

## GENERAL NOTES

- THE CONTRACT DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS REQUIRED BY ONE, ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, OR ELECTRICAL DRAWINGS OR SPECIFICATIONS, ADDENDUM, BULLETINS, OR OTHER DOCUMENT, SHALL BE AS BINDING AS IF REQUIRED BY ALL. CONTRACTOR SHALL USE ONLY COMPLETE SETS OF CONTRACT DOCUMENTS FOR EACH AND EVERY ITEM OF WORK.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCE, A.D.A., T.A.S AND REGULATIONS OF ALL GOVERNING BODIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS PER THESE PLANS AND SPECIFICATIONS IN THIS LOCALITY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT. OWNER WILL PAY FOR BUILDING PERMIT.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR AND ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- ALL TRAFFIC CONTROLS ON THIS PROJECT SHALL ADHERE TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE OWNER SHALL NOT BE LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER OF THE OTHER PROPERTY.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION PROPERLY AND PROVIDE ALL SUITABLE FILL MATERIAL AS APPROVED BY THE SOILS ENGINEER, AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
- EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
- ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS AND IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND THAT THE CONTRACTOR SHALL REPLACE OR REPAIR ANY WORK OR MATERIAL FOUND TO BE DEFECTIVE.
- CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE IS USING ARE THE VERY LATEST PLANS AND SPECIFICATIONS.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICTS BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURE AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED, IF EXISTING UTILITY CONSTRUCTION CONFLICTS WITH REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS EXCEPT THAT THE SPECIFICATIONS, WHERE MORE STRINGENT, SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TAPS, EXTENSIONS, WATER AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, FAX MACHINE, TOILET, VALVES, OR OTHER DEVICES NECESSARY TO RUN POWER TOOLS AND EQUIPMENT. SUCH MODIFICATIONS TO EXISTING UTILITIES SHALL BE REMOVED AT COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT IN A TIMELY MANNER THAT WILL ALLOW NOT LESS THAN TEN DAYS FOR REVIEW. THE GENERAL CONTRACTOR SHALL SUBMIT CORRECT NUMBER REQUIRED, BUT NOT LESS THAN FOUR COPIES.
- THE GENERAL CONTRACTOR SHALL PROVIDE STREET NUMBERING ON THE BUILDING IN COMPLIANCE WITH LOCAL AUTHORITY.
- ALL PENETRATIONS THRU WALLS SHALL BE SEALED AIR/WATER TIGHT AND CAULKED WITH TWO PART SEALANT EACH SIDE.
- THE GENERAL CONTRACTOR SHALL PROVIDE ONE COPY OF AS-BUILT DRAWINGS TO THE OWNER AT THE COMPLETION OF THE PROJECT. AS-BUILT DRAWINGS SHALL BE KEPT ON THE JOB AT ALL TIMES AND UPDATED THROUGHOUT THE CONSTRUCTION PHASE.
- UNLESS NOTED OTHERWISE, SITE PLAN DIMENSIONS, ARE TO FACE OF CURB. FLOOR PLAN DIMENSIONS ARE TO FACE OF STUDS, FRAMING, MASONRY, CONCRETE WALL PANELS, OR FOUNDATION WALLS.
- SPECIAL INSPECTIONS NOTE:  
AT THE COMPLETION OF CONSTRUCTION, A FINAL REPORT OF REQUIRED SPECIAL INSPECTIONS PREPARED BY THE REGISTERED DESIGN PROFESSION IN RESPONSIBLE CHARGE THAT CONFIRMS THAT THE LISTED REQUIRED SPECIAL INSPECTIONS HAVE BEEN CONDUCTED AND COMPLETED WILL BE SUBMITTED TO THE BUILDING OFFICIAL, VIA THE OWNER. IT IS OUR UNDERSTANDING THAT A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF SAN ANTONIO UNTIL THIS FINAL REPORT IS RECEIVED. REFER TO DOCUMENT LABELED "DETERMINATION OF REQUIRED SPECIAL INSPECTIONS" AS WELL AS STRUCTURAL SHEET OR REQUIRED INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DOCUMENTATION THAT ALL REQUIRED INSPECTIONS HAVE BEEN CONDUCTED AND ALL REPORTED NON-COMPLYING ITEMS HAVE BEEN RESOLVED.
- GOVERNING CODE AND FIRE DEPARTMENT, FIELD INSPECTORS SHALL DICTATE SIZE, TYPE, QUANTITY AND LOCATIONS OF BOTH TEMPORARY AND PERMANENT PORTABLE FIRE EXTINGUISHERS.
- ALL EXPOSED ELECTRICAL EQUIPMENT, CONDUITS, PLUMBING LINES, ETC. SHALL BE PAINTED W/ MIN (2) COATS OF PAINT TO MATCH ADJACENT SURFACES.
- KNOX BOX-LOCATE PER LOCAL FIRE DEPARTMENT REQUIREMENTS.

## CODE INFORMATION

CLIENT..... BMY WEALTH MANAGMENT  
PROJECT ADDRESS..... FM 988 & PECAN HILL DR. STEPHENVILLE , TX 76401

### APPLICABLE CODES

BUILDING CODE..... 2015 IBC  
FIRE CODE..... 2015 IFC  
MECHANICAL CODE..... 2015 IMC  
PLUMBING CODE..... 2015 IPC  
ELECTRICAL CODE..... 2014 NEC  
ENERGY CODE..... 2018 IECC

### CODE ANALYSIS

SINGLE STORY STUD FRAMED STRUCTURE. NON SPRINKLED W/ B (OFFICE) OCCUPANCY.  
PROPOSED ZONING..... PD  
TYPE OF CONSTRUCTION..... V-B  
NUMBER OF STORIES..... 1  
ALLOWABLE HEIGHT (S)..... 35'  
OCCUPANCY GROUP..... B (OFFICE)  
ALLOWABLE BUILDING AREA (NON-SPRINKLED)..... 9,000 SQFT

### GROSS BUILDING SQUARE FOOTAGE

GROSS FLOOR AREA..... 6,800 SQFT

### EXIT CALCULATIONS

PER IBC TABLE  
CORRIDOR WIDTH REQUIRED 1005.3.2, 1020.2.....36" (M, B, S)  
EXIT WIDTH REQUIRED 1010.1.....32" CLEAR  
MINIMUM NUMBER OF EXITS (BUSINESS) ..... 2  
(1006.2.1, 1006.3.2)  
MAXIMUM COMMON PATH TRAVEL DISTANCE..... 75'  
(1006.2.1)  
MAXIMUM EXIT ACCESS TRAVEL DISTANCE..... 200'  
(1017.2)  
NO FIRE RATED INTERIOR PARTITIONS REQD.

## PROJECT DESCRIPTION

NEW CONSTRUCTION OF A SINGLE STORY OFFICE BUILDING THE BUILDING WILL NOT BE SPRINKLED.

## SHEET LIST

SHEET LIST			
Sheet Discipline	Sheet Number	Sheet Name	Sheet Issue Date
00 GEN	G000	COVER SHEET	01/07/2022
01 CIVIL	EXH	ZONING EXHIBIT - SITE PLAN	01/07/22
02 ARCH	A001	DRAWING INFORMATION	01/07/2022
02 ARCH	A010	LIFE SAFETY PLAN	01/07/2022
02 ARCH	A100	SITE PLAN	01/07/2022
02 ARCH	A110	FLOOR PLAN	01/07/2022
02 ARCH	A115	REFLECTED CEILING PLAN	01/07/2022
02 ARCH	A120	ROOF PLAN	01/07/2022
02 ARCH	A200	ELEVATIONS	01/07/2022
02 ARCH	A300	BUILDING SECTIONS	01/07/2022
02 ARCH	A900	3D VIEWS	01/07/2022

## LOCATION PLAN

FM 988 & PECAN HILL DR.



## RENDERING



51 Essex Street . San Antonio . TX 78210  
P.210.943.3777 E. info@creoarc.com  
www.creoarc.com

### Design Team

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

Consultant  
Address  
Address  
Phone  
Fax  
e-mail

### CLIENT

NAME: Justin Haschke  
ADDRESS: FM 988 NW & Pecan Hill Dr.

### PROJECT

Stephenville Office

### PROJECT KEY



### ARCHITECT STAMP

NOT FOR CONSTRUCTION  
FOR PD REGULATORY  
APPROVAL ONLY

### REVISIONS

No.	Description	Date

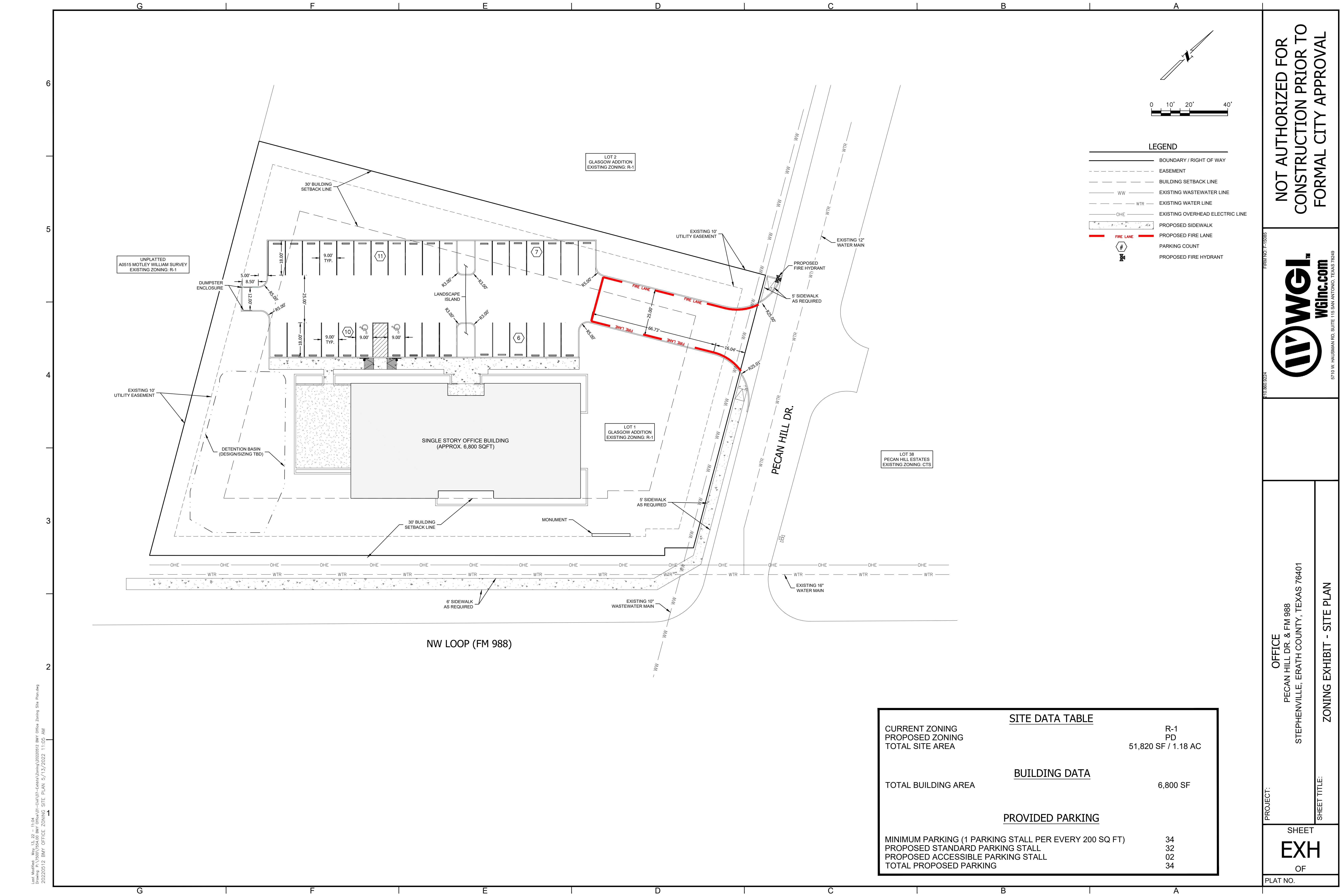
### SHEET TITLE

COVER SHEET

### DWG INFO

PROJECT: 2004  
ISSUE DATE: 05/13/2022  
DRAWN BY: SS  
CHECKED BY: SS

SHEET **G000**



NOT AUTHORIZED FOR  
CONSTRUCTION PRIOR TO  
FORMAL CITY APPROVAL



PROJECT:  
OFFICE  
PECAN HILL DR. & FM 988  
STEPHENVILLE, ERATH COUNTY, TEXAS 76401

SHEET TITLE:  
ZONING EXHIBIT - SITE PLAN

SHEET  
**EXH**  
OF  
PLAT NO.

