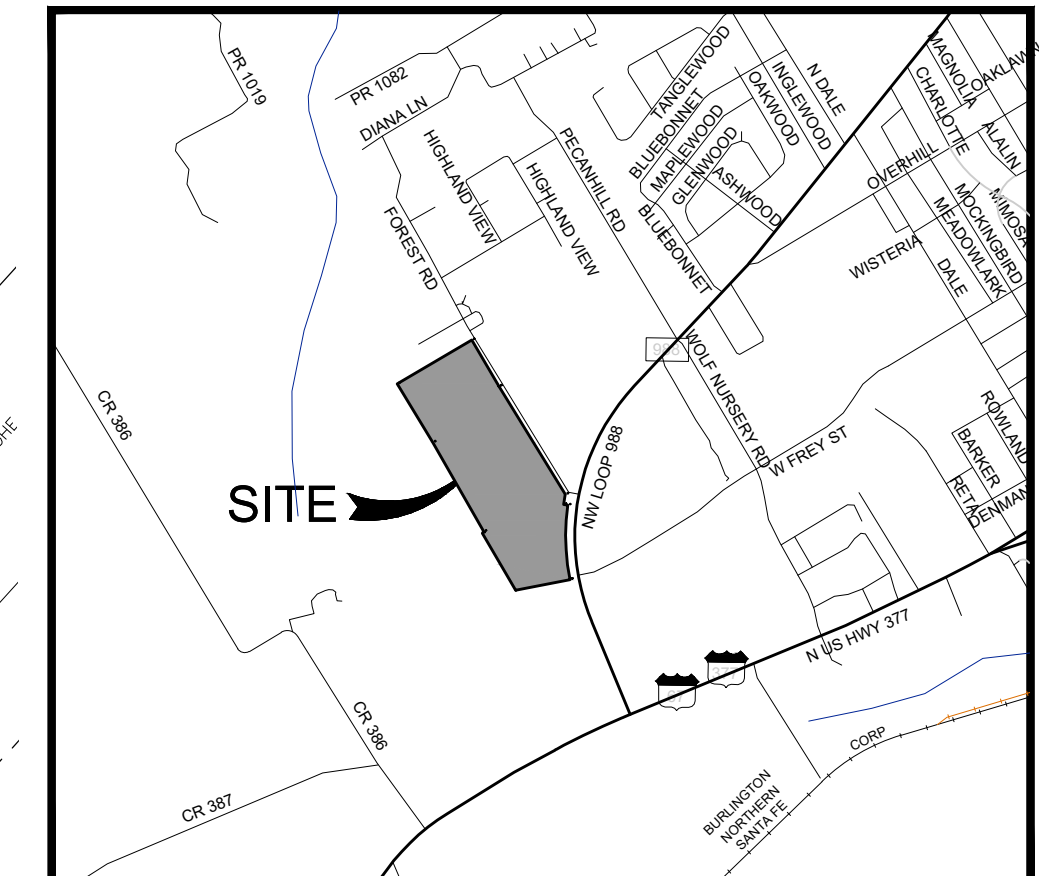
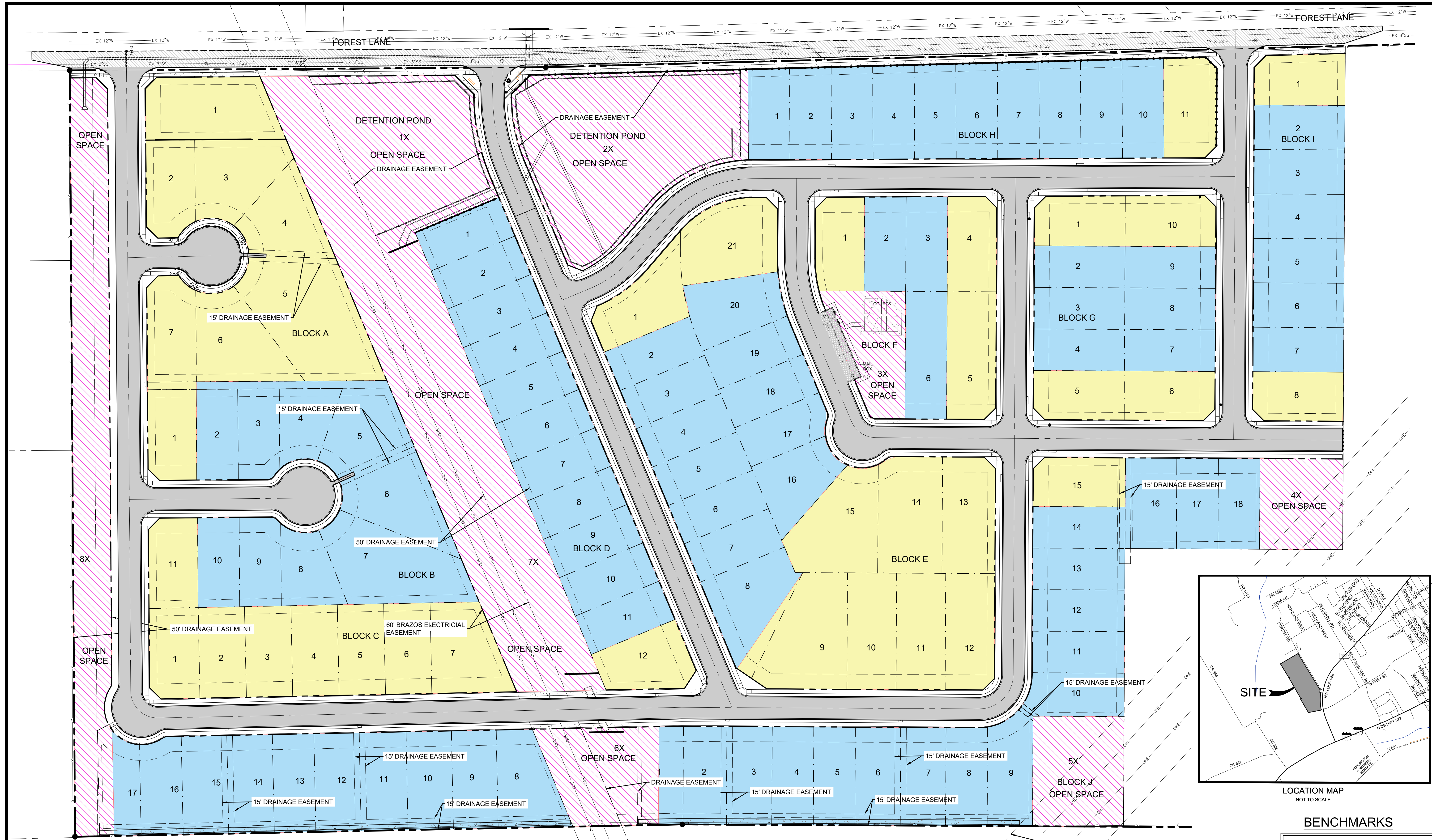


