

APPEAL # 3

ZC Approved :
11/02/22 (w/waivers)



ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT



THE PETITIONER OR ANY AGGRIEVED PERSON HAS TEN (10) DAYS TO APPEAL THE DECISION OF THE ZONING COMMISSION. APPEALS MUST BE FILED WITH THE ST. TAMMANY PARISH DEPARTMENT OF PLANNING & DEVELOPMENT. A COPY OF THE APPEAL REQUEST IS PROVIDED BELOW.

APPEAL REQUEST

DATE: 11-8-22

CASE 2022-3064-PR

Take 5 car wash approval of
Plan Review

2022-3064-PR - USE: Take Five Carwash; New Construction

CORRIDOR: Highway 21 Planned Corridor

ZONING: HC-2 (Highway Commercial District)

USE SIZE: 4,130 sq. ft.

PETITIONER: BSREP II Cypress TRS, LLC - Michael Blank

OWNER: BSREP II Cypress TRS, LLC - Michael Blank

LOCATION: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1

POSTPONED FROM OCTOBER 4, 2022 MEETING

We are hereby appealing to the St. Tammany Parish Council at its next appropriate regular scheduled meeting on the above referenced matter of an adverse decision of the St. Tammany Parish Zoning Commission.

This letter shall serve as official notice to put the above referenced matter on the Parish Council agenda.

Sincerely,

PLEASE SIGN YOUR NAME, PRINT NAME UNDERNEATH THAT AND PUT MAILING ADDRESS AND PHONE NUMBER BELOW PRINTED NAME.

(SIGNATURE)

PRINT NAME: TERRENCE BERGERON

ADDRESS: 3 Begonia Dr ?
Covington, LA 70433

PHONE #: 310 691 0019

ADMINISTRATIVE COMMENTS



ZONING STAFF REPORT
2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Take 5 Carwash: New Construction **Gross Area Lot Size:** 1.77 acres
Previous/Current Use: Undeveloped **Use Size:** 4,130 sq. ft.
Owner: BSREP II Cypress TRS, LLC – Michael Blank **Council District:** 1
Applicant: BSREP II Cypress TRS, LLC – Michael Blank **Posted:** October 21, 2022
Commission Hearing: November 2, 2022 **Prior Determination:** Postponed – October 4, 2022
Determination: Approved with waivers

Location: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone X
Effective Flood Zone C
Critical Drainage: No

Site Information:

- The petitioned property consists of a total of 1.77 acres which is located on the northeast corner of Highway 21 and Pinnacle Parkway, Covington. The applicant is currently proposing to construct a new 4,225 sq. ft. carwash facility which will have a single access point from Pinnacle Parkway.
- Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial - Retail	HC-2 Highway Commercial District
South	Pinnacle Parkway	N/A
East	Residential	A-2 Suburban District
West	Commercial - Retail	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an existing residential subdivision known as Flowers Estates to the east, several existing commercial uses to the north and the west, and Pinnacle Parkway to the south.

Findings:

The petitioner has submitted two concurrent applications for a site work permit (2022-2379) and a building permit (2022-2019). All corresponding and required documentation and plans have been provided showing

Zoning Commission Department of Planning and Development EDC
 November 2, 2022 St Tammany Parish, Louisiana 2022-3064-PR

ADMINISTRATIVE COMMENTS



ZONING STAFF REPORT
2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

the limits of work for the proposed carwash. Staff has reviewed the application and notes the following waivers are required subject to the Planned Corridor Regulations including the following:

1. Per Sec. 130-1814(1)(e)(1)(ii), a nonresidential property abutting a residential district shall have a minimum side yard and rear yard requirement of 30 feet.
 - **The current proposed plans show a proposed 8 ft. sound barrier wall located along the eastern line of the required 30-foot eastern buffer abutting the adjoining Flowers Estates subdivision. This location will require the removal of a 28" pine tree, a 14" pine tree, and an 8" red maple within the no cut buffer and will therefore require a waiver to the Side and Rear Planting Area Regulations.**
 - **Should the Zoning Commission be in favor of the proposed 8 ft. sound barrier wall, it should be subject to revisions of the civil and landscape plans to provide cross section details, setbacks from the property line, and construction details.**

Informational Items:

