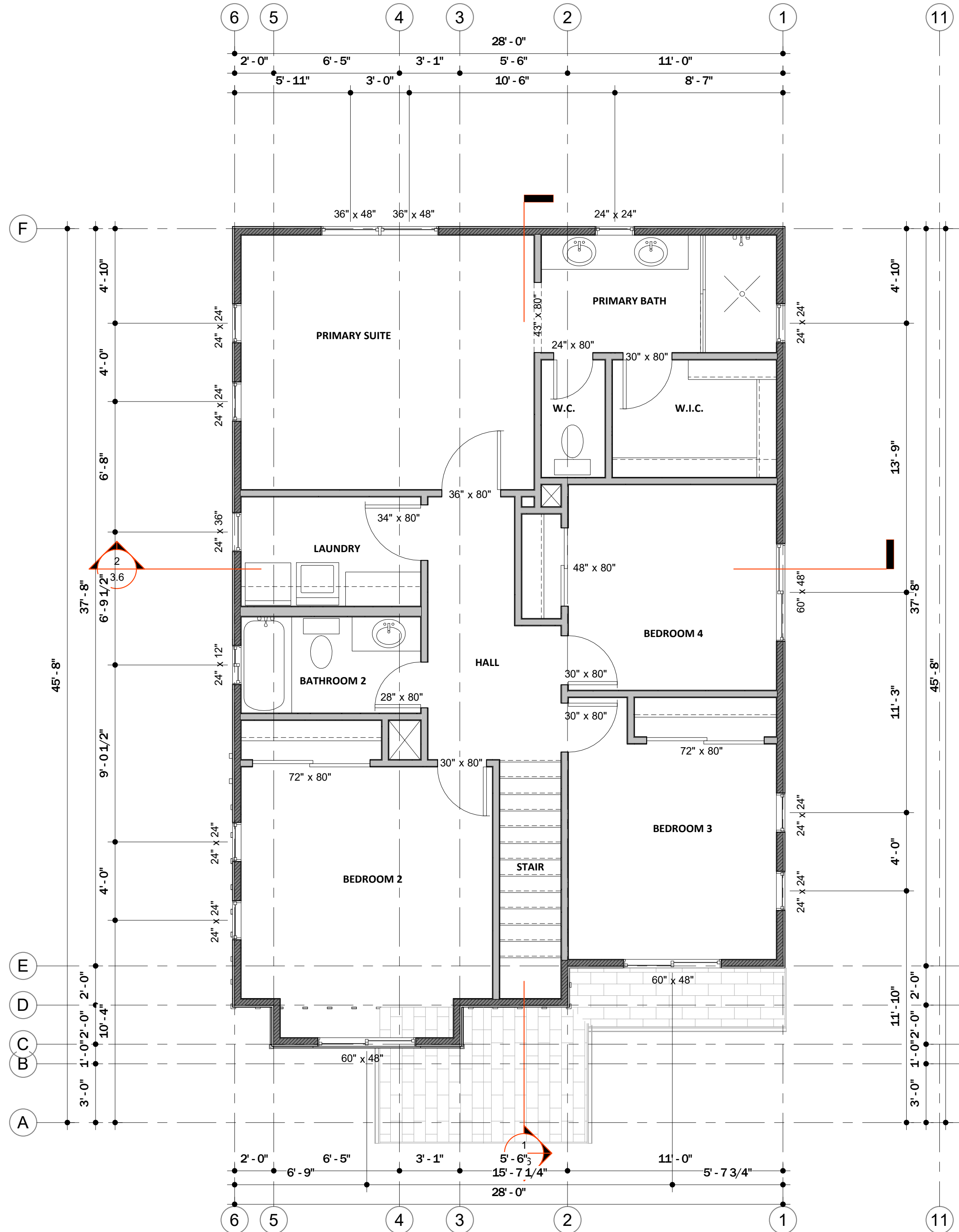
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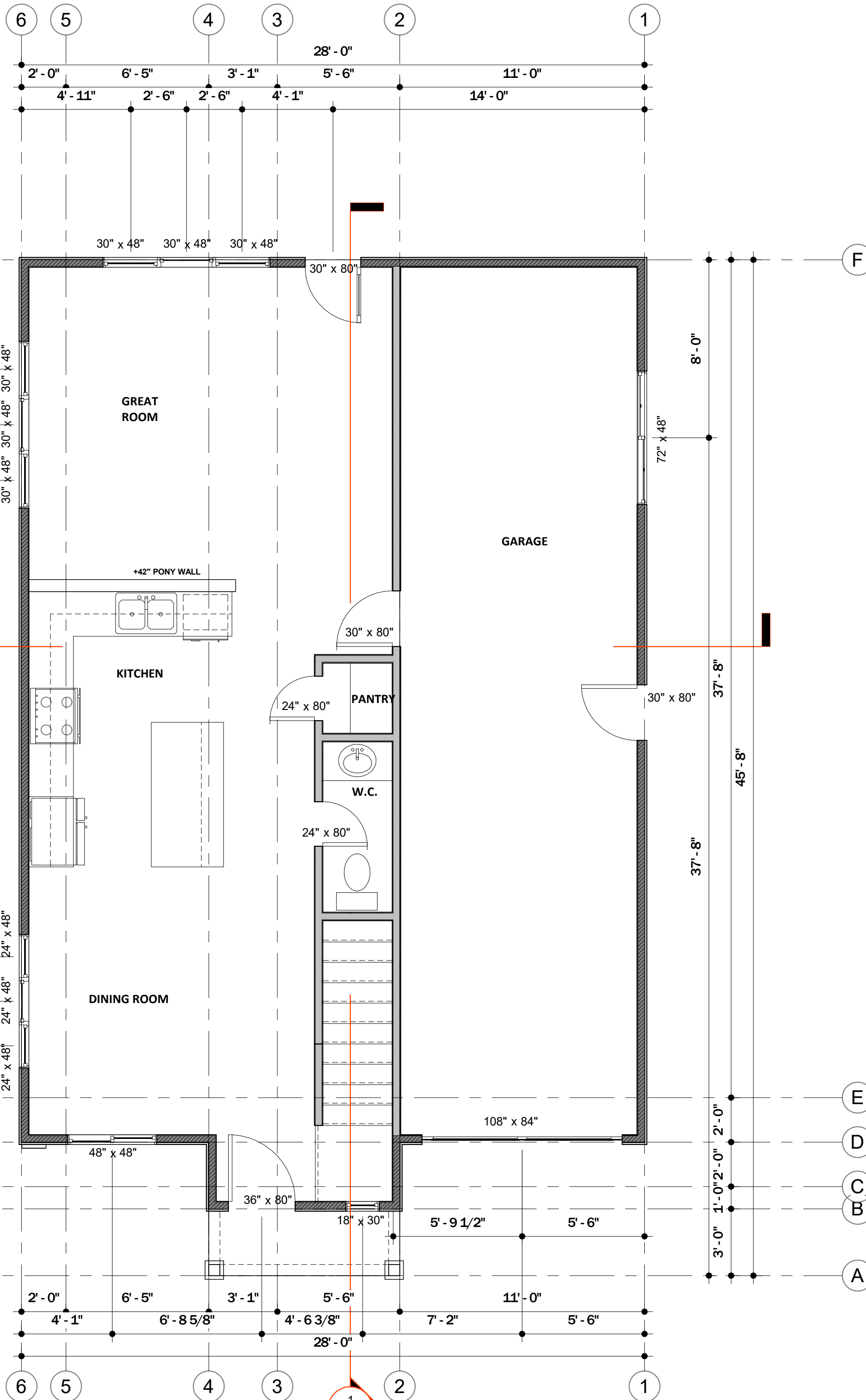
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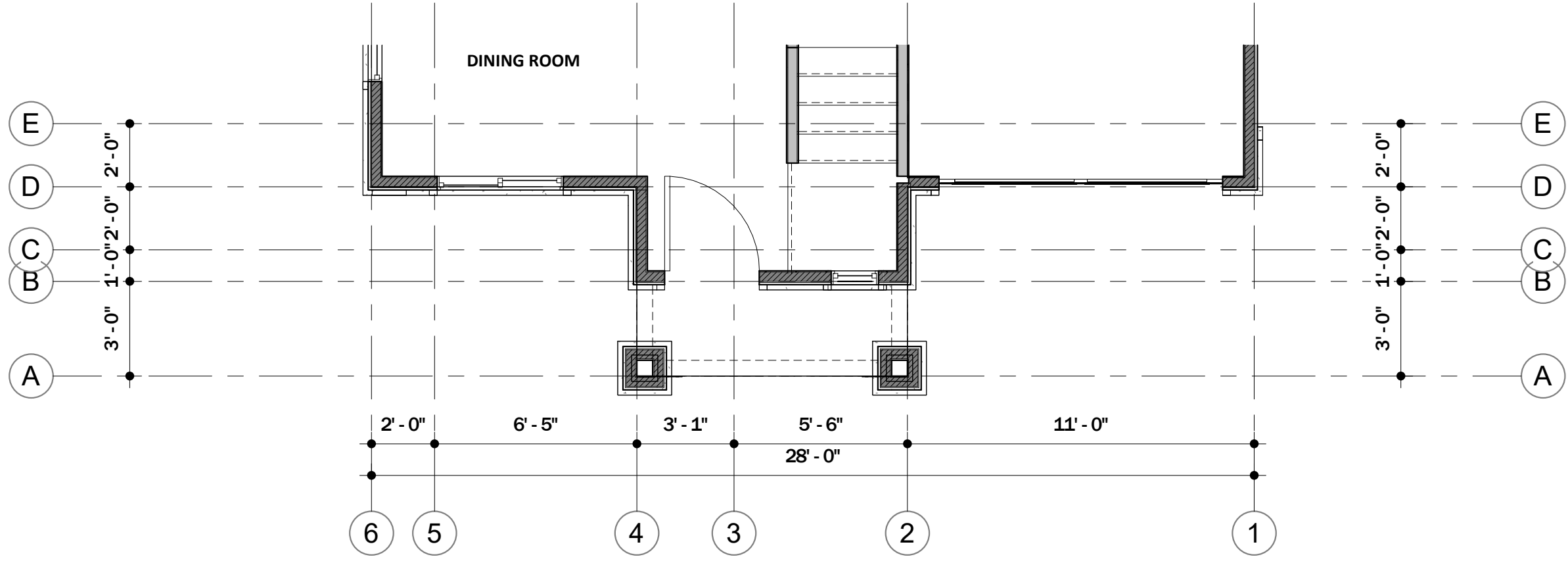
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2 ELEVATION A - LEVEL 2
SCALE: 1/4" = 1'-0"



