

PRELIMINARY CONSTRUCTION DOCUMENTS

for

LILLIAN TOWNHOMES

422 S LILLIAN

STEPHENVILLE, TEXAS

OWNER/DEVELOPER

BROWN PACE DEVELOPMENT COMPANY
819 OLD ANNETTE ROAD
ALED0, TEXAS 76008
TEL: 817-501-9812
CONTACT: MARC PACE



VICINITY MAP

NO SCALE

PREPARED BY:



CONTACT: REECE FLANAGAN, P.E.
rflanagan@mmatexas.com

BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).

SURVEYING COMPLETED BY:
TEXAS SURVEYING INC.

CONTACT: TRAVIS ZINN
MINERAL WELLS BRANCH:
112 S.E. 1ST STREET
MINERAL WELLS, TX 76067
TEL: 940-325-2155
EMAIL: MINERALWELLS@TXSURVEYING.COM

SHEET LIST TABLE

<u>SHEET NO.</u>	<u>SHEET TITLE</u>
C0.0	COVER SHEET
C0.1	PRELIMINARY PLAT
C0.2	PRELIMINARY PLAT
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	DIMENSION CONTROL PLAN
C5.0	PAVING PLAN
C6.0	OVERALL GRADING PLAN
C7.0	EROSION CONTROL PLAN
C7.1	EROSION CONTROL DETAILS
C8.0	PRE-DEVELOPMENT DRAINAGE AREA MAP
C8.1	DRAINAGE AREA MAP
C9.0	WATER PLAN
C9.1	SEWER PLAN
C10.0	WATER DETAILS
C10.1	SEWER DETAILS
C10.2	PAVING DETAILS
C10.3	PAVING DETAILS
C10.4	PAVING DETAILS

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF M. REECE FLANAGAN, P.E. NO. 129781 ON 6/25/2021 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

UTILITY EASEMENTS

Any public franchise utility including the City of Mineral Wells, shall have the right to move and keep moved all or part of any building, fence, tree, shrub, other growth or improvement which in any way endangers or interferes with the construction, maintenance or efficiency of its respective systems, on any of the easements shown on the plat; and they shall have the right at all times to ingress and egress upon said easements for the purpose of construction, reconstruction, inspection, patrolling, maintaining, and adding to or removing all or part of their respective systems without the necessity at any time of procuring the permission of anyone.

CONSTRUCTION OVER EASEMENTS

No permanent buildings or structures shall be constructed over any existing or planned water, sanitary sewer, gas, electric, cable or other utility easement of any type.

UNDERGROUND UTILITIES

Underground utilities were not located during this survey. Call 811 and/or Utility Providers before excavation or construction.

FLOOD HAZARD NOTE

This tract appears to be located within Other Areas, Zone "X" - areas determined to be located outside of the 0.2% Annual Chance Flood Plain, according to the FIRM, Community Panel 4814C04303D, dated November 16, 2011.

SPECIAL NOTICE

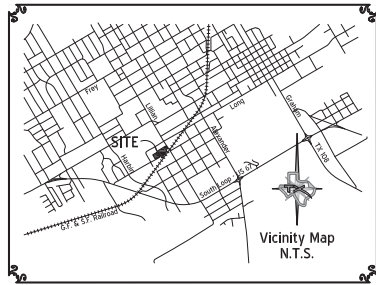
Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines, withholding of utilities, and/or building permits.

ADDITIONAL NOTES

No abstract of title or title commitment was provided to this surveyor. Record research performed by this surveyor was made only for the purpose of determining the boundaries of this property and of the adjoining parcels. Record documents other than those shown on this survey may exist and encumber this property.

Please consult all applicable governing entities regarding rules & regulations, that may affect construction on this property.

All corners are set 1/2" iron rods with red plastic caps stamped "TEXAS SURVEYING INC." set in oak, nail or cut "X" in concrete, unless otherwise noted. Corners will be set upon completion of development and/or construction activities.



SOUTH SIDE ADDITION KING'S 1956 Map of Stephenville V. 381, P. 105

WCA Properties, LLC Lot 2, Block 8 C.F. 2021-00230

B. Bledsoe & M. Lowe S/60 of Lot 1-A All of Lot 1-B C.F. 2018-06310

Texas Communications of Brownwood, LP Pt. of Lot 4-C Called 5,809 Sq. Ft. C.F. 2010-04079

9K Properties, LLC Lot 3, Block 8 C.F. 2019-00475

Block 7 Area Table

- 1X - 2439 Sq. Ft. (0.056 Acre)
2 - 1954 Sq. Ft. (0.045 Acre)
3 - 1933 Sq. Ft. (0.035 Acre)
4 - 1933 Sq. Ft. (0.035 Acre)
5 - 1934 Sq. Ft. (0.035 Acre)
6 - 1934 Sq. Ft. (0.035 Acre)
7 - 1934 Sq. Ft. (0.035 Acre)
8 - 1935 Sq. Ft. (0.035 Acre)
9 - 1935 Sq. Ft. (0.035 Acre)
10 - 1978 Sq. Ft. (0.036 Acre)
11 - 1994 Sq. Ft. (0.045 Acre)
12 - 2000 Sq. Ft. (0.046 Acre)
13 - 1937 Sq. Ft. (0.035 Acre)
14 - 1962 Sq. Ft. (0.045 Acre)
15X - 1707 Sq. Ft. (0.039 Acre)
16X - 1729 Sq. Ft. (0.037 Acre)
17X - 198 Sq. Ft. (0.044 Acre)
18 - 2005 Sq. Ft. (0.046 Acre)
19 - 1729 Sq. Ft. (0.040 Acre)
20 - 2060 Sq. Ft. (0.052 Acre)
21X - 1936 Sq. Ft. (0.038 Acre)

Block 8 Area Table

- 1X - 1674 Sq. Ft. (0.038 Acre)
2 - 2005 Sq. Ft. (0.046 Acre)
3 - 1934 Sq. Ft. (0.035 Acre)
4 - 1936 Sq. Ft. (0.035 Acre)
5 - 1936 Sq. Ft. (0.035 Acre)
6 - 1936 Sq. Ft. (0.035 Acre)
7 - 1936 Sq. Ft. (0.035 Acre)
8 - 1963 Sq. Ft. (0.045 Acre)
9X - 420 Sq. Ft. (0.014 Acre)
10 - 2005 Sq. Ft. (0.046 Acre)
11 - 1936 Sq. Ft. (0.035 Acre)
12 - 1936 Sq. Ft. (0.035 Acre)
13 - 1963 Sq. Ft. (0.045 Acre)
14X - 420 Sq. Ft. (0.014 Acre)
15 - 2005 Sq. Ft. (0.046 Acre)
16 - 1936 Sq. Ft. (0.035 Acre)
17 - 1936 Sq. Ft. (0.035 Acre)
18 - 1963 Sq. Ft. (0.045 Acre)
19 - 1936 Sq. Ft. (0.035 Acre)
20 - 1936 Sq. Ft. (0.035 Acre)
21 - 1963 Sq. Ft. (0.045 Acre)
22X - 1728 Sq. Ft. (0.040 Acre)
23X - 1863 Sq. Ft. (0.047 Acre)
24 - 1963 Sq. Ft. (0.045 Acre)
25 - 1936 Sq. Ft. (0.035 Acre)
26 - 1936 Sq. Ft. (0.035 Acre)
27 - 1936 Sq. Ft. (0.035 Acre)
28 - 1936 Sq. Ft. (0.035 Acre)
29 - 2005 Sq. Ft. (0.046 Acre)
30X - 1965 Sq. Ft. (0.045 Acre)
31 - 1963 Sq. Ft. (0.045 Acre)
32 - 1937 Sq. Ft. (0.035 Acre)
33 - 1936 Sq. Ft. (0.035 Acre)
34 - 1936 Sq. Ft. (0.035 Acre)
35 - 1963 Sq. Ft. (0.045 Acre)
36X - 1659 Sq. Ft. (0.379 Acre)
37X - 209 Sq. Ft. (0.050 Acre)
38 - 2076 Sq. Ft. (0.048 Acre)
39 - 1624 Sq. Ft. (0.037 Acre)
40 - 1624 Sq. Ft. (0.037 Acre)
41 - 1625 Sq. Ft. (0.037 Acre)
42 - 2077 Sq. Ft. (0.048 Acre)
43X - 2058 Sq. Ft. (0.047 Acre)

J. Bachus Family Trust Pt. of Lot 3, Block 7 Pt. of Lot 4, Block 7 Called 0.707 Acre C.F. 2013-01148

L. & D. Kuhlmann S/65 of Lot 1 & Lot 2, Block 7 V. 1306, P. 865

J. Bachus Family Trust Parcel 2 Lot 5 & Lot 6, Block 7 V. 1293, P. 332

Surveyor: Texas Surveying, Inc. Mineral Wells Branch 112 S.E. 1st Street Mineral Wells, TX 76067 940-325-2155 Firm No. 10194121

Owner: Brown Pace Development Co., LLC 819 Old Annetta Road Aledo, TX 76008

WV Rental Properties, LLC Called 156 Acres Block 15 C.F. 2017-06043

Curve Data Table

- B1 - Curve (Right) Radius = 28.00' Arc = 12.27' Ch. = S 17°47'20" E 12.11'
B2 - Curve (Left) Radius = 10.00' Arc = 15.74' Ch. = N 75°22'39" W 14.17'
B3 - Curve (Right) Radius = 28.00' Arc = 19.42' Ch. = S 39°39'04" W 19.74'
B4 - Curve (Right) Radius = 28.00' Arc = 20.17' Ch. = N 80°09'57" E 19.74'
B5 - Curve (Left) Radius = 10.00' Arc = 15.67' Ch. = N 14°37'21" W 14.12'
B6 - Curve (Right) Radius = 28.00' Arc = 11.91' Ch. = N 42°28'03" W 11.82'
B7 - Curve (Right) Radius = 28.00' Arc = 18.63' Ch. = S 77°43'11" W 18.29'
B8 - Curve (Right) Radius = 28.00' Arc = 1.47' Ch. = S 57°08'46" W 1.47'
B9 - Curve (Right) Radius = 28.00' Arc = 28.94' Ch. = S 26°01'57" W 27.67'
B10 - Curve (Right) Radius = 28.00' Arc = 24.55' Ch. = N 63°46'30" E 23.77'
B11 - Curve (Right) Radius = 28.00' Arc = 40.98' Ch. = N 18°43'44" E 37.42'
B12 - Curve (Right) Radius = 28.00' Arc = 2.95' Ch. = N 28°12'33" W 2.94'
B13 - Curve (Left) Radius = 52.00' Arc = 1.15' Ch. = N 30°35'29" W 1.15'
B14 - Curve (Left) Radius = 52.00' Arc = 81.79' Ch. = N 15°06'04" E 73.62'
B15 - Curve (Right) Radius = 28.00' Arc = 16.47' Ch. = S 77°00'50" W 16.23'
B16 - Curve (Right) Radius = 28.00' Arc = 1.20' Ch. = S 29°59'49" E 1.20'
B17 - Curve (Right) Radius = 28.00' Arc = 43.46' Ch. = S 15°41'44" W 39.23'
B18 - Curve (Right) Radius = 28.00' Arc = 1.07' Ch. = S 34°21'36" E 3.06'
B19 - Curve (Right) Radius = 28.00' Arc = 18.63' Ch. = N 39°35'16" E 18.29'

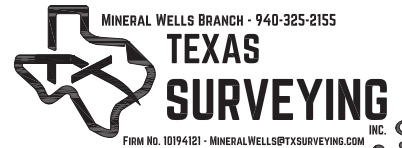
REPLAT

Lots IX, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20, 21X, Block 7 and Lots 1X, 2-8, 9X, 10-13, 14X, 15-21, 22X, 23X, 24-29, 30X, 31-35, 36X, 37X, 38-42, 43X, Block 8 SOUTH SIDE ADDITION

A replat of Lots 7 & 8, Block 7, Lots 5, 6, 7, & 8, Block 8, Portion of W. Swan Street, & Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas.

June 2021

MINERAL WELLS BRANCH - 940-325-2155



FIRM NO. 10194121 - MINERALWELLSPTXSURVEYING.COM



Surveyor:
Texas Surveying, Inc.
Mineral Wells Branch
112 S.E. 1st Street
Mineral Wells, TX 76067
940-325-2155
Firm No. 10194121

Owner:
Brown Pace Development Co., LLC
819 Old Annetta Road
Aledo, TX 76008

WEST TRACT SURVEY DESCRIPTION

STATE OF TEXAS
COUNTY OF ERATH

Of a 0.976 acre (42,503 Sq. Ft.) tract of land being all of Lot 7 & Lot 8, Block 7, SOUTH SIDE ADDITION, City of Stephenville, Erath, Texas, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas; being all of Tract Two as conveyed to Brown Pace Development Company, LLC in Clerk File No. 2020-05463, Official Public Records, Erath County, Texas; being further described by metes and bounds as follows:

BEGINNING at a set p.k. nail in asphalt at the southeast corner of said Block 7 at the intersection of the west right of way line of S. 5th Avenue with the north right of way line of W. Swan Street, for the southeast corner of this tract.

THENCE S 59°11'16" W 208.02 feet along the north right of way line of said W. Swan Street to a found 1" iron pipe at the southeast corner of Parcel 2 as conveyed to J. Bachus Family Trust in Volume 1293, Page 332, O.P.R.E.C.T., for the southwest corner of this tract.

THENCE N 30°21'20" W 207.33 feet with the occupied west line of said Lot 7, to a found 3/8" iron rod at the southerly common corner of that certain tract of land conveyed to L. & D. Kuhlmann in Volume 1306, Page 865, O.P.R.E.C.T., & that called 0.707 acres tract of land conveyed to J. Bachus Family Trust in Clerk File No. 2013-0148, O.P.R.E.C.T., for the northwest corner of this tract.

THENCE N 59°52'42" E 204.47 feet along the occupied & apparent north line of said Lot 7 & said Lot 8 to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC", in the west right of way line of said S. 5th Avenue, for the northeast corner of this tract. WHENCE a found 1" iron pipe at the northeast corner of said Block 7 bears N 31°20'47" W 208.07 feet.

THENCE S 31°20'47" E 204.87 feet along the west right of way line of said S. 5th Avenue to the POINT OF BEGINNING.

Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflects N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (Grid).

SURVEYOR CERTIFICATION

That I, Micah Hamilton, a Registered Professional Land Surveyor of the State of Texas, Registration No. 5865, do hereby certify that the plat herein was prepared from an actual on the ground survey of the legally described property shown hereon.

Preliminary - Not to be Recorded

Micah Hamilton, Registered Professional Land Surveyor No. 5865
M20159 - June 2021

KNOW ALL MEN BY THESE PRESENTS

That, Brown Pace Development Company, LLC, being the sole owner, do hereby adopt this plat designating the herein described real property as Lots IX, 2-10, 11X, 12-14, 15X, 16X, 17X, 18-20, 21X, Block 7 and Lots IX, 2-8, 9X, 10-13, 14X, 15-21, 22X, 23X, 24-29, 30X, 31-35, 36X, 37X, 38-42, 43X, Block 8, SOUTH SIDE ADDITION, City of Stephenville, Erath County, Texas, and I do hereby dedicate to the public's use forever the easements and rights-of-way shown hereon, witness my hand, this the _____ day of _____, 2021.

OWNER

Agent and/or Representative

Title

STATE OF TEXAS

Before me, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed. Given under my hand and seal of office, this _____ day of _____, 2021.

Notary Public In and for the State of Texas

EAST TRACT SURVEY DESCRIPTION

STATE OF TEXAS
COUNTY OF ERATH

Of a 2.377 acres (103,548 Sq. Ft.) tract of land being all of Lots 5, 6, 7, & 8, Block 8, that portion of W. Swan Street lying between Block 8 & Block 14, and all of Lot 5, Block 14, SOUTH SIDE ADDITION, City of Stephenville, Erath, Texas, according to the King's 1956 Revised Map recorded in Volume 381, Page 105, Deed Records, Erath County, Texas; being all of Tract One & Tract Three as conveyed to Brown Pace Development Company, LLC in Clerk File No. 2020-05463, Official Public Records, Erath County, Texas; being further described by metes and bounds as follows:

BEGINNING at a found 3/8" iron rod in a 1/2" iron pipe at the northwest corner of said Lot 5, Block 8, in the east right of way line of S. 5th Avenue, for the northwest and beginning corner of this tract.

THENCE N 58°39'13" E at 98.9 feet pass a found 1/2" iron rod with plastic cap at the southerly common corner of that certain tract of land conveyed to B. Bledsoe & M. Lowe in Clerk File No. 2016-06310, O.P.R.E.C.T., & Lot 2, Block 8 as conveyed to WCA Properties in Clerk File No. 2020-00230, O.P.R.E.C.T., continuing at 188.8 feet pass a found 1/2" iron rod with plastic cap at the southerly common corner of said Lot 2 & Lot 3, Block 8 as conveyed to 9K Properties, LLC in Clerk File No. 2019-00475, O.P.R.E.C.T., for a total distance of 409.19 feet to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC" at the apparent southeast corner of that certain tract of land conveyed to Texas Communications of Brownwood, LP in Clerk File No. 2010-04079, O.P.R.P.C.T., in the west right of way line of S. Lillian Street, for the northeast corner of this tract. WHENCE a found 1/2" iron rod at the intersection of the west right of way line of said S. Lillian Street with the south right of way line of W. Long Street bears N 34°42'49" W 170.0 feet.

THENCE S 34°42'49" E 120.68 feet along the west right of way line of said S. Lillian Street to a found 1/2" bolt at the northeast corner of the City of Stephenville Utility Site G-5 being Lot 8A, Block 8, as shown on the map recorded in Volume 412, Page 577, D.R.E.C.T., for the easterly southeast corner of this tract.

THENCE along the north & west lines of said Lot 8A, Block 8 as follows:

S 35°33'48" W 104.89 feet to a found 3/8" iron rod;

S 33°13'18" E 54.04 feet to a found 3/8" iron rod, in the north line of the G.C. & S.F. Railroad, for the southerly southeast corner of this tract.

THENCE S 36°11'56" W 347.94 feet along the north line of said G.C. & S.F. Railroad to a set 1/2" iron rod with red plastic cap stamped "TEXAS SURVEYING INC", at the southerly corner of said Lot 5, Block 14, for the southwest corner of this tract.

THENCE N 31°20'47" W 348.51 feet along the east right of way line of said S. 5th Avenue to the POINT OF BEGINNING.

Bearings, Distances, and/or Areas derived from GNSS observations performed by Texas Surveying, Inc. and reflects N.A.D. 1983, Texas State Plane Coordinate System, North Central Zone 4202 (Grid).

APPROVAL STATEMENT

Approved by the Director of Building Services of the City of Stephenville, Erath County, Texas.

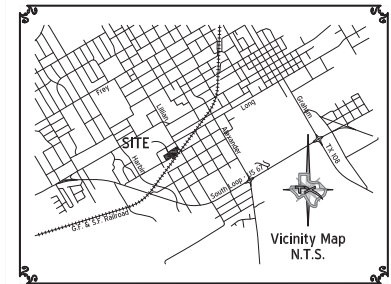
Approved: _____ 2021

City of Stephenville

Erath County, Texas

By: _____
Directory of Building Services

Attest: _____
City Secretary



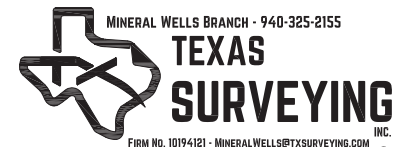
REPLAT

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June 2021

MINERAL WELLS BRANCH - 940-325-2155



FIRM No. 10194121 - MINERALWELLSBPTXSURVEYING.COM

GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF STEPHENVILLE STANDARD SPECIFICATIONS FOR WATER AND SANITARY SEWER CONSTRUCTION.
2. THE LOCATIONS OF ALL EXISTING UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS OR PROVIDED BY VARIOUS OWNERS OF THE FACILITIES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF VERTICAL AND HORIZONTAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. SUCH VERIFICATION SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS. NOTIFY THE PROJECT INSPECTOR PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITH FACILITIES IN PROJECT AREA 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES TO RELOCATE, BRACE, AND SUPPORT ANY UTILITY THAT CONFLICTS WITH THE PROPOSED STRUCTURE OR CONSTRUCTION. ALL ASSOCIATED WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS. ANY REPAIR TO THE DAMAGED EXISTING UTILITIES SHALL BE THE COST OF CONTRACTOR.
4. PUBLIC OR PRIVATE UTILITY LINES MAY EXIST THAT ARE NOT SHOWN ON THE CONSTRUCTION PLANS. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE INTEGRITY OF THESE LINES. SUCH WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS.
5. TRENCH SAFETY PLAN SHALL BE STAMPED, SIGNED, AND DATED BY A LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE PROJECT ENGINEER BEFORE OR DURING PRE-CONSTRUCTION MEETING.
6. THREE COPIES OF "STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" SEALED BY A LICENSED PROFESSIONAL ENGINEER SHALL BE SUBMITTED TO THE PROJECT ENGINEER AT LEAST 10 WORKING DAYS PRIOR TO CONSTRUCTION. A "NOTICE OF INTENT" (NOI) SHALL BE INCLUDED IN THE SUBMITTAL IF THE PROJECT IS 5 ACRES IN SIZE OR LARGER. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING A NOTICE OF TERMINATION (NOT) WITHIN 30 DAYS OF THE PROJECT COMPLETION.
7. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED TO PUBLIC WORKS/TRANSPORTATION DEPARTMENT - TRANSPORTATION DIVISION FOR APPROVAL FOR ANY UTILITY AND STREET WORK THAT WILL CAUSE LANE CLOSURES. AT LEAST ONE LANE TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN APPROVED TRAFFIC CONTROL PLAN TO THE PROJECT INSPECTOR.
8. THE CONTRACTOR SHALL NOTIFY THE PROJECT INSPECTOR AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION IN ORDER TO COORDINATE CONSTRUCTION, ADMINISTRATION, AND INSPECTION ACTIVITIES.
9. ALL WATER AND SANITARY SEWER WORK REQUIRED WITHIN THE PRIVATE PROPERTY SHALL BE PERFORMED BY A LICENSED PLUMBER. THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNER AND IMMEDIATELY COMMENCE SURFACE RESTORATION TO AN EQUAL OR BETTER CONDITION AFTER THE WATER AND SEWER WORK IS COMPLETE.
10. THE CONTRACTOR SHALL AVOID DAMAGING ANY EXISTING SPRINKLER SYSTEM THAT MAY BE IN THE CONSTRUCTION AREA. REMOVED OR DAMAGED SPRINKLER SYSTEM SHALL BE REPAIRED BY A LICENSED IRRIGATOR. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS.
11. THE CONTRACTOR SHALL AVOID DAMAGING ANY LANDSCAPING THAT MAY BE IN THE CONSTRUCTION AREA. REPLACING DAMAGED LANDSCAPING SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
12. REMOVAL OF TREES AND OTHER EXISTING STRUCTURES SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL OR APPROVED BY THE PROJECT INSPECTOR.
13. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF EACH WORKING DAY. THE CONTRACTOR SHALL PROVIDE ALL FENCING AND/OR BARRICADES TO MAINTAIN PUBLIC SAFETY AROUND THE CONSTRUCTION AREA.
14. THE CONTRACTOR SHALL CLEAN UP DIRT AND DEBRIS IN THE PAVED AREAS TO ENSURE THE STREET IS IN DRIVABLE CONDITION AT THE END OF EACH WORKING DAY.
15. EXISTING MAIL BOXES SHALL BE PROTECTED AND MAIL SERVICE SHALL NOT BE INTERRUPTED.
16. ALL WATER AND SANITARY SEWER LINES USING DUCTILE IRON PIPE SHALL BE CLASS 350 UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR BID ITEMS. ALL DUCTILE IRON PIPES SHALL BE WRAPPED BY POLYETHYLENE ENCASEMENT TO MEET AAS/AWWA C105/A21.5 SPECIFICATIONS WITH A MINIMUM 8MIL THICKNESS.
17. ALL PIPE FITTINGS SHALL BE DUCTILE IRON AND RESTRAINED WITH BOTH CONCRETE BLOCKING AND MEGALUGS. ALL PIPE FITTINGS SHALL BE CONSIDERED SUBSIDIARY TO THE PIPE PIPES.
18. REMOVAL, SALVAGE, AND ABANDONMENT OF THE EXISTING WATER AND SEWER LINES SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS.
19. REMOVAL AND HAUL-OFF EXCESS CONSTRUCTION MATERIALS FROM THE CONSTRUCTION SITE SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS.
20. ALL EXISTING FENCES REMOVED OR DAMAGED BY CONSTRUCTION SHALL BE REPLACED OR RESTORED WITH SAME TYPE, STYLE, AND MATERIAL TO AN EQUAL OR BETTER CONDITION. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
21. ALL TEMPORARY FENCES SHALL BE INSTALLED TO PROTECT PRIVATE PROPERTIES WHEN THE CONSTRUCTION WORK IS PERFORMED WITHIN THE EASEMENTS. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.

WATER NOTES:

1. ALL WATER MAINS USING PVC PIPE SHALL BE IN COMPLIANCE WITH AWWA C900 OR C905.
 2. CLASS "C" EMBEDMENT SHALL BE USED FOR ALL WATER MAINS.
 3. THERE SHALL BE A MINIMUM COVER OF FORTY-TWO INCHES (42") OVER THE WATER PIPE AS MEASURED FROM THE TOP OF THE PIPE TO THE EXISTING GROUND, OR THE PROPOSED FINISHED GRADES, WHICHEVER IS GREATER.
 4. FIRE HYDRANTS SHALL BE LOCATED THREE TO FIVE FEET (3'-5") FROM BACK OF THE CURB, AND SHALL NOT EXCEED EIGHT FEET (8') FROM BACK OF THE CURB UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN.
 5. WHEN REPLACING WATER SERVICES, ALL EXISTING WATER METER BOXES SHALL BE REPLACED AND THE METERS SHALL BE RELOCATED TO THREE FEET (3') BACK OF THE CURB OR AS SHOWN ON THE CONSTRUCTION PLANS.
 6. ALL VALVE BOXES SHALL BE ADJUSTED UP TO THE FINISHED PAVEMENT GRADE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
 7. NO WELDED OUTLET IS ALLOWED FOR THE DUCTILE IRON WATER LINE.
- SANITARY SEWER NOTES:**
1. ALL SANITARY SEWER MAINS USING PVC PIPE SHALL BE SDR-26, HEAVY WALL, IN COMPLIANCE WITH ASTM D-3034 LATEST REVISION.
 2. CLASS "B" EMBEDMENT SHALL BE USED FOR ALL SANITARY SEWER MAINS.
 3. THE CONTRACTOR SHALL ENSURE ALL THE EXISTING SEWER SERVICES THAT CAN BE RECONNECTED OR REROUTED TO THE NEW MAINS. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER ANY POTENTIAL CONFLICTS PRIOR TO CONSTRUCTION SO THE MODIFICATION CAN BE MADE IF NECESSARY.
 4. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION TELEVISION INSPECTION OF ALL THE EXISTING SEWER LINES TO BE ABANDONED OR REHABILITATED BY OTHER THAN OPEN CUT TO VERIFY THE SERVICE LOCATIONS AND LINE CONDITIONS. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
 5. ALL SEWER SERVICES SHALL BE REPLACED WITH 4" PVC FROM THE NEW MAIN TO THE PROPERTY LINE OR EASEMENT LINE UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
 6. THE CONTRACTOR SHALL VERIFY THE EXISTING SANITARY SEWER SLOPE PRIOR TO MAKING CONNECTION. SLOPE OF THE NEW MAIN AND THE EXISTING MAIN SHALL MATCH UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN. A REDUCER SHALL BE USED WHEN A LARGER SIZE LINE CONNECTS TO A SMALLER SIZE LINE.
 7. THE CONTRACTOR SHALL VERIFY THE SIZE, ELEVATION, AND MATERIAL OF THE EXISTING LINE PRIOR TO ORDERING PREFABRICATED MANHOLE.
 8. REWORK THE INVERT WHERE TYING INTO AN EXISTING MANHOLE.
 9. BYPASS PUMP REQUIRED FOR PERFORMING CONSTRUCTION WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.
 10. ALL MANHOLE AND CLEANOUT SHALL BE ADJUSTED UP TO THE FINISHED PAVEMENT GRADE. THIS WORK SHALL BE CONSIDERED SUBSIDIARY TO ALL OTHER BID ITEMS UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION PLAN OR BID PROPOSAL.

