

STATE OF GEORGIA

CITY OF STONECREST

ORDINANCE NO. ____-_____

AN ORDINANCE BY THE MAYOR AND CITY COUNCIL OF THE CITY OF STONECREST, GEORGIA TO REZONE 1982 PHILLIPS ROAD BY APPROVING MAJOR CHANGES TO CONDITIONS ON THE PROPERTY; TO PROVIDE SEVERABILITY; TO PROVIDE A PENALTY; TO PROVIDE FOR REPEAL OF CONFLICTING ORDINANCES; TO PROVIDE FOR AN ADOPTION AND EFFECTIVE DATE; AND TO PROVIDE FOR OTHER LAWFUL PURPOSES.

WHEREAS, the governing body of the City of Stonecrest (“City”) is the Mayor and City Council thereof; and

WHEREAS, Article IX, Section II, Paragraph IV of the 1983 Constitution of the State of Georgia authorizes the City to adopt plans and exercise the power of zoning; and

WHEREAS, the governing authority of the City is authorized by O.C.G.A. § 36-35-3 to adopt ordinances relating to its property, affairs, and local government; and

WHEREAS, the Mayor and City Council desire to rezone 1982 Phillips Road by approving major changes to conditions on the property; and

WHEREAS, pursuant to Sec. 7.3.10.(*Modifications and Changes to Approved Conditions of Zoning.*) of the City’s Zoning Code any major changes to conditions attached to an approved zoning amendment shall require an application and public hearings before the planning commission and the Mayor and City Council; and

WHEREAS, the following shall be deemed to constitute major changes:

1. The movement of any building or structure adjacent to an exterior boundary line, closer to the boundary line of the property;
2. Any increase in the number of dwelling units or any increase in the total amount of floor space of any nonresidential building;
3. Any decrease in the size of residential units imposed in the original conditional zoning amendment;
4. Any change in any buffer requirements imposed in the original conditional zoning amendment;
5. Any increase in the height of any building or structure;
6. Any change in the proportion of floor space devoted to different authorized uses; or
7. Any change to conditions, except minor changes, as defined in subsection A. of this section, imposed by the city council when approving any change to the official zoning map, commonly referred to as a rezoning or a zoning amendment.

WHEREAS, the rezoning case, CZ-85127 for 1982 Phillips Road, initially went through the entitlement process in 1985 by way of Dekalb County to rezone subject property from R-100 to R-A5 and RM-100; and

WHEREAS, the petition was approved on September 24, 1985, with three (3) conditions; and

WHEREAS, the applicant is seeking to remove **Condition 1:** Detached residential at 4.5 units per acre; and

WHEREAS, from time-to-time amendments may be proposed for public necessity, general welfare, or sound zoning practice that justify such action; and

WHEREAS, the Planning and Zoning Department recommends approval of the major changes to conditions of property located at 1982 Phillips Road based on the City Staff Report attached hereto and incorporated by reference as Exhibit A; and

WHEREAS, the matter was heard in the City's Community Planning Information Meeting pursuant to the provisions of the City's Zoning Procedures Law; and

WHEREAS, a public hearing and recommendation pursuant to the provisions of the City's Zoning Procedures Law has been provided by the Planning Commission; and

WHEREAS, a public hearing pursuant to the provisions of Georgia's Zoning Procedures Law has been properly held by the City Council prior to the adoption of this Ordinance; and

WHEREAS, the health, safety, and welfare of the citizens of the city will be positively impacted by the adoption of this Ordinance.

BE IT AND IT IS HEREBY ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF STONECREST, GEORGIA, and by the authority thereof:

Section 1. The official zoning map of the City of Stonecrest, Georgia is hereby rezoned by approving major changes to conditions of the property located at 1982 Phillips Road parcel number: 16 102 05 033.

Section 2. The conditions shall be amended as follows:

Condition 1: ~~Detached residential at 4.5 units per acre.~~

Section 3. The preamble of this Ordinance shall be considered to be and is hereby incorporated by reference as if fully set out herein.

Section 4. (a) It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses, and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

(b) It is hereby declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause, or phrase of this Ordinance is mutually dependent upon any other section, paragraph, sentence, clause, or phrase of this Ordinance.

