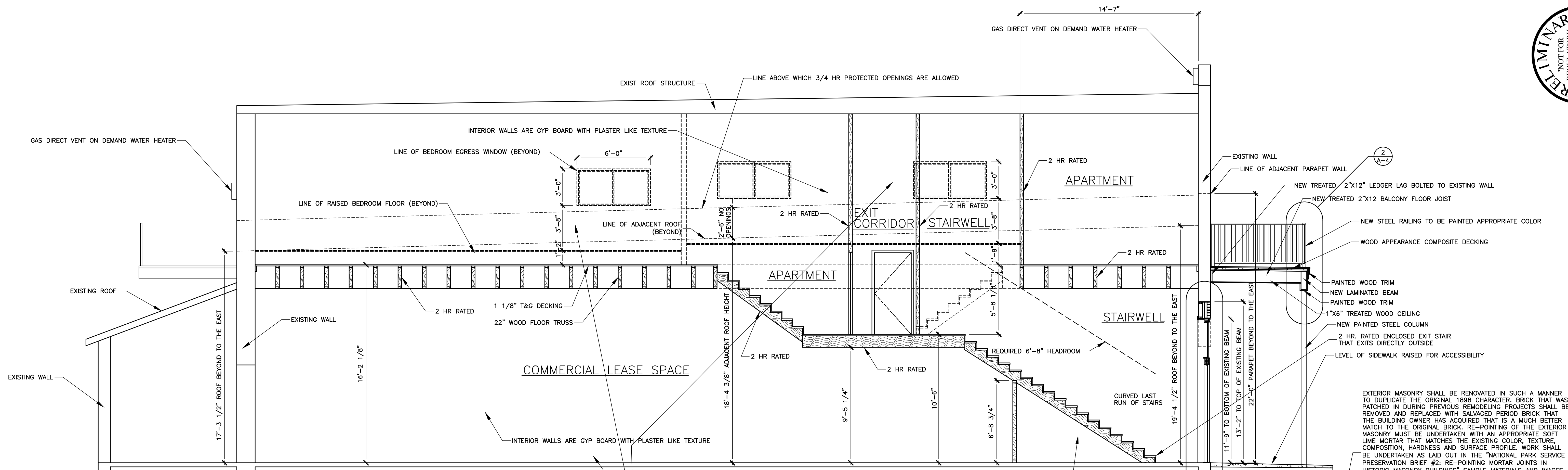


ARCHITECT JOHN G. BEVERLY P.O. BOX 1990 STEPHENVILLE, TEXAS 76401 (254) 968-4211 O. (254) 396-9999 M. jgib@jgibarch.com