EROSION CONTROL NOTES:

1. CONSTRUCTION ACTIVITY IN THE CITY OF STEPHENVILLE SHALL COMPLY WITH THE REQUIREMENTS OF THE TPDES GENERAL PERMIT TXR150000 AND ALL APPLICABLE CITY OF STEPHENVILLE ORDINANCES.
2. NO CONSTRUCTION RELATED ACTIVITIES MAY BEGIN ON THE PROJECT SITE UNTIL A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN ACCEPTED BY THE CITY, AND THE CITY AND/OR CONTRACTOR SITE NOTICES ARE POSTED ON SITE. SWPPP DOCUMENTATION AND RECORDS SHALL BE MAINTAINED ON SITE THROUGHOUT CONSTRUCTION.
3. IF FIVE (5) ACRES OR GREATER WILL BE DISTURBED, A NOI MUST BE SUBMITTED TO TCEQ AND THE CITY PRIOR TO THE START OF CONSTRUCTION RELATED ACTIVITIES.
4. REVISIONS TO THE SWPPP SHALL BE DATED AND INITIALED BY THE PERMITTEE OR HIS REPRESENTATIVE.
5. AREAS TO REMAIN UNDISTURBED AND/OR TO BE PROTECTED DURING CONSTRUCTION (INCLUDING ALL WATERBODIES, WETLAND AREAS, EROSION CLEAR ZONES, DRIP LINE OF TREES TO REMAIN AFTER CONSTRUCTION, NATURAL AREAS, ETC.) SHALL BE CLEARLY DELINEATED PRIOR TO THE START OF CONSTRUCTION.
6. EROSION AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY EARTH DISTURBING ACTIVITIES. THEY SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND/OR UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
7. REFER TO THE CITY OF STEPHENVILLE DESIGN CRITERIA MANUAL AND THE ISWM CONSTRUCTION CONTROLS MANUAL FOR SELECTION AND DESIGN OF STORMWATER CONTROLS.
8. CONSTRUCTION WASTE, DEBRIS AND SOIL BLOWN, TRACKED OR WASHED FROM THE SITE DURING CONSTRUCTION ACTIVITY SHALL BE CLEANED UP DAILY.
9. EROSION CONTROL PLANS ARE CONSIDERED MINIMUM REQUIREMENTS. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND SEDIMENTATION.
10. WETLANDS AND STREAMS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION WITH EROSION AND SEDIMENT CONTROLS AS WELL AS NATURAL BUFFERS. ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO CONSTRUCTION IN FLOODPLAIN, WETLANDS AND/OR STREAMS. ANY WORK IN A FLOODPLAIN AND/OR STREAM SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND PERMITS.
11. IF SOIL DISTURBANCE IS OCCURRING WITHIN A CITY OF STEPHENVILLE EASEMENT, AN EASEMENT USE AGREEMENT MUST BE OBTAINED PRIOR TO CONSTRUCTION.
12. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AND MAINTAINED ON THE PROJECT SITE.

13. STORM WATER INLET PROTECTION SHALL BE PROVIDED FOR ALL INLETS (UPSTREAM AND DOWNSTREAM) WITHIN 50 FT. OF THE CONSTRUCTION ENTRANCE (ON BOTH SIDES OF THE PUBLIC ROADWAY).
14. TO SECURE THE PROJECT SITE, LOCATE LIMITS OF CONSTRUCTION, PROTECT AREAS THAT ARE TO REMAIN UNDISTURBED, AND PREVENT MIGRATION OF CONSTRUCTION DEBRIS.
15. CARE SHALL BE TAKEN WHEN INSTALLING STORMWATER CONTROLS TO NOT OBSCURE ONCOMING TRAFFIC AT INTERSECTIONS, ADJACENT DRIVEWAYS AND THE PROJECT ENTRANCE.
16. A QUALIFIED REPRESENTATIVE OF EACH OPERATOR SHALL INSPECT THE CONSTRUCTION ACTIVITY EITHER ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 1/4-INCH OR GREATER OR WEEKLY AT A SPECIFIED DAY AND TIME REGARDLESS OF PRECIPITATION. A WRITTEN SWPPP INSPECTION REPORT SHALL BE COMPLETED FOR EACH INSPECTION.
17. AT A MINIMUM, SEDIMENT SHALL BE REMOVED FROM CONTROLS WHEN THEIR CAPACITY IS REDUCED BY 50% UNLESS MORE FREQUENT CLEANING IS SPECIFIED IN THE SWPPP.
18. IF ANY CONTROL IS FOUND TO BE INEFFECTIVE, INSTALLED INCORRECTLY, OR DAMAGED, IT SHALL BE MODIFIED OR REPLACED WITHIN 7 DAYS OF INSPECTION OR AS REQUIRED BY THE CITY.
19. ALL EXISTING AND NEW STORM WATER STRUCTURES, AFFECTED BY THIS PROJECT, SHALL BE INSPECTED AND MAINTAINED ON THE SAME SCHEDULE AS THE STORMWATER CONTROLS. SEDIMENT DISCHARGED INTO THE MUNICIPAL SEPARATE STORM SEWER SYSTEM (STREETS, GUTTERS, STORM DRAINS, FLUMES, CHANNELS, ETC.) FROM THE CONSTRUCTION ACTIVITY SHALL BE NOTED IN THE SWPPP INSPECTIONS AND SHALL BE REMOVED WITHIN 7 DAYS OF INSPECTION OR AS REQUIRED BY THE CITY.
20. DURING DRY AND WINDY PERIODS, DISTURBED SOIL SHALL BE SPRINKLED WITH WATER UNTIL DAMPENED AND REPEATED AS NEEDED TO PREVENT DUST GENERATION.
21. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
22. THE CONTRACTOR SHALL DESIGNATE AN AREA TO BE USED FOR CONCRETE WASH WATER. A PIT LARGE ENOUGH TO CONTAIN THE WASH WATER WITHOUT OVERFLOWING SHALL BE EXCAVATED. IF CONCRETE PLACEMENT WILL OCCUR OVER A PERIOD OF TIME GREATER THAN A WEEK, A SIGN DESIGNATING THE AREA AS A CONCRETE WASHOUT AREA SHALL BE POSTED IN A LOCATION VISIBLE FROM THE STREET.
23. SLURRY FROM CONCRETE SAWCUTTING SHALL BE VACUUMED OR RECOVERED BY OTHER MEANS FOR PROPER DISPOSAL. IF A CURB INLET IS NEAR THE PAVEMENT TO BE CUT, THE INLET SHALL BE BLOCKED WITH SANDBAGS DURING SAWCUTTING TO PREVENT SLURRY FROM ENTERING THE STORM DRAIN.
24. TEMPORARY CONSTRUCTION CROSSINGS IN OR ACROSS ANY WATER BODY OR WETLAND SHALL NOT BE INSTALLED WITHOUT THE PRIOR APPROVAL OF THE APPROPRIATE RESOURCE AGENCIES AND THE CITY.
25. DISPOSAL OF ALL RECOVERED SEDIMENTS, CONSTRUCTION DEBRIS, OR OTHER POLLUTANTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL REGULATIONS. NO SEDIMENTS, CONSTRUCTION DEBRIS, OR OTHER POLLUTANTS SHALL BE DISPOSED OR FLUSHED INTO THE STORM WATER SYSTEM.
26. ALL TRASH AND WASTE MATERIALS IN COVERED BINS OR OTHER ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. TRASH AND WASTE SHALL BE REMOVED FROM THE SITE AT REGULAR INTERVALS TO PREVENT OVERFLOW OF THE CONTAINERS.
27. TEMPORARY STOCKPILING OF USEABLE OR WASTE MATERIALS SHALL HAVE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES INSTALLED. TEMPORARY STOCKPILES SHALL BE PLACED AWAY FROM STORM WATER INLET STRUCTURES, ADJACENT PROPERTY AND PUBLIC ROADWAYS.
28. APPLICATION OF LIME OR OTHER CHEMICAL STABILIZERS SHALL BE LIMITED TO THE AMOUNT THAT CAN BE MIXED AND COMPACTED BY THE END OF EACH WORKING DAY. STABILIZER SHALL BE APPLIED AT RATES THAT RESULT IN NO RUNOFF FROM THE SITE. STABILIZATION SHALL BE DELAYED IF RAIN IS FORECAST FOR THE WORKING DAY. NO TRAFFIC OTHER THAN WATER TRUCKS AND MIXING EQUIPMENT SHALL PASS OVER THE SPREAD STABILIZER UNTIL AFTER MIXING IS COMPLETED.
29. HAZARDOUS MATERIALS SHALL BE STORED IN CLOSED CONTAINERS, AND THE CONTAINERS SHALL BE PLACED IN A SHELTER THAT PREVENTS CONTACT WITH RAINFALL AND RUNOFF. THE AMOUNT OF HAZARDOUS MATERIALS STORED ON-SITE SHALL BE MINIMIZED AND LIMITED TO THE MATERIALS NECESSARY FOR THE CURRENT PHASE OF CONSTRUCTION. HAZARDOUS MATERIAL STORAGE SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.
30. SPILLS AND RELEASES OF ANYTHING OTHER THAN STORM WATER SHALL BE IMMEDIATELY REPORTED TO THE CITY OF STEPHENVILLE. IN ADDITION, SPILLS AND RELEASES OF HAZARDOUS MATERIALS GREATER THAN THE REGULATED REPORTABLE QUANTITY SHALL BE REPORTED TO STATE AND FEDERAL AUTHORITIES WITHIN 24 HOURS.
31. SUPER-CHLORINATED WATER FROM WATER LINE DISINFECTION SHALL NOT BE ALLOWED TO ENTER THE STORM DRAINAGE SYSTEM.
32. PORTABLE TOILET FACILITIES SHALL NOT BE LOCATED WITHIN 25 FT. OF ANY STORM WATER STRUCTURE AND/OR WITHIN 50 FT. OF ANY WATERCOURSE, WETLAND AREA, STREAM, FLOODPLAIN, OR LAKE.
33. DISCHARGE FROM DEWATERING ACTIVITIES SHALL BE RELEASED THROUGH AN ON-SITE SEDIMENT TRAP OR BASIN, THROUGH AN UNDISTURBED AREA THROUGH A NON-FERROUS DUCT, OR INTO A DIRT BAG (200Z. NON-WOVEN FABRIC) OR APPROVED EQUIVALENT LOCATED IN AN UNDISTURBED AREA.
34. SMALL SITES CONSTRUCTED AS PART OF A LARGER COMMON PLAN OF DEVELOPMENT REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL SITE CONSTRUCTION. INDIVIDUAL SMALL CONSTRUCTION SITES SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR PROVIDE AN INDIVIDUAL PLAN.
35. THE SITE SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN ALL SURFACE DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM (E.G., EVENLY DISTURBED, WITHOUT LARGE BARE AREAS) PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% HAS BEEN ESTABLISHED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT SURFACING.
36. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS PERMANENTLY STABILIZED.

422 LILLIAN TOWNHOMES
 STEPHENVILLE, TEXAS
 GENERAL NOTES



Home registration number: 1-278
 State registration/license number: 1008000
 519 east 30th ave
 stepland, texas 75610
 817-489-1871
 fax: 817-574-8757
 www.mma-texas.com

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF M. REECE FLANAGAN, P.E. NO. 129781 ON 6/25/2021 AND IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: L. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

SHEET CONTENT:

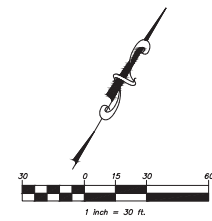
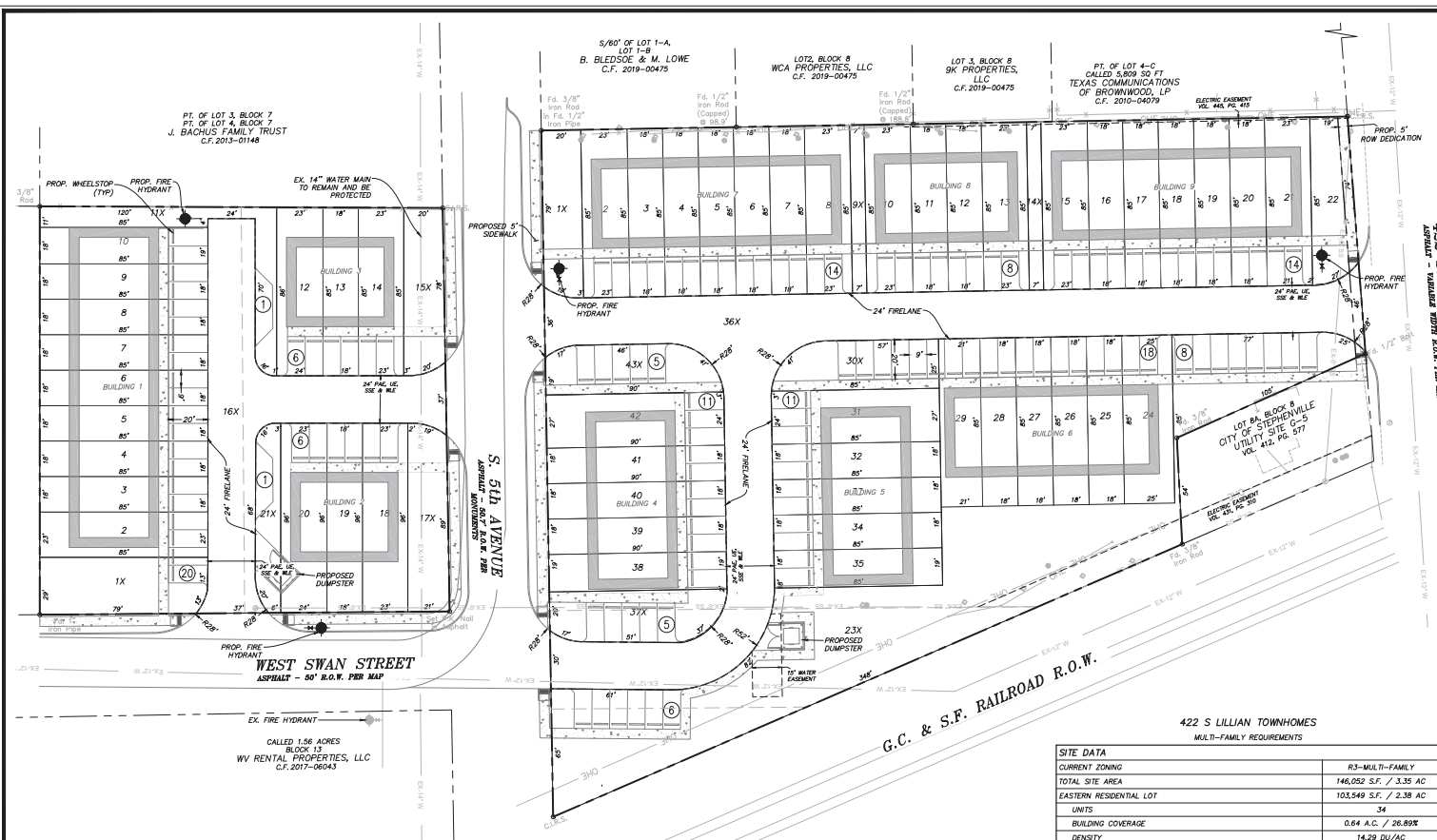
GENERAL NOTES