(c) In the event that any phrase, clause, sentence, paragraph, or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional, or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases, clauses, sentences, paragraphs or section of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section 5. The City Clerk, with the concurrence of the City Attorney, is authorized to correct any scrivener's errors found in this Ordinance, including its exhibits, as enacted.

Section 6. All ordinances and parts of ordinances in conflict herewith are hereby expressly repealed.

Section 7. The Ordinance shall be codified in a manner consistent with the laws of the State of Georgia and the City of Stonecrest.

Section 8. It is the intention of the governing body, and it is hereby ordained that the provisions of this Ordinance shall become and be made part of the Code of Ordinances, City of

Stonecrest, Georgia.

ORDAINED this _____ day of _____, 2023.

[SIGNATURES TO FOLLOW]

CITY OF STONECREST, GEORGIA

Jazzmin Cobble, Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

EXHIBIT A



TO: Mayor and City Council

FROM: Planning and Zoning Department

SUBJECT: RZ-23-005

ADDRESS: 1982 Phillips Road

MEETING DATE: November 27, 2023

Summary: Applicant is seeking to modify zoning condition(s) from CZ-85127 to allow attached dwellings (duplex).

STAFF RECOMMENDATION: APPROVAL of Modification of Condition 1

PLANNING COMMISSION RECOMMENDATION: APPROVAL



RZ-23-005

Planning and Zoning Department

Commissioner District #1: Councilwoman Tara Graves

PROPERTY INFORMATION	
Location of Subject Property: 1982 Phillips Road	
Parcel Number: 16 102 05 033	
Road Frontage: Phillips Road	Total Acreage: 0.21 +/-
Current Zoning: RSM (Small Lot Residential Mix)	Overlay District: N/A
Future Land Use Map/ Comprehensive Plan: SUB (Suburban)	
Zoning Request: Applicant is seeking to modify zoning condition(s) from CZ-85127 to allow attached dwellings (duplex).	
Zoning History (CZ-85127): Subject property went through a rezoning process in September 1985 by way of Dekalb County. The applicant was Thomas A. Arnold, Jr., and Cunningham Properties, Inc. who desired to rezone the north side of Marbut Road and east of Phillips.	

APPLICANT / PROPERTY OWNER INFORMATION
Applicant Name: Lucretia Ramsey
Applicant Address: 5751 Hunters Chase Ct Stonecrest, GA 30038
Property Owner Name: Bridgemore Group Inc.
Property Owner Address: 1201 W PEACHTREE ST NW # 2350

**DETAILS OF ZONING REQUEST**

The rezoning case, **CZ-85127**, initially went through the entitlement process in 1985 by way of Dekalb County. The Applicant at that time, Thomas A. Arnold, Jr., and Cunningham Properties, Inc. petitioned to rezone subject property from R-100 to R-A5 and RM-100. The petition was approved on September 24, 1985, with three (3) conditions.

The Applicant, Lucretia Ramsey, is seeking to develop one (1) duplex/attached dwelling on the subject parcel. The Applicant is seeking a Major Modification of Conditions of the Subject Property to eliminate the following condition from zoning case number CZ-85127 to allow for the development: conditions 1. The original conditions are listed below with the proposed changes in red.

Condition 1: ~~Detached residential at 4.5 units per acre.~~ Proposing to eliminate

Condition 2: Houses to face Phillips Road.

Condition 3: No vinyl or aluminum siding.

ADJACENT ZONING & LAND USE

NORTH	Zoning: R-100 (Residential Medium Lot)	Land Use: Vacant/undeveloped land
SOUTH	Zoning: RSM (Small Lot Residential Mix)	Land Use: Single-Family Dwelling
EAST	Zoning: RSM (Small Lot Residential Mix)	Land Use: Single-Family Dwelling
WEST	Zoning: R-100 (Residential Medium Lot)/ Unincorporated Dekalb County	Land Use: Single-Family Dwelling



RZ-23-005

Planning and Zoning Department

PHYSICAL CHARACTERISTICS & INFRASTRUCTURE

The site is currently undeveloped with one (1) road frontage (Phillips Road). There aren't floodplain and/or statewaters on the subject property.