SITE DATA TABLE	
CURRENT ZONING	R-1
PROPOSED ZONING	PD
TOTAL SITE AREA	51,820 SF / 1.18 AC
BUILDING DATA	
TOTAL BUILDING AREA	6,800 SF
PROVIDED PARKING	
MINIMUM PARKING (1 PARKING STALL PER EVERY 200 SQ FT)	34
PROPOSED STANDARD PARKING STALL	32
PROPOSED ACCESSIBLE PARKING STALL	02
TOTAL PROPOSED PARKING	34

User: Mofid... May 13, 2022 11:04 AM  
 20220512 BMY OFFICE ZONING SITE PLAN 5/13/2022 11:05 AM

No.	Description	Date

# DRAWING INFORMATION

PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
 DRAWN BY: SS  
 CHECKED BY: SS

## ABBREVIATIONS

ABV. ABOVE	FIG. FIGURE	PERI. PERIMETER
A.F.F. ABOVE FINISHED FLOOR	FIN. FINISH(ED)	PERP. PERPENDICULAR
ADD. ADDITION	FIXT. FIXTURE	PK. PARKING
ADH. ADHESIVE	FLG. FLASHING	PL. PLATE
ADJ. ADJACENT	FLUOR. FLUORESCENT	PLAS. PLASTER
ADJT. ADJUSTABLE	FLR. FLOOR(ING)	PWD. PLYWOOD
AGG. AGGREGATE	FND. FOUNDATION	PNT. PAINT
ALT. ALTERNATE	FP. FIREPROOF	PT. POINT
ALUM. ALUMINUM	FR. FRAME(D), (ING)	PTN. PARTITION
APPD. APPROVED	G.C. GENERAL CONTRACTOR	PV. PAVE(ING)
APPROX. APPROXIMATE	GA. GAUGE	PVC. POLYVINYL CHLORIDE
ARCH. ARCHITECT(URAL)	GALV. GALVANIZED	PVMT. PAVEMENT
AVG. AVERAGE	GD. GRADE, GRADING	R. RISER
B.S. BOTH SIDES	GL. GLASS, GLAZING	R.A. RETURN AIR
BD. BOARD	GWB. GYPSUM WALLBOARD	R.D. ROOF DRAIN
BEL. BELOW	GYP. GYPSUM	R.H. RIGHT HAND
BET. BETWEEN	GYP.PL. GYPSUM PLASTER	R.O. ROUGH OPENING
BLKG. BLOCKING	H.B. HOSE BIB	R.O.W. RIGHT OF WAY
BM. BEAM	H.C. HOLLOW CORE	RAD. RADIUS
BOT. BOTTOM	H.M. HOLLOW METAL	RFG. ROOFING
C.M.U. CONCRETE MASONRY UNIT	H.V.A.C. HEAT/VENT/AIR CONDITIONING	RFL. REFLECT(ED), (IVE), (OR)
C.O. CLEAN OUT	H.W. HOT WATER	REF. REFERENCE
C.W. COLD WATER	HDR. HEADER	REFR. REFRIGERATOR
CTL.JT. CONTROL JOINT	HDW. HARDWARE	REM. REMOVE
CAB. CABINET	HORIZ. HORIZONTAL	RES. RESILIENT
CEM. CEMENT	HR. HOUR	RET. RETURN
CER. CERAMIC	HT. HEIGHT	REV. REVISION
CHAM. CHAMFER	HTG. HEATING	RM. ROOM
CIR. CIRCLE	HWD. HARDWOOD	S.C.W. SOLID CORE WOOD
CK. CAULK(ING)	I.D. INSIDE DIAMETER	S.D. STORM DRAIN
CLG. CEILING	IN. INCH	SCHED. SCHEDULE(D)
CLO. CLOSET	INCL. INCLUDE(D), (ING)	SEC. SECTION
CLR. CLEAR(ANCE)	INS. INSULATE(D), (ING)	SH. SHELF(VES), (VING)
CNTR. COUNTER	INT. INTERIOR	SHTH. SHEATHING
COL. COLUMN	JT. JOINT	SHT. SHEET
COMP. COMPRESS(ED), (ION), (IBLE)	L. LENGTH	SIM. SIMILAR
COMPO. COMPOSITION (COMPOSITE)	L.H. LEFT HAND	SNT. SEALANT
CONC. CONCRETE	LAM. LAMINATE	SP. SOUNDPROOF
CONN. CONNECTION	LAV. LAVATORY	SPK. SPEAKER
CONST. CONSTRUCTION	LT. LIGHT	SPEC. SPECIFICATION(S)
CORR. CORRUGATED	LTL. LINTEL	SQ. SQUARE
CPT. CARPET (ED)	LVR. LOUVER	S.S. STAINLESS STEEL
CSMT. CASEMENT	MAX. MAXIMUM	STL. STEEL
CTR. CENTER	MBR. MEMBER	STR. STRUCTURAL
D. DRAIN	MECH. MECHANICAL	STD. STANDARD
D.H. DOUBLE HUNG	MED. MEDIUM	STOR. STORAGE
DBL. DOUBLE	MFR. MANUFACTURER	SUSP. SUSPENDED
DEM. DEMOLISH, DEMOLITION	MIN. MINIMUM	SYS. SYSTEM
DIAG. DIAGONAL	MIR. MIRROR	T. TREAD
DIA. DIAMETER	MISC. MISCELLANEOUS	T.O.S. TOP OF STRUCTURE
DIM. DIMENSION	MLD. MOLDING, MOULDING	T.P.D. TOILET PAPER DISPENSER
DIV. DIVISION	MO. MONTH	T.O.STL. TOP OF STEEL
DN. DOWN	MOV. MOVABLE	TEL. TELEPHONE
DR. DOOR	MT. MOUNT(ED), (ING)	TEMP. TEMPERATURE
DS. DOWNSPOUT	MTL. METAL	THK. THICK(NESS)
DTL. DETAIL	MULL. MULLION	THR. THRESHOLD
DW. DISHWASHER	N.I.C. NOT IN CONTRACT	TYP. TYPICAL
DWG. DRAWING	N.T.S. NOT TO SCALE	V.B. VAPOR BARRIER
DWR. DRAWER	NO. NUMBER	VERT. VERTICAL
E.P. ELECTRICAL PANELBOARD	NOM. NOMINAL	VIN. VINYL
ELEV. ELEVATION	O.C. ON CENTER	VNR. VENEER
EQ. EQUIVALENT	O.D. OUTSIDE DIAMETER	VOL. VOLUME
EQUIP. EQUIPMENT	OH. OVERHEAD	W.C. WATER CLOSET
F.A. FIRE ALARM	OPNG. OPENING	W.H. WATER HEATER
F.B.O. FURNISHED BY OTHERS	OPP. OPPOSITE	W.I. WROUGHT IRON
F.D. FLOOR DRAIN	OPP.HD. OPPOSITE HAND	W.M. WIRE MESH
F.E. FIRE EXTINGUISHER	P.L. PROPERTY LINE	W.S. WEATHERSTRIPPING
F.F.E. FINISH FLOOR ELEVATION	P.LAM. PLASTIC LAMINATE	WD. WOOD
F.O.F. FACE OF FINISH	PERF. PERFORATE(D)	WDW. WINDOW
F.O.S. FACE OF STUD		WP. WATERPROOFING
F.R. FIRE RATED		WT. WEIGHT
FAS. FASTEN(ER)		
FGL. FIBERGLASS		

## SYMBOLS

THE FOLLOWING DRAWINGS SYMBOLS INCLUDE, BUT ARE NOT LIMITED TO THOSE TYPICALLY FOUND IN A SET OF CONSTRUCTION DOCUMENTS

FLOOR LEVEL LINE

MATCHLINE (SHADED PORTION)

COLUMN GRIDS

ROOM TAG

REVISION TAG

WINDOW TAG

DOOR TAG

NORTH ARROW

BUILDING SECTION TAG

WALL SECTION TAG

SEE ABOVE FOR EXPLANATION

ELEVATION TAG

THE ARROW POINTS IN THE DIRECTION OF THE VIEW FOR THE ELEVATION. THE NUMBER IS A REFERENCE TO THE ELEVATION DRAWING. IN THIS EXAMPLE, DRAWING 2 ON SHEET A300

DETAIL KEY

THIS SYMBOL IS A KEY TO A DETAIL DRAWN OF THE AREA WITHIN THE DASHED LINES. THE NUMBER IS A REFERENCE TO THE DETAIL DRAWING. FOR EXAMPLE, DRAWING 1/A101 REPRESENTS DRAWING 1 ON SHEET A101

PARTITION TYPE TAG

WALL TYPE

APPROX. SIZE OF STRUCTURAL ELEMENT

## INDEX

ARCHITECTURAL	ELECTRICAL	ELECTRICAL	OTHER
COVER SHEET			
A001 DRAWING INFORMATION			
A100 SITE PLAN AND SCHEDULE			
A110 FLOOR PLANS AND SCHEDULE			

## SHEET NUMBERING

### A401

EACH SHEET OF DRAWINGS IS NUMBERED IN THE LOWER RIGHT HAND CORNER. SHEETS ARE NUMBERED FIRST BY SECTION LETTER THEN BY SHEET NUMBER WITHIN THE SECTION. FOR EXAMPLE, SHEET A401 REPRESENTS SHEET 401 WITHIN THE ARCHITECTURAL SECTION.

## DRAWINGS

DRAWINGS ARE ORGANIZED ACCORDING TO A "SECTION FORMAT" WITH EACH SECTION DESCRIBING A GENERAL ASPECT OF THE CONSTRUCTION. THE FOLLOWING LISTING ILLUSTRATES A TYPICAL SEQUENCE OF DRAWINGS DEVELOPED FOR A LOGICAL SECTION OF WORK.

