



4 SIDE STUDIO
 ARCHITECTURE & VISUALIZATION
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WASHINGTON & COLLINS TOWHOMES
 422 S. LILLIAN STREET
 STEPHENVILLE, TEXAS



VINCINITY MAP

PROJECT NOTES

SITE AREA: xxxxx SF
 xxxx ACRE
 BUILDING FOOT PRINT: xxxxx SF
 (HOUSE AND GARAGES)
 LOT COVERAGE: xx%
 BUILDING AREA
 GROSS SF
 LEVEL 1: xxxxx SF
 LEVEL 2: xxxxx SF
 TOTAL GROSS: xxxxx SF
 NET SF
 LEVEL 1: xxxxx SF
 LEVEL 2: xxxxx SF
 TOTAL NET: xxxxx SF

NET AREAS

ROOM NAME	LEVEL	AREA
LEVEL 1		
LEVEL 1	T.O.C. 1ST FLOOR	541 SF
		541 SF

#	SHEET NAME
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A0.1	COVER SHEET/ INDEX
A0.2	SCHEDULES/ CODE ANALYSIS
A0.3	WINDOW/ DOOR SCHEDULE
A1.1	SITE PLAN
A2.1	FLOOR PLAN
A2.2	FLOOR PLAN
A2.3	FLOOR PLAN
A2.4	ROOF PLAN
A3.1	REFLECTED CEILING PLAN
A3.2	REFLECTED CEILING PLAN
A3.3	REFLECTED CEILING PLAN

#	SHEET NAME
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A4.1	FOUNDATION PROFILE
A5.7	WALL ASSEMBLIES
A6.1	EXTERIOR ELEVATIONS
A6.2	EXTERIOR ELEVATIONS
A7.1	INTERIOR ELEVATIONS
A8.1	BUILDING SECTIONS
A8.2	STAIR DETAILS/ FLOOR ASSEMBLIES
A8.3	DETAILS - PLAN
A8.4	DETAILS - DOOR
A8.5	DETAILS - WINDOW
A8.6	DETAILS - WINDOW FLASHING

#	SHEET NAME
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A8.7	DETAILS - PENETRATION
A8.8	DETAILS - ROOF
A8.9	DETAILS
A8.10	DETAILS
A8.11	DETAILS - T-BAR
A9.1	WALL SECTIONS
A9.2	WALL SECTIONS
A10.1	DETAILS
A11.1	PERSPECTIVE VIEWS

Grand total: 31

#	SHEET NAME
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WASHINGTON & COLLINS TOWHOMES

PROJECT SCOPE
 THIS IS A NEW CONSTRUCTION PROJECT

ARCHITECT

4 SIDE STUDIO LLC
 10100 N. CENTRAL EXPY. SUITE 325
 DALLAS, TX. 75231
 CONTACT: JOHNNY LIMONES
 P: 214.515.2106
 E: INFO@4SIDESTUDIO.COM