MODIFICATIONS AND CHANGES TO APPROVED CONDITIONS OF ZONING CRITERIA

1. The movement of any building or structure adjacent to an exterior boundary line, closer to the boundary line of the property;
2. Any increase in the number of dwelling units or any increase in the total amount of floor space of any nonresidential building;
3. Any decrease in the size of residential units imposed in the original conditional zoning amendment;
4. Any change in any buffer requirements imposed in the original conditional zoning amendment;
5. Any increase in the height of any building or structure;
6. Any change in the proportion of floor space devoted to different authorized uses; or
7. Any change to conditions, except minor changes, as defined in subsection A. of this section, imposed by the city council when approving any change to the official zoning map, commonly referred to as a rezoning or a zoning amendment.

RECOMMENDATION(S)

Staff recommends the following with conditions:

- **APPROVAL** of Modification of Condition 1



RZ-23-005

Planning and Zoning Department

Attachments Included:

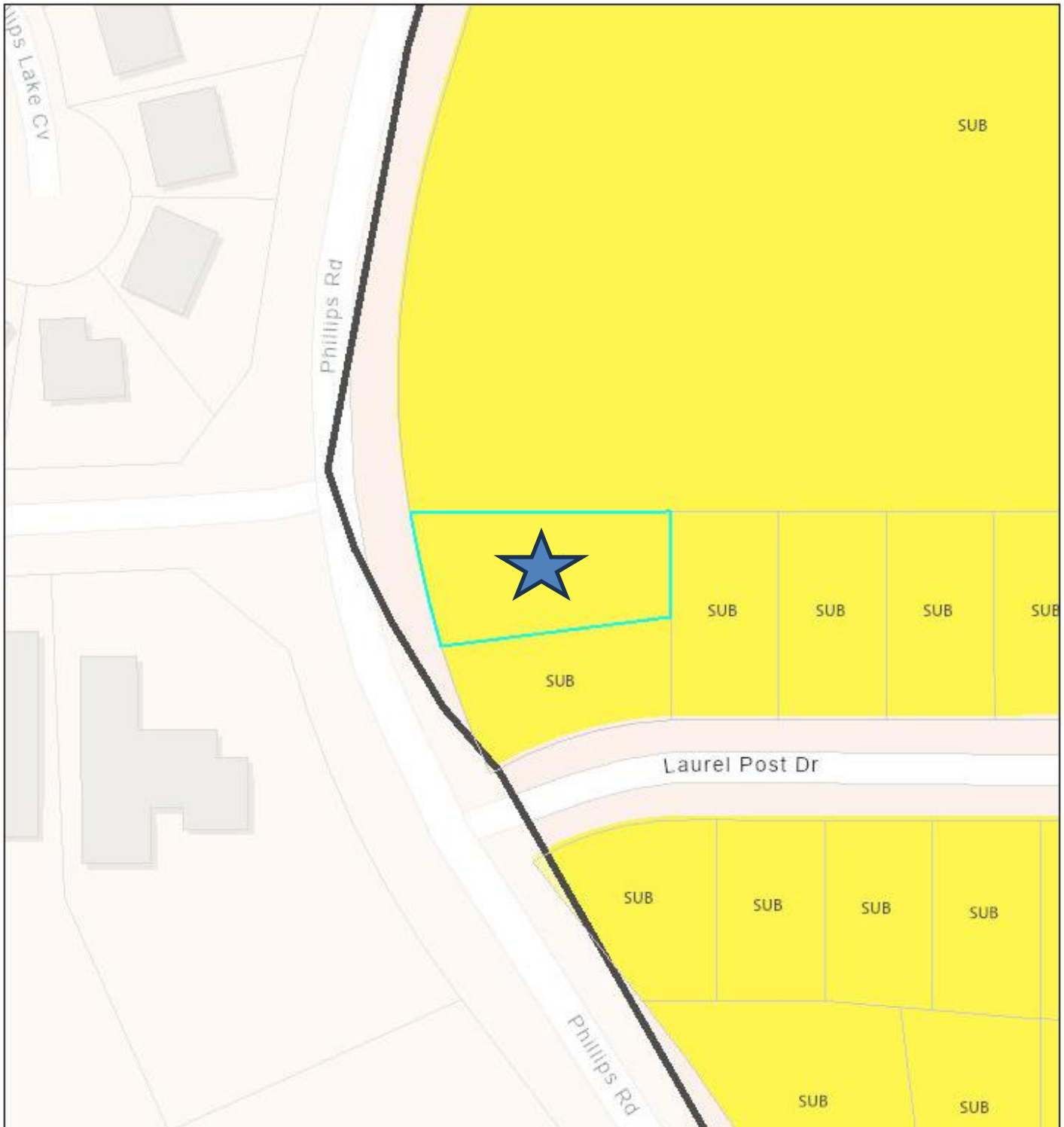
- **Future Land Use Map**
- **Zoning Map**
- **Aerial Map**
- **Site Plan/Survey**
- **Zoning Conditions**
- **Building Elevations**
- **Letter of Intent**