SECTION G	GENERAL PROJECT INFORMATION & DRAWINGS
SECTION C	CIVIL DRAWINGS
SECTION A	ARCHITECTURAL DRAWINGS
SECTION S	STRUCTURAL DRAWINGS
SECTION M	MECHANICAL DRAWINGS
SECTION E	ELECTRICAL DRAWINGS
SECTION P	PLUMBING DRAWINGS
SECTION L	LANDSCAPE DRAWINGS

## GENERAL NOTES

THIS PROJECT COMPLIES WITH THE 20D9 INTERNATIONAL CODE SERIES, AS ADOPTED BY \_\_\_\_\_, AND WITH THE CODE ORDINANCES OF \_\_\_\_\_

MATERIALS SHALL BE NEW, EXCEPT AS NOTED OTHERWISE, AND SHALL CONFORM TO THE LATEST STANDARDS OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, THE AMERICAN INSTITUTE FOR STEEL CONSTRUCTION, THE AMERICAN CONCRETE INSTITUTE, AND LOCAL APPLICABLE BUILDING CODES, AND HANDLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

ALL WORK SHALL BE PERFORMED TO THE HIGHEST STANDARD FOR FIRST QUALITY CONSTRUCTION BY MECHANICS AND ARTISANS SKILLED IN THEIR RESPECTIVE TRADES

ALL TRADES SHALL PROTECT THEIR OWN WORK TO PREVENT DAMAGE BY OTHERS DURING THE COURSE OF CONSTRUCTION

THE GENERAL CONTRACTOR SHALL EXAMINE THE CONTRACT DOCUMENTS AND BE FAMILIAR WITH ALL OF THE MATERIAL CONTAINED HEREIN AND SHALL MAKE ANY AND ALL INFORMATION CONTAINED HEREIN AVAILABLE TO ANY AND ALL OF THE GENERAL CONTRACTOR'S SUBCONTRACTORS AND MATERIAL SUPPLIERS, AND TO MAKE CERTAIN THEY ARE FAMILIAR WITH THE APPLICABLE INFORMATION HEREIN

ALL BIDS SUBMITTED AND ACCEPTED UNDER THIS CONTRACT SHALL INCLUDE ALL MATERIAL AND LABOR NECESSARY TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS

REASONABLE PROFESSIONAL CARE AND DILIGENCE IS ASSUMED IN THE PREPARATION OF THESE DOCUMENTS. SHOULD ERRORS AND/OR OMISSIONS OCCUR, ALL WORK ON THE AFFECTED AREA OF THE PROJECT WILL STOP AT ONCE, AND SAID ERRORS AND/OR OMISSIONS SHALL BE REFERRED TO THE DESIGNER FOR RESOLUTION. WORK ON THE AFFECTED AREA OF THE PROJECT SHALL RESUME ONLY UPON WRITTEN APPROVAL BY THE DESIGNER

PROPERTY DIMENSIONS, BEARINGS, SETBACKS, EASEMENTS AND UTILITIES ARE SUPPLIED TO THE DESIGNER BY OTHERS AND ASSUMED ACCURATE. THE DESIGNER SHALL MAKE EVERY EFFORT TO INSURE THE ACCURACY OF THE WORK PROVIDED BY OTHERS, BUT CANNOT GUARANTEE OR BE RESPONSIBLE FOR WORK PROVIDED BY OTHERS

NO SUBSTITUTION, DEVIATION, OR CHANGE FROM THE CONTRACT DOCUMENTS SHALL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE DESIGNER

DRAWINGS ARE NOT TO BE SCALED. IF NOTED DIMENSIONS DO NOT ADEQUATELY DESCRIBE AN AREA, REFER AT ONCE TO THE DESIGNER

FIELD VERIFY ALL CABINETS, MIRRORS, WINDOWS, DOORS, ETC. PRIOR TO FABRICATION AND/OR INSTALLATION

FINAL LOCATIONS OF ALL SWITCHES, OUTLETS, GRILLES, ETC. SHALL BE DETERMINED AT THE SITE IN CONSULTATION WITH THE OWNER. ALL SUBCONTRACTORS SHALL VERIFY THAT ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS CAN BE INSTALLED IN THE SPACE ALLOCATED

TEMPORARY FACILITIES FOR THE PROTECTION OF MATERIALS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

Design Team  
 Consultant  
 Address  
 Address  
 Phone  
 Fax  
 e-mail  
 Consultant  
 Address  
 Address  
 Phone  
 Fax  
 e-mail

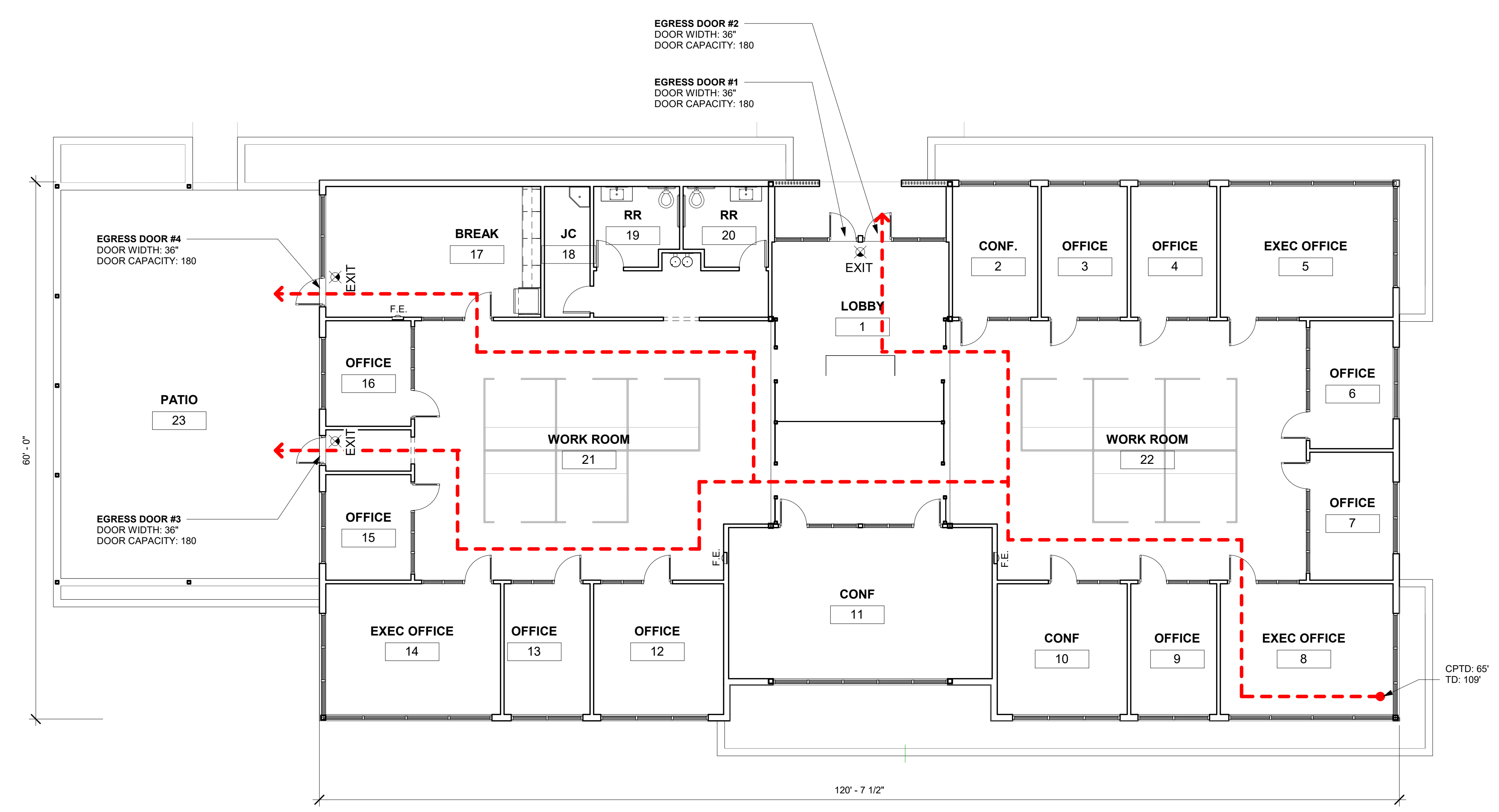
**PLUMBING FIXTURE CALCULATIONS 2015 IBC (TABLE 2902.1.1)**

**PLUMBING FIXTURES - OFFICE (BUSINESS OCCUPANCY)**

OCC. LOAD	WC		LAV.		SERVICE SINK	DRINKING FOUNTAIN
	1/25 (M) = 1 WC	1/25 (F) = 1 WC	1/40 (M) = 1 LAV	1/40 (F) = 1 LAV		
50	REQ'D WC'S		REQ'D LAV'S		1 REQUIRED	1 REQUIRED
	M	F	M	F		
	1	1	1	1		

**OCCUPANCY CALCULATIONS 2015 IBC (TABLE 1004.5)**

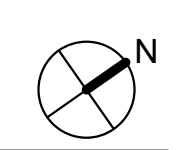
<u>BUSINESS</u>		AREA (S.F.)	OCC. LOAD
FUNCTION	OCC. FACTOR		
OFFICE/CONF. ROOM	100 GROSS	6,800	68 (PROPOSED 50 MAX)



① LEVEL 1 - LIFE SAFETY  
 1/8" = 1'-0"

CLIENT  
 NAME: Justin Haschke  
 ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT  
**Stephenville Office**



PROJECT KEY

ARCHITECT STAMP

NOT FOR CONSTRUCTION  
 FOR PD REGULATORY  
 APPROVAL ONLY

REVISIONS

No.	Description	Date

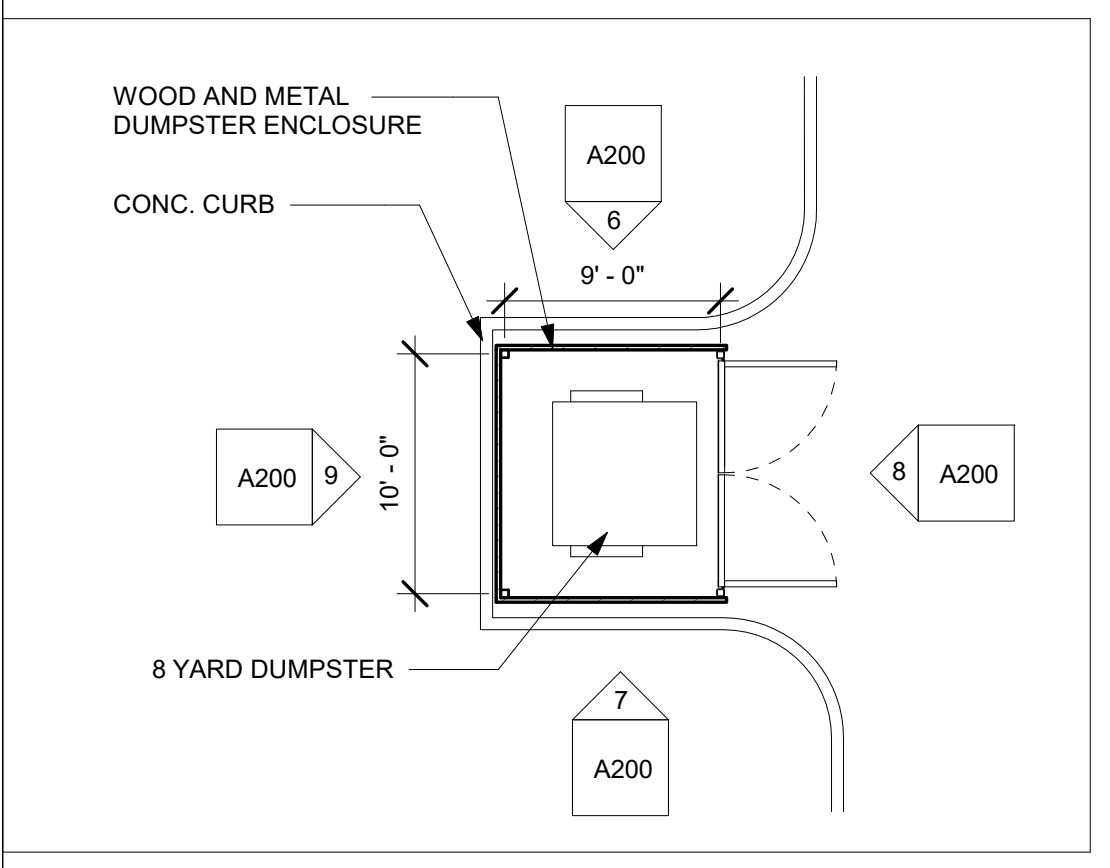
SHEET TITLE  
**LIFE SAFETY PLAN**

DWG INFO  
 PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
 DRAWN BY: SS  
 CHECKED BY: SS

