

Utility Easements

The streets and easements shown thereon are hereby dedicated to the Public use forever. The streets are dedicated for street purposes. The easements, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed, or placed upon, over or across the easements shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use the same. Any, and all public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all public utilities shall at all times have full right of ingress and egress to or from and upon reconstructing, inspecting, patrolling, maintaining, respective systems without the necessity at any time of procuring the permission of anyone.

Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and/or for any maintenance and service required or ordinarily performed by that utility. The easements dedicated are for the specific use of installing and maintaining water, sewer, electrical, natural gas, telephone, fiber or cablevision lines, and are not intended to be used for garbage dumpsters, the collection of garbage, or for the use of garbage vehicles in any manner.

Construction Over Easements

No permanent buildings or structures shall be constructed over any existing or platted water, sanitary sewer, gas, electric, cable or other utility easement of any type.

Underground Utilities

Underground utilities were not located during this survey. Call 811 and/or Utility Providers before excavation or construction.

Flood Hazard Note

This tract appears to be located within Other Areas. Zone "X" - areas determined to be located outside of the 0.2% Annual Chance Flood Plain, according to the F.I.R.M. Community Panel 48143C04300, dated November 16, 2011.

Special Notice

Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines, withholding of utilities, and/or building permits.

Additional Notes

No abstract of title or title commitment was provided to this surveyor. Record research performed by this surveyor was made only for the purpose of determining the boundary of this property and of the adjoining parcels. Record documents other than those shown on this survey may exist and encumber this property.

Please consult all applicable governing entities regarding rules & regulations, that may affect construction on this property.

All corners are set 1/2" iron rods with red plastic caps stamped "TEXAS SURVEYING INC", set p.k. nail, or cut "X" in concrete, unless otherwise noted. Corners will be set upon completion of development and/or construction activities.

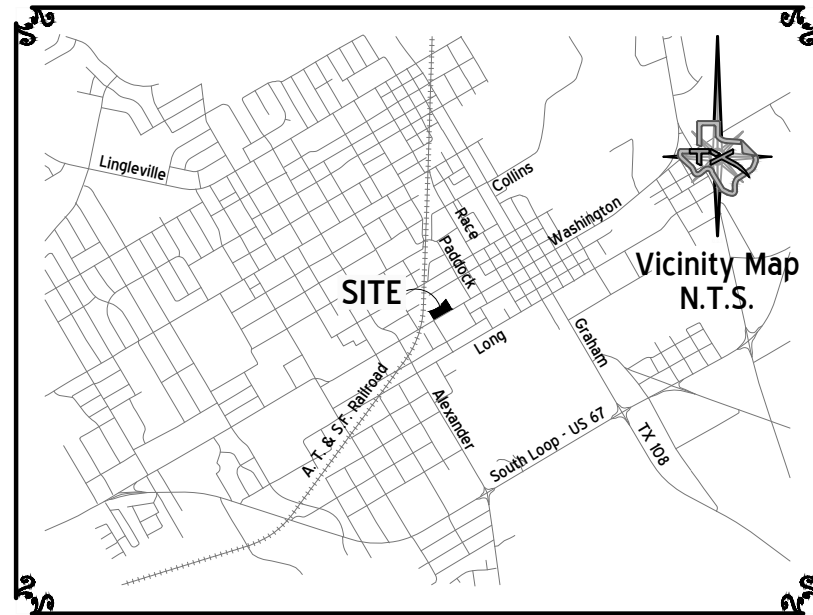
Lot X Note

All lots denoted with the suffix of "X" are common areas and/or green spaces, except Lot 25X & Lot 28X are private access, utility, & private drainage easements and Lot 26X is a 40' shared access & utility easement.

The City of Stephenville will never accept or maintain the roads and/or common areas shown hereon. Additionally, the City will not be responsible for providing enforcement of traffic control within this subdivision.

Notice to grantee(s) that all roads and/or common areas are private, the property owners shall be perpetually liable for maintenance and that the roads and/or common areas shall be maintained in such a standard which will not affect access by public service agencies such as police, fire and emergency medical services.

The City of Stephenville will never be responsible to maintain or repair the private water and/or sewer utilities within this subdivision and the property owners shall be perpetually liable for maintenance of said systems.