OWNER/ DEVELOPER

SOLOMON'S ROCK LLC
 CONTACT: TROY KUNKEL
 P: 817.808.8769
 E: TROYTCU@YAHOO.COM

CIVIL ENGINEER

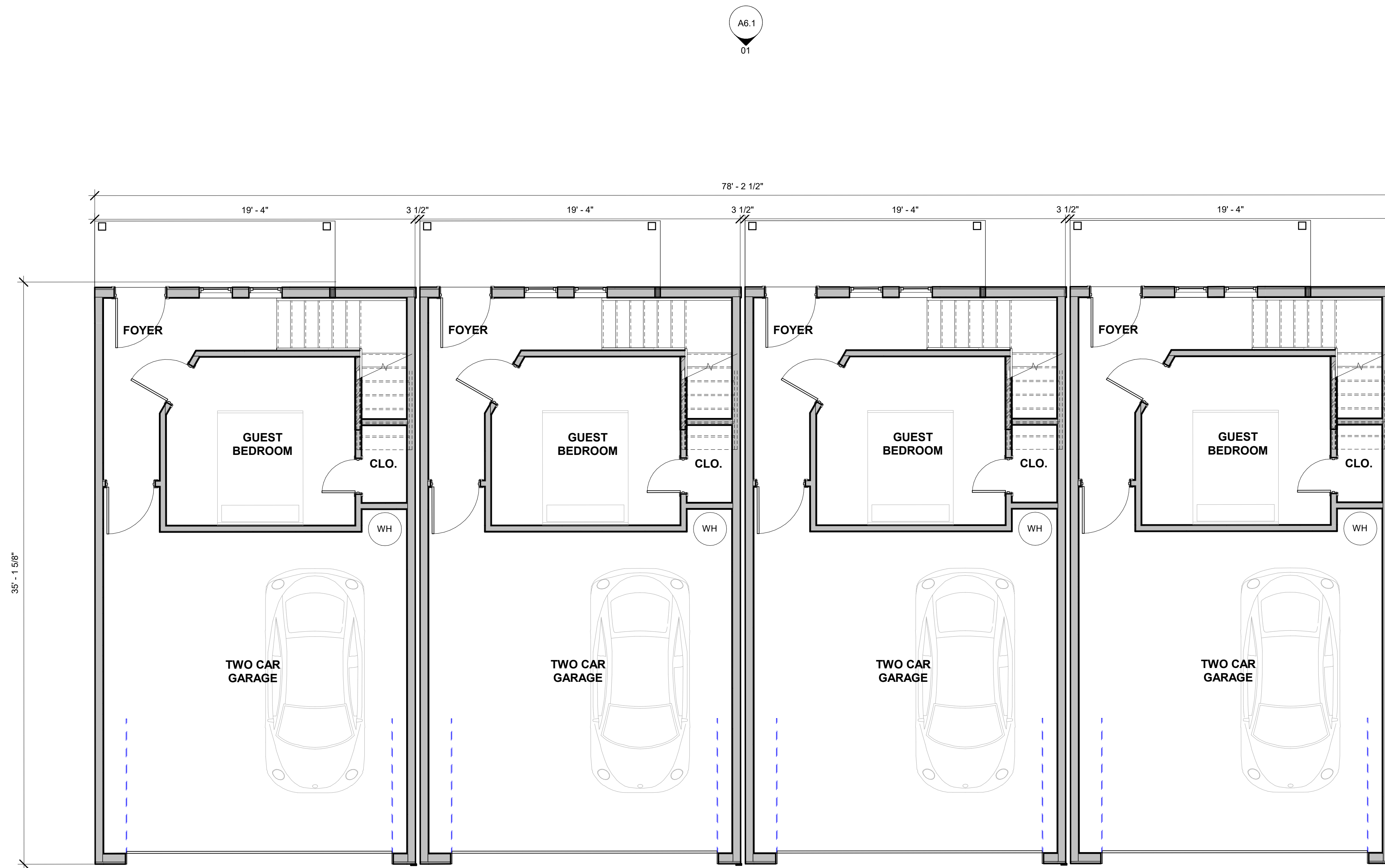
MMA TEXAS
 CONTACT: REECE FLANAGAN
 ARLINGTON | BURLESON
 P: 817.469.1671
 E: RFLANAGAN@MMWTEXAS

NOTE:
 PERSPECTIVES ARE CONCEPTUAL AND DO NOT
 DEPICT FINAL PRODUCT.

COVER SHEET/
 INDEX

A0.1

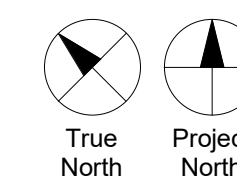
Project # 000000
 Scale 12" = 1'-0"