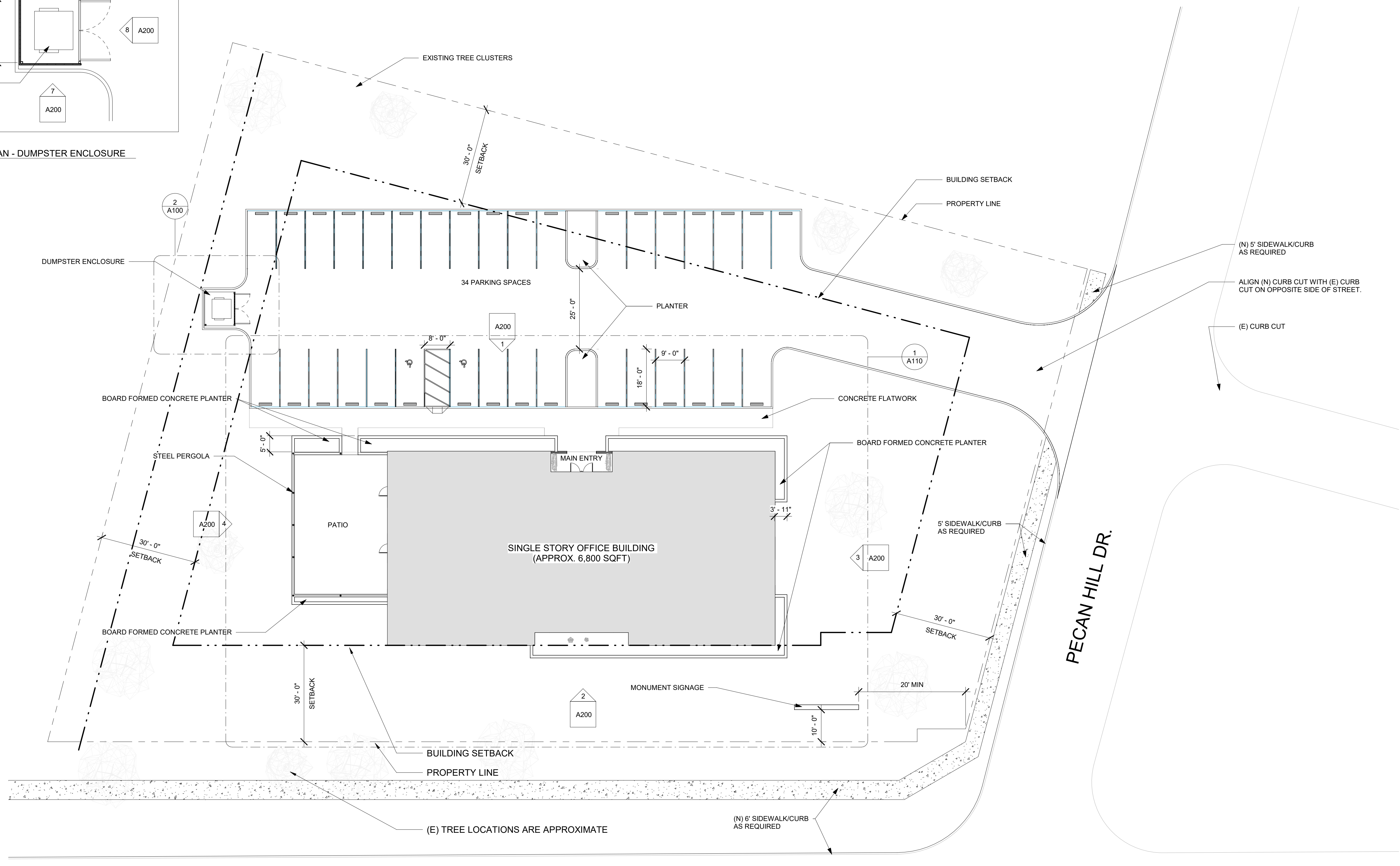
**NOT FOR CONSTRUCTION**  
**FOR PD REGULATORY**  
**APPROVAL ONLY**

REVISIONS

No.	Description	Date



2 FLOOR PLAN - DUMPSTER ENCLOSURE  
 1/8" = 1'-0"



NW LOOP (FM 988)

1 Site  
 1/16" = 1'-0"

**NOT FOR CONSTRUCTION**  
**FOR PD REGULATORY**  
**APPROVAL ONLY**

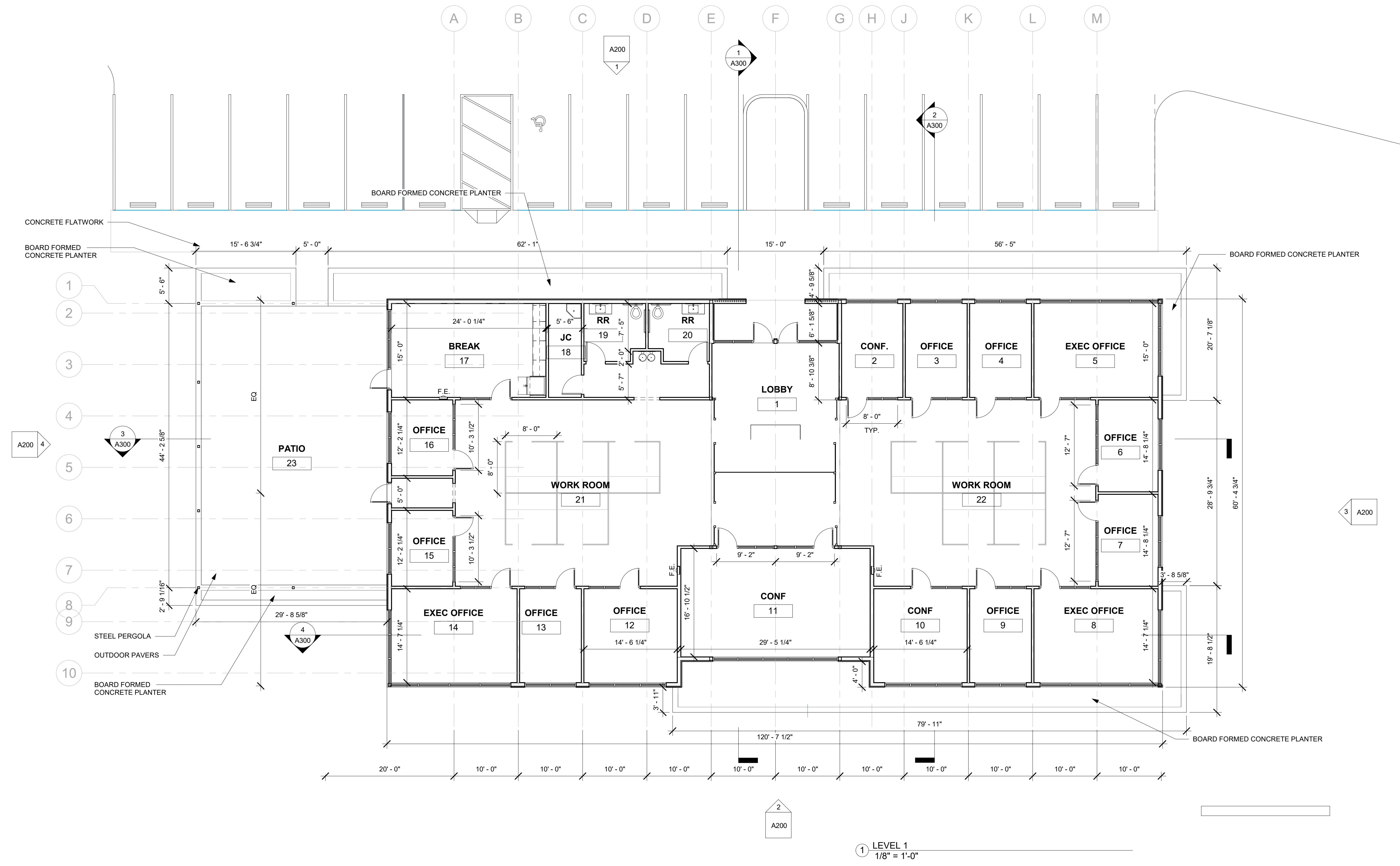
REVISIONS

No.	Description	Date

SHEET TITLE  
**FLOOR PLAN**

DWG INFO  
 PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
 DRAWN BY: SS  
 CHECKED BY: SS