1 ELEVATION A - LEVEL 1
SCALE: 1/4" = 1'-0"



3 ELEVATION B - LEVEL 1
SCALE: 1/4" = 1'-0"

LEGEND: FLOOR PLAN

- (N) BED1 (BED1)
- WINDOW SYMBOL: SEE WINDOW SCHEDULE SHEET. NOTE: ESCAPE OR RESCUE WINDOWS REQUIRED IN "R" OCCUPANCIES SHALL HAVE A MINIMUM NET CLEAR OPENABLE DIMENSIONS - AREA OF 5.7 S.F., HEIGHT 24", WIDTH 20", SILL HEIGHT 44" ABOVE FINISH FLOOR (TYP).
- DOOR SYMBOL: SEE DOOR SCHEDULE SHEET
- OPENING SYMBOL: SEE OPENING SCHEDULE SHEET
- NEW EXTERIOR WALL CONSTRUCTION - 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE.
- NEW INTERIOR WALL CONSTRUCTION: 2X4 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW INTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- NEW EXTERIOR WALL CONSTRUCTION: 2X6 D.F. STUDS @ 16" O.C. FINISH AS SPECIFIED ON FINISH SCHEDULE
- DOORS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
DOOR TO HAVE LEVER HANDLES
- WINDOWS-1: SEE SCHEDULE
COLOR: AS SELECTED BY OWNER - CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW/DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
- (N) WATER CLOSET: AS SELECTED BY OWNER
- SHOWER KITS DETAILS TO BE DETERMINED BY OWNER
- (N) SHOWER KIT: AS SELECTED BY OWNER
SHOWER ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"-12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- TUB ENCLOSURE: PROVIDE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER A MOISTURE PROOF BARRIER TO A HEIGHT OF 70" (MIN) ABOVE DRAIN INLET SLOPING 1/4"-12" TOWARD FLOOR DRAIN AND AS REQUIRED PER THE CURRENT ADOPTED EDITION OF THE CBC. PROVIDE FLOOR DRAIN CENTERED ON FLOOR. PLACE SHOWER COLUMN SPRAYING AWAY FROM SHOWER ACCESS. PROVIDE MOISTURE SEALED, LATCHING, TEMPERED GLASS SHOWER ENCLOSURE DOOR PANEL IN COMPLIANCE WITH CBC.
- (N) LAVATORY: AS SELECTED BY OWNER
OPTIONAL: MASTER BATHROOM VANITIES TO BE 36" COMFORT HEIGHT, WITH WHEELCHAIR ACCESSIBLE (OPEN KNEE SPACE).
OPTIONAL: SINGLE LEVER WATER CONTROLS.
- TOWEL RING
- TOWEL BAR
- ROBE HOOK
- (N) CABINETS: AS SELECTED BY OWNER
(N) COUNTER TOPS: AS SELECTED BY OWNER
(N) BACKSPLASHES: AS SELECTED BY OWNER
- (N) EXT CONCRETE PAD-1: LENGTH TO MATCH DOOR X 30" MIN. DEPTH X 4" THICK CONCRETE PAD (MIN) @ ALL EXTERIOR DOORWAYS AND GRADE MOUNTED MECHANICAL EQUIPMENT. SLOPE PAD 1/4"-12" AWAY FROM BUILDING EDGE. PROVIDE 8" MAXIMUM STEP FOR IN-SWINGING DOORS AND 1" MAXIMUM FOR EXTERIOR SWINGING DOORS BETWEEN TOP OF PAD AND THRESHOLD (TYP).
FRONT DOOR LANDING TO BE A MINIMUM OF 5'X5'.
- (N) RANGE: AS SELECTED BY OWNER
- (N) REFRIGERATOR: AS SELECTED BY OWNER
- (N) DISHWASHER: AS SELECTED BY OWNER
- (N) SINK: AS SELECTED BY OWNER

