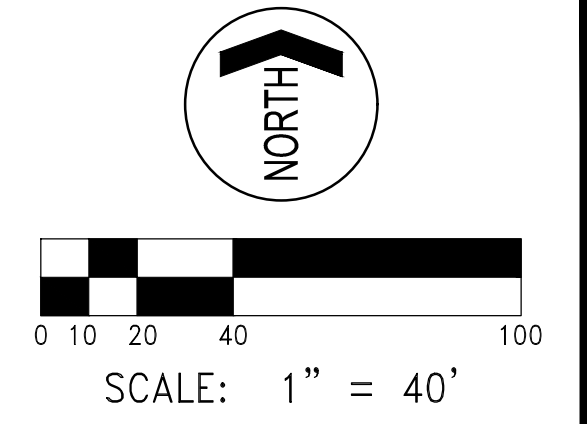


SITE PLAN NOTES:

1. APPROXIMATE AREA OF SITE IS 5.55 ACRES.
2. PROPOSED ZONING FOR SITE IS "PD".
3. THERE ARE 62 PROPOSED TOWNHOUSE UNITS IN 11 BUILDINGS. EACH BUILDING HAS A 1-CAR GARAGE PER UNIT.
4. INTERIOR STREETS SHALL HAVE A 50' WIDE PUBLIC RIGHT-OF-WAY WITH 31' WIDE (BACK OF CURB) PAVED STREETS.
5. SETBACKS SHALL BE 25' ALONG EXTERIOR STREETS. SETBACKS SHALL BE 20' ALONG INTERIOR STREETS. REAR SETBACKS SHALL BE 15' MINIMUM. SIDE SETBACKS FOR BUILDINGS SHALL BE 5' MIN.
6. ALL AREAS NOT COVERED BY BUILDING FOOTPRINTS OR PAVING WILL BE GRASS OR VEGETATIVE COVER.
7. SURFACE FOR ALL PROPOSED PARKING & MANEUVERING AREAS SHALL BE ASPHALT OR CONCRETE.
8. NO PORTION OF THIS DEVELOPMENT SITE LIES WITHIN THE 100-YEAR FLOODPLAIN ACCORDING TO FEMA FIRM MAP 480220-0430-D (NOVEMBER 16, 2011).



SITE PLAN LEGEND	
	SITE BOUNDARY
	BUILDING SETBACK
	PROPOSED LOT LINES
	STREET RIGHT-OF-WAY
	PROPOSED STREET CENTERLINE
	EXISTING PAVING
	PROPOSED PAVING
	PROPOSED DETENTION POND

3465 CURRY LANE
 ABILENE, TX 79606
 325-695-1070

1508 SANTA FE DR, STE.204
 HEA, WHEATLAND, TX 76086
 817-594-8680

1014 BROADWAY STREET
 LUBBOCK, TX 79401
 806-368-6375

JACOB MARTIN
 FIRM # F-2448

KEEWAYDIN DEVELOPMENTS, LLC.
 TARLETON CROSSING
 CONCEPT PLAN

NO.	REVISION	DATE	SCALE	1" = 40'
			PROJECT #	21212
			DESIGNED	K.R.
			DRAWN	K.R.
			CHECKED	T.F.
SHEET 1				
SEQ.				

BAR IS ONE INCH IN LENGTH ON ORIGINAL SCALE & ADJUST ACCORDINGLY.

X:\CM_KeeWaydin_Developments\21212-Tarleton Crossing - KeeWaydin\Drafting\PRELIM-TOWNHOME-SITE_2021-02-22.dwg