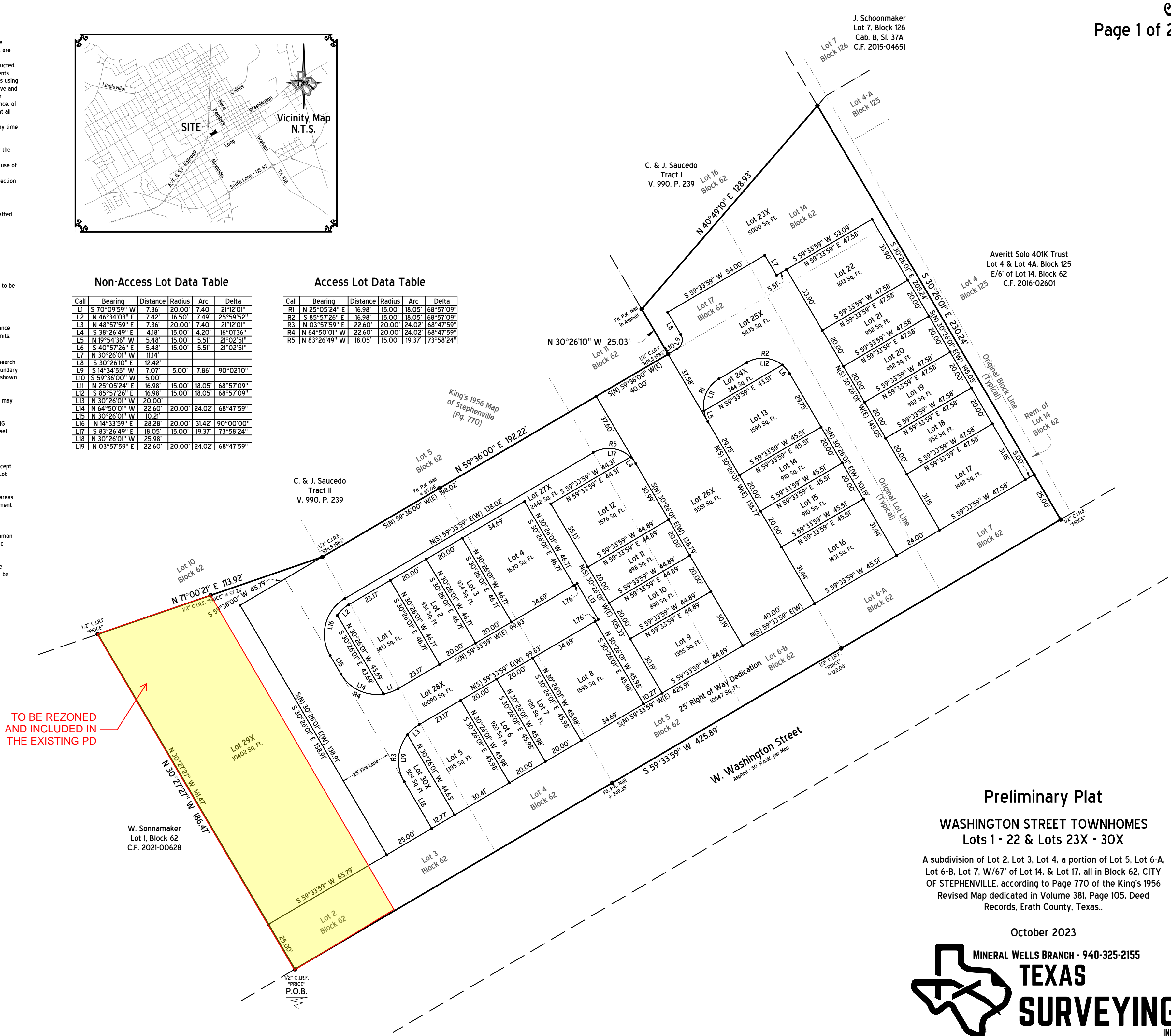


Non-Access Lot Data Table

Call	Bearing	Distance	Radius	Arc	Delta
L1	S 70°09'59" W	7.36'	20.00'	7.40'	21°12'01"
L2	N 46°34'03" E	7.42'	16.50'	7.49'	25°59'52"
L3	N 48°57'59" E	7.36'	20.00'	7.40'	21°12'01"
L4	S 38°26'49" E	4.18'	15.00'	4.20'	16°01'36"
L5	N 19°54'36" W	5.48'	15.00'	5.51'	21°02'51"
L6	S 40°57'26" E	5.48'	15.00'	5.51'	21°02'51"
L7	N 30°26'01" W	11.14'			
L8	S 30°26'10" E	12.42'			
L9	S 14°34'55" W	7.07'	5.00'	7.86'	90°02'10"
L10	S 59°36'00" W	5.00'			
L11	N 25°05'24" E	16.98'	15.00'	18.05'	68°57'09"
L12	S 85°57'26" E	16.98'	15.00'	18.05'	68°57'09"
L13	N 30°26'01" W	20.00'			
L14	N 64°50'01" W	22.60'	20.00'	24.02'	68°47'59"
L15	N 30°26'01" W	10.21'			
L16	N 14°33'59" E	28.28'	20.00'	31.42'	90°00'00"
L17	S 83°26'49" E	18.05'	15.00'	19.37'	73°58'24"
L18	N 30°26'01" W	25.98'			
L19	N 03°57'59" E	22.60'	20.00'	24.02'	68°47'59"