RIVERLAND HOMES, INC.
 RIVERLAND HOMES, INC
 4170 Douglas Blvd., #150
 Granite Bay, CA 95746
 Tanner Judkins: 916.850.0536

PROJECT:
BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE 10.31.2025
 PROJECT NO. N/A
 REVISION DATE

NOTES

1808 - FLOOR PLANS - A & B

SCALE: 1/4" = 1'-0"

3.3

DRAWN BY: RHI

COLOR PACKAGE 5

SHEET KEYNOTES

Key Value Keynote Text

- A01 ROOFING
- A03 WINDOWS
- A04 ENTRY DOOR
- A07 ROOF FACIA GUTTER
- A08 SCREED LINE
- A09 LAP SIDING
- A12 STREET ADDRESS
- A14 GARAGE DOOR
- A15 TRIM HARDIEBOARD
- A17 STUCCO FOAM BOARD
- A25 EXTERIOR DOOR
- A27 EXTERIOR LIGHT
- A30 POST



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BRYSON COTTAGES

DATE 10.29.2025
PROJECT NO N/A
REVISION DATE

NOTES

2016 - ELEVATION A

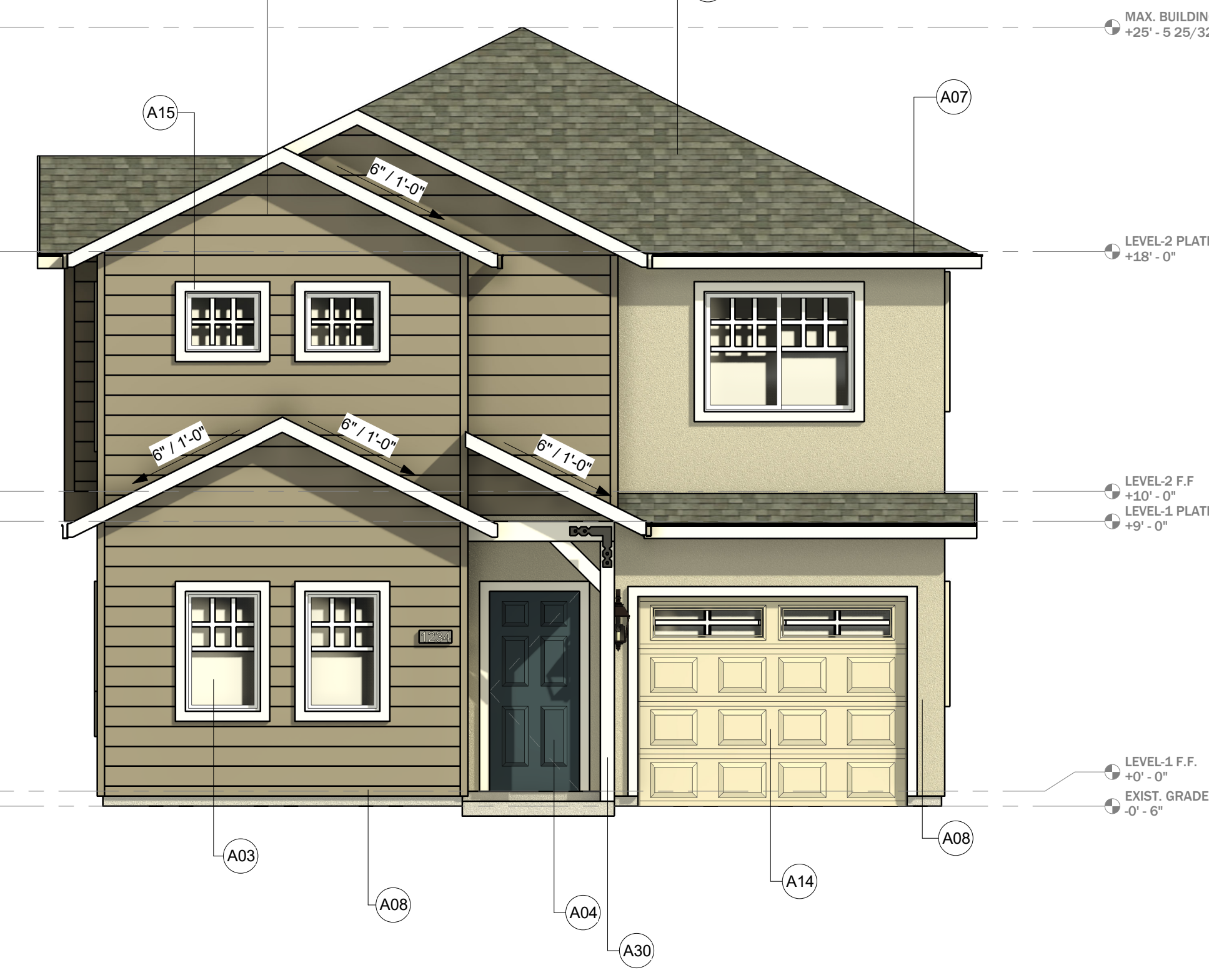
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4.1

DRAWN BY:
RHI



3 **EXTERIOR ELEVATION A - LEFT**
SCALE: 1/4" = 1'-0"



1 **EXTERIOR ELEVATION A - FRONT**
SCALE: 1/4" = 1'-0"



2 **EXTERIOR ELEVATION A - REAR**
SCALE: 1/4" = 1'-0"