RZ-23-005

Planning and Zoning Department

Future Land Use Map





RZ-23-005

Planning and Zoning Department

Suburban Neighborhood (SN)

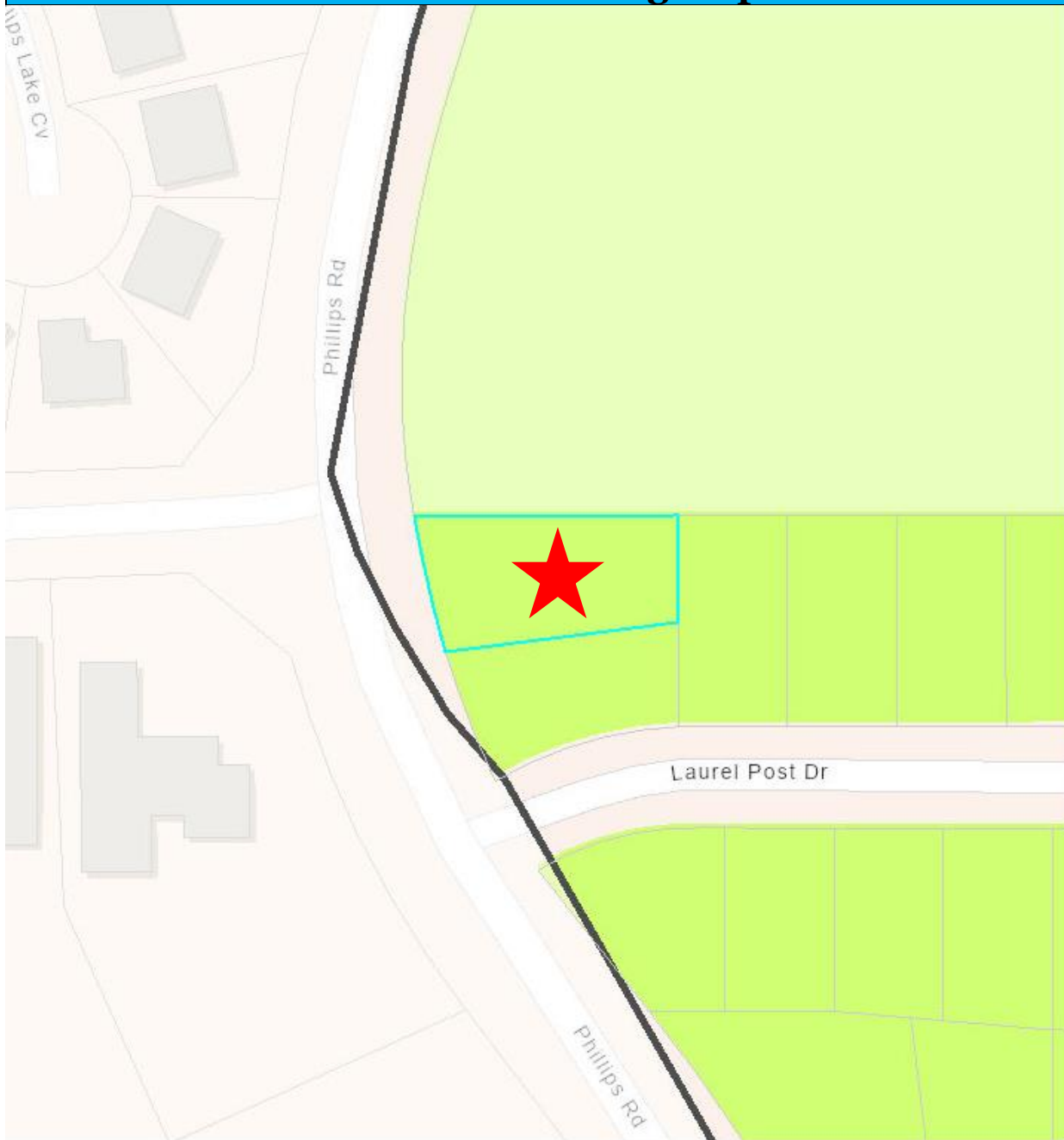
The intent of the Suburban Neighborhood character area is to recognize those areas of the city that have developed in traditional suburban land use patterns while encouraging new development to have increased connectivity and accessibility. These areas include those developed (built out) and those under development pressures. Those areas are characterized by low pedestrian orientation, limited transit access, scattered civic buildings and curvilinear street patterns. The proposed density for areas of this type is up to 8 dwelling units per acre.