**SHEET A110**



1 LEVEL 1  
 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**  
**FOR PD REGULATORY APPROVAL ONLY**

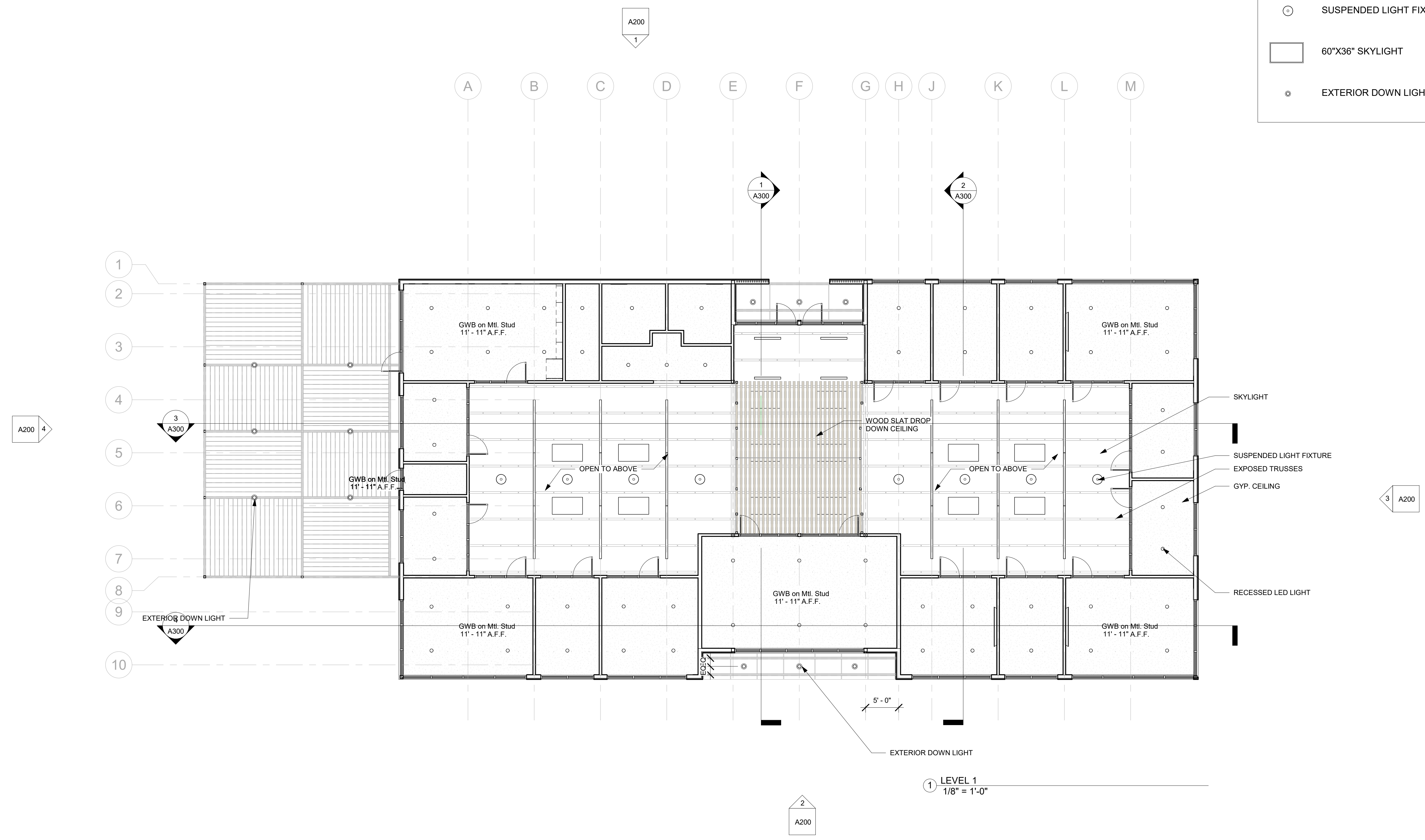
REVISIONS

No.	Description	Date

NOTES:  
 1. GENERAL CONTRACTOR TO USE PROVIDED FINISH AND LIGHT FIXTURE INFORMATION AS BASIS OF DESIGN AND PRESENT ALTERNATIVE MANUFACTURER'S TO OWNER AS REQ'D.  
 2. SWITCH LOCATIONS TO BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO INSTALLATION.

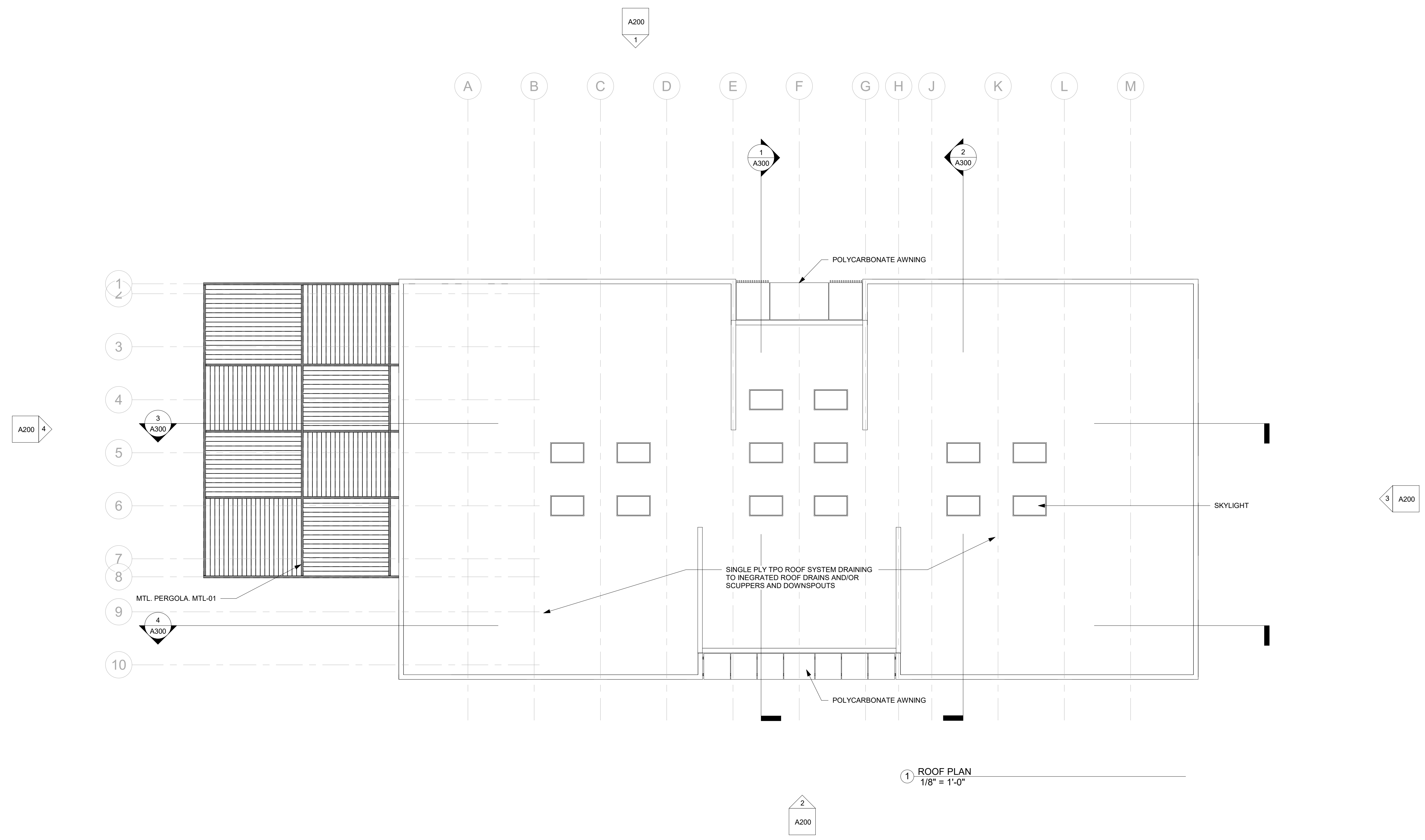
REFLECTED CEILING PLAN LEGEND

	GYP. BOARD
	WOOD SLATS - STAINED
	RECESSED LED LIGHT
	4' RECTANGULAR SURFACE MOUNTED LIGHT
	SUSPENDED LIGHT FIXTURE
	60\"X36\" SKYLIGHT
	EXTERIOR DOWN LIGHT