4 **EXTERIOR ELEVATION A - RIGHT**
SCALE: 1/4" = 1'-0"

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COLOR PACKAGE 6

SHEET KEYNOTES

Key Value Keynote Text

- A01 ROOFING
- A03 WINDOWS
- A04 ENTRY DOOR
- A07 ROOF FACIA GUTTER
- A08 SCREED LINE
- A09 LAP SIDING
- A12 STREET ADDRESS
- A14 GARAGE DOOR
- A15 TRIM HARDIEBOARD
- A17 STUCCO FOAM BOARD
- A25 EXTERIOR DOOR
- A27 EXTERIOR LIGHT POST
- A30 POST



RIVERLAND HOMES, INC.
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BRYSON COTTAGES

DATE 10.31.2025
PROJECT NO N/A
REVISION DATE

NOTES

2016 - ELEVATION B

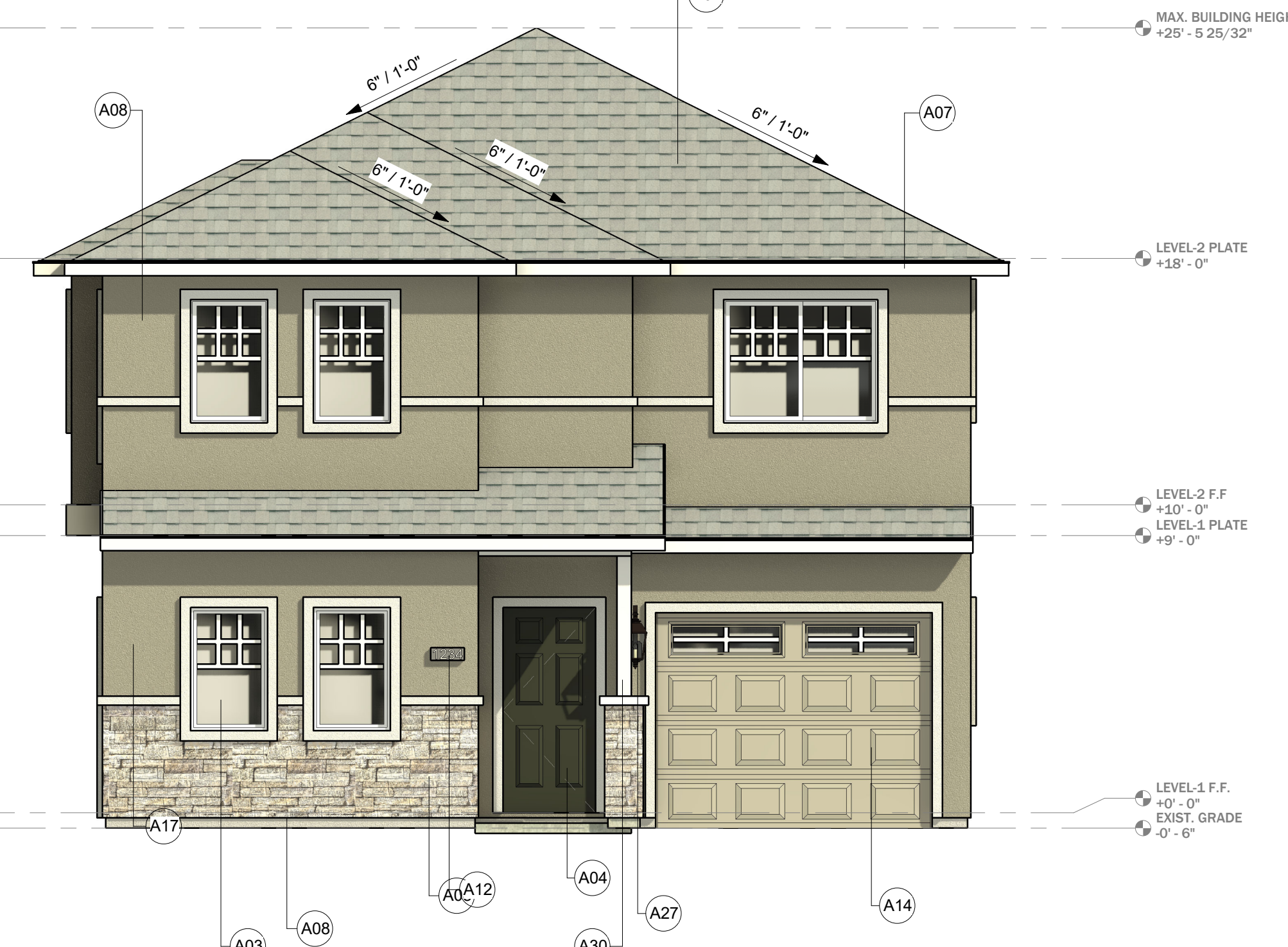
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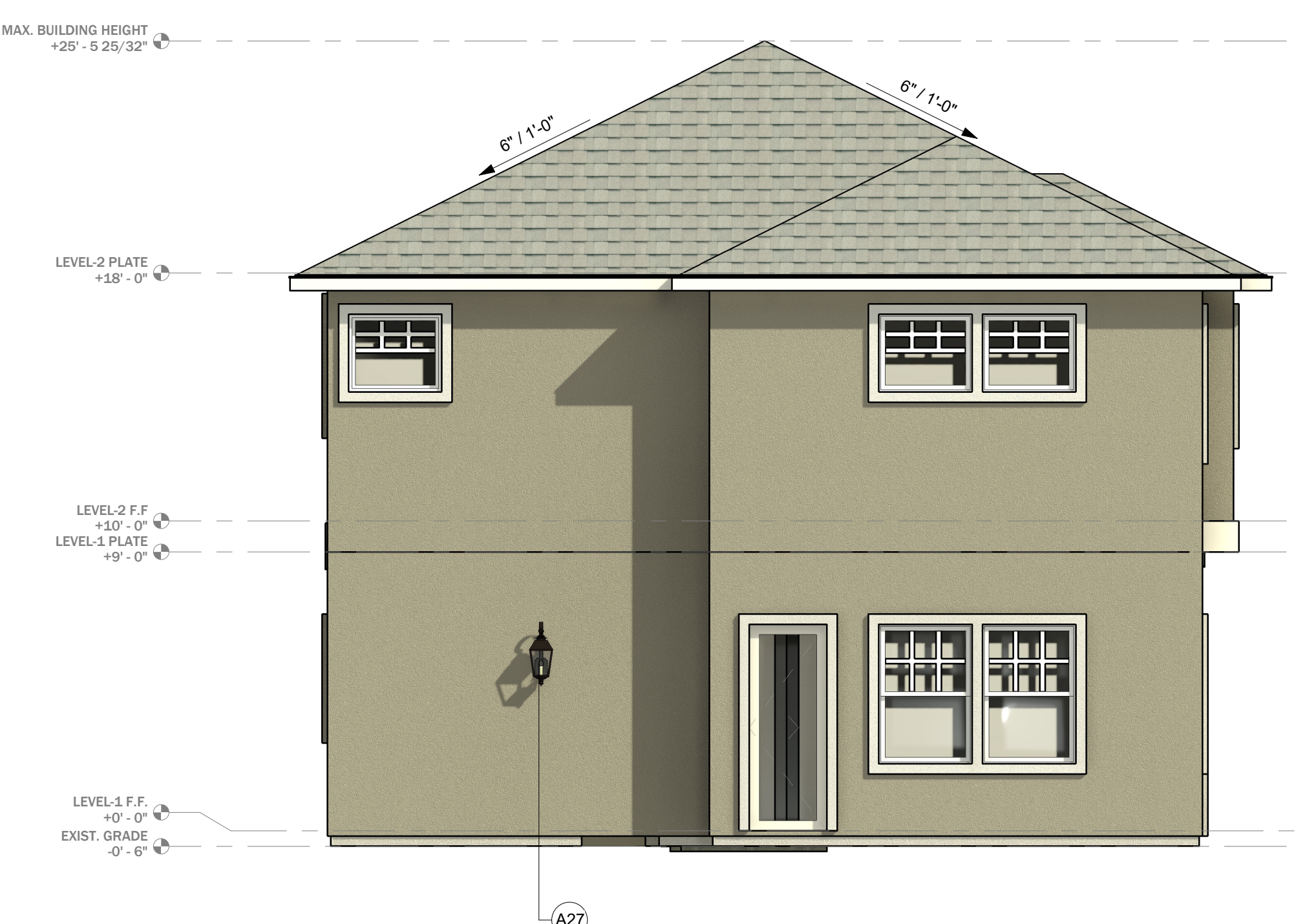
DRAWN BY:
RHI