RZ-23-005

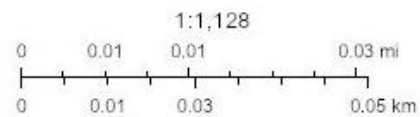
Planning and Zoning Department

Zoning Map



10/9/2023, 10:42:49 AM

- | | |
|---|---|
|  Stonecrest Parcels | Zoning |
|  City Limits |  R-100 - Residential Med Lot |
|  DeKalb Parcels |  RSM - Small Lot Residential Mix |

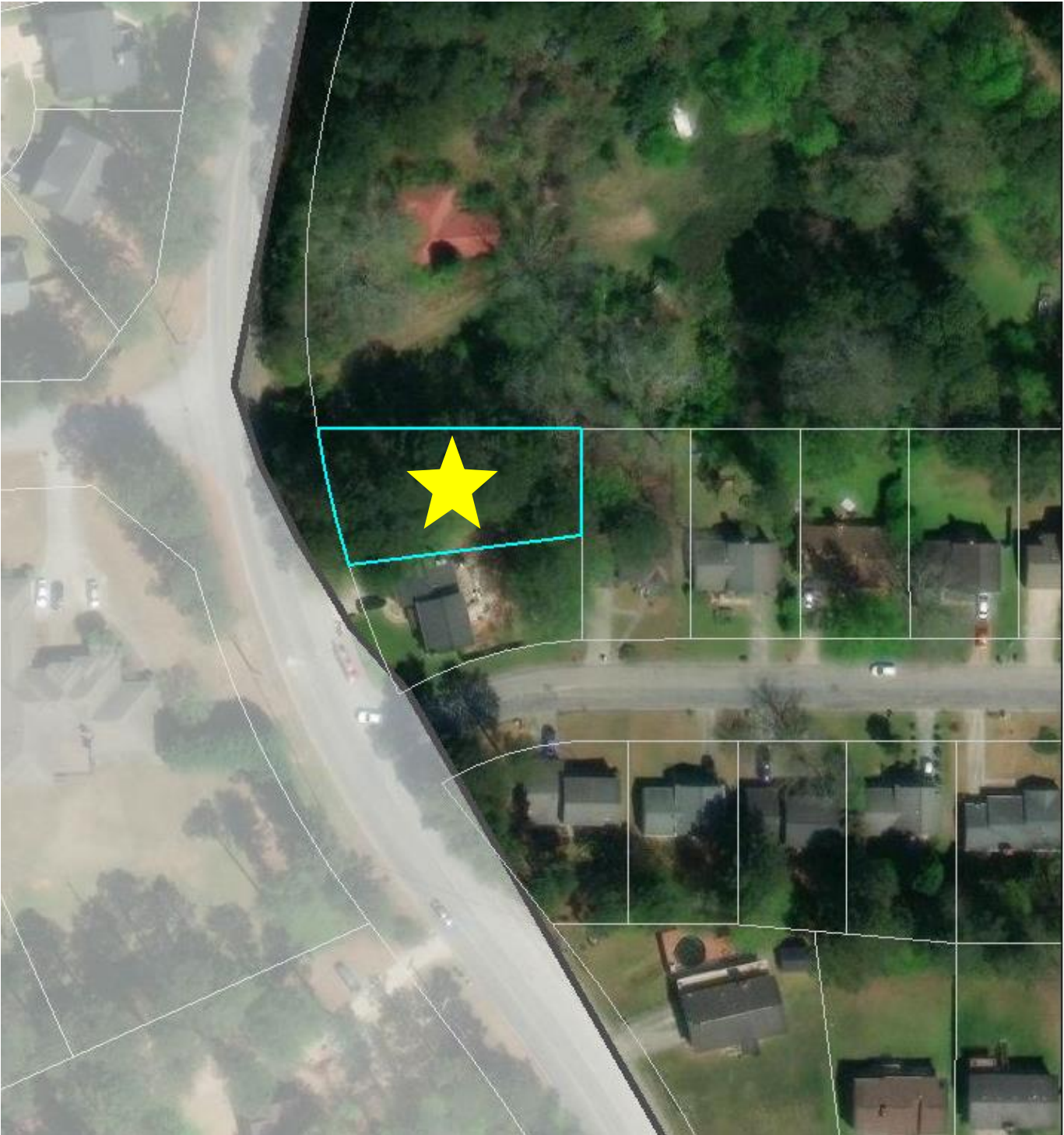




RZ-23-005

Planning and Zoning Department

Aerial Map



RZ-23-005 MCC NOVEMBER 27, 2023

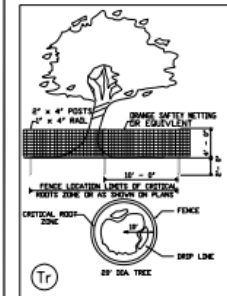
PREPARED BY: TRE'JON SINGLETARY

Submitted Site Plan

EROSION CONTROL NOTES:

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
2. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. DISTURBED AREAS LEFT SOLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS; AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED.
4. SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION, AND BE WIRE REINFORCED.
5. EROSION CONTROL MEASURES WILL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN AND REPAIRED BY THE GENERAL CONTRACTOR.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
7. SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY PROJECT ENGINEERS OR COUNTY INSPECTORS.
8. ALL SILT BARRIERS MUST BE PLACED BEFORE ANY CLEARING. NO GRADING SHALL BE DONE UNTILL SILT BARRIER INSTALLATION IS COMPLETED.
9. ALL OPEN DRAINAGE MUST BE GRASSED, AND RIP-RAP MUST BE PLACED AS REQUIRED TO CONTROL EROSION. A MINIMUM OF 10 SQUARE YARDS OF 40 POUND STONE SHALL BE PLACED AT ALL DOWN STREAM HEADWALLS.
10. NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
11. CONTRACTOR WILL ENSURE CONFORMITY TO THE INTENT OF THE EROSION CONTROL MEASURES AS NOTED AS WELL AS THE COUNTY EROSION CONTROL RULES AND REGULATIONS.

*FOR FURTHER EXPLANATION OF THE SYMBOLS AND CONSTRUCTION PRACTICES WE REFER YOU TO THE MANUAL FOR SEDIMENTATION AND EROSION CONTROL PER THE "SEDIMENTATION AND EROSION ACT OF 1975 FOR GEORGIA."



PROTECTIVE TREE FENCING
4' HIGH, ORANGE
POLYETHYLENE LAMBAR
SAFETY NETTING



LEGEND	
	P.P. - POWER POLE
	L.P. - LIGHT POLE
	F.H. - FIRE HYDRANT
	S.S. - SANITARY SEWER MANHOLE
	W.M. - WATER METER
	F.F.E. - FINISHED FLOOR ELEVATION
	RBS - REINFORCING BAR SET
	RBF - REINFORCING BAR FOUND
	T.O.F. - TYPE OF FENCE
	J.B. - JUNCTION BOX
	D.I. - DROP INLET / YARD INLET
	C.B. - CATCH BASIN

TREE LEGEND:	
	EXISTING TREE
	TREE TO BE REMOVED
	PROPOSED TREE

GENERAL PLAT NOTES:

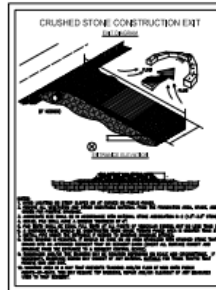
THE FIELD DATA DATED 1-5-2022 UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF 1 FOOT IN 29,427 FEET AND AN ANGULAR ERROR OF 3 SECONDS PER ANGLE AND WAS ADJUSTED USING THE COMPOUND RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 4,281,653 FEET. A TRIMBLE S6 ROBOT WAS USED FOR ANGULAR AND LINEAR MEASUREMENTS.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN, ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY PANEL #1308001812, DATED MAY 16, 2012.