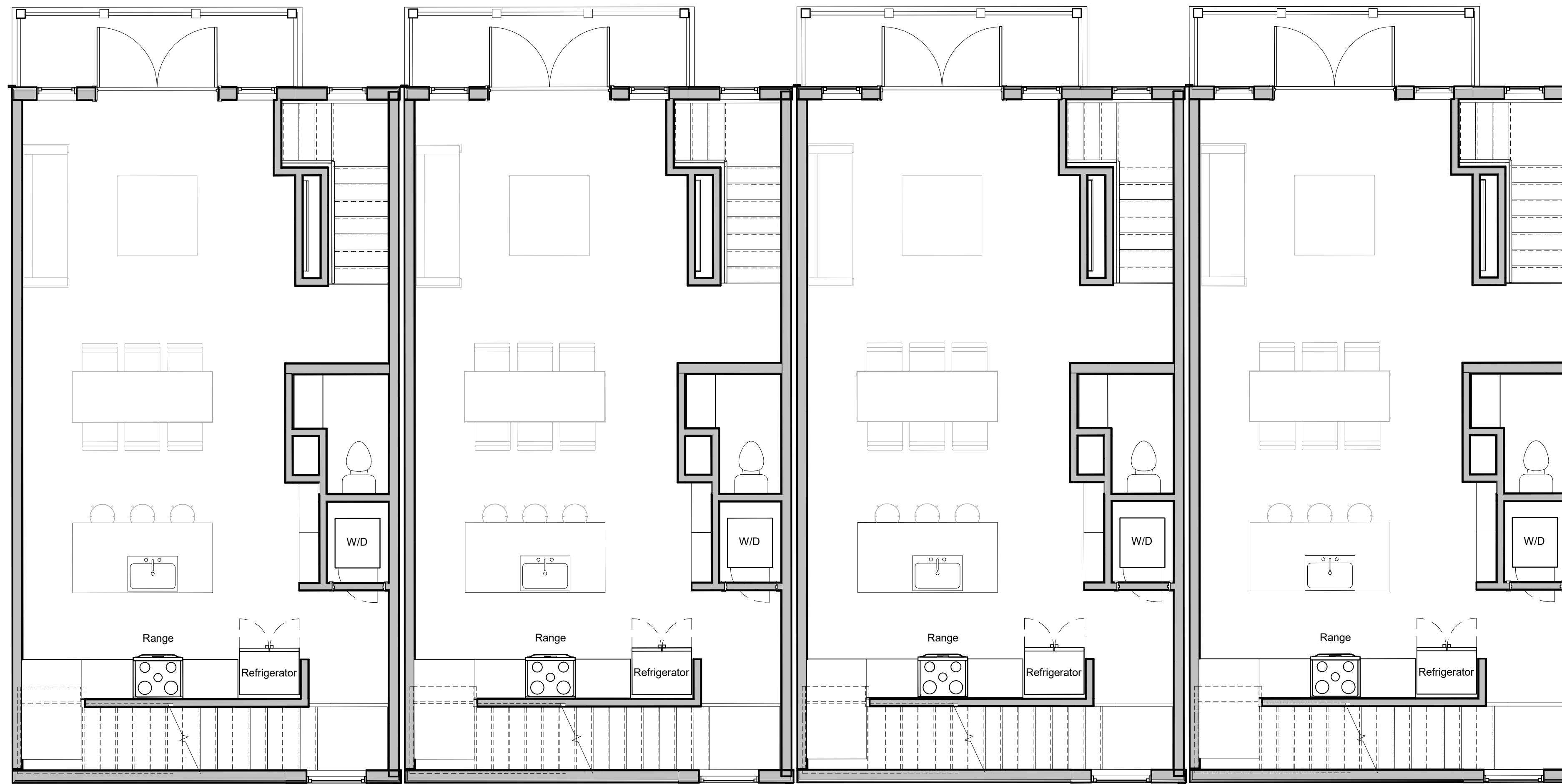


01 1ST FLOOR
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

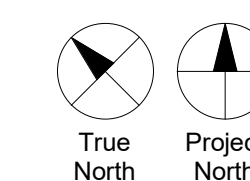
1. ALL WORK TO CONFORM TO APPLICABLE BUILDING CODES REGULATIONS AND ORDINANCES HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. ANY DISCREPANCY WITHIN THE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
3. THESE DOCUMENTS ARE ABBREVIATED IN CONTENT. THE CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND UNDERSTANDING SCOPE, SITE VISITS, AND ANY VERIFICATION OF SCOPE DETAILS, EXISTING CONDITIONS, ETC. PERTAINING TO SCOPE OF WORK SHOWN HERE.
4. OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE CITY AND OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION.
5. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.
6. DIMENSIONS ARE GENERALLY TO THE FACE OF STUD.
7. ALL WORK MUST BE DONE ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND INDUSTRY STANDARDS.
8. THE STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
9. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND EXISTING UTILITIES.
10. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
11. BEFORE PROCEEDING WITH ANY WORK OR ORDERING ANY MATERIAL, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF BUILDING COMPONENTS AND THEIR INTERRELATIONSHIP AT THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.
12. CONTRACTOR AND/OR SUBCONTRACTOR IS ULTIMATELY RESPONSIBLE FOR VERIFYING AND MAKING ADJUSTMENTS TO ANY DISCREPANCIES BETWEEN THE PLANS AND THE BUILDING SITE.
13. ALL STAIRS TO BE MAX RISER HEIGHT OF 7 3/4" AND MIN. TREAD DEPTH OF 10"





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01 2ND FLOOR
 SCALE: 1/4" = 1'-0"

FLOOR PLAN

A2.2



01 3RD FLOOR
 SCALE: 1/4" = 1'-0"

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02 REAR ELEVATION
 SCALE: 3/16" = 1'-0"



01 FRONT
 SCALE: 3/16" = 1'-0"

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422 S. LILLIAN STREET
STEPHENVILLE, TEXAS



PERSPECTIVE
VIEWS

A11.1