2 **EXTERIOR ELEVATION B - LEFT**
SCALE: 1/4" = 1'-0"



1 **EXTERIOR ELEVATION B - FRONT**
SCALE: 1/4" = 1'-0"



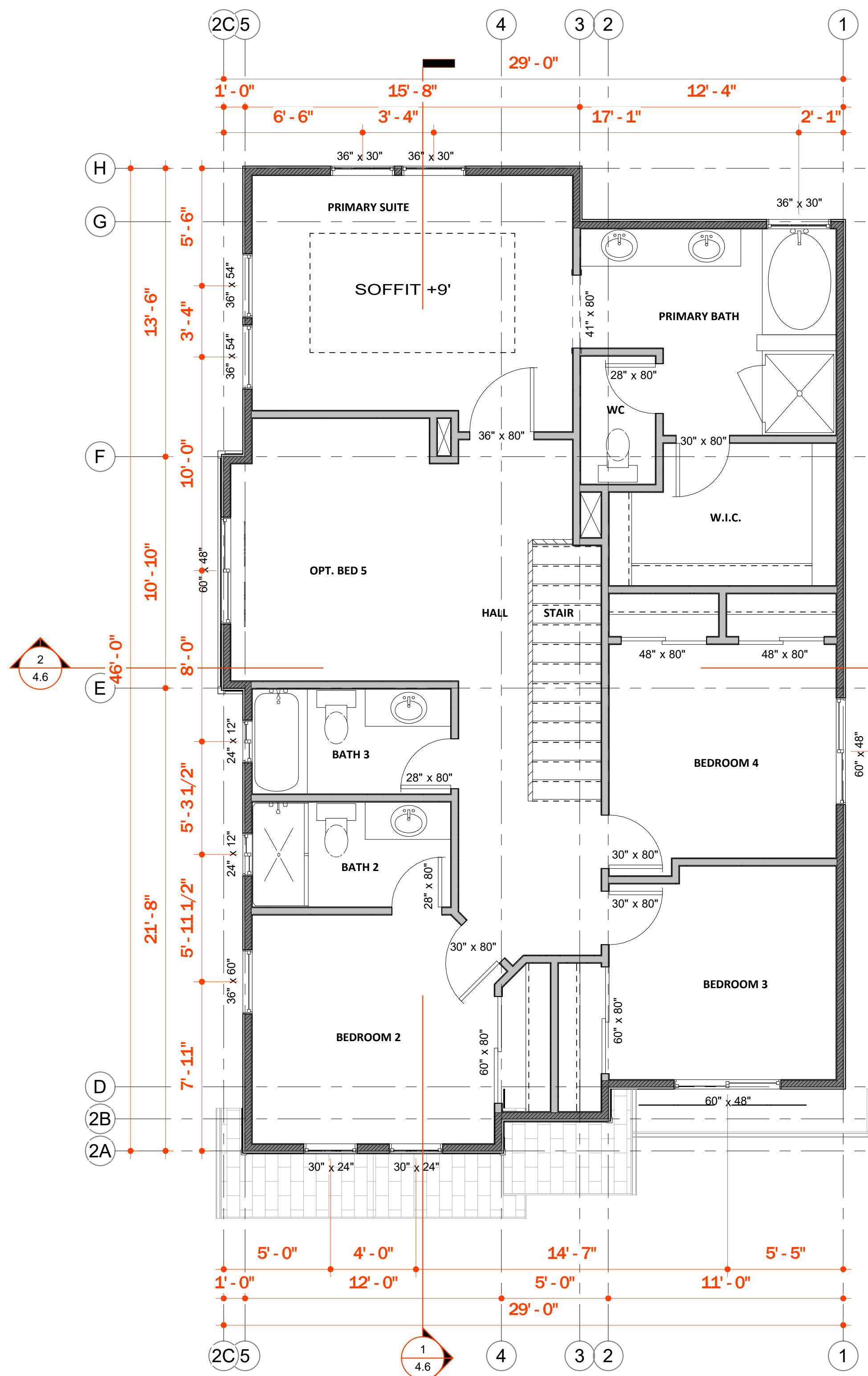
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SCALE: 1/4" = 1'-0"