SHEET NO:

C1.0

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422 LILLIAN TOWNHOMES STEPHENVILLE, TEXAS SITE PLAN



LEGEND:

FIRE LANE	---
WHEEL STOP	—
EXIST. SANITARY SEWER	—E—S—
EXIST. SEWER MANHOLE	⊙
EXIST. WATER LINE	—E—W—
EXIST. WATER VALVE	⊙
EXIST. OVERHEAD ELECTRIC	—O—E—
EXIST. BURIED GAS	—G—
EXIST. FIRE HYDRANT	⊙
PARKING COUNT	⊙

NOTES:

- TYPICAL PARKING STALL IS 20' LONG X 9' WIDE.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
- REFER TO SHEET C1.0 FOR GENERAL NOTES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
- PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
- ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.
- REFER TO ARCHITECTURE PLANS FOR ALL FENCING AND GATE SPECIFICATIONS.

GENERAL UTILITY NOTES:

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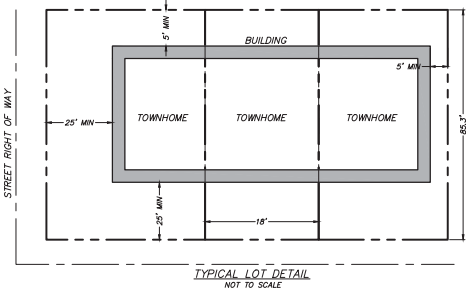
CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

BENCHMARKS:
ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).

BENCHMARKS:
SURVEYING COMPLETED BY: TEXAS SURVEYING INC.

CONTACT: TRAVIS ZINN
MINERAL WELLS SURVEYING
112 S.E. 157 STREET
MINERAL WELLS, TX 76067
TEL: 940-325-2155
EMAIL: MINERALWELLS@TXSURVEYING.COM

SITE DATA		
CURRENT ZONING	R3-MULT-FAMILY	
TOTAL SITE AREA	146,052 S.F. / 3.35 AC	
EASTERN RESIDENTIAL LOT	101,549 S.F. / 2.38 AC	
UNITS	34	
BUILDING COVERAGE	0.64 A.C. / 28.89%	
DENSITY	14.29 DU/AC	
WESTERN RESIDENTIAL LOT	42,503 S.F. / 0.97 A.C.	
UNITS	15	
BUILDING COVERAGE	0.28 A.C. / 28.87%	
DENSITY	15.46 DU/AC	
PARKING DATA		
	REQUIRED	PROVIDED
EASTERN RESIDENTIAL LOT	68	100
WESTERN RESIDENTIAL LOT	30	34
PARKING SPACES		
SITE ACCESS		
	REQUIRED	PROVIDED
WESTERN RESIDENTIAL LOT		
PRIMARY ACCESS FROM AN ARTERIAL STREET	YES	YES
MINIMUM OF 1 SECONDARY ACCESS	1 ACCESS	1 ACCESS
EASTERN RESIDENTIAL LOT		
PRIMARY ACCESS FROM AN ARTERIAL STREET	YES	YES
MINIMUM OF 1 SECONDARY ACCESS	1 ACCESS	2 ACCESS
SITE SETBACKS AND LOT SIZE		
	REQUIRED	PROVIDED
FRONT SETBACK	25'	25'
REAR SETBACK	15'	15'
INTERNAL SIDE SETBACK	5'	5'
MINIMUM LOT AREA	3,000 S.F.	1535 S.F.
MINIMUM LOT WIDTH	30'	16'
MINIMUM LOT DEPTH	100'	85'-3"



WEST SWAN STREET
ASPHALT - 60' R.O.W. PER MAP

EX. FIRE HYDRANT
CALLED 1.56 ACRES
BLOCK 13
WV RENTAL PROPERTIES, LLC
C.F. 2017-06043



Home registration number: 1-275
Title registration/owner number: 1026000
519 east 30th ave
atkinsville, miss 38601
817-489-1871
fax: 817-374-8757
www.mma-texas.com

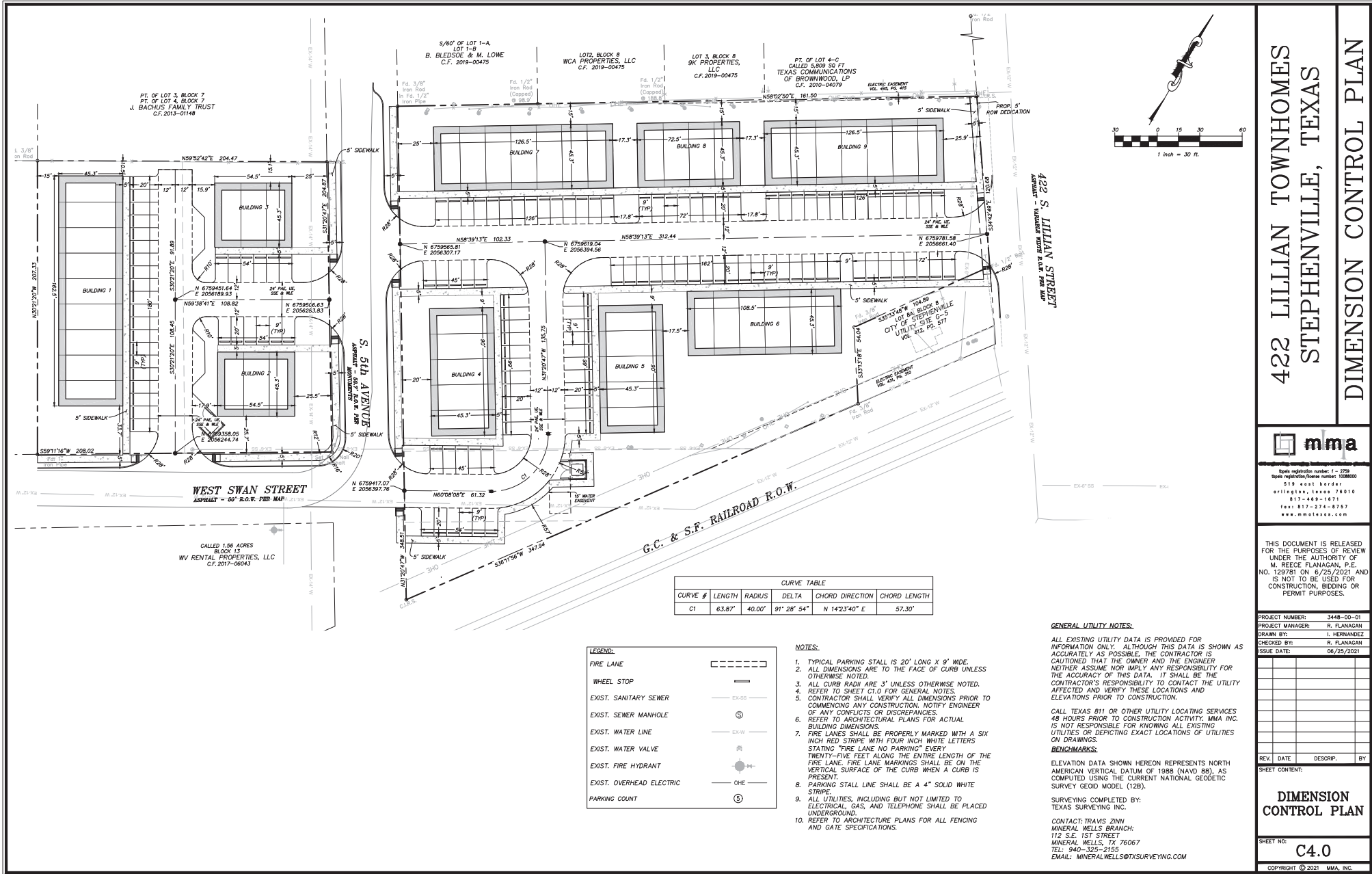
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PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: J. HERNANDEZ
CHECKED BY: R. FLANAGAN
ISSUE DATE: 08/25/2021

REV.	DATE	DESCRIP.	BY

SITE PLAN

SHEET NO:
C3.0
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**422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
DIMENSION CONTROL PLAN**

mma
 Home registration number: 1-279
 State registration/contract number: 1008000
 519 east bender
 stillington, texas 76810
 817-489-1871
 fax: 817-274-8757
 www.mma-texas.com

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 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: I. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

DIMENSION CONTROL PLAN

SHEET NO: **C4.0**
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CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION
C1	63.87'	40.00'	91° 28' 54"	N 14°23'40" E
				57.30'

LEGEND:

FIRE LANE	---
WHEEL STOP	—
EXIST. SANITARY SEWER	EX-SS
EXIST. SEWER MANHOLE	⊙
EXIST. WATER LINE	EX-W
EXIST. WATER VALVE	⊕
EXIST. FIRE HYDRANT	⊕
EXIST. OVERHEAD ELECTRIC	OHE
PARKING COUNT	⊙

- NOTES:**
1. SINGLE PARKING STALL IS 20' LONG X 9' WIDE.
 2. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 3. ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
 4. REFER TO SHEET C1.0 FOR GENERAL NOTES.
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
 6. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
 7. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
 8. PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
 9. ALL UTILITIES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, AND TELEPHONE SHALL BE PLACED UNDERGROUND.
 10. REFER TO ARCHITECTURE PLANS FOR ALL FENCING AND GATE SPECIFICATIONS.

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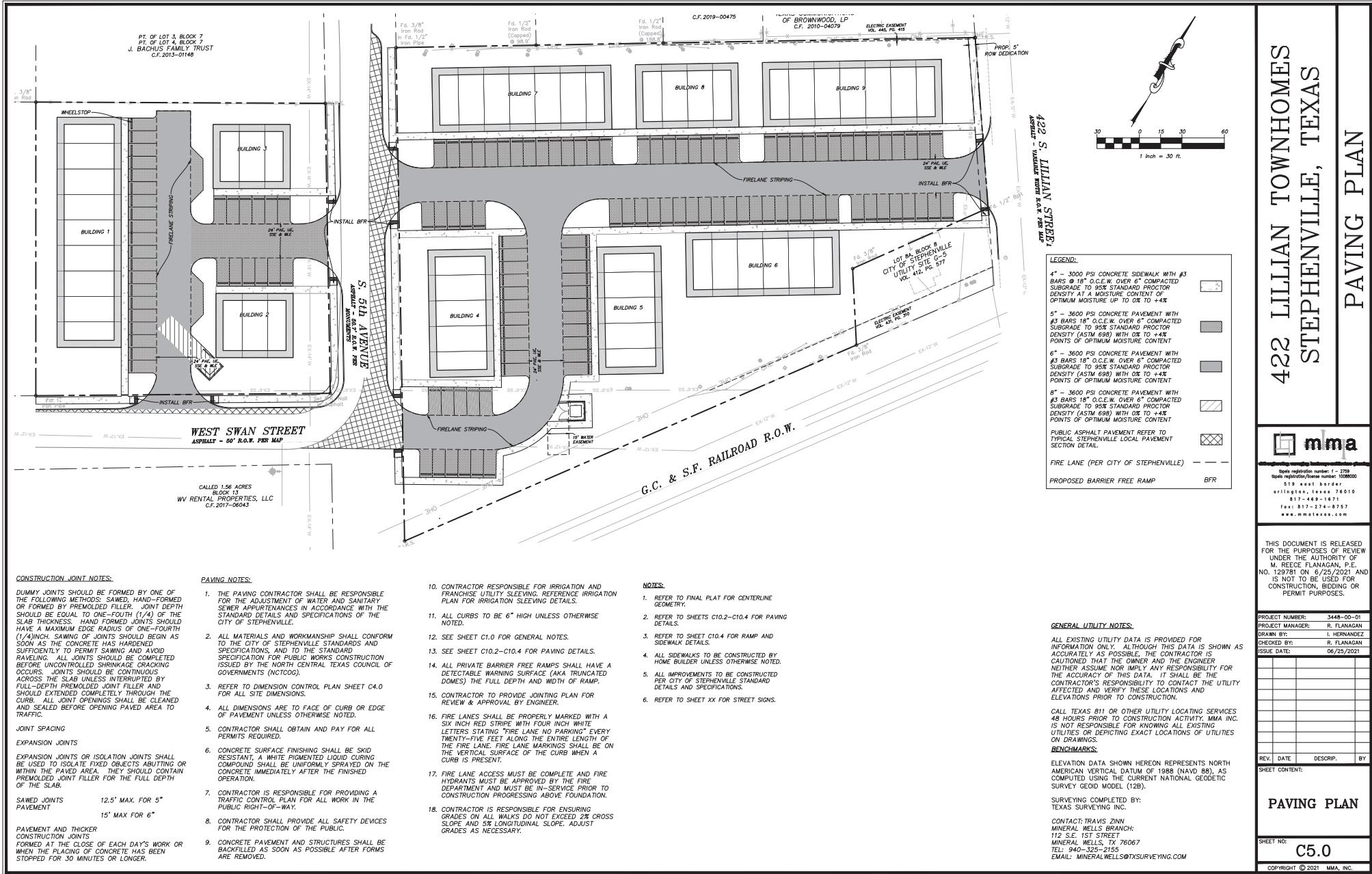
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BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).