Access Lot Data Table

Call	Bearing	Distance	Radius	Arc	Delta
R1	N 25°05'24" E	16.98'	15.00'	18.05'	68°57'09"
R2	S 85°57'26" E	16.98'	15.00'	18.05'	68°57'09"
R3	N 03°57'59" E	22.60'	20.00'	24.02'	68°47'59"
R4	N 64°50'01" W	22.60'	20.00'	24.02'	68°47'59"
R5	N 83°26'49" W	18.05'	15.00'	19.37'	73°58'24"



J. Schoonmaker
Lot 7, Block 126
Cab. B. SI. 37A
C.F. 2015-04651

C. & J. Saucedo
Tract I
V. 990, P. 239

Averitt Solo 401K Trust
Lot 4 & Lot 4A, Block 125
E/6' of Lot 14, Block 62
C.F. 2016-02601

C. & J. Saucedo
Tract II
V. 990, P. 239

W. Sonnamaker
Lot 1, Block 62
C.F. 2021-00628

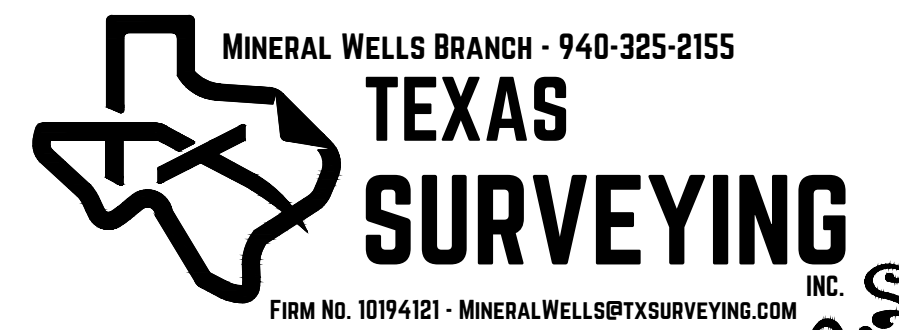
Preliminary Plat

**WASHINGTON STREET TOWNHOMES
Lots 1 - 22 & Lots 23X - 30X**

A subdivision of Lot 2, Lot 3, Lot 4, a portion of Lot 5, Lot 6-A, Lot 6-B, Lot 7, W/67' of Lot 14, & Lot 17, all in Block 62, CITY OF STEPHENVILLE, according to Page 770 of the King's 1956 Revised Map dedicated in Volume 381, Page 105, Deed Records, Erath County, Texas..

October 2023

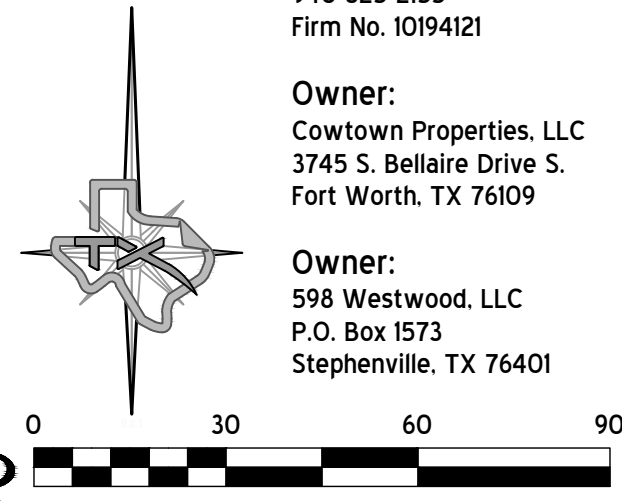
MINERAL WELLS BRANCH - 940-325-2155

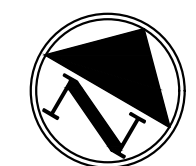


Surveyor:
Texas Surveying, Inc.
Mineral Wells Branch
112 S.E. 1st Street
Mineral Wells, TX 76067
940-325-2155
Firm No. 10194121