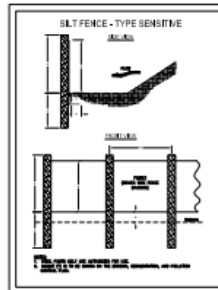
THIS PLAT IS FOR THE EXCLUSIVE USE OF LUCRETIA RAMSEY. ANY USE BY THIRD PARTIES IS AT THEIR OWN RISK.

THIS PLAT IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE OF THE REGISTRANT ACROSS THE REGISTRANT'S SEAL.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT POLICY; THEREFORE EXCEPTION IS MADE HEREIN TO ANY EASEMENTS, RESERVATIONS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD, WHICH MAY EXIST. FURTHERMORE, THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RESERVATIONS, RIGHTS OF WAY OR RESTRICTIONS, WHICH ARE NOT RECORDED OR NOT DISCLOSED BY THE TITLE COMMITMENT OR OTHERWISE UNKNOWN TO THE SURVEYOR. THEREFORE EXCEPTION IS TAKEN TO ANY SUCH ITEMS.



CO CONSTRUCTION EXIT
N.T.S.

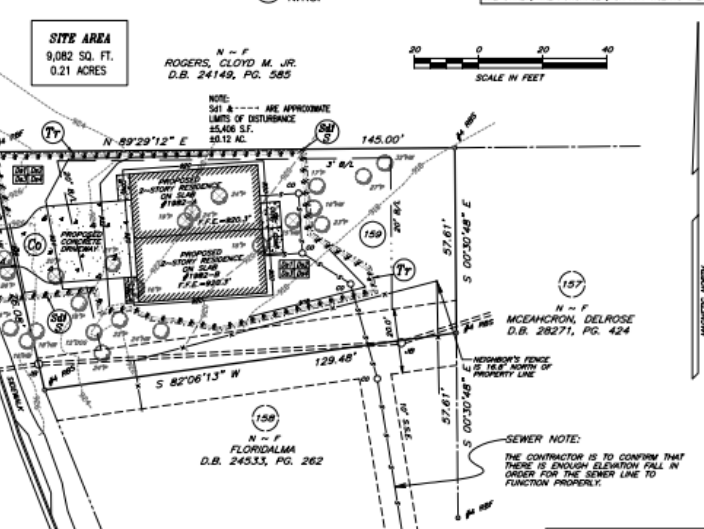


SO SILT FENCE (TYPE "S")
N.T.S.



LOCATION MAP 1" = 2000'

THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTIONS, SUBSURFACE CONDITIONS, OR OTHER MATTERS OF TITLE WHICH ARE NOT VISIBLE, NOT RECORDED, OR NOT DISCLOSED IN THE TITLE ABSTRACT PROVIDED BY THE OWNER, THE PURCHASER, OR ANY AGENTS THEREOF.



SEWER NOTE:
THE CONTRACTOR IS TO CONFIRM THAT THERE IS ENOUGH ELEVATION FALL IN ORDER FOR THE SEWER LINE TO FUNCTION PROPERLY.

ZONING:

CURRENTLY ZONED: RSM

MINIMUM YARD REQUIREMENTS:

FRONT SETBACK

(MIN.) - 20'

(MAX.) - 30'

SIDE SETBACK

(MIN.) - 5'

10' BETWEEN BUILDINGS

REAR SETBACK

(MIN.) - 15'

(MAX.) - 15'

(ALL OTHERS) - 15'

OWNER/DEVELOPER MUST CONFIRM ALL ZONING INFORMATION WITH THE APPLICABLE OFFICES.

GRADING NOTES:

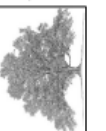
1. NO GRADED SLOPE SHALL EXCEED 3H:1V.

2. FILL MATERIALS SHALL CONSIST OF CLEAN SOIL FREE OF ORGANIC OR DISTURBED MATERIALS, ROCKS, OR BROKEN PIECES OF CONCRETE LARGER THAN THREE INCHES IN SIZE, OR OF ANY OTHER FOREIGN OBJECTS THAT COULD IMPAIR THE COMPACTION RESULTS.

3. FILL MATERIALS SHALL BE SPREAD EVENLY IN HORIZONTAL LAYERS OF NOT MORE THAN 6 INCHES IN THICKNESS OVER THE FULL WIDTH OF FILL AND COMPACTED TO 95% MAXIMUM DENSITY BY STANDARD PROCTOR COMPACTION TEST ASTM D1557.