1. The applicant is proposing to remove 9 of 20 existing live oaks where it has been determined by the project team's landscape architect that too much of their critical root zones are in areas of new paving construction.
 - a. Removal of live oaks require mitigation, and the applicant is required to flag all live oaks in the field and schedule an inspection with the Department of Planning and Development. The Planning Department's landscape architect will grade the live oaks and provide the number of mitigation inches required based on the average quality of the trees. The landscape plan is currently proposing the mitigation planting of 29 live oak trees.
 - b. Staff has concerns regarding the number of proposed live oaks to be planted on the site and recommends reducing the proposed total of live oaks to ensure future growth and survival. Staff recommends that the applicant revise the proposed planting plan to fit a reasonable number of live oaks on the site and pay the remaining credits into the tree bank at a maximum 50% of the required mitigation inches.
2. While the landscape plan meets code and shows the required number of Class A and Class B plantings, staff recommends reduction of live oaks proposed to be planted to a maximum of three in order to ensure survival and appropriate growth.
3. The applicant has submitted lighting plans which are currently being revised based on staff comments to be consistent with Chapter 130, Article VI, Division 4.
4. The applicant has provided written verification by LADOTD that a driveway permit is not required.
5. The applicant has contacted UIL and provided information that a tap in connection is available for community sewer and water services.
6. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
7. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh as indicated in detail A – Tree Protection Fencing Detail on sheet TP100.
8. The applicant must apply for a land clearing permit application prior to clearing any trees on the property.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.

ADMINISTRATIVE COMMENTS



ZONING STAFF REPORT
2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

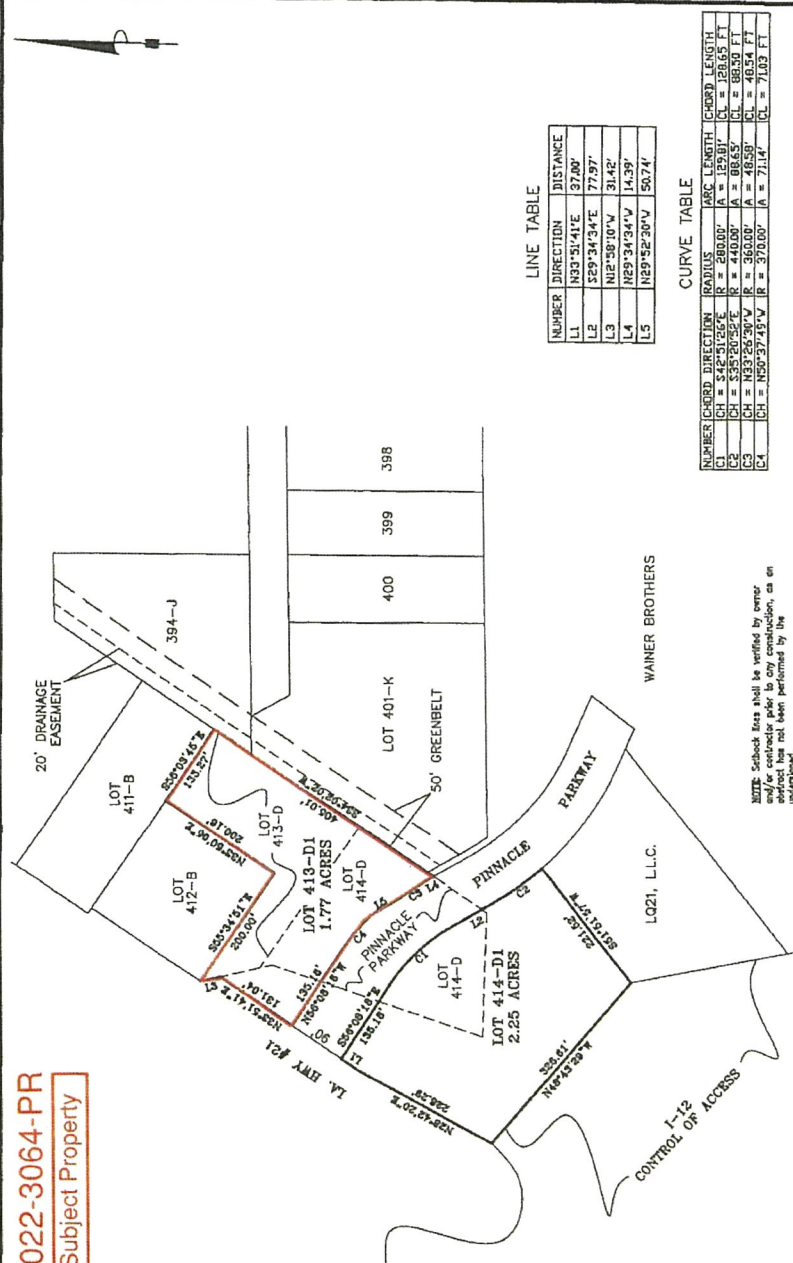
PLANNING & DEVELOPMENT
Ross Liner
Director



2022-3064-PR
Subject Property

APPROVALS:
 [Signature] SECRETARY - ST. TAMMANY PLANNING COMMISSION
 [Signature] PARISH ENGINEER
 [Signature] CLERK OF COURT
 10-30-2007 DATE FILED
 4559 MAP FILE NO.