Owner:
Cowntown Properties, LLC
3745 S. Bellaire Drive S.
Fort Worth, TX 76109

Owner:
598 Westwood, LLC
P.O. Box 1573
Stephenville, TX 76401





LEGEND

- 25' R.O.W. DEDICATION
- PROPOSED FIRELANE
- F.H. PROPOSED FIRE HYDRANT
- WM PROPOSED WATER METER
- WV PROPOSED WATER VALVE
- CO PROPOSED SEWER SINGLE CLEANOUT
- SSMH PROPOSED SEWER MANHOLE
- G.I. PROPOSED GRATE INLET
- J.B. PROPOSED JUNCTION BOX
- C.I. PROPOSED CURB INLET
- STMH STORM SEWER MANHOLE
- GM GAS METER
- D.E. DRAINAGE EASEMENT
- W.E. WATER EASEMENT

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
3. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING AND DUMPSTER LAYOUT AND DESIGN.
4. FIRE LANE MARKINGS SHALL CONSIST OF 4" SOLID RED STRIPE.
5. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "FIRE LANE NO PARKING" EVERY TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.
6. PARKING STALL LINE SHALL BE A 4" SOLID WHITE STRIPE.
7. ALL PROPOSED SIGNAGE ON THE BUILDING WALLS AND SITE MUST COMPLY WITH UDDC ARTICLE 8 SIGN STANDARDS AND PERMITTING.
8. ANY ALTERATION TO THE SITE PLAN, INCLUDING BUILDING ELEVATION AND LANDSCAPE SUBSTITUTIONS, REQUIRE CITY APPROVAL THROUGH A REVISED PLAN, STAMPED BY STAFF.

ADA NOTES:

- CONTRACTOR TO ASSURE SITE ADA ACCESS AREAS AND ROUTES WITHIN:
- a. ASSURE THE RUNNING SLOPE AT THE WALKS ALONG THE ACCESSIBLE ROUTE HAVE A RUNNING SLOPE OF 1:20 OR 5% MAXIMUM (EXCEPT AT THE CURB RAMPS, WHICH CAN BE UP TO 1:12 OR 8.33%) AND A CROSS SLOPE OF 1:48 OR 2% MAXIMUM. THIS INCLUDES AT THE CROSSING OF DRIVE LANES (A COMMON ISSUE).
 - b. ASSURE THE MANEUVERING CLEARANCE AT THE EXTERIOR SIDE OF ALL ENTRY DOORS HAVE A SLOPE OF 1:48 OR 2% MAXIMUM IN ANY DIRECTION.
 - c. ASSURE A 30" X48" CLEAR FLOOR SPACE IS PROVIDED ADJACENT TO THE EXTERIOR SITE ELEMENTS SUCH AS THE BENCHES, TRASH CANS AND BIKE RACKS AND HAVE A SLOPE OF 1:48 OR 2% MAXIMUM IN ANY DIRECTION.

BENCHMARK

BM-1: C.I.R.S. "TEXAS SURVEYING INC" ELEVATION=1281.21 REFER TO SURVEY SHEET C1

TBM-2: SET PK NAIL IN CONCRETE ELEVATION=1286.67 REFER TO SURVEY SHEET C1

PRELIMINARY -FOR REVIEW ONLY-

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSE. THEY ARE PREPARED BY, OR UNDER THE SUPERVISION OF:

REECE FLANAGAN 129781
TYPE OR PRINT NAME FE #
10/16/2023 DATE

WASHINGTON STREET TOWNHOMES
BLK 62 & LOTS 3, 4, PT. 5, 6-A, 6B, 7, PT. 14, AND 17
CITY OF STEPHENVILLE, ERATH COUNTY, TEXAS