REVISIONS

No.	Description	Date

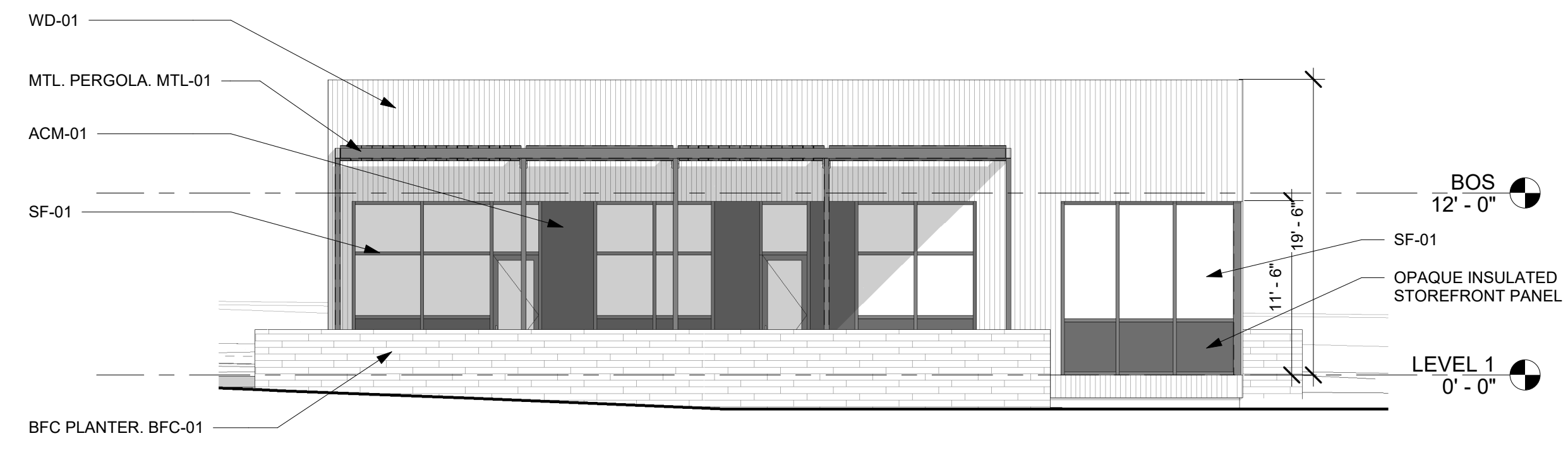


1 ROOF PLAN  
 1/8" = 1'-0"

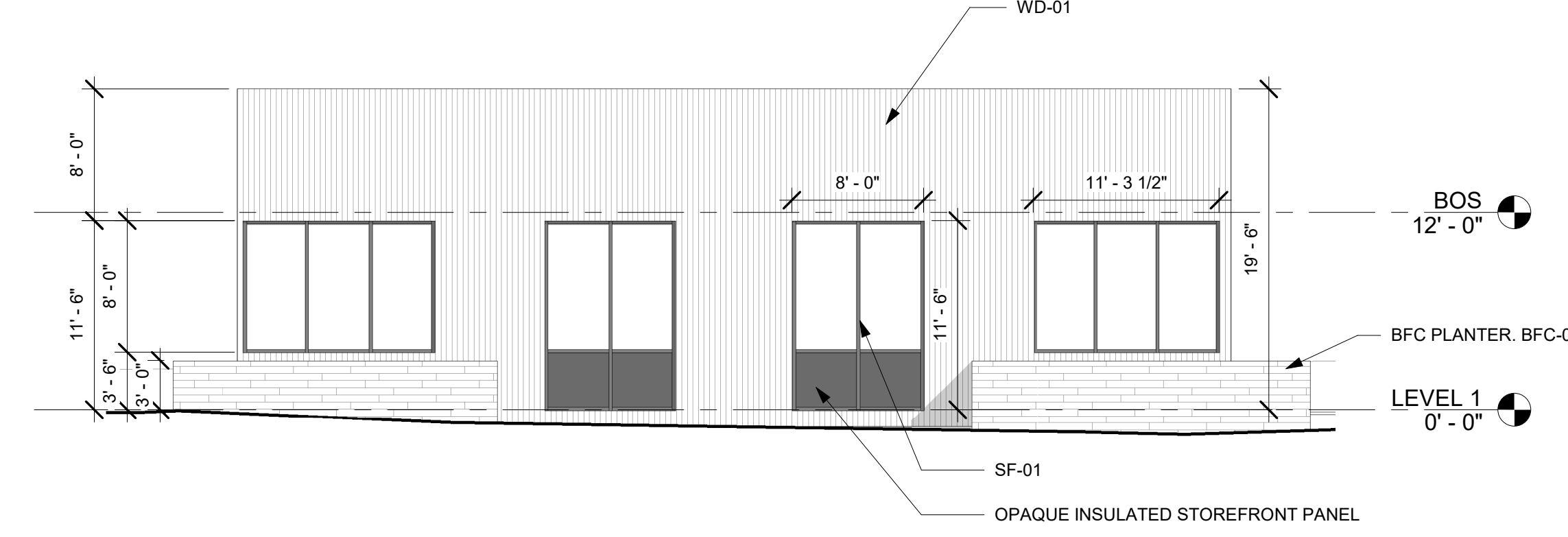


**EXTERIOR LEGEND**

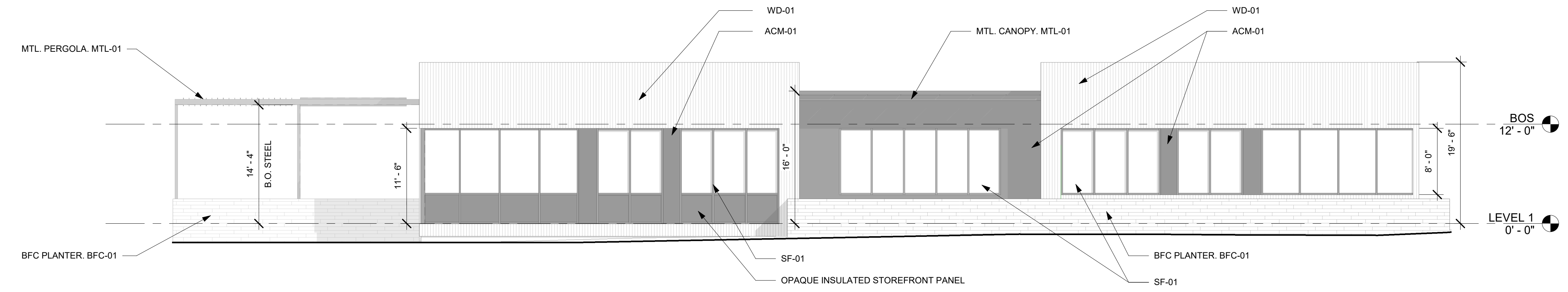
SYMBOL	DESCRIPTION
WD-01	VERTIAL WOOD RAINSCREEN FACADE
	WESTERN RED CEDAR RAINSCREEN FACADE
ACM-01	ALUM. COMPOSITE METAL PANEL ALUMINUM COMPOSITE METAL PANEL SYSTEM INSTALLED OVER C.I.
BFC-01	BOARD FORMED CONCRETE
	BOARED FORMED CONCRETE WALL / PLANTER
MTL-01	PAINTED METAL
	PAINTED EXPOSED METAL
SF-01	ALUMINUM STOREFRONT
	THERMALLY BORKEN ANNOIDIZED ALUMINUM STOREFRONT SYSTEM
D-01	ALUMINUM FRAMED DOORS
	THERMALLY BORKEN ANNOIDIZED ALUMINUM FRAMED SLIDING DOORS. REFER TO DOOR SCHEDULES



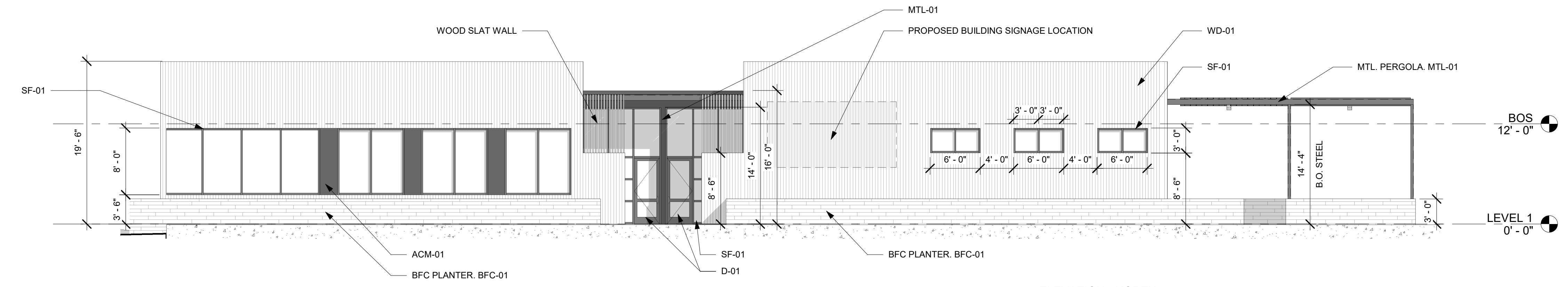
④ ELEVATION - WEST  
1/8" = 1'-0"



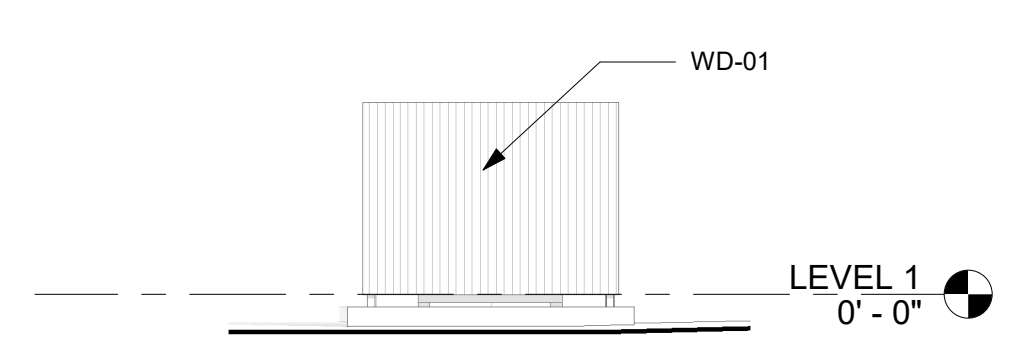
③ ELEVATION - EAST  
1/8" = 1'-0"



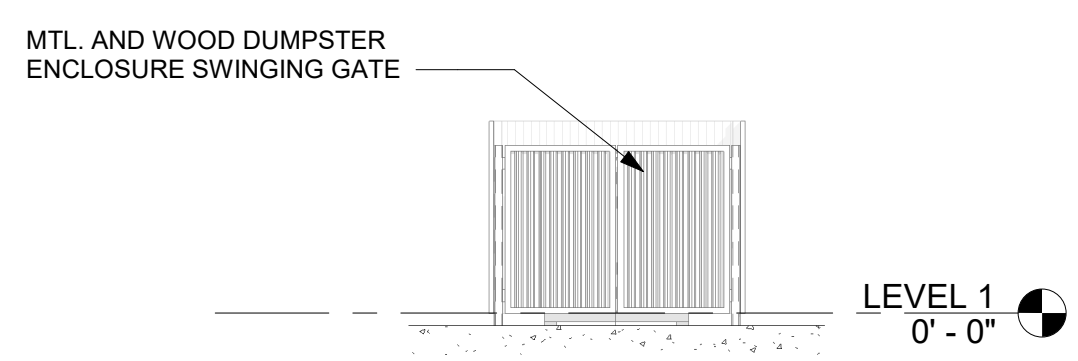
② ELEVATION - SOUTH  
1/8" = 1'-0"



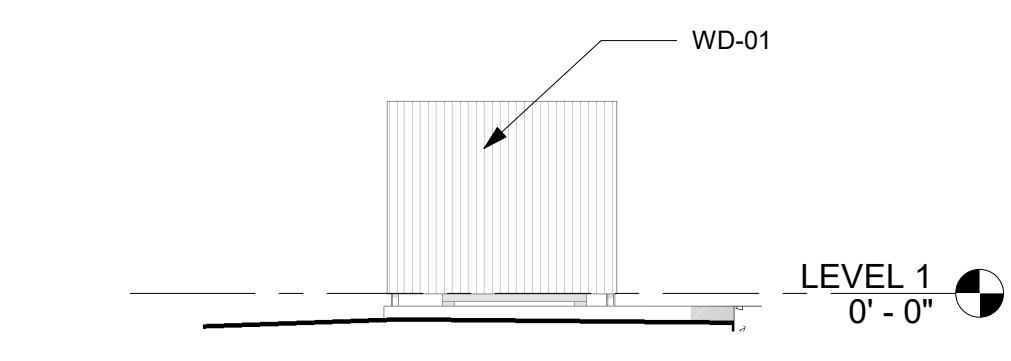
① ELEVATION - NORTH  
1/8" = 1'-0"



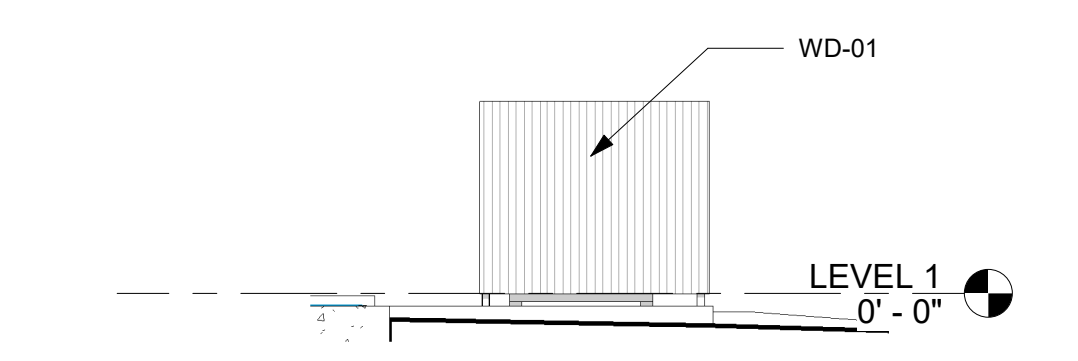
⑨ DUMPSTER ENCLOSURE - WEST ELEV.  
1/8" = 1'-0"



⑧ DUMPSTER ENCLOSURE - EAST ELEV.  
1/8" = 1'-0"



⑦ DUMPSTER ENCLOSURE - SOUTH ELEV.  
1/8" = 1'-0"



⑥ DUMPSTER ENCLOSURE - NORTH ELEV.  
1/8" = 1'-0"

CLIENT  
 NAME: Justin Haschke  
 ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT  
 Stephenville Office



ARCHITECT STAMP

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 APPROVAL ONLY

REVISIONS

No.	Description	Date

SHEET TITLE  
**ELEVATIONS**

DWG INFO  
 PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
 DRAWN BY: SS  
 CHECKED BY: SS