COMMENCING FROM THE CORNER COMMON TO SECTIONS 10 AND 11, TOWNSHIP 10 NORTH, RANGE 10 WEST, PARISH OF ST. TAMMANY, LOUISIANA RUN NORTH 00 DEGREES 40 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 1423.83 FEET TO A POINT, THENCE RUN NORTH 89 DEGREES 23 MINUTES 30 SECONDS EAST FOR A DISTANCE OF 1109.12 FEET TO A POINT, THENCE RUN NORTH 89 DEGREES 23 MINUTES 45 SECONDS EAST FOR A DISTANCE OF 84.42 FEET TO A POINT, THENCE RUN NORTH 89 DEGREES 17 MINUTES 08 SECONDS EAST FOR A DISTANCE OF 700.84 FEET TO THIS POINT.



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N83°51'41"E	37.00'
L2	S29°34'34"E	77.97'
L3	N12°58'10"W	31.42'
L4	N29°34'34"W	14.39'
L5	N29°52'30"W	50.74'

CURVE TABLE

NUMBER	CHORD	DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	CH = 542°51'26"E	R = 280.00'	A = 129.87'	CL = 126.65 FT	
C2	CH = 335°20'55"E	R = 440.00'	A = 88.65'	CL = 86.50 FT	
C3	CH = 129°57'49"W	R = 370.00'	A = 74.00'	CL = 71.47 FT	
C4	CH = 185°57'49"W	R = 370.00'	A = 74.00'	CL = 71.47 FT	

NOTE: Sublot sizes shall be verified by owner and/or contractor prior to any construction, as an independent survey was not performed by the undersigned.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY SUPERVISION AND CONTROL, AND THAT THE SURVEY WAS ACCURATE AND CORRECT. I HAVE BEEN LICENSED AND REGISTERED AS A PROFESSIONAL SURVEYOR IN THE STATE OF LOUISIANA. BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS FOR A CLASS "C" SURVEY.

DATE: SEPTEMBER 27, 2007
 DRAWN BY: JBM
 REVISION: OFFICE 10-24-07

Scale: 1" = 100'

JOHN E. BONNEAU
 REGISTERED PROFESSIONAL SURVEYOR
 REG. NO. 4423

Professional Land Surveyors & Planners and Consultants
 420 HWY. 1035, SUITE 57, MONROE, LA 70447
 (845) 845-1012 • (845) 845-1013 • (845) 845-1351 • FAX: (845) 845-1778
 www.JEBONNEAU.com • e-mail: jebon@jebon.com

RESUBDIVISION MAP OF
 LOTS 413-D & 414-D, FLOWER ESTATES SUBDIVISION, SECTION "A" & A PORTION OF PINNACLE PARKWAY AND A NON DESIGNATED PARCEL OF GROUND INTO LOT 413-D1 AND LOT 414-D1, FLOWER ESTATES SUBDIVISION, SECTION "A" & PINNACLE PARKWAY
 for
 FLOWERS, INC.
 St. Tammany Parish, Louisiana

Page 1 of 1
 Map#4559D - MAPS MAY NOT PRINT TO SCALE
 St Tammany Parish Court Clerk



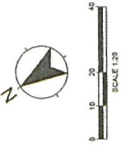
125' PROTOTYPE
 DATE 2022-09-18
 DESCRIPTION DELTA
 PERMIT ISSUE 1

TAKE 5 CAR WASH

125 PINNACLE PKWY
 COVINGTON, LA 70433



SHEET TITLE LAYOUT & CONTROL PLAN
 PROJECT NUMBER 21-055
 DATE 09.09.22
 SCALE AS NOTED
 DRAWN AS NOTED
 CHECKED AS NOTED
 SHEET NO C-100



- LEGEND**
- PROVIDED FIRE LANE
 - ELECTRIC TRANSFORMER
 - BANNERS/FREE RAMP
 - VAN ACCESSIBLE PARKING
 - ACCESSIBLE PARKING
 - SIGN
 - LIGHT