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DRAWINGS THIS SHEET: BUILDING SECTION FRONT ELEVATION

START DATE: 4/30/18 JOB NUMBER: 18C08 SHEET NO: A-4 OF: 1

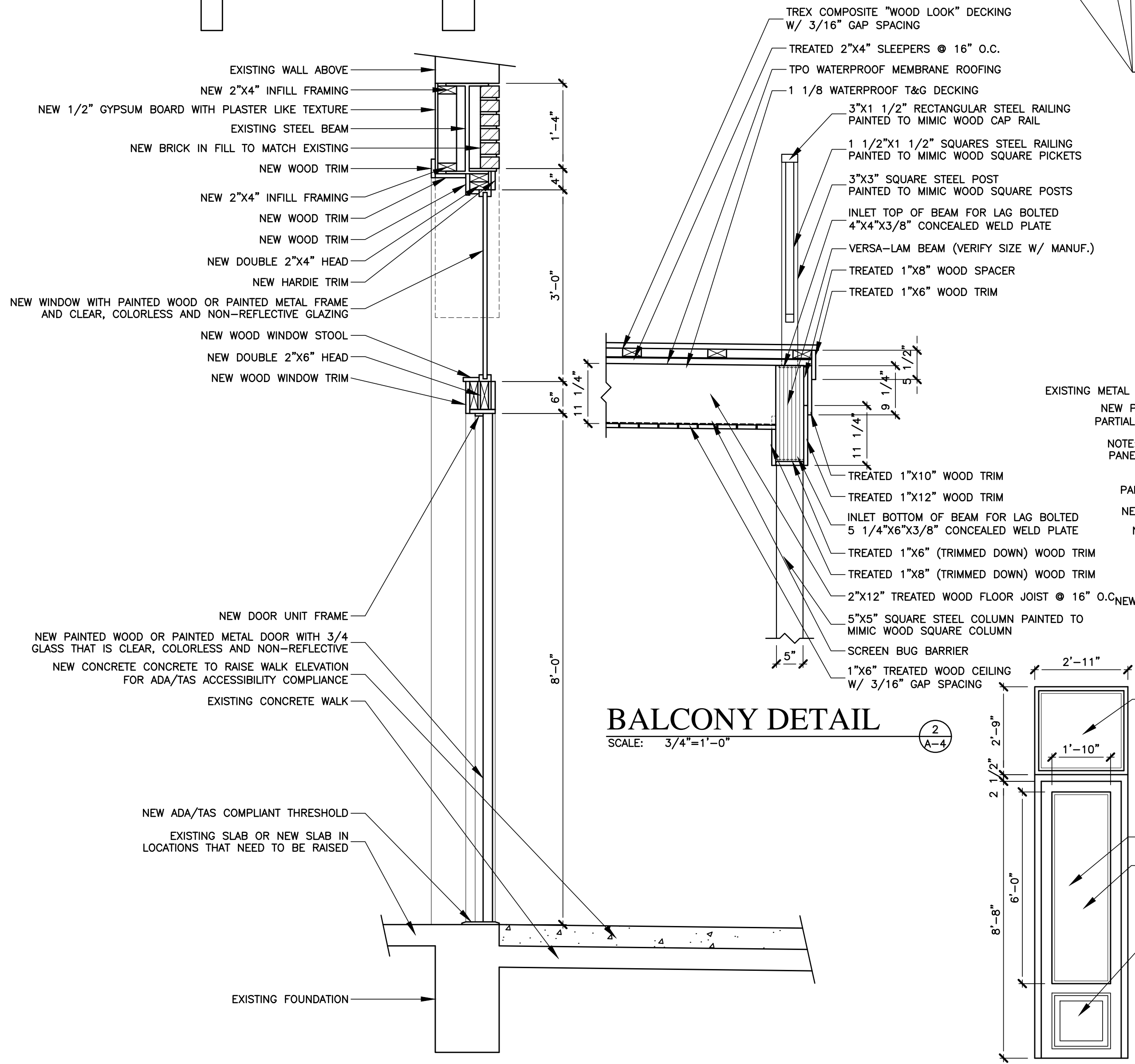


INTERIOR FINISHES SHALL BE, AS THE BUILDING HISTORICALLY HAD IN THE PAST. ALL SURFACES INCLUDING WALLS, CEILINGS, AND FLOORS SHALL HAVE SMOOTH FINISHES THAT CONCEAL THE STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. INTERIOR WOOD TRIM INCLUDING WINDOW AND DOOR CASINGS, BASEBOARDS, CROWN MOLDING, AS WELL AS INTERIOR DOORS SHALL BE SIMPLE AND COMPATIBLE WITH THE HISTORIC BUILDING FLOORING IN THE MAIN SPACES ON THE FIRST FLOOR SHALL BE WOOD OR TILE. WOOD LOOK VINYL IS NOT ACCEPTABLE. SELECTIONS OF THE ABOVE ITEMS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. TENANT FINISH-OUT INCLUDING INTERIOR FINISH WORK AND SIGNAGE IS ALSO SUBJECT TO REVIEW AND APPROVAL WHEN A TENANT HAS BEEN SECURED. IF NO TENANT HAS BEEN SECURED, THE PROJECT MAY BE CERTIFIED IF THE SPACE HAS BEEN BROUGHT TO A BASIC "WHITE BOX" CONDITION (FINISH SURFACES, CONCEALED SYSTEMS).

EXTERIOR MASONRY SHALL BE RENOVATED IN SUCH A MANNER TO DUPLICATE THE ORIGINAL 1898 CHARACTER. BRICK THAT WAS PATCHED IN DURING PREVIOUS REMODELING PROJECTS SHALL BE REMOVED AND REPLACED WITH SALVAGED PERIOD BRICK THAT THE BUILDING OWNER HAS ACQUIRED THAT IS A MUCH BETTER MATCH TO THE ORIGINAL BRICK. RE-POINTING OF THE EXTERIOR MASONRY MUST BE UNDERTAKEN WITH AN APPROPRIATE SOFT LIME MORTAR THAT MATCHES THE EXISTING COLOR, TEXTURE, COMPOSITION, HARDNESS AND SURFACE PROFILE. WORK SHALL BE UNDERTAKEN AS LAID OUT IN THE "NATIONAL PARK SERVICE PRESERVATION BRIEF #2: RE-POINTING MORTAR JOINTS IN HISTORIC MASONRY BUILDINGS" SAMPLE MATERIALS AND IMAGES OF PROPOSED WORK SHALL BE PRESENTED TO THE STATE HISTORIC PRESERVATION OFFICE FOR REVIEW BEFORE EXTENSIVE MASONRY RENOVATION IS DONE. GOOD QUALITY, CLOSE UP COLOR PHOTOS, BOTH BEFORE AND AFTER RE-POINTING AND BRICK REPLACEMENT SHALL BE TAKEN AND SUBMITTED WITH THE PART 3: REQUEST FOR CERTIFICATION OF COMPLETED WORK.

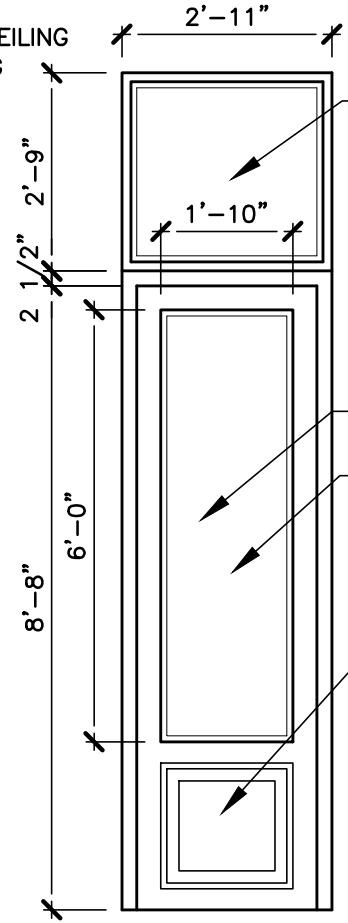
BUILDING SECTION

SCALE: 1/4"=1'-0"



BALCONY DETAIL

SCALE: 3/4"=1'-0"



DOOR DETAIL

SCALE: 1/4"=1'-0"

FRONT ELEVATION

SCALE: 1/4"=1'-0"



FRONT ELEVATION

SCALE: 1/4"=1'-0"

FRONT ELEVATION

SCALE: 1/4"=1'-0"