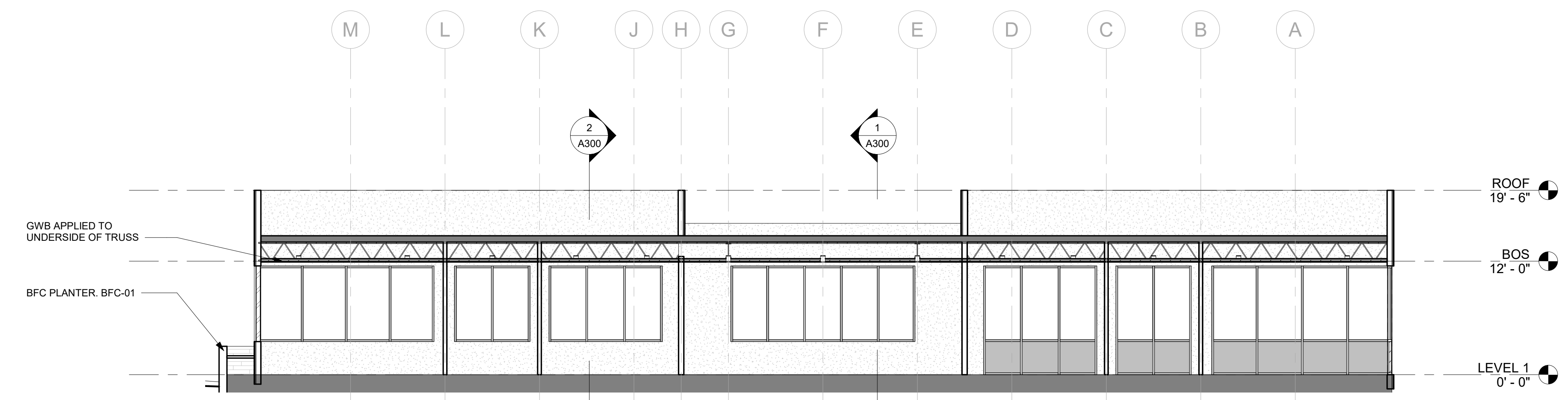
SHEET **A200**

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**APPROVAL ONLY**

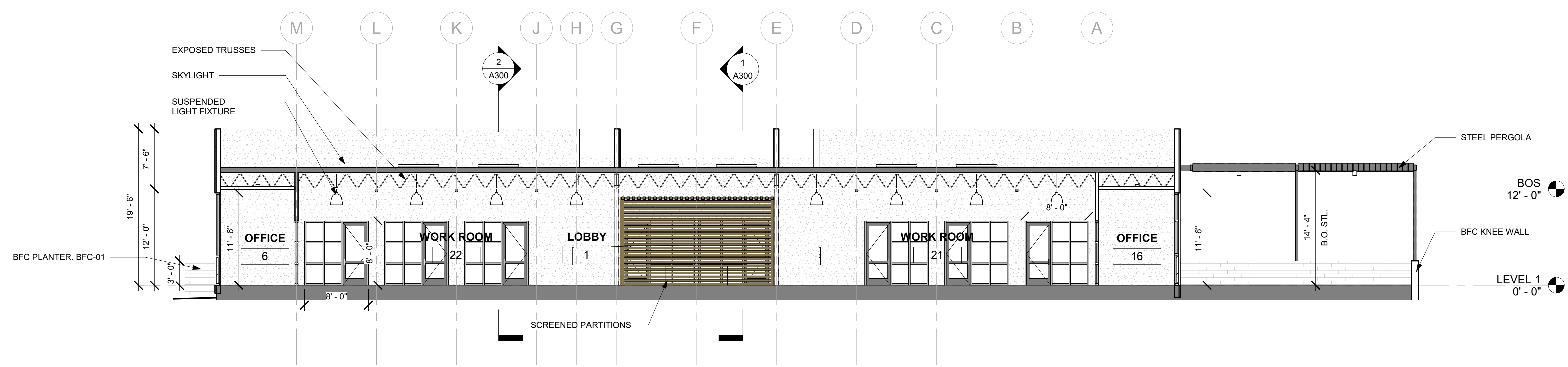
REVISIONS

No.	Description	Date

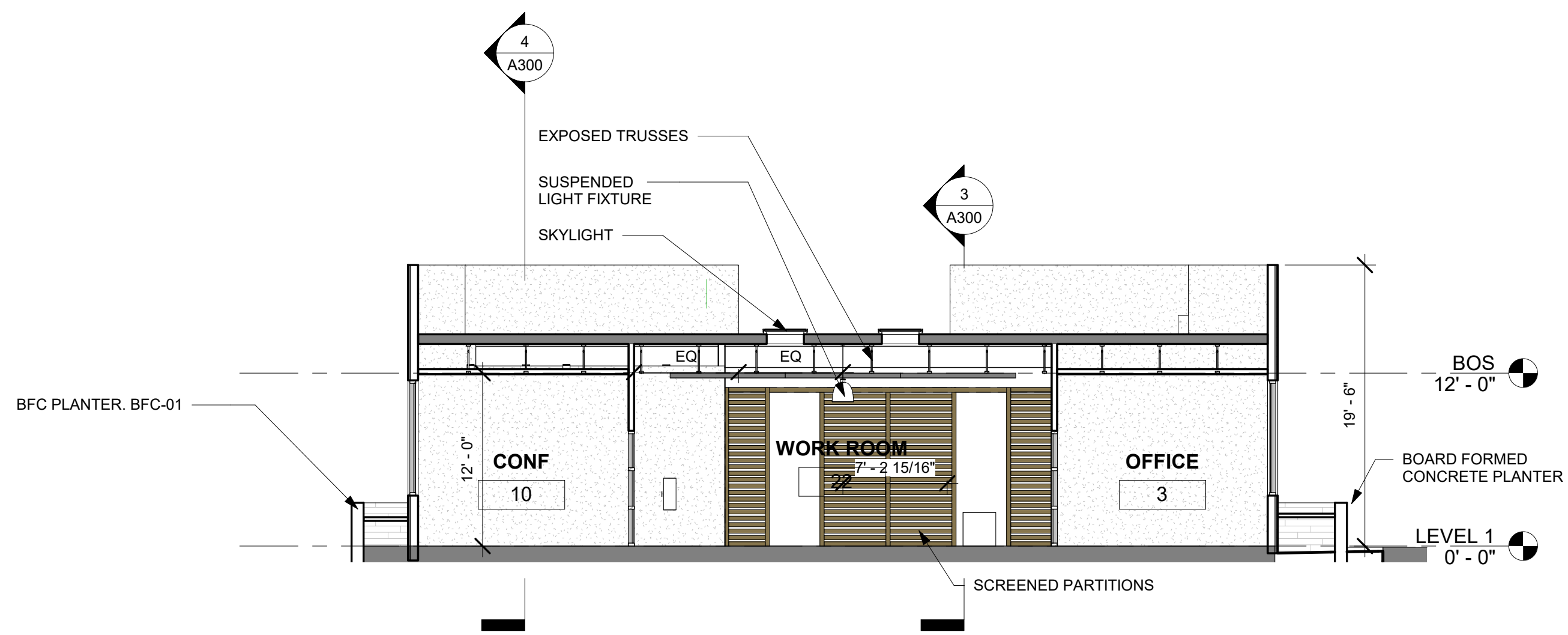
SHEET TITLE  
**BUILDING SECTIONS**  
 DWG INFO  
 PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
 DRAWN BY: SS  
 CHECKED BY: SS



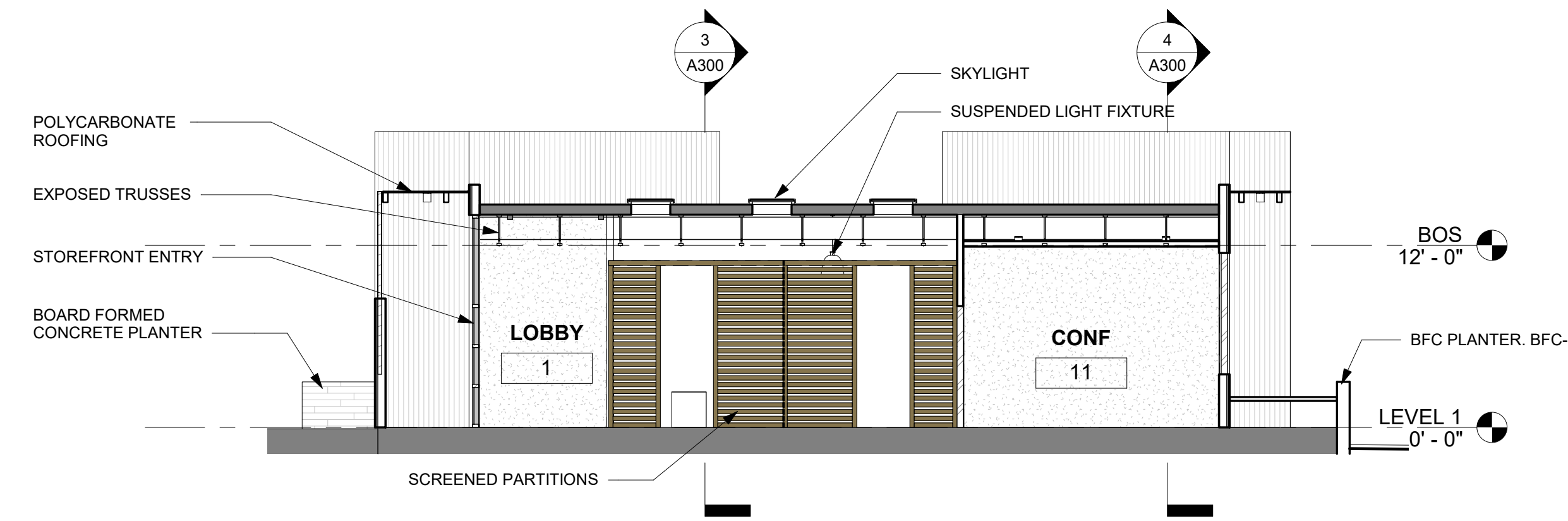
4 BLDG. SECTION 04  
 1/8" = 1'-0"



3 BLDG. SECTION 03  
 1/8" = 1'-0"



2 BLDG. SECTION 02  
 1/8" = 1'-0"



1 BLDG. SECTION 01  
 1/8" = 1'-0"

Design Team

Consultant  
 Address  
 Address  
 Phone  
 Fax  
 e-mail

Consultant  
 Address  
 Address  
 Phone  
 Fax  
 e-mail

CLIENT

NAME: Justin Haschke  
 ADDRESS: FM 988 NW & Pecan Hill Dr.