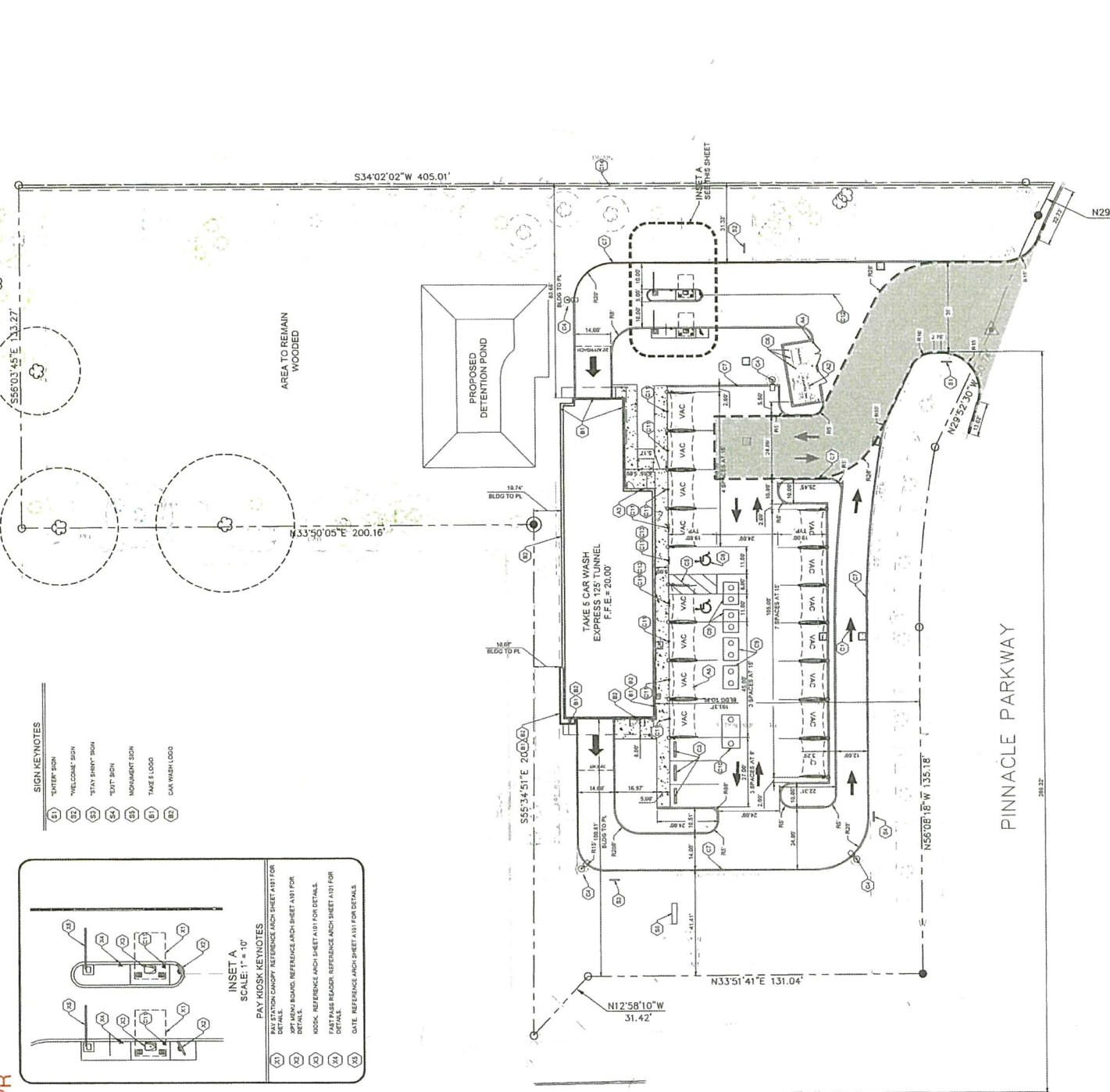
- SITE FEATURES KEYNOTES**
- (A1) NOT USED
 - (A2) SIGNAGE EQUIPMENT, REFERENCE ELECTRICAL DETAILS
 - (A3) VENDING MACHINE, REFERENCE ARCH PLANS FOR DETAILS
 - (A4) REFUSE AND MODULAR CONTAINER ENCLOSURE, REFERENCE ARCH PLANS FOR DETAILS
 - (A5) VACUUM CANOPY, REFERENCE ARCH SITE DETAILS
 - (A6) PAYMENT NUMBERS, REFERENCE SHEET C-510 FOR DETAILS
 - (A7) POLE MOUNTED TRANSFORMER, REFERENCE SHEET C-509 FOR DETAILS
 - (A8) VEHICLE STOP, REFERENCE SHEET C-518 FOR DETAILS
 - (A9) LIGHT POLE, REFERENCE PHOTOGRAPHIC PLAN
 - (A10) 4" WHITE STRIPING, REFERENCE SHEET C-519 FOR DETAILS
 - (A11) 4" SOLID WHITE LANE STRIPE, REFERENCE SHEET C-519 FOR DETAILS
 - (A12) 4" SOLID WHITE LANE STRIPE, REFERENCE SHEET C-519 FOR DETAILS
 - (A13) ACCESSIBLE SIGN IN HOLLARD, REFERENCE SHEET C-519 FOR DETAILS
 - (A14) PROPOSED 1 FEET SOUND BARRIER WALL
 - (B1) ACCESSIBLE PARKING, REFERENCE SHEET C-510 FOR DETAILS
 - (B2) WATER RECLAMATION PUMP, REFERENCE MEP
 - (B3) SAND AND OIL INTERCEPTOR, REFERENCE MEP
 - (B4) BOLLARD TYPE II, REFERENCE SHEET C-510 FOR DETAILS
 - (B5) 4" SOLID WHITE LANE STRIPE, REFERENCE SHEET C-519 FOR DETAILS
 - (B6) ACCESSIBLE SIGN IN HOLLARD, REFERENCE SHEET C-519 FOR DETAILS
 - (B7) PROPOSED 1 FEET SOUND BARRIER WALL