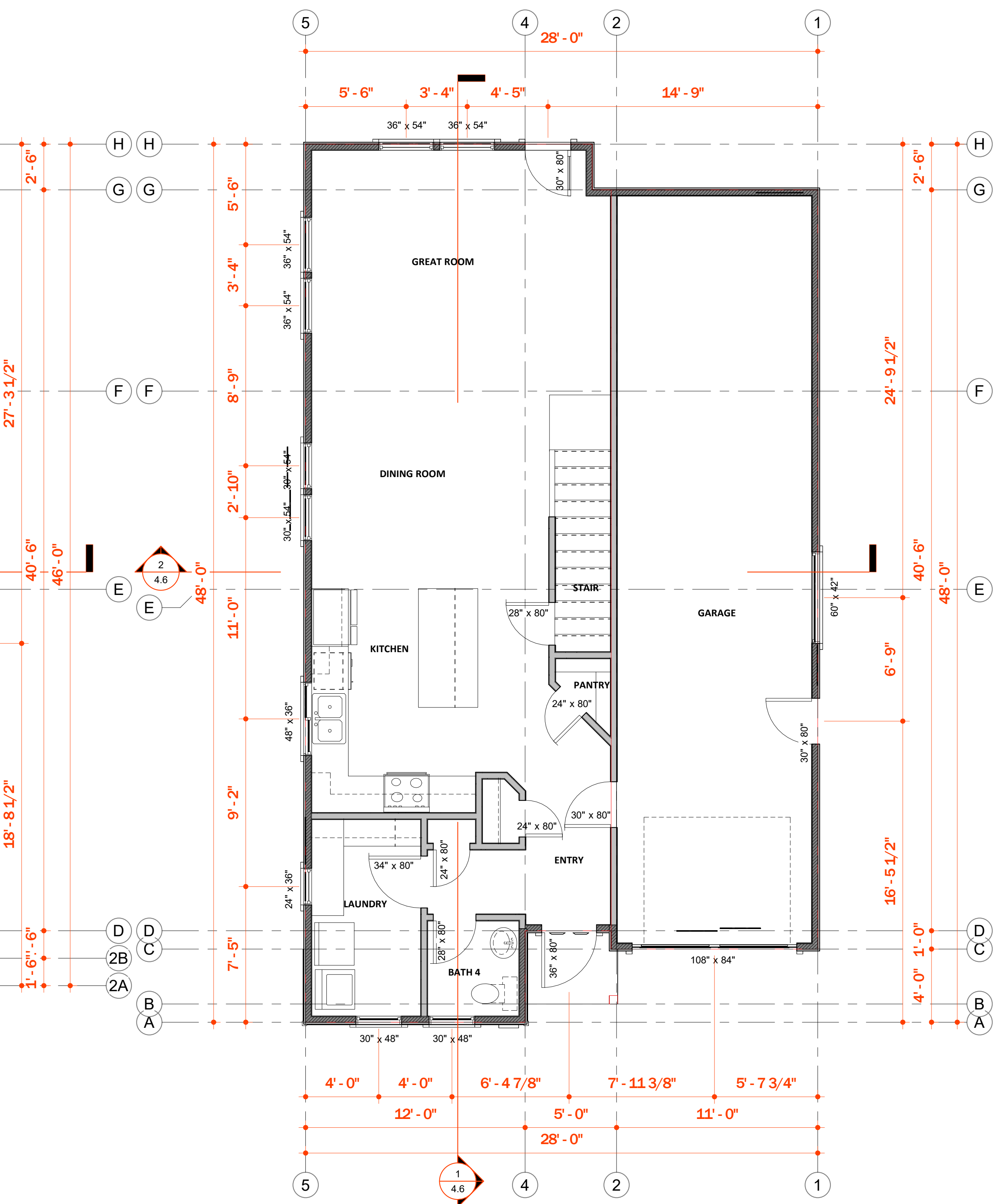
3 **EXTERIOR ELEVATION B - RIGHT**
SCALE: 1/4" = 1'-0"

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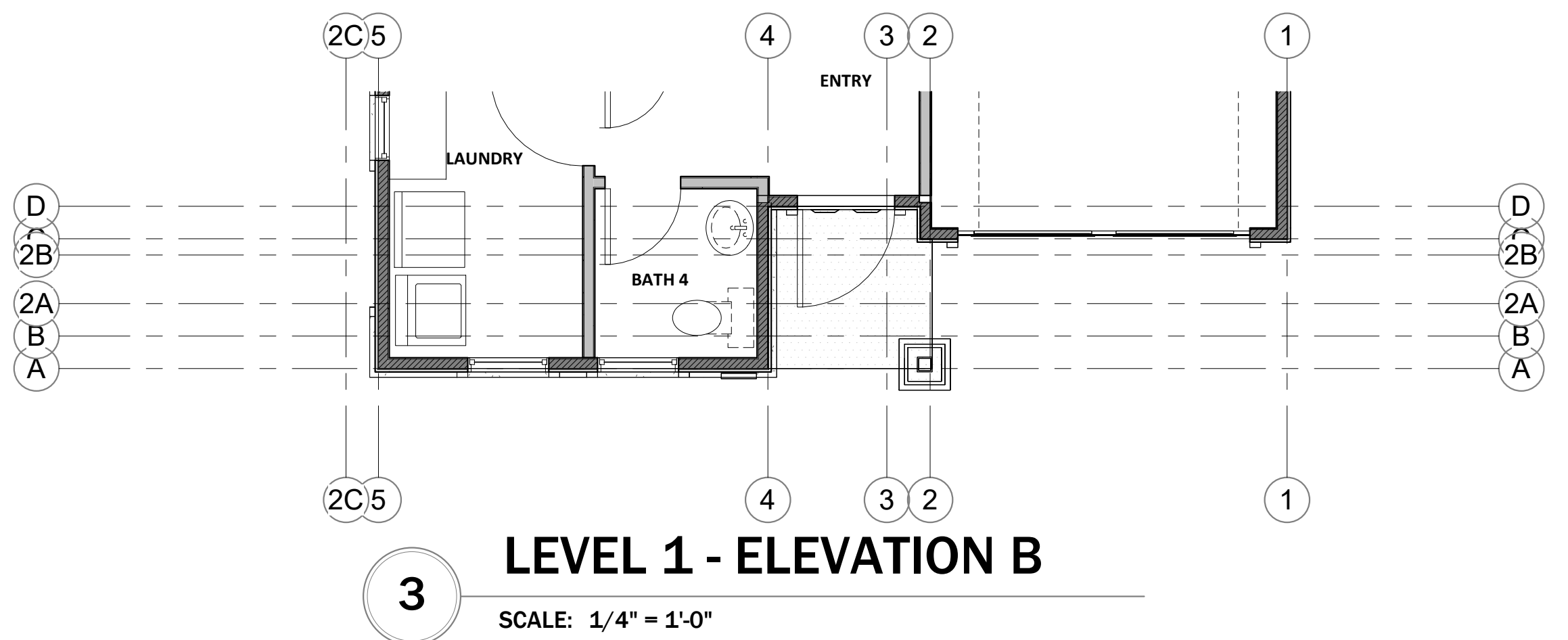
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2 LEVEL 2 - ELEVATION A
SCALE: 1/4" = 1'-0"



1 LEVEL 1 - ELEVATION A
SCALE: 1/4" = 1'-0"



3 LEVEL 1 - ELEVATION B
SCALE: 1/4" = 1'-0"

LEGEND: FLOOR PLAN

- (N) BED1 (80/91)
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- (N) REFRIGERATOR: AS SELECTED BY OWNER
- (N) DISHWASHER: AS SELECTED BY OWNER
- (N) SINK: AS SELECTED BY OWNER

RIVERLAND HOMES, INC.