SURVEYING COMPLETED BY: TEXAS SURVEYING INC.

CONTACT: TRAVIS ZINN
 MINERAL WELLS BRANCH:
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 MINERAL WELLS, TX 76067
 TEL: 940-325-2155
 EMAIL: MINERALWELLS@TXSURVEYING.COM



422 LILLIAN TOWNHOMES
STEPHENSVILLE, TEXAS
PAVING PLAN

- LEGEND:**
- 4" - 3000 PSI CONCRETE SIDEWALK WITH #3 BARS @ 18" O.C.E.W. OVER 6" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY AT A MOISTURE CONTENT OF OPTIMUM MOISTURE UP TO 0% TO +4%
 - 5" - 3600 PSI CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY (ASTM 698) WITH 0% TO +4% POINTS OF OPTIMUM MOISTURE CONTENT
 - 6" - 3600 PSI CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY (ASTM 698) WITH 0% TO +4% POINTS OF OPTIMUM MOISTURE CONTENT
 - 8" - 3600 PSI CONCRETE PAVEMENT WITH #3 BARS 18" O.C.E.W. OVER 6" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR DENSITY (ASTM 698) WITH 0% TO +4% POINTS OF OPTIMUM MOISTURE CONTENT
- PUBLIC ASPHALT PAVEMENT REFER TO TYPICAL STEPHENVILLE LOCAL PAVEMENT SECTION DETAIL.
- FIRE LANE (PER CITY OF STEPHENVILLE)
- PROPOSED BARRIER FREE RAMP BFR

CONSTRUCTION JOINT NOTES:

DUMMY JOINTS SHOULD BE FORMED BY ONE OF THE FOLLOWING METHODS: SAWED, HAND-FORMED OR FORMED BY PREMOLDED FILLER. JOINT DEPTH SHOULD BE EQUAL TO ONE-FOURTH (1/4) OF THE SLAB THICKNESS. HAND FORMED JOINTS SHOULD HAVE A MAXIMUM EDGE RADIUS OF ONE-FOURTH (1/4) INCH. SAWING OF JOINTS SHOULD BEGIN AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO PERMIT SAWING AND AVOID RAVELING. ALL JOINTS SHOULD BE COMPLETED BEFORE UNCONTROLLED SHRINKAGE CRACKING OCCURS. JOINTS SHOULD BE CONTINUOUS ACROSS THE SLAB UNLESS INTERRUPTED BY FULL-DEPTH PREMOLDED JOINT FILLER AND SHOULD EXTENDED COMPLETELY THROUGH THE CURB. ALL JOINT OPENINGS SHALL BE CLEANED AND SEALED BEFORE OPENING PAVED AREA TO TRAFFIC.

JOINT SPACING

EXPANSION JOINTS

EXPANSION JOINTS OR ISOLATION JOINTS SHALL BE USED TO ISOLATE FIXED OBJECTS ABUTTING OR WITHIN THE PAVED AREA. THEY SHOULD CONTAIN PREMOLDED JOINT FILLER FOR THE FULL DEPTH OF THE SLAB.

SAVED JOINTS 12.5' MAX FOR 5" PAVEMENT
15' MAX FOR 6"

PAVEMENT AND THICKER CONSTRUCTION JOINTS FORMED AT THE CLOSE OF EACH DAY'S WORK OR WHEN THE PLACING OF CONCRETE HAS BEEN STOPPED FOR 30 MINUTES OR LONGER.

PAVING NOTES:

- THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADJUSTMENT OF WATER AND SANITARY SEWER APPURTENANCES IN ACCORDANCE WITH THE STANDARD DETAILS AND SPECIFICATIONS OF THE CITY OF STEPHENVILLE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF STEPHENVILLE STANDARDS AND SPECIFICATIONS, AND TO THE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG).
- REFER TO DIMENSION CONTROL PLAN SHEET C4.0 FOR ALL SITE DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED.
- CONCRETE SURFACE FINISHING SHALL BE SKID RESISTANT; A WHITE PIGMENTED LIQUID CURING COMPOUND SHALL BE UNIFORMLY SPRAYED ON THE CONCRETE IMMEDIATELY AFTER THE FINISHED OPERATION.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN FOR ALL WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ALL SAFETY DEVICES FOR THE PROTECTION OF THE PUBLIC.
- CONCRETE PAVEMENT AND STRUCTURES SHALL BE BACKFILLED AS SOON AS POSSIBLE AFTER FORMS ARE REMOVED.

- CONTRACTOR RESPONSIBLE FOR IRRIGATION AND FRANCHISE UTILITY SLEEVING; REFERENCE IRRIGATION PLAN FOR IRRIGATION SLEEVING DETAILS.
- ALL CURBS TO BE 6" HIGH UNLESS OTHERWISE NOTED.
- SEE SHEET C10.0 FOR GENERAL NOTES.
- SEE SHEET C10.2-C10.4 FOR PAVING DETAILS.
- ALL PRIVATE BARRIER FREE RAMPS SHALL HAVE A DETECTABLE WARNING SURFACE (AKA TRUNCATED DOMES) THE FULL DEPTH AND WIDTH OF RAMP.
- CONTRACTOR TO PROVIDE JOINTING PLAN FOR REVIEW & APPROVAL BY ENGINEER.
- FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
- FIRE LANE ACCESS MUST BE COMPLETE AND FIRE HYDRANTS MUST BE APPROVED BY THE FIRE DEPARTMENT AND MUST BE IN-SERVICE PRIOR TO CONSTRUCTION PROGRESSING ABOVE FOUNDATION.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING GRADES ON ALL WALKS DO NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE. ADJUST GRADES AS NECESSARY.

NOTES:

- REFER TO FINAL PLAT FOR CENTERLINE GEOMETRY.
- REFER TO SHEETS C10.2-C10.4 FOR PAVING DETAILS.
- REFER TO SHEET C10.4 FOR RAMP AND SIDEWALK DETAILS.
- ALL SIDEWALKS TO BE CONSTRUCTED BY HOME BUILDER UNLESS OTHERWISE NOTED.
- ALL IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF STEPHENVILLE STANDARD DETAILS AND SPECIFICATIONS.
- REFER TO SHEET XX FOR STREET SIGNS.

GENERAL UTILITY NOTES:

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BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOD MODEL (12B).

SURVEYING COMPLETED BY: TEXAS SURVEYING INC.

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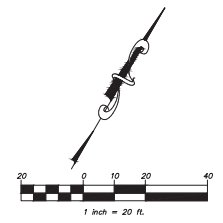
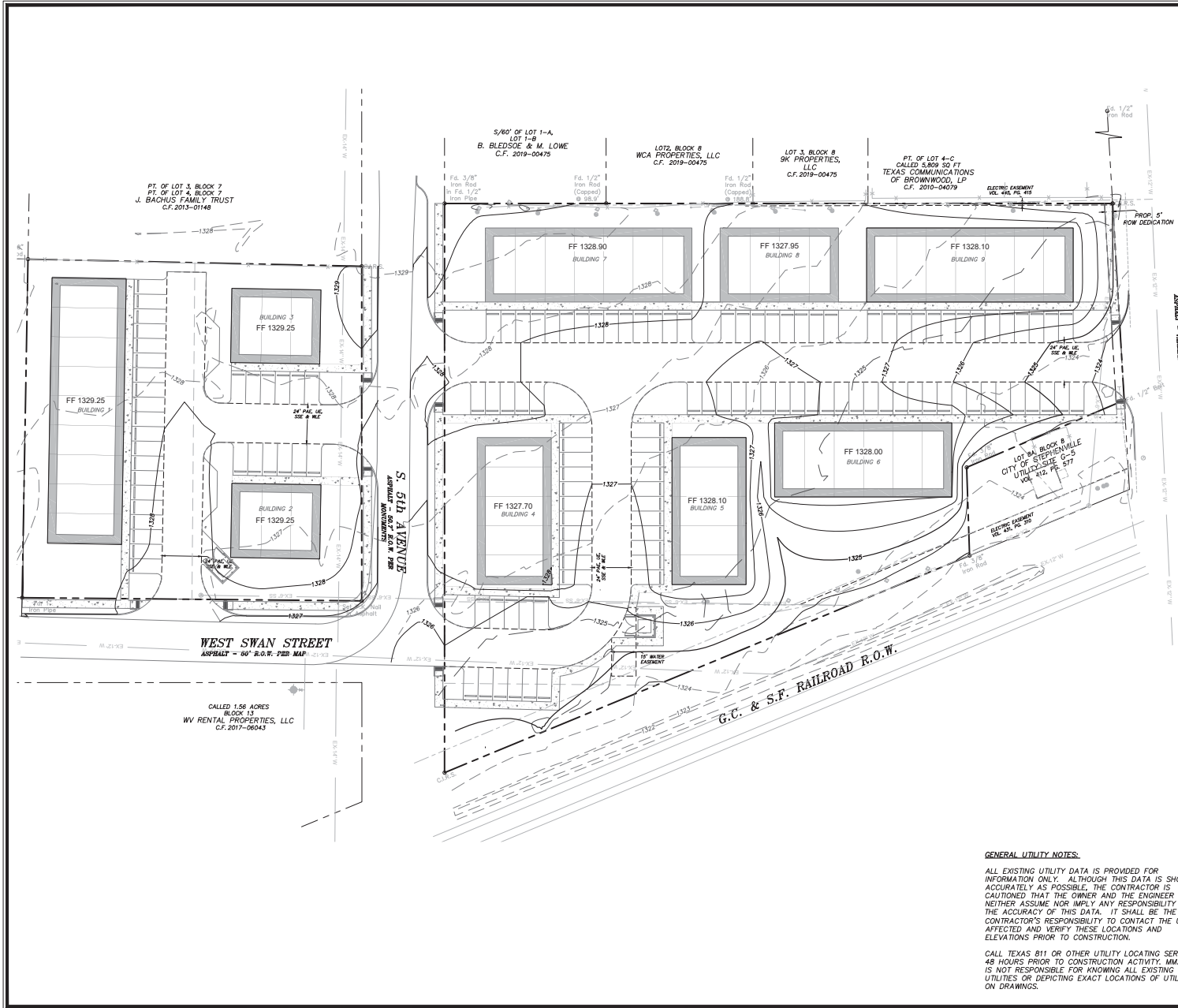
PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: T. HERNANDEZ
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

PAVING PLAN

SHEET NO: **C5.0**

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LEGEND:

EXIST. CONTOUR	---640---
PROP. CONTOUR	—640—
FINISHED FLOOR ELEVATION	FF=630.0

- GRADING NOTES**
- CLEARING AND GRUBBING SHALL CONSIST OF REMOVING ALL NATURAL AND ARTIFICIAL OBSTRUCTIONABLE MATERIALS FROM THE PROJECT SITE.
 - ALL TREES, SHRUBS AND ALL SCRUB GROWTH SHALL BE CLEARED. ALL DEAD TREES, LOGS, STUMPS, RUBBISH OF ANY NATURE, AND OTHER SURFACE DEBRIS SHALL ALSO BE CLEARED.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE SITE OF THE WORK AND THE ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS AND RUBBISH AS IS PRACTICABLE AND SHALL REMOVE SAME FROM ANY PORTION OF THE SITE.
 - UNSUITABLE MATERIAL, INCLUDING ALL ROCKS MEASURING LARGER THAN 6" IN THE LARGEST DIMENSION, REFUSE AND OTHER DEBRIS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. CONTRACTOR SHALL ALSO, COMPLY WITH ALL APPLICABLE LAWS GOVERNING THE SPILLING OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE.
 - SIX (6") INCHES OF TOP SOIL SHALL BE PLACED ON ALL LANDSCAPE AREAS AND PARKING ISLANDS.
 - POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION MUST BE PROVIDED. CONTRACTOR TO ENSURE THERE IS NO PONDING AROUND FOUNDATION.
 - THE GRADES SHOWN ON THIS PLAN ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - SHOULD THE CONTRACTOR ENCOUNTER ANY UNUSUAL GEOLOGICAL CONDITIONS DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING GEOTECHNICAL ENGINEER AND REQUESTING SUPPLEMENTAL RECOMMENDATIONS.
 - TESTING IS REQUIRED AND SHALL BE PERFORMED BY A LABORATORY APPROVED BY THE ENGINEER/OWNER AND PAID FOR BY THE OWNER.
 - LIMIT CONSTRUCTION ACTIVITY TO IMPROVEMENT AREAS ONLY.
 - REFERENCE LANDSCAPE PLANS FOR TREE PROTECTION METHODS.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING GRADES ON ALL WALKS DO NOT EXCEED 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE. ADJUST GRADES AS NECESSARY.
 - CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED.