SITE DATA SUMMARY TABLE

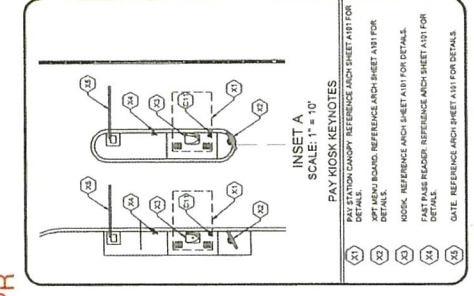
ZONING:	C-1 HEAVY COMMERCIAL ZONE
SITE AREA:	1.77 AC (76,833 S.F.)
BUILDING AREA:	8,150 AC (327,850 S.F.)
REQUIRED LANDSCAPE AREA:	1.18 AC (51,278 S.F.)
LANDSCAPE AREA:	1.18 AC (51,278 S.F.)
PAVEMENT AREA:	6.62 AC (287,850 S.F.)
TOTAL IMPERVIOUS COVER:	6.62 AC (287,850 S.F.)
CONCRETE LENGTH:	125' 0"
LANDSCAPE LENGTH:	153.11 FEET EACH (EMPLOYED)
LANDSCAPE WIDTH:	153.11 FEET EACH (EMPLOYED)
PARKING PROVIDED:	15 SPACES (1 HO)
EMPLOYEE PARKING:	3 SPACES
OTHER PARKING:	19 SPACES
TOTAL:	37 SPACES
CAR STATIONING:	8 CARS
AT ENTRANCE:	3 CARS

- DIMENSIONAL CONTROL NOTES**
- CONTRACTOR SHALL REFER TO SHEET C-510 FOR THE ORIGINAL CONSTRUCTION NOTES FOR THE PROJECT.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES ON THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES DURING CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.

- NOTES:**
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED ON THE PLANS.



- SIGN KEYNOTES**
- (S1) ENTRY SIGN
 - (S2) WELCOME SIGN
 - (S3) STAY SIGN SIGN
 - (S4) EXIT SIGN
 - (S5) MONUMENT SIGN
 - (S6) TAKE 5 LOGO
 - (S7) CAR WASH LOGO



PLANT LIST

QTY	SYMBOL	PLANT TYPE	SIZE	NOTES
24	A-B	REBUS	3.00' GAL	3.00' GAL HEALTHY
7	EC	ARBORETOUR	24" - 30" HT. X 2.5" - 3" DBH	24" - 30" HT. X 2.5" - 3" DBH
31	D-W	WAX MYRTLE	2" - 2.5" DBH	2" - 2.5" DBH MATCHING
6	E-E	WAX MYRTLE	10" - 12" HT. X 4" - 4.5" DBH	10" - 12" HT. X 4" - 4.5" DBH
7	E-E	WAX MYRTLE	11" - 12" HT. X 4.5" - 5" DBH	11" - 12" HT. X 4.5" - 5" DBH
17	J-Y	LIVE OAK	2" - 2.5" DBH	2" - 2.5" DBH MATCHING
20	L-O	LIVE OAK	24" - 30" HT. X 2.5" - 3" DBH	24" - 30" HT. X 2.5" - 3" DBH
7	L-O	LIVE OAK	24" - 30" HT. X 2.5" - 3" DBH	24" - 30" HT. X 2.5" - 3" DBH
11	N-O	WAX MYRTLE	11" - 12" HT. X 4.5" - 5" DBH	11" - 12" HT. X 4.5" - 5" DBH
4	N-W	PINK SPRAWL	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
3	P-F	PINK SPRAWL	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
25	P-F	PINK SPRAWL	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
18	R-B	REBUS	3.00' GAL	3.00' GAL HEALTHY
6	S-O	SAVANNAH PALM	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
25	S-H	SAVANNAH PALM	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
4	V-W	WAX MYRTLE	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
18	V-W	WAX MYRTLE	10" - 12" HT. X 4.5" - 5" DBH	10" - 12" HT. X 4.5" - 5" DBH
HYDR		HYDRANT		HYDRANT
500		COMMON BENTGRASS	50 TO 70	COMMON BENTGRASS