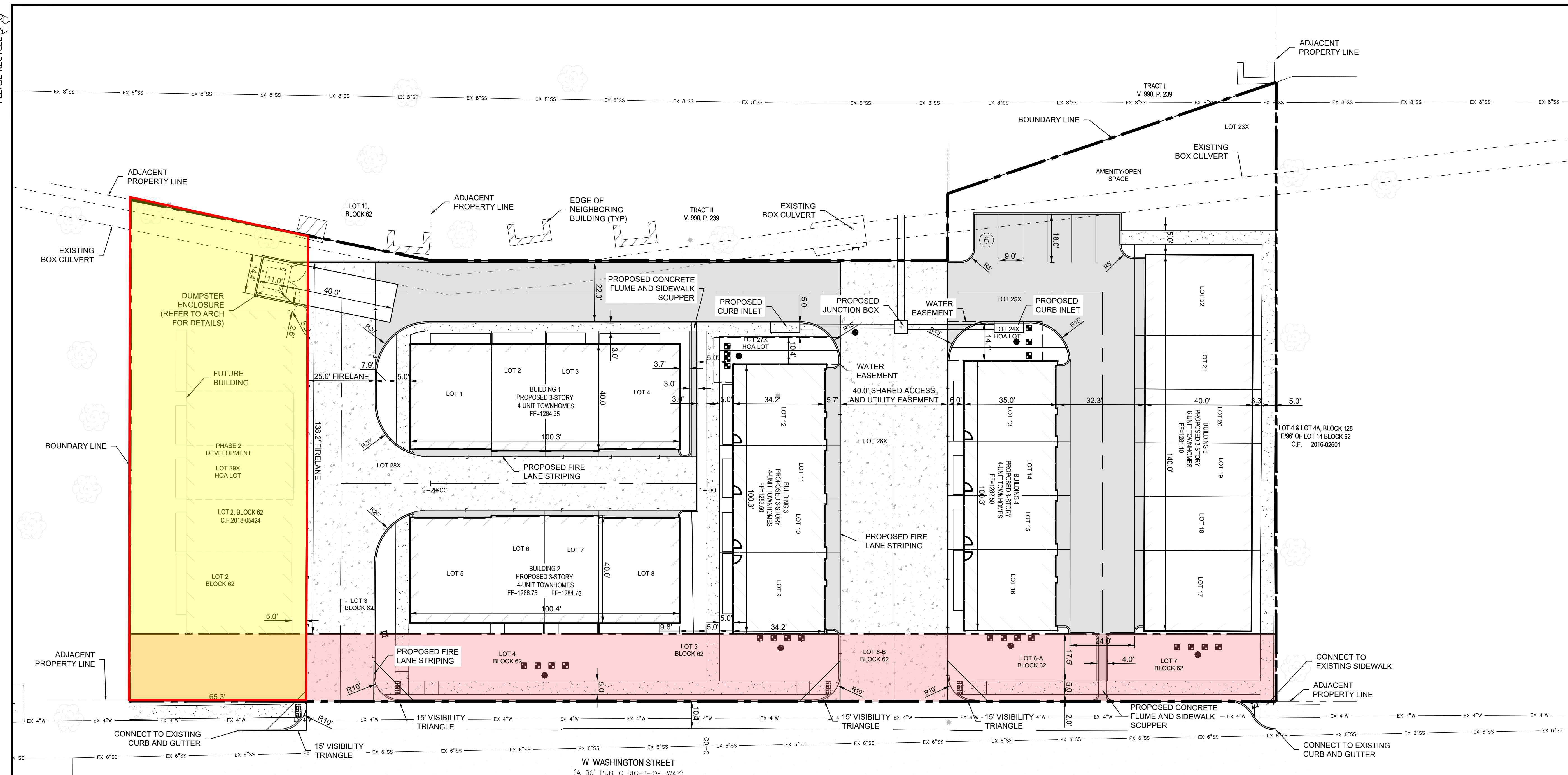
LAYOUT AND DIMENSIONAL CONTROL PLAN

4447 N. CENTRAL EXPRESSWAY
SUITE 110, BOX 123
DALLAS, TEXAS 75205
PHONE #: (940) 327-7963
FIRM NO. 22910

DESIGNED: FLS	DATE: OCTOBER 2023	PROJECT #: 2021-03-02	SHEET: C7
DRAWN: CEJ			
REVIEWER: MRF			

WASHINGTON STREET TOWNHOMES
SITE DATA TABLE

GENERAL SITE INFO		SITE DATA TABLE	
CURRENT ZONING	PD - PLANNED DEVELOPMENT (TOWNHOUSE LAND USE)		
TOTAL SITE AREA	76,685 S.F. / 1.76 AC		
TOTAL SITE AREA AFTER ROW DEDICATION	66,025 S.F. / 1.52 AC		
UNITS	22		
DENSITY	14.47 DU/AC (16 DU/AC ALLOWED MAXIMUM PER PD)		
PARKING DATA		REQUIRED	PROVIDED
PARKING SPACES (TOTAL)	46 = 2 SPACES/UNIT	60 = 2.72 SPACES/UNIT	
RESIDENT PARKING		54	
GUEST PARKING		6	
EACH UNIT HAS A 2-CAR (TYPE C) OR 3-CAR (TYPE D) GARAGE CONNECTING TO A SHARED ACCESS DRIVE			
SITE SETBACKS AND LOT SIZE		REQUIRED	PROVIDED
FRONT SETBACK		3' (MIN.)	3' (MIN.)
REAR SETBACK		3'	5'
INTERNAL SIDE SETBACK		5'	5' (MIN.)
MINIMUM LOT AREA		800 S.F.	840 S.F.
MINIMUM LOT WIDTH		20'	20' (MIN.)
MINIMUM LOT DEPTH		40'	42.80'



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