PROJECT

Stephenville Office

PROJECT KEY



ARCHITECT STAMP

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REVISIONS

No.	Description	Date

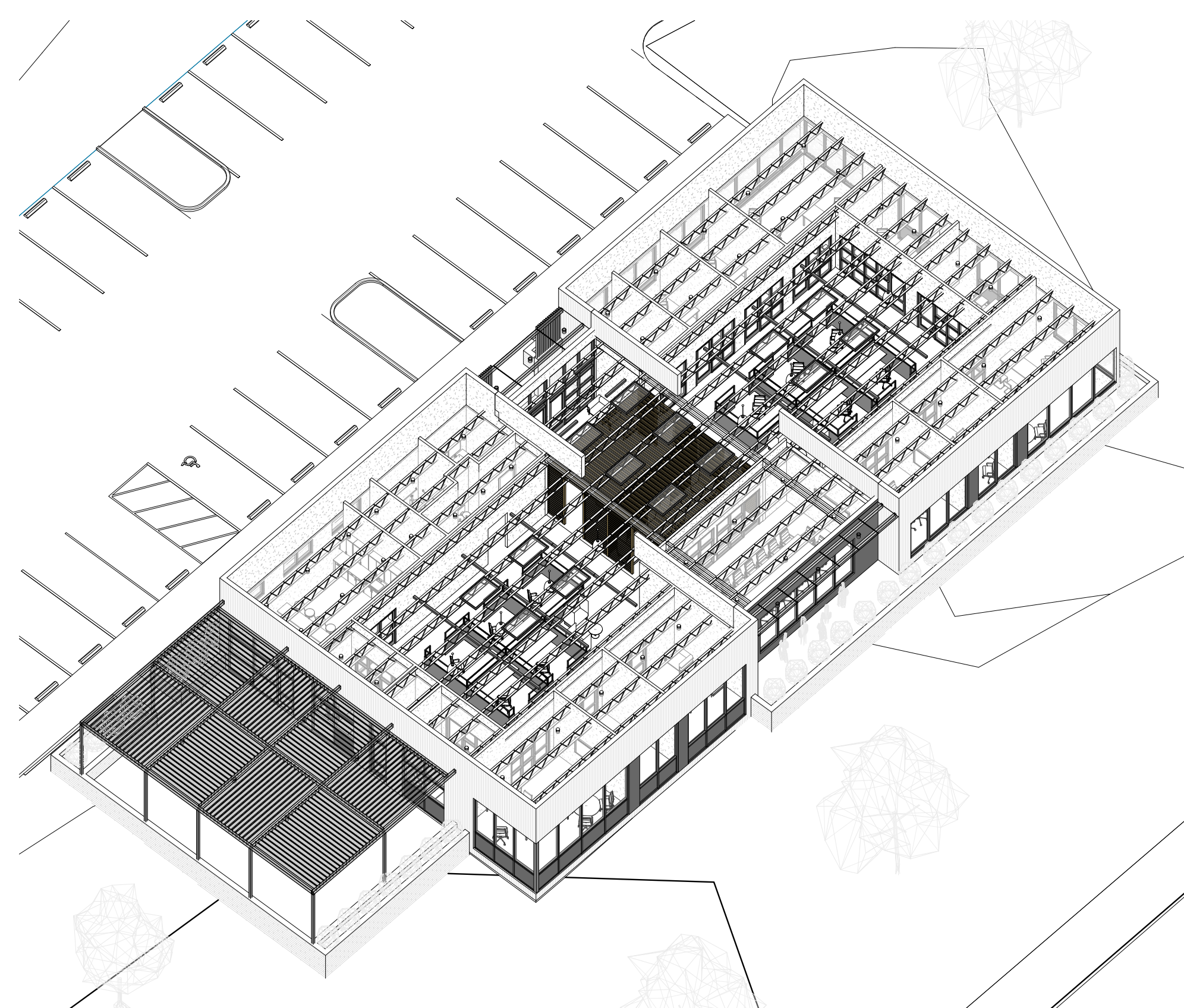
SHEET TITLE

3D VIEWS

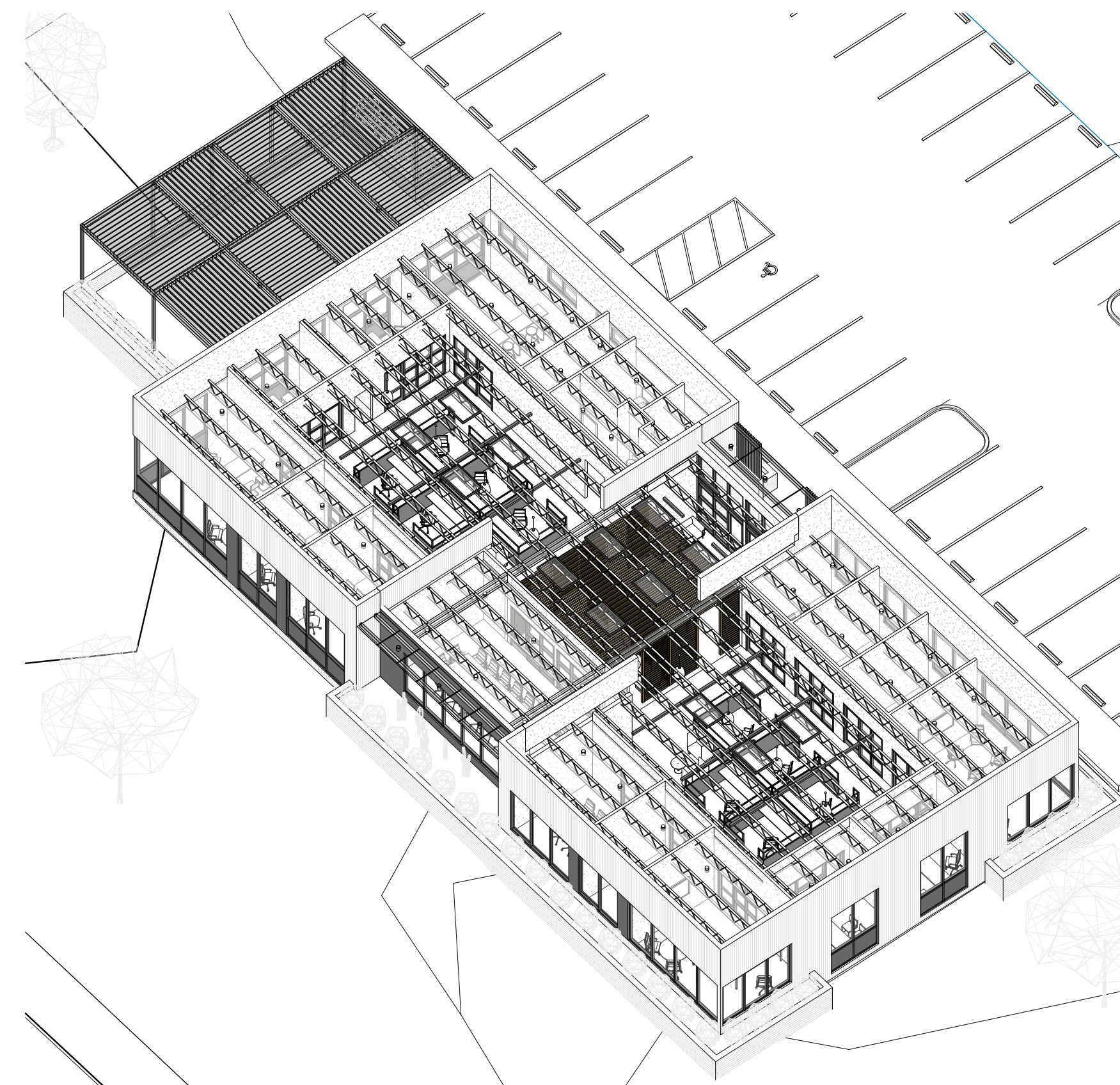
DWG INFO

PROJECT: 2004  
 ISSUE DATE: 05/13/2022  
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 CHECKED BY: SS

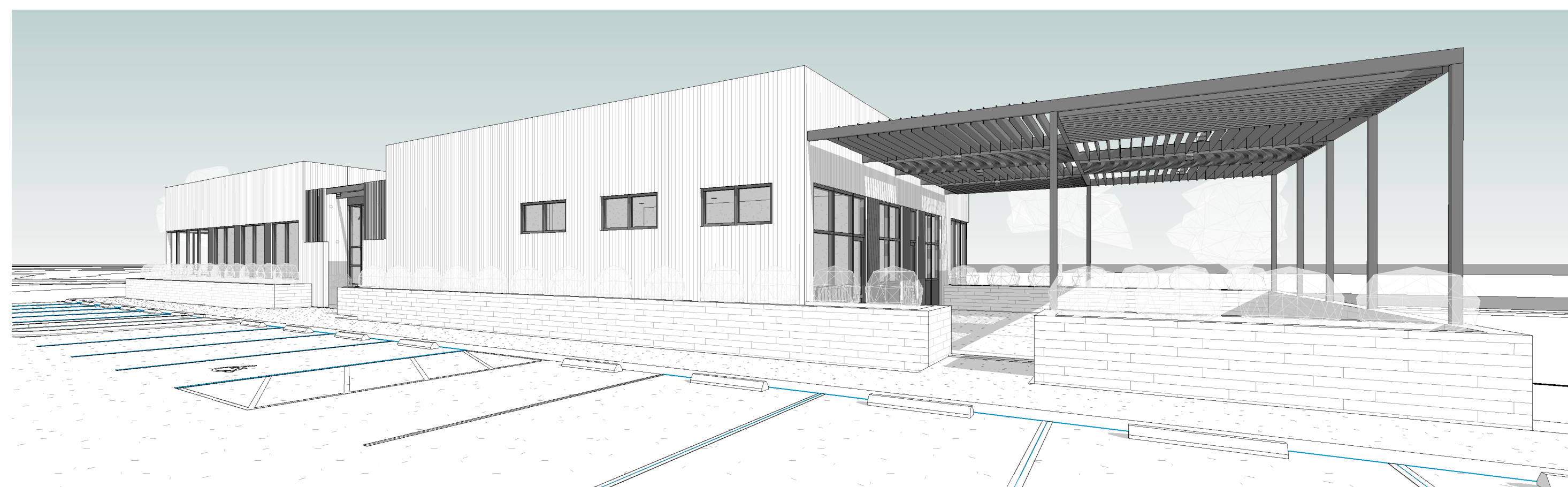
SHEET A900



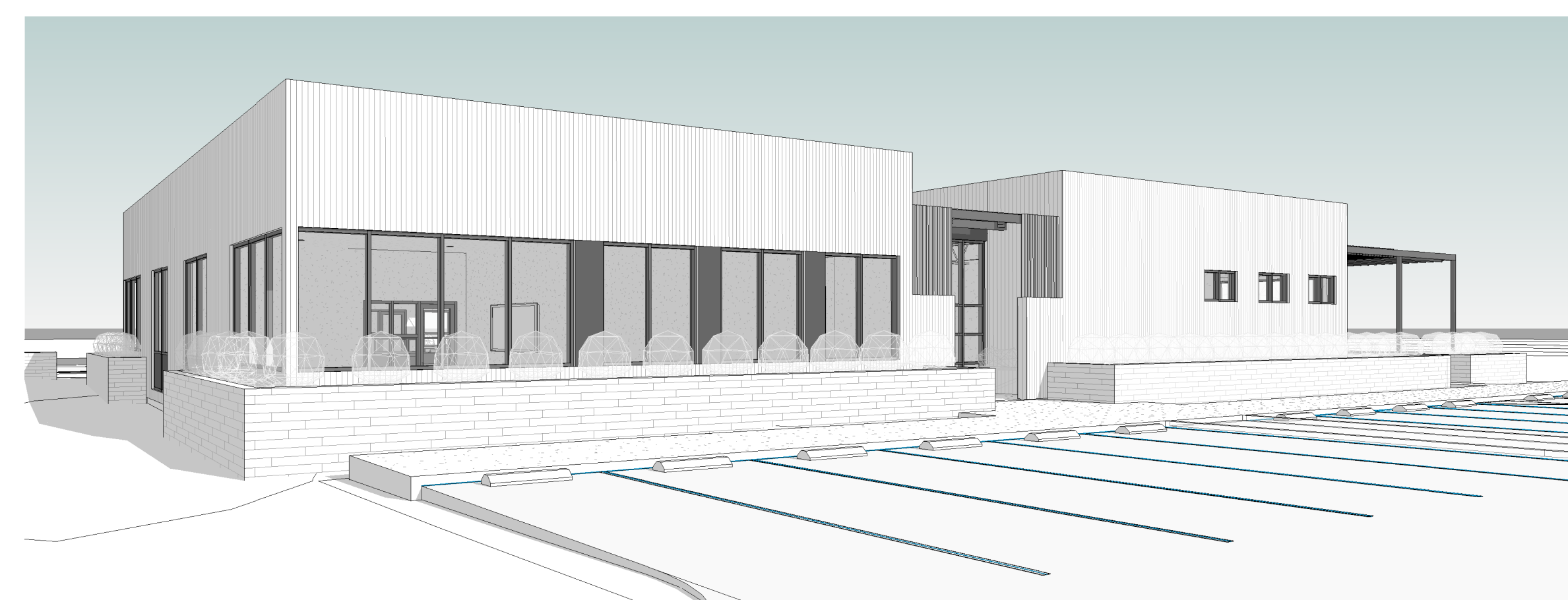
6 3D View 6



5 3D View 5



3 3D View 4



2 3D View 3



1 3D View 2



4 3D View 1