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PROJECT: BRYSON COTTAGES

PROJECT ADDRESS
BRYSON COTTAGES

DATE 10.29.2025
PROJECT NO N/A
REVISION DATE

NOTES

2016 - FLOOR PLANS - A & B

SCALE: 1/4" = 1'-0"

4.3

DRAWN BY: RHI

Standard Exterior
Features Booklet

BRYSON
COTTAGES

Table of Contents

Exterior Color Packages	3-9
Exterior Fixtures & Hardware	10

BRYSON COTTAGES

1. Exterior Color Packages

#	PAINT COLORS*				STONE VENEER**		Roof Shingle
	Body	Trim	Accent	*Door Color	Color	Styles	Color
1	DE6214 Pigeon Gray	DE6155 Soft Ivory	DE6245 Aged Jade	DET628 Charcoal Sketch	Bucks County	CL	Aged Cedar 0668-0055
2	DET618 Industrial Age	DET617 Winter Morn	DE6342 Blue Steel	DET593 Made of Steel	Echo Ridge	DF	Crystal Gray 0668-0058
3	DEC751 Ash Gray	DEW383 Cool December	DE6042 Bear in Mind	DET628 Charcoal Sketch	Bucks County	CL	Weathered Wood 0668-0119
4	DET637 Seagull Wail	DE6211 Light Beige	DE6125 Carved Wood	DET699 Bourbon Truffle	Sevilla	DF	Aged Cedar 0668-0055
5	DET641 Doric White	DET653 Historic White	DE6210 Midnight Brown	DET593 Made of Steel	Echo Ridge	CL	Aged Cedar 0668-0055
6	DET625 Reclaimed Wood	DET648 White Picket Fence	DE6280 English Forest	DET628 Charcoal Sketch	Sevilla	DF	Crystal Gray 0668-0058
	Dunn Edwards Paint			*If Needed			
			Boral Cultured Stone Ledgestone, Dressed Fieldstone		Country		Composition Roof CertainTeed Landmark Solaris