File: F:\2022-75\01\Allen\2022-75-01 Forest Lane Residential\CAD\LOT SHEETS\C-2.1 PAVING PLAN.dwg | Date Plotted: 10/21/2024 2:38 PM | Plotted By: Rick



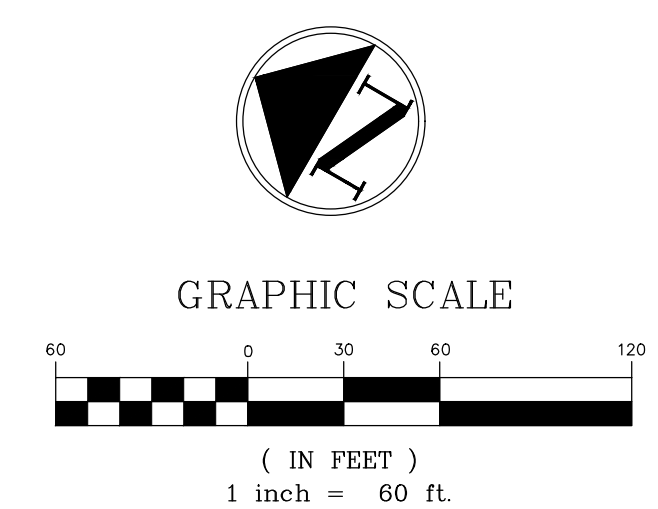
LOCATION MAP
NOT TO SCALE

BENCHMARKS

TBM-1: CUT "X" ON TOP OF CONCRETE CURB. APPROXIMATELY 53 EAST OF SOUTHEAST PROPERTY CORNER ACROSS FOREST LANE. ELEVATION=1393.67 N: 6759333.16200 E: 2046259.14800
TBM-2: CUT "X" IN CONCRETE. APPROXIMATELY 181 FEET SOUTH OF NORTHEAST PROPERTY CORNER. ELEVATION=1384.59 N: 6760622.31000 E: 2045431.40500

LEGEND

	ROAD PAVEMENT	4.134 ACRES
	55' WIDTH LOTS (84 LOTS)	14.019 ACRES
	60' WIDTH LOTS (37 LOTS)	8.262 ACRES
	OPEN SPACE LOTS	6.646 ACRES
TOTAL SITE		36.754 ACRES
TOTAL LOTS		121 LOTS



FLANAGAN
Fort Worth, Texas | P: 817.704.0480 | flanagan-is.com | TBPE Firm No. 22910
Contact: Reece Flanagan, P.E.

PECAN LANDING
STEPHENVILLE, TEXAS
OVERALL SITE EXHIBIT

No.	Date	Revision Description

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM, THEY WILL BE SIGNED, SEALED, AND DATED BY:

M. REECE FLANAGAN, P.E.
TEXAS REGISTRATION NO. 129781
DATE: October 21, 2024

SHEET NUMBER
EXH-A

Texas 811
Know what's below. Call before you dig.
(@ least 48 hours prior to digging)

THIS SHEET IS INTEGRAL TO THE DESIGN DOCUMENTS AND SHALL NOT BE SEPARATED FROM THE PLAN SET.

PROJECT NO.: 2022-75-01