4. GRADE TO PROVIDE POSITIVE DRAINAGE WHICH IS NOT IN AN EASEMENT.

PRISTINE LAND SERVICES
Land Surveying & Engineering
41231 Rockledge Dr., Suite 202
Phila, GA 30170
www.pristinelandservices.com



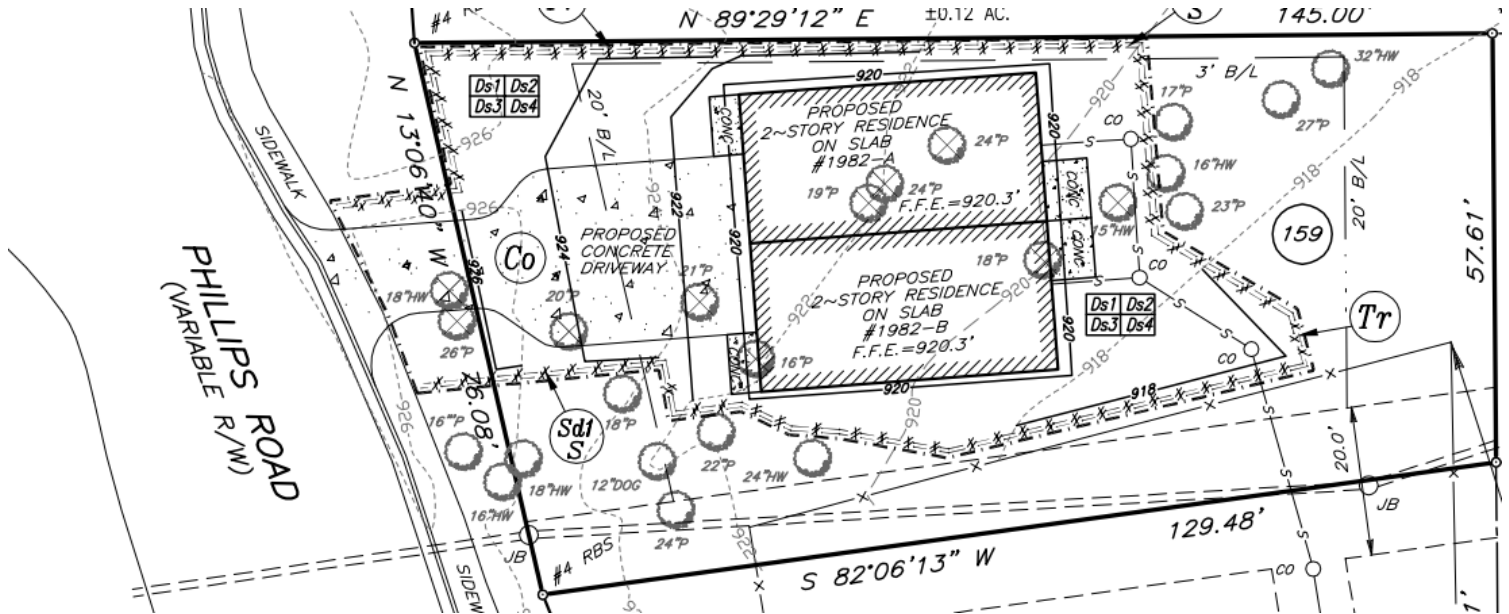
SITE PLAN FOR:
LUCRETIA RAMSEY
LOCATED IN LAND LOT 102, 16TH DISTRICT
LAUREL POST CLOSE SUBDIVISION
CITY OF STONECREST
DEKALB COUNTY, GEORGIA



REVISIONS

DATE	BY	REVISION
1-31-2023	KAB	DRAWN BY
1-31-2023	KAB	CHECKED BY
1-31-2023	KAB	PROJECT NO.

PHILLIPS-SITE.DWG





RZ-23-005

Planning and Zoning Department

Zoning Conditions – CZ-85127

REV. 12/84

DEKALB COUNTY
BOARD OF COMMISSIONERS

FILE COPY

254

PREL.	___
ACTION	___
PUB.HRG.	<u>X</u>

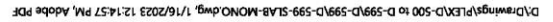
ZONING AGENDA/MINUTES
MEETING DATE September 24, 1985ITEM NO. 11