SYMBOL	PLANT TYPE	SIZE	NOTES
LO	LIVE OAK	1.00' GAL	
LC	LIVE OAK	1.00' GAL	
ND	NATIVE OAK		
BC	BALD CYPRESS		
SC	SWEETGUM		
RZ	RIVERBIRCH		
SH	SAVANNAH PALM		
WM	WAX MYRTLE		
BP	BLUE PLUMBAGO		
AP	PINK ADELPHI		
EW	EMERALD WAX MYRTLE		
ES	BELLFLOWER		
PF	PINK SPRAWL		
NW	WAX MYRTLE		
RY	RYEBIRD		
VW	VANILLA WAX MYRTLE		
!	COMMON BENTGRASS		
	RIVER ROCK		

SANIT TAMMANY PARISH LANDSCAPE ANALYSIS FORM

STREET PLANTING AREAS
LA HWY. 21
6485 SF / 108 = 32 - 1 EXIST. TREE CREDIT = 21 CLASS "A" TREES REQUIRED
6485 SF / 200 = 33 CLASS "B" TREES REQUIRED
1524 SF / 19 = 16 SHRUBS REQUIRED

PINNACLE PKWY.
338.03 / 30 = 11 - 6 EXIST. TREE CREDITS = 5 CLASS "A" TREES REQUIRED
338.03 / 10 = 33 SHRUBS REQUIRED

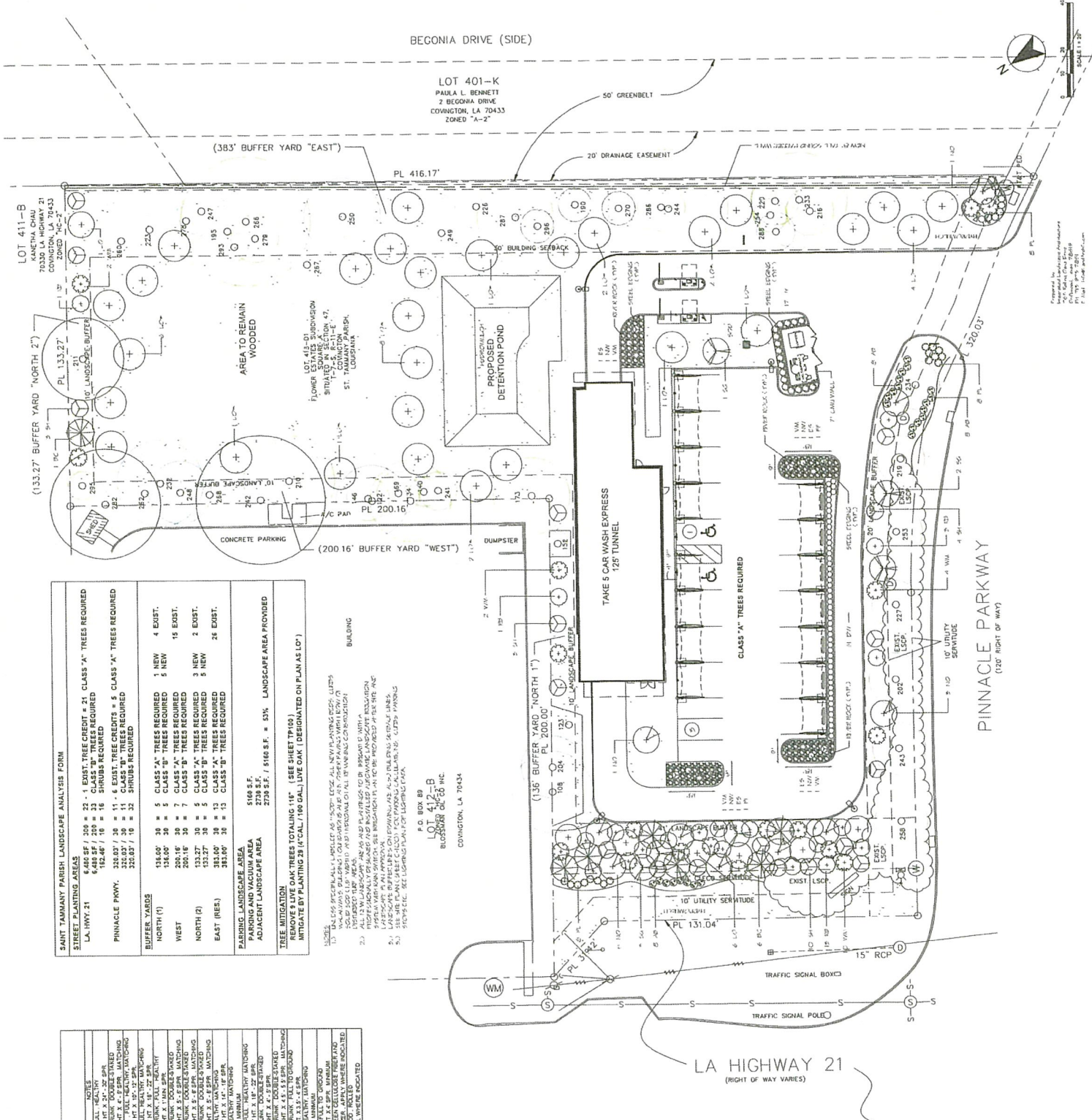
BUFFER YARDS
NORTH (1)
151.60' 38 = 5 CLASS "A" TREES REQUIRED 1 NEW 4 EXIST.
134.00' 26 = 5 CLASS "B" TREES REQUIRED 5 NEW 15 EXIST.
200.16' 30 = 7 CLASS "A" TREES REQUIRED 3 NEW 2 EXIST.
133.27' 30 = 5 CLASS "A" TREES REQUIRED 3 NEW 2 EXIST.
133.27' 30 = 5 CLASS "A" TREES REQUIRED 3 NEW 2 EXIST.
381.00' 38 = 13 CLASS "B" TREES REQUIRED 26 EXIST.