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SURVEYING COMPLETED BY:
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**422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
OVERALL GRADING PLAN**



Home registration number: 1-279
 State registration/contract number: 0208000
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 817-469-1671
 fax: 817-374-8757
 www.mma-texas.com

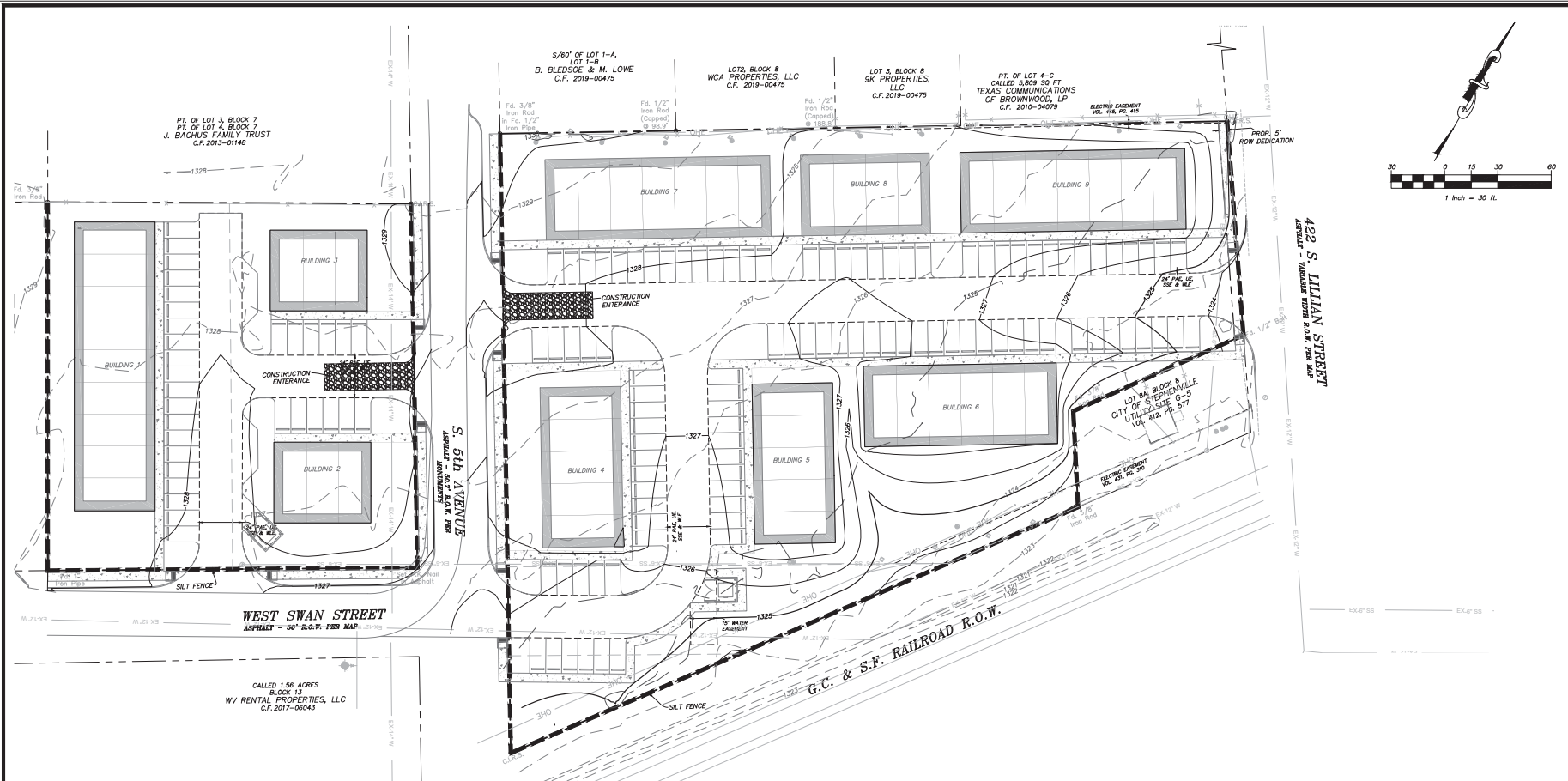
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PROJECT NUMBER: 3448-00-01
 PROJECT MANAGER: R. FLANAGAN
 DRAWN BY: J. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

OVERALL GRADING PLAN

SHEET NO:
C6.0



**422 LILLIAN TOWNHOMES
STEPHENSVILLE, TEXAS
EROSION CONTROL PLAN**

mma
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 State registration/contract number: 1026800
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EROSION CONTROL PLAN

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EROSION CONTROL INSTALLATION/PHASING LEGEND
 CONSTRUCTION AND SUBSEQUENT EROSION CONTROL INSTALLATION MUST BE SEQUENCED AS WRITTEN BELOW

MEASURE	BY	INSTALLED
	CONST. ENTRY/EXIT	EXCAVATION CONTRACTOR PRIOR TO EXCAVATION (SEE NOTE 12 FOR LOCATION)
	SILT FENCE	EXCAVATION CONTRACTOR PRIOR TO EXCAVATION

EROSION CONTROL NOTES

- THE FOLLOWING ARE THE CONTACT PERSONNEL FOR THE PROJECT:
 OWNER: BROWN PACE DEVELOPMENT COMPANY
 819 OLD ANNETTE ROAD
 ALISO, TEXAS 76108
 CONTACT NAME: MARC PACE
 TEL: 817-501-9812
- PERIMETER EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE STARTING ANY SOIL DISTURBING ACTIVITIES.
- STREET EXCAVATION TO BE PERFORMED AND EROSION CONTROL MEASURES IN PLACE BEFORE GRUBBING/LOT GRADING.
- SEDIMENT DISCHARGED OR TRACKED ON TO EXISTING PAYMENT SHALL BE REMOVED DAILY.
- CONTRACTOR IS TO CONTAIN ALL RUNOFF FROM MATERIALS USED IN THE SUBGRADE STABILIZATION PROCESS.
- RETAIN FLOATABLE AND WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
- PAVING CONTRACTOR TO INSTALL A PIT FOR TEMPORARY ON-SITE DISPOSAL OF CONCRETE WASTE FROM MIXING DRUMS AND CHUTES.
- INSPECT POLLUTION CONTROL MEASURES EVERY TWO WEEKS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2" OR MORE. REPAIR OR REPLACE DAMAGED MEASURES TO RETAIN SEDIMENT AND OTHER POLLUTANTS ON SITE. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS.
- PERMANENTLY STABILIZE EXPOSED SOIL WITHIN AND ADJACENT TO THE SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION ACTIVITIES. STABILIZATION IS OBTAINED WHEN THE SOIL IS COVERED BY A COMBINATION OF

- STRUCTURES, PAVING, AND PERENNIAL VEGETATION.
- INSTALL A LIQUID TIGHT BERMED AREA (LINER REQUIRED), OR OTHER SPILL PROTECTION MEASURE PER THE FINE CODE, FOR ANY TEMPORARY FUEL TANKS PLACED ON SITE DURING CONSTRUCTION.
- ALL CONTRACTORS TO MAINTAIN EXISTING EROSION CONTROL MEASURES IN PLACE.
- CONSTRUCTION ENTRANCE/EXIT TO BE LOCATED BY GRADING CONTRACTOR AND APPROVED BY OWNER.
- ALL GRADING TO CONFORM TO THE APPROVED GRADING PLAN FOR 422 LILLIAN TOWNHOMES.
- EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE, WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREGGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES. SEE LANDSCAPE PLAN FOR SOD LOCATIONS.
- TOTAL DISTURBED AREA = 3.37 AC.

GENERAL UTILITY NOTES:

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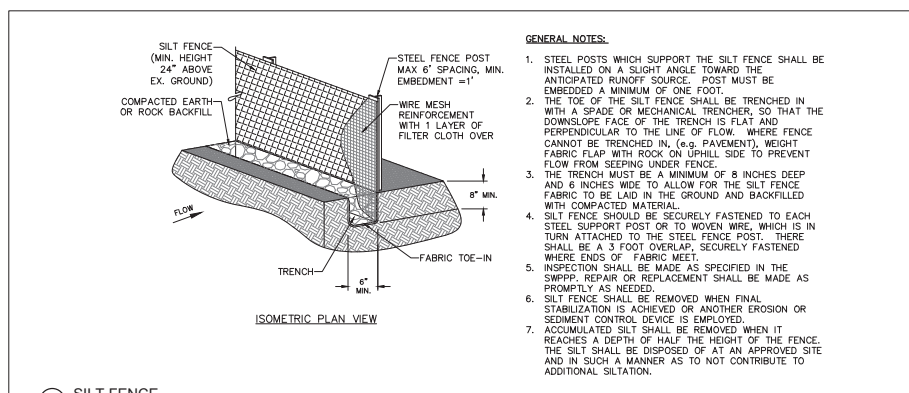
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BENCHMARKS:
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SURVEYING COMPLETED BY:
 TEXAS SURVEYING INC.

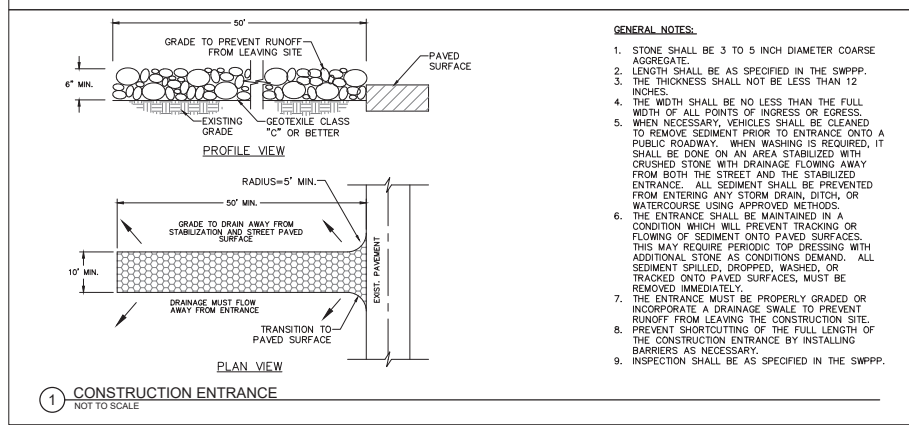
CONTACT: TRAVIS ZINN
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 EMAIL: MINERALWELLS@TXSURVEYING.COM

**422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS**
EROSION CONTROL DETAILS



- GENERAL NOTES:**
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 8 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

2 SILT FENCE
NOT TO SCALE



- GENERAL NOTES:**
1. STONE SHALL BE 3 TO 5 INCH DIAMETER COARSE AGGREGATE.
 2. LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.
 3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
 9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.

1 CONSTRUCTION ENTRANCE
NOT TO SCALE

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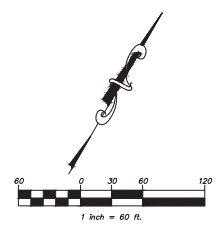
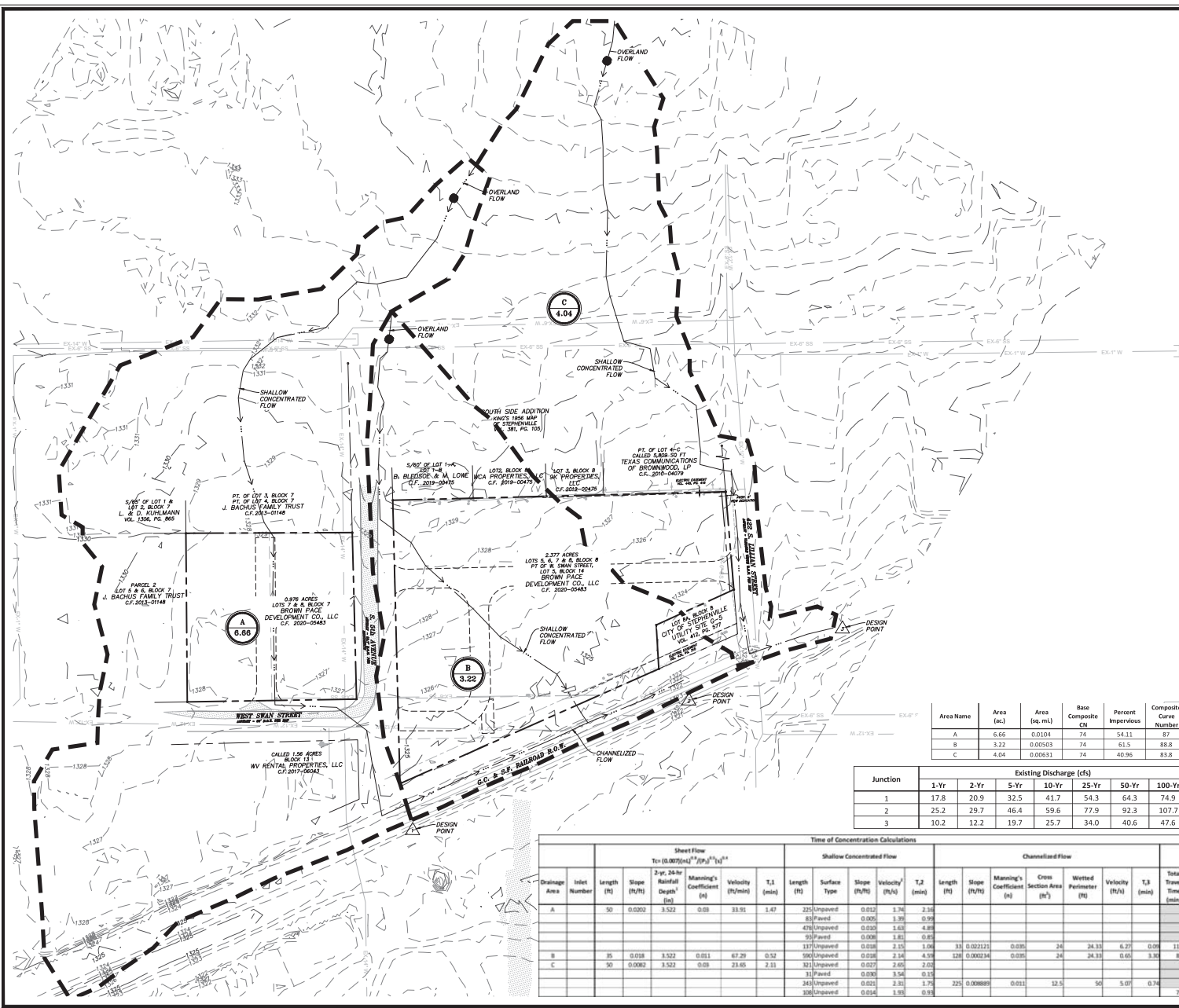
PROJECT NUMBER:	3448-00-01
PROJECT MANAGER:	R. FLANAGAN
DRAWN BY:	I. HERNANDEZ
CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

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EROSION CONTROL DETAILS

SHEET NO:
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LEGEND:

- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA LABEL
- NAME
- AREA (ACRES)
- FLOW ARROW
- EXISTING CONTOUR
- LONGEST FLOW PATH
- ANALYSIS POINT DESIGNATION

- NOTES:**
1. PROPERTY IS ZONED R-3 MULTIFAMILY.
 2. DESIGN CRITERIA IS BASED ON CITY OF STEPHENVILLE STORMWATER CRITERIA MANUAL 2016.
 3. DRAINAGE AREAS ARE BASED ON 2016 TNMS LIDAR CONTOURS.
 4. SCS METHOD WAS USED FOR THE DRAINAGE ANALYSIS.