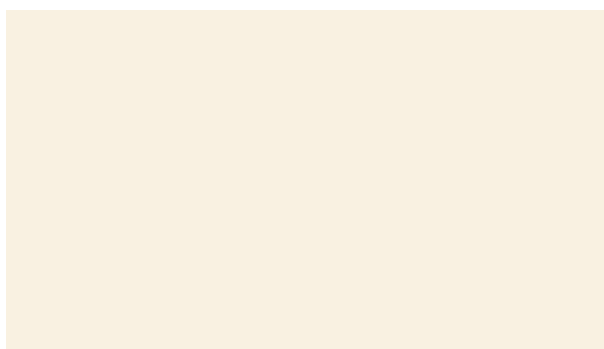
Exterior Color Package 1



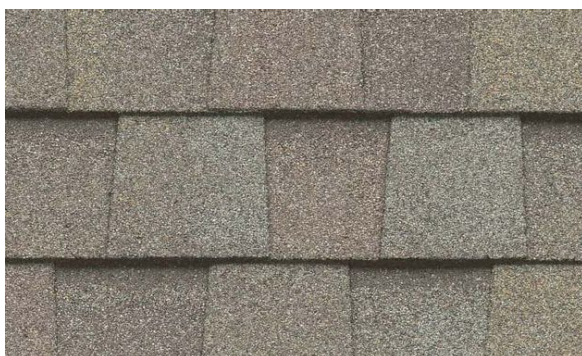
Body: Pigeon Gray DE6214



Door Color: Charcoal Sketch DET628



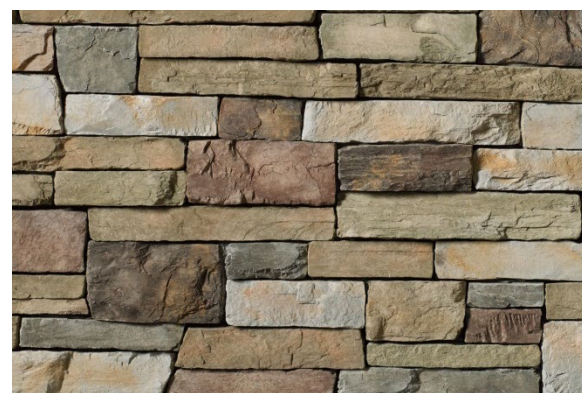
Trim: Soft Ivory DE6155



CertainTeed Landmark Solaris
Cool Roof Shingles
Aged Cedar 0668-0055



Accent: Aged Jade DE6245



Boral Cultured Stone
Country Ledgestone
Bucks County

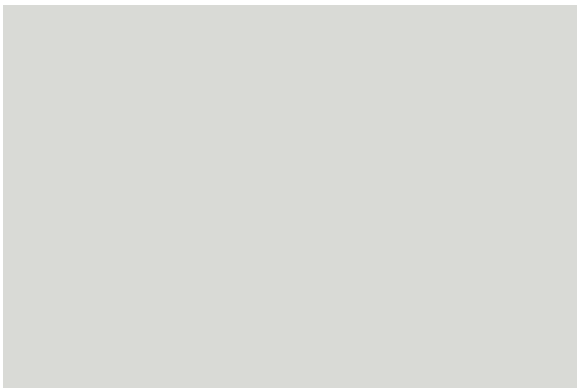
Exterior Color Package 2



Body: Industrial Age DET618



Door Color: Made of Steel DET593



Trim: Winter Morn DET617



CertainTeed Landmark Solaris Cool
Roof Shingles
Crystal Gray 0668-0058



Accent: Blue Steel DE6342



Boral Cultured Stone
Dressed Fieldstone
Echo Ridge

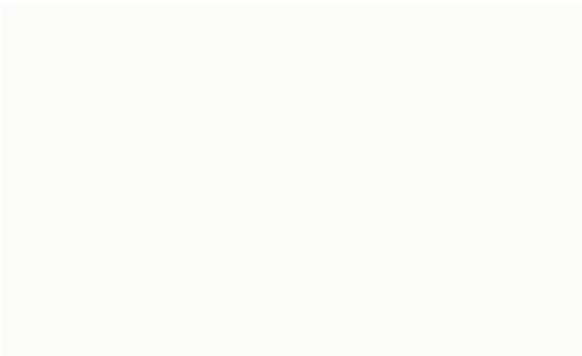
Exterior Color Package 3



Body: Ash Gray DEC751



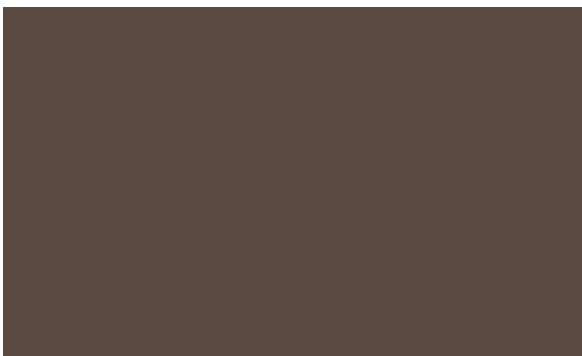
Door Color: Charcoal Sketch DET628



Trim: Cool December DEW383



CertainTeed Landmark Solaris
Cool Roof Shingles
Weathered Wood 0668-0119



Accent: Bear In Mind DE6042



Boral Cultured Stone
Country Ledgestone
Bucks County

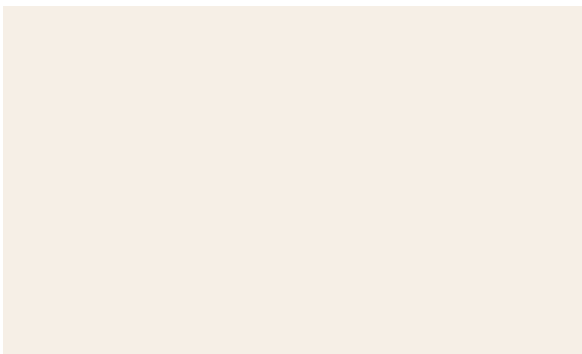
Exterior Color Package 4



Body: Seagull Wail DET637



Door Color: Bourbon Truffle DEC699



Trim: Light Beige DE6211



CertainTeed Landmark Solaris
Cool Roof Shingles
Aged Cedar 0668-0055

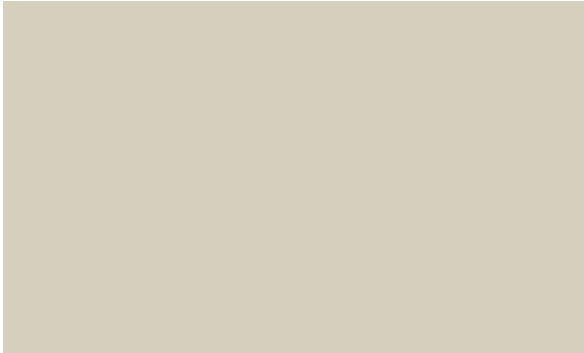


Accent: Carved Wood DE6125



Boral Cultured Stone
Dressed Fieldstone
Sevilla

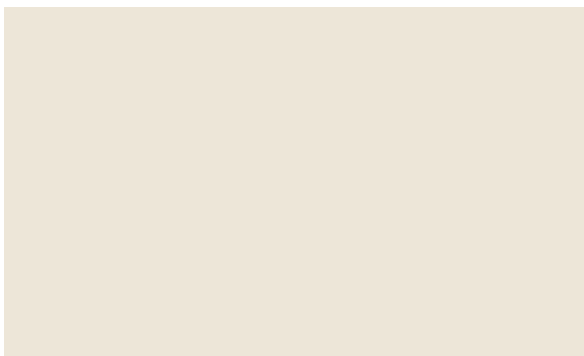
Exterior Color Package 5



Body: Doric White DET641



Door Color: DET593 Made of Steel



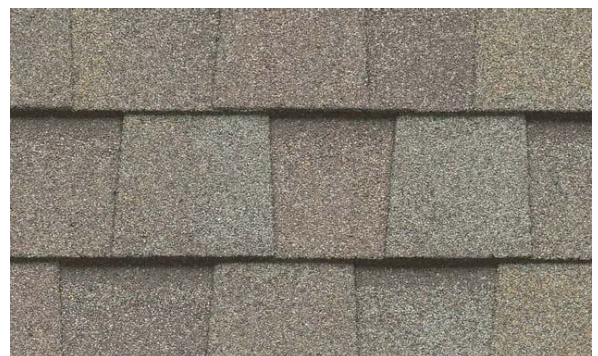
Trim: Historic White DET653



Boral Cultured Stone
Country Ledgestone
Echo Ridge



Accent: DEGR33 Sycamore Bark



CertainTeed Landmark Solaris
Cool Roof Shingles
Aged Cedar 0668-0055

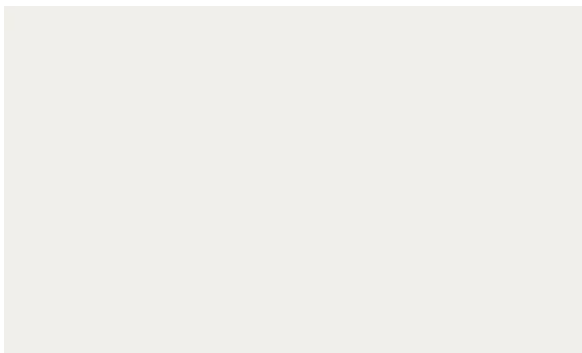
Exterior Color Package 6



Body: Reclaimed Wood DET625



Door Color: Charcoal Sketch DET628



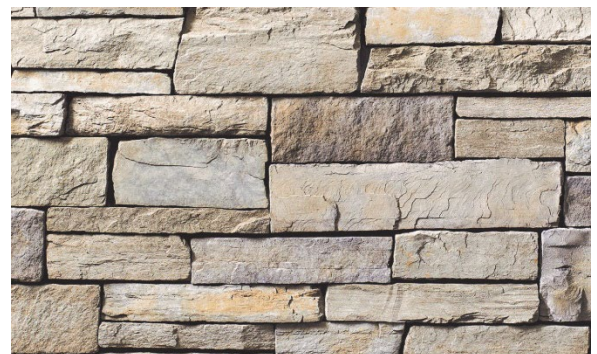
Trim: White Picket Fence DET648



CertainTeed Landmark Solaris
Cool Roof Shingles
Crystal Gray 0668-0058



Accent: English Forest DE6280



Boral Cultured Stone
Country Ledgestone
Ashfall

Exterior Fixtures & Hardware



Exterior Coach Light
Seagull



Exterior Ceiling Light
Kichler



Entry Handle and Lock Set
Kwikset