PARKING LANDSCAPE AREA
ADJACENT LANDSCAPE AREA 5168 S.F.
ADJACENT LANDSCAPE AREA 2738 S.F.

TREE MITIGATION
REMOVE 6 LIVE OAK TREES TOTALING 116" (SEE SHEET TP104)
MITIGATE BY PLANTING 28 (4" GAL / 100 GAL) LIVE OAK (DESIGNATED ON PLAN AS LO)

NOTES

1. ALL TREES TO BE PLANTED AS "SOFT" EDGE ALL NEW PLANTING MUST BE PLANTED WITHIN THE BUFFER ZONE. ALL EXISTING TREES TO BE MAINTAINED WITHIN THE BUFFER ZONE.
2. ALL TREES TO BE PLANTED AS "SOFT" EDGE ALL NEW PLANTING MUST BE PLANTED WITHIN THE BUFFER ZONE. ALL EXISTING TREES TO BE MAINTAINED WITHIN THE BUFFER ZONE.
3. ALL TREES TO BE PLANTED AS "SOFT" EDGE ALL NEW PLANTING MUST BE PLANTED WITHIN THE BUFFER ZONE. ALL EXISTING TREES TO BE MAINTAINED WITHIN THE BUFFER ZONE.
4. ALL TREES TO BE PLANTED AS "SOFT" EDGE ALL NEW PLANTING MUST BE PLANTED WITHIN THE BUFFER ZONE. ALL EXISTING TREES TO BE MAINTAINED WITHIN THE BUFFER ZONE.
5. ALL TREES TO BE PLANTED AS "SOFT" EDGE ALL NEW PLANTING MUST BE PLANTED WITHIN THE BUFFER ZONE. ALL EXISTING TREES TO BE MAINTAINED WITHIN THE BUFFER ZONE.



125' PROTOTYPE

DELTA	DESCRIPTION	DATE
1	DO REVIEW	2022-02-23
2	CITY COMMENTS	2022-06-23
3	PERMIT RESUBMITTAL	2022-07-25
4	CITY COMMENTS	2022-08-28
5	X	X
6	X	X

TAKE 5 CAR WASH
NEC PINNACLE PKWY & LA 21
COVINGTON, LA 70433

ARCHITECT
ARCHITECTURE ENGINEERING

STAFFS
DUANE F. BINNO
REGISTERED PROFESSIONAL ENGINEER
STATE OF LOUISIANA
NO. 11367

SHEET TITLE
LANDSCAPE PLAN

PROJECT NUMBER
21-042

DATE
08/28/2022

DRAWN BY
D.F.B.

CHECKED BY
D.F.B.

SHEET NO
L100



DATE	DESCRIPTION
2022-02-02 <td>1 DD REVIEW</td>	1 DD REVIEW
2022-06-23 <td>2 CMT COMMENTS</td>	2 CMT COMMENTS
2022-09-26 <td>3 PERMIT RESUBMITAL</td>	3 PERMIT RESUBMITAL
2022-09-26 <td>4 CITY COMMENTS</td>	4 CITY COMMENTS
2022-09-29 <td>5 X</td>	5 X
2022-09-29 <td>6 X</td>	6 X