Area Name	Area (Ac)	Area (sq. mi.)	Base Composite CN	Percent Impervious	Composite Curve Number
A	6.66	0.1024	74	54.11	87
B	3.22	0.0503	74	61.5	88.8
C	4.04	0.0631	74	40.96	83.8

Junction	Existing Discharge (cfs)					
	1-Yr	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr
1	17.8	20.9	32.5	41.7	54.3	64.3
2	25.2	29.7	46.4	59.6	77.9	92.3
3	10.2	12.2	19.7	25.7	34.0	40.6

Time of Concentration Calculations																							
Drainage Area	Inlet Number	Sheet Flow To (1000 ft) ² (ft) ³ (ft) ⁴					Shallow Concentrated Flow				Channelized Flow				Total Travel Time (min)								
		Length (ft)	Slope (ft/ft)	Rainfall Depth (in)	Manning's Coefficient (n)	Velocity (ft/min)	T,1 (min)	Length (ft)	Surface Type	Slope (ft/ft)	Velocity ² (ft/s)	T,2 (min)	Length (ft)	Slope (ft/ft)		Manning's Coefficient (n)	Cross Section Area (sq ft)	Wetted Perimeter (ft)	Velocity (ft/s)	T,3 (min)			
A	30	0.020	3.522	0.03	33.91	1.47	225 Unpaved	0.012	1.74	2.34													
							83 Paved	0.005	3.39	0.99													
							478 Unpaved	0.026	1.63	4.89													
B	35	0.018	3.522	0.03	67.29	0.52	137 Unpaved	0.028	2.05	1.86	33	0.022123	0.035	24	24.33	6.27	0.09	11.52					
C	30	0.0082	3.522	0.03	21.65	2.11	32 Unpaved	0.027	2.65	2.62													
							343 Unpaved	0.021	3.31	3.79	225	0.030889	0.031	12.5	50	5.07	0.74						
							308 Unpaved	0.014	1.93	0.93										7.70			

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BENCHMARKS:

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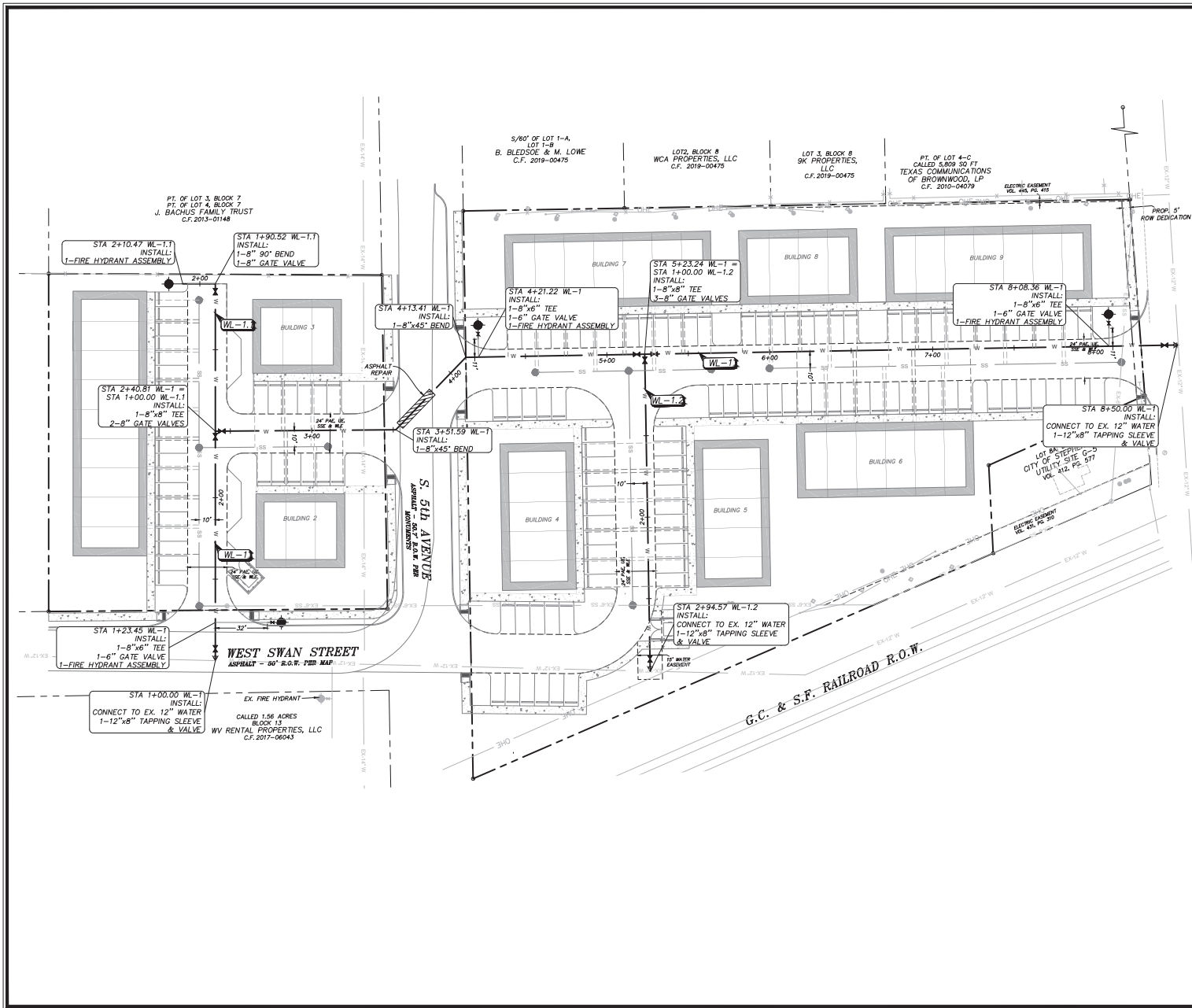
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PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: D. FRASCELLA
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

REV.	DATE	DESCRIP.	BY

PRE-DEVELOPMENT DRAINAGE AREA MAP

SHEET NO:
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LEGEND:

- PROP. FIRE HYDRANT ASSEMBLY (INCLUDES ALL FITTINGS)
- PROP. GATE VALVE
- PROP. WATER SERVICE
- PROP. WATER LINE
- PROP. SANITARY SEWER LINE
- PROP. STORM LINE
- PROP. STORM INLET
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT
- EXIST. VALVE

- NOTES:**
- ALL PROPOSED WATER LINES ARE PUBLIC/Private AND 8" UNLESS OTHERWISE NOTED.
 - ALL WATER LINE SERVICES ARE 3/4" WITH UNLESS OTHERWISE NOTED.
 - REFER TO SHEET C1.0 FOR GENERAL NOTES.
 - REFER TO SHEET C10.0 FOR WATER DETAILS.
 - REFER TO FINAL PLAT FOR CENTERLINE GEOMETRY AND EXISTENT INFORMATION.
 - CONTRACTOR SHALL MAINTAIN SEPARATION BETWEEN WATER AND SEWER PER TCEC REQUIREMENTS.
 - DOMESTIC WATER METERS SHALL BE 3/4" AND WILL BE LOCATED OUTSIDE OF THE DRIVEWAY.
 - LOCATION AND REQUIRED FITTINGS FOR POLYPIPS SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE CITY INSPECTOR. CLEANOUT WYES MUST BE REMOVED OR TURNED UNDER PIPE.
 - CONTRACTOR TO INSTALL ALL COPPER WATER SERVICES WITH ONE CONTINUOUS LINE. NO SPLICING OF ANY KIND WILL BE ALLOWED.

GENERAL UTILITY NOTES:

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CALL TEXAS 811 OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. MMA INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS OF UTILITIES ON DRAWINGS.

BENCHMARKS:

ELEVATION DATA SHOWN HEREON REPRESENTS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS COMPUTED USING THE CURRENT NATIONAL GEODETIC SURVEY GEOID MODEL (12B).

SURVEYING COMPLETED BY: TEXAS SURVEYING INC.

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112 S.E. 157 STREET
MINERAL WELLS, TX 76067
TEL: 940-325-2155
EMAIL: MINERALWELLS@TXSURVEYING.COM

422 S. LILLIAN STREET
ASPHALT - 60' R.O.W. PER MAP

422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
WATER PLAN



Home registration number: 1-275
State registration/contract number: 0088000
519 east boulevard
atkinsville, texas 76810
817-489-1871
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PROJECT NUMBER: 3448-00-01
PROJECT MANAGER: R. FLANAGAN
DRAWN BY: T. HERNANDEZ
CHECKED BY: R. FLANAGAN
ISSUE DATE: 06/25/2021

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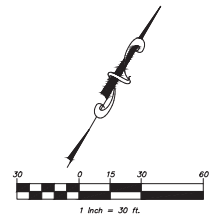
SHEET CONTENT:

WATER PLAN

SHEET NO:
C9.0

SEWER PLAN

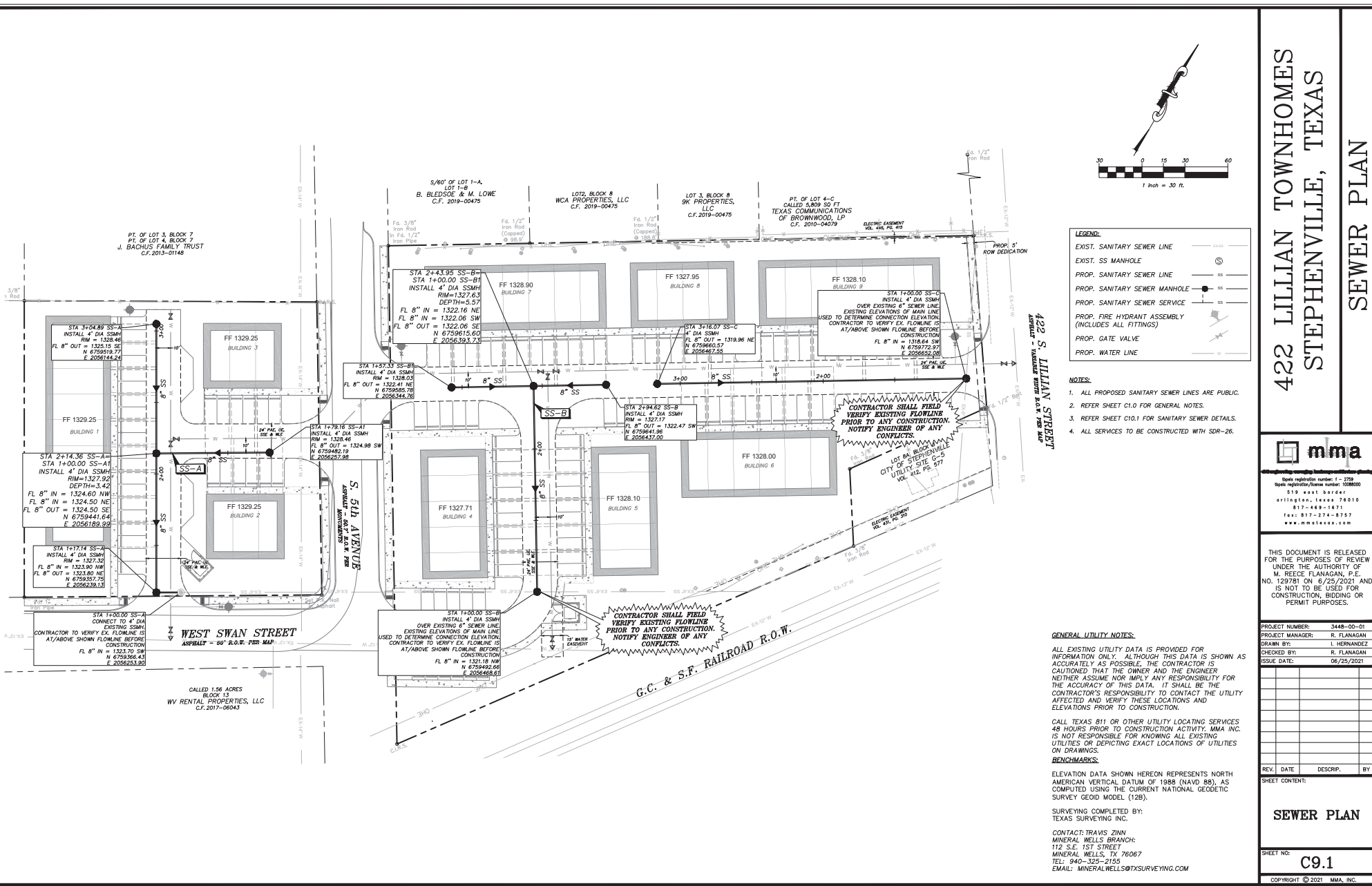
422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS



LEGEND:

EXIST. SANITARY SEWER LINE	---
EXIST. SS MANHOLE	SS
PROP. SANITARY SEWER LINE	---
PROP. SANITARY SEWER MANHOLE	SS
PROP. SANITARY SEWER SERVICE	---
PROP. FIRE HYDRANT ASSEMBLY (INCLUDES ALL FITTINGS)	+
PROP. GATE VALVE	+
PROP. WATER LINE	---

- NOTES:**
1. ALL PROPOSED SANITARY SEWER LINES ARE PUBLIC.
 2. REFER SHEET C1.0 FOR GENERAL NOTES.
 3. REFER SHEET C10.1 FOR SANITARY SEWER DETAILS.
 4. ALL SERVICES TO BE CONSTRUCTED WITH SDR-26.



422 S LILLIAN STREET
Asphalt - Visible from Right Side

GENERAL UTILITY NOTES:

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BENCHMARKS:

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SURVEYING COMPLETED BY:
TEXAS SURVEYING INC.

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CHECKED BY: R. FLANAGAN
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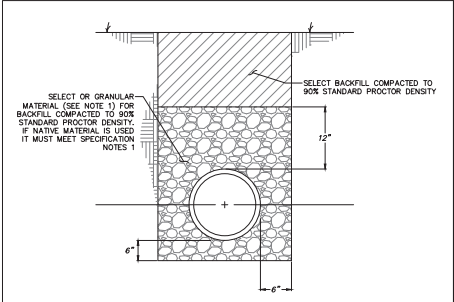
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SEWER PLAN

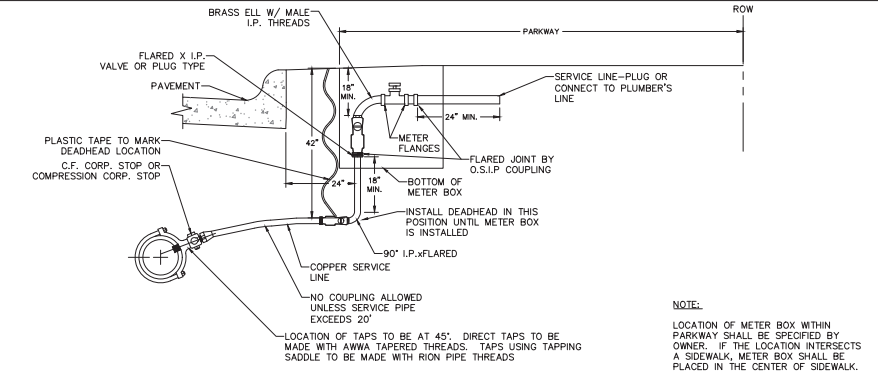
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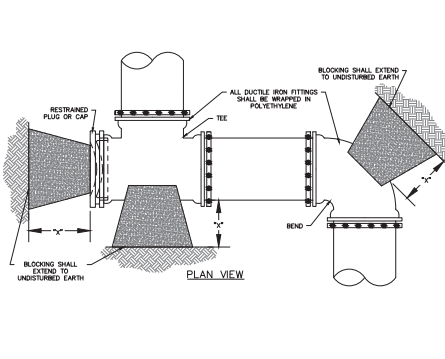
422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
WATER DETAILS



④ WATER PVC LINE STANDARD EMBEDMENT
NOT TO SCALE



② WATER SERVICE INSTALLATION 1 1/2" OR 2" LINE
NOT TO SCALE

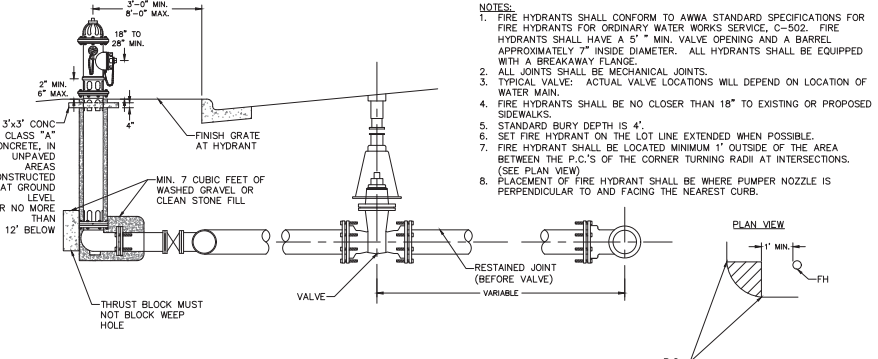


- NOTES:
- THRUST BLOCKING AREAS SHOWN ARE BASED ON:
 - 225 PSI TEST PRESSURE.
 - 3,000 PSF HORIZONTAL OR LATERAL BEARING PRESSURE FOR ACCEPTABLE SOILS.
 - MINIMUM COVER OF 42"
 - A SAFETY FACTOR OF 1.5.
 - THE ENGINEER SHALL PROVIDE A SEPARATE BLOCKING TABLE WHEN THE CONDITIONS DO NOT MEET THE ABOVE ASSUMPTIONS.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE THRUST RESTRAINT BY MEANS OF THRUST BLOCKING FOR ALL PIPES. THIS ITEM SHALL BE CONSIDERED SUBSIDIARY TO THE VARIOUS ITEMS BID.
 - ALL MJ FITTINGS SHALL BE ADDITIONALLY RESTRAINED WITH RETAINER GLANDS. BLOCKING FOR WATER LINES LARGER THAN 24" SHALL BE DESIGNED FOR THE SPECIFIC LOCATION AND SHOWN ON THE DRAWINGS.
 - ALL DUCTILE IRON FITTINGS SHALL BE WRAPPED IN POLYETHYLENE ENCASEMENT PRIOR TO PLACING OF BLOCKING.

PIPE SIZE (IN.)	FLUG, DEAD-ENDS (SF)	90° BENDS (SF)		22.5° BENDS (SF)		11.25° BENDS (SF)	
		MIN. AREA	MAX. AREA	MIN. AREA	MAX. AREA	MIN. AREA	MAX. AREA
12"	4.00	4.00	4.00	4.00	4.00	4.00	4.00
14"	5.00	5.00	5.00	5.00	5.00	5.00	5.00
16"	6.00	6.00	6.00	6.00	6.00	6.00	6.00
18"	7.00	7.00	7.00	7.00	7.00	7.00	7.00
20"	8.00	8.00	8.00	8.00	8.00	8.00	8.00
24"	12.00	12.00	12.00	12.00	12.00	12.00	12.00
30"	18.00	18.00	18.00	18.00	18.00	18.00	18.00
36"	24.00	24.00	24.00	24.00	24.00	24.00	24.00
42"	30.00	30.00	30.00	30.00	30.00	30.00	30.00

MINIMUM THRUST BLOCKING SURFACE AREA SHALL BE 4 SQUARE FEET.
DIMENSION "X" IS A MINIMUM OF ONE FOOT AND ONE INCH, BUT IS TO BE INCREASED WHERE NECESSARY TO PROVIDE BEARING AGAINST UNDISTURBED TRENCH WALL.

③ HORIZONTAL THRUST BLOCKING
NOT TO SCALE



① FIRE HYDRANT INSTALLATION
NOT TO SCALE

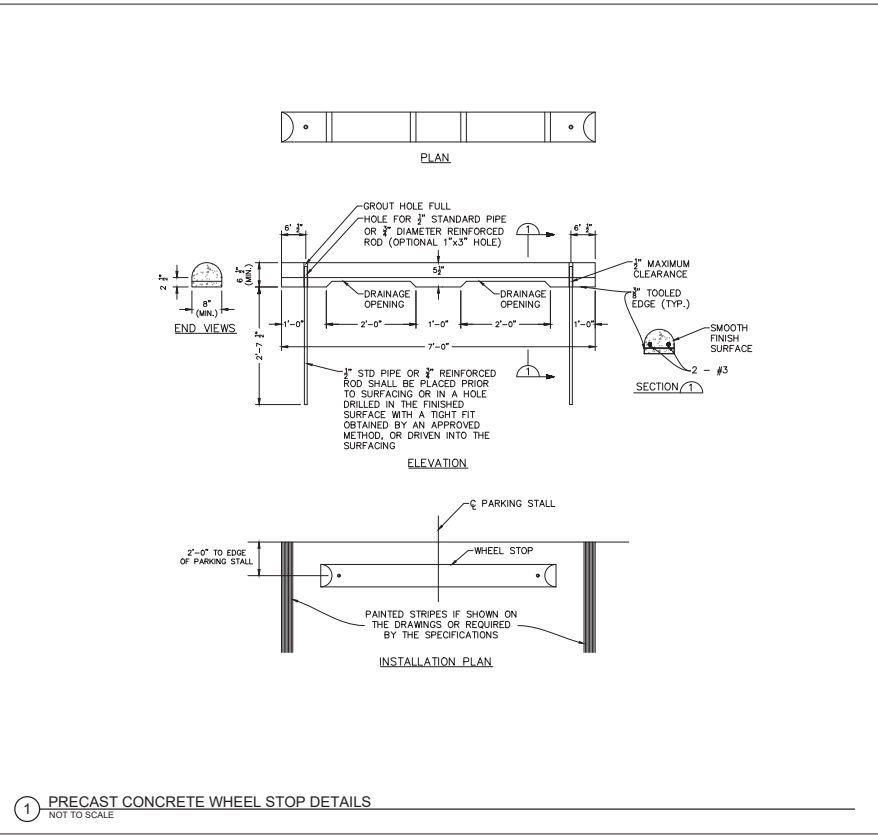
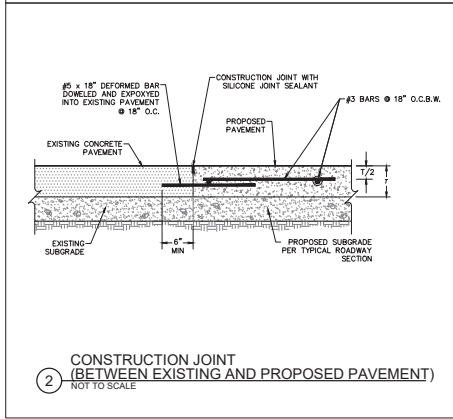
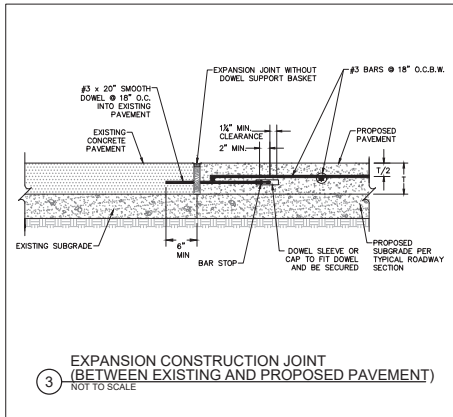
mma
Member Registration Number: 1-2756
 State Registration/Contract Number: 1026000
 519 east 30th ave
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 DRAWN BY: J. HERNANDEZ
 CHECKED BY: R. FLANAGAN
 ISSUE DATE: 06/25/2021

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WATER DETAILS
 SHEET NO:
C10.0
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STEPHENVILLE, TEXAS
PAVING DETAILS

mma
Member of the
 Name registration number: 1-2726
 State registration/contract number: 1008000
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PROJECT MANAGER:	R. FLANAGAN
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CHECKED BY:	R. FLANAGAN
ISSUE DATE:	06/25/2021

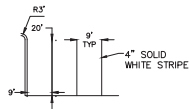
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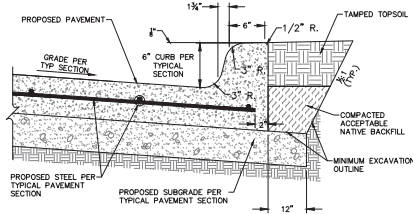
**PAVING
DETAILS**

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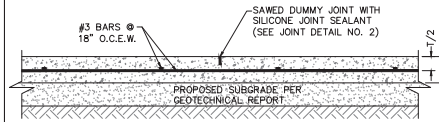


11 TYPICAL PARKING DETAIL
NOT TO SCALE

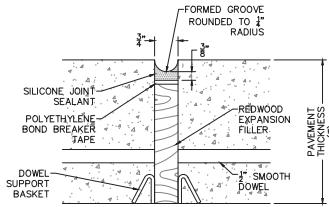


NOTES:
1. MATCH STREET SAWED JOINTS FOR SAWED JOINTS IN CURB.

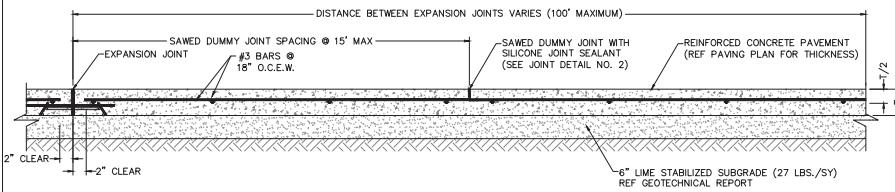
9 STANDARD MONOLITHIC CURB
NOT TO SCALE



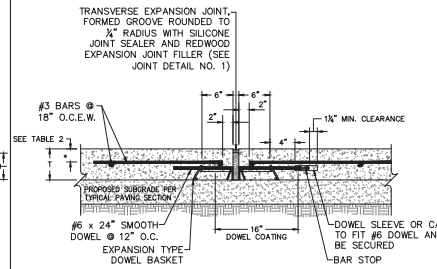
6 SAWED DUMMY JOINT
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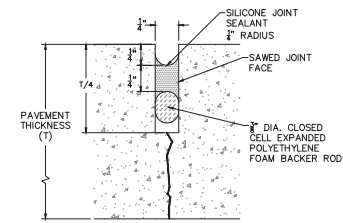
3 JOINT DETAIL NO. 1
NOT TO SCALE



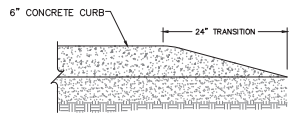
8 TYPICAL PAVING SECTION
NOT TO SCALE



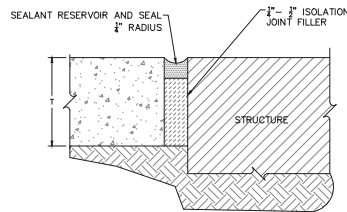
5 EXPANSION JOINT
NOT TO SCALE



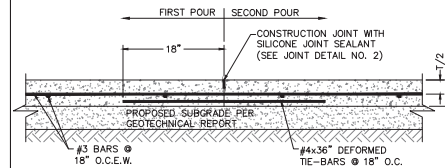
2 JOINT DETAIL NO. 2
NOT TO SCALE



10 CURB TAPER
NOT TO SCALE



7 ISOLATION JOINT
NOT TO SCALE



4 CONSTRUCTION JOINT
NOT TO SCALE

CONSTRUCTION NOTES

- FOR DEFORMED BAR SPICES, LAP BARS 40 DIAMETERS AND TIE.
- FOR PAVEMENT THICKNESS "T" REFER TO PAVING PLAN.

TABLE 1 (SAWED DUMMY JOINT DEPTH)	
DM T = PAVEMENT THICKNESS	DM 1/4 = JOINT DEPTH
5"	1A"
6"	1B"
7"	1A"
8"	2"
9"	2A"

TABLE 2 (PAVEMENT REINFORCING STEEL PLACEMENT)	
DM T = PAVEMENT THICKNESS	DM 1/4 = CLEARANCE FROM FACE OF CONCRETE
5"	2"
6"	2"
7"	2A"
8"	2A"
9"	3"

NOTE: ALL DOWELS TO BE PLACED AT 1/2

1 PAVING NOTES & TABLES
NOT TO SCALE

422 LILLIAN TOWNHOMES
STEPHENVILLE, TEXAS
PAVING DETAILS



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SHEET CONTENT:

PAVING
DETAILS

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