125 PROTOTYPE
 KX:KX:KX
 KX:KX:KX

TAKE 5 CAR WASH

NEC PINNACLE PKWY & LA-21
 COVINGTON, LA 70433

ARCHITECT



ARCHITECTURE
ENGINEERING

STAMPS



SHEET TITLE
LANDSCAPE DETAILS
AND SPECIFICATIONS

PROJECT NUMBER
21-042

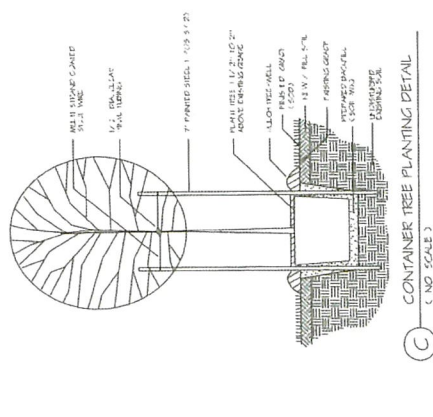
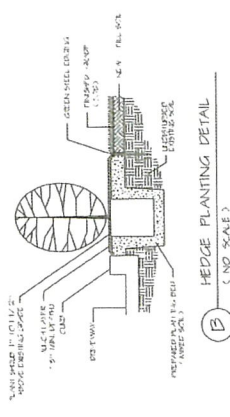
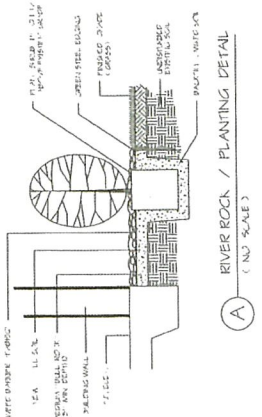
DATE	08.26.2022
SCALE	NO SCALE
DRAWN	T.M.
CHECKED	AH
SHEET NO	L200

LANDSCAPE CONSTRUCTION SPECIFICATIONS

- 1.1 General Contractor shall be allowed to field in locate, erect & install all structures, retaining walls, drainage systems, etc., as shown on the plans.
- 2.1 Prepare all new structure (walls, retaining walls, etc.) on compacted subgrade and all existing structures shall be repaired or replaced as needed.
- 2.2 Prepare all new structure (walls, retaining walls, etc.) on compacted subgrade and all existing structures shall be repaired or replaced as needed.
- 3.1 Grade all planting beds to slopes of three and seven feet maximum from planting bed to adjacent grade.
- 3.2 Grade all planting beds to slopes of three and seven feet maximum from planting bed to adjacent grade.
- 3.3 Seal landscape drainage (1/2" dia. x 4" dia. cast) between wall and planting bed.
- 3.4 Seal landscape drainage (1/2" dia. x 4" dia. cast) between wall and planting bed.
- 4.1 Finish all new concrete and masonry with Ornamental Cur finish.
- 5.1 Make all new planting beds 2" (6mm) above finished grade.
- 6.1 Use a 1/2" (12mm) thick, 1/4" (6mm) diameter, 1/4" (6mm) square rebar spaced at 18" o.c. in all concrete walls.
- 6.2 Use a 1/2" (12mm) thick, 1/4" (6mm) diameter, 1/4" (6mm) square rebar spaced at 18" o.c. in all concrete walls.
- 7.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 7.2 Place 1/2" (12mm) thick concrete on all concrete walls.
- 7.3 Place 1/2" (12mm) thick concrete on all concrete walls.
- 8.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 9.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 10.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 11.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 12.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 13.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 14.1 Place 1/2" (12mm) thick concrete on all concrete walls.
- 15.1 Place 1/2" (12mm) thick concrete on all concrete walls.

LANDSCAPE MAINTENANCE SPECIFICATIONS

- 1.1 The owner, tenant, or their agent, if any, shall be held responsible and severally responsible for the maintenance, repair, and replacement of all exterior landscape materials (including furniture, fixtures, and site furniture).
- 2.1 All plant materials shall be maintained in a healthy and growing condition as appropriate for the season of the year.
- 3.1 The owner, tenant, or their agent, if any, shall be held responsible and severally responsible for the maintenance, repair, and replacement of all exterior landscape materials (including furniture, fixtures, and site furniture).
- 4.1 The owner, tenant, or their agent, if any, shall be held responsible and severally responsible for the maintenance, repair, and replacement of all exterior landscape materials (including furniture, fixtures, and site furniture).
- 5.1 The owner, tenant, or their agent, if any, shall be held responsible and severally responsible for the maintenance, repair, and replacement of all exterior landscape materials (including furniture, fixtures, and site furniture).
- 6.1 The owner, tenant, or their agent, if any, shall be held responsible and severally responsible for the maintenance, repair, and replacement of all exterior landscape materials (including furniture, fixtures, and site furniture).
- 7.1 The use of concrete shall be restricted to the use of concrete.
- 8.1 The use of concrete shall be restricted to the use of concrete.
- 9.1 The use of concrete shall be restricted to the use of concrete.
- 10.1 The use of concrete shall be restricted to the use of concrete.
- 11.1 The use of concrete shall be restricted to the use of concrete.
- 12.1 The use of concrete shall be restricted to the use of concrete.
- 13.1 The use of concrete shall be restricted to the use of concrete.
- 14.1 The use of concrete shall be restricted to the use of concrete.
- 15.1 The use of concrete shall be restricted to the use of concrete.



Provide to:
 Take 5 Car Wash, Inc.
 27141 Highway 101, Suite 200
 Baton Rouge, LA 70810
 Phone: (504) 981-0200
 Fax: (504) 981-0201
 Email: info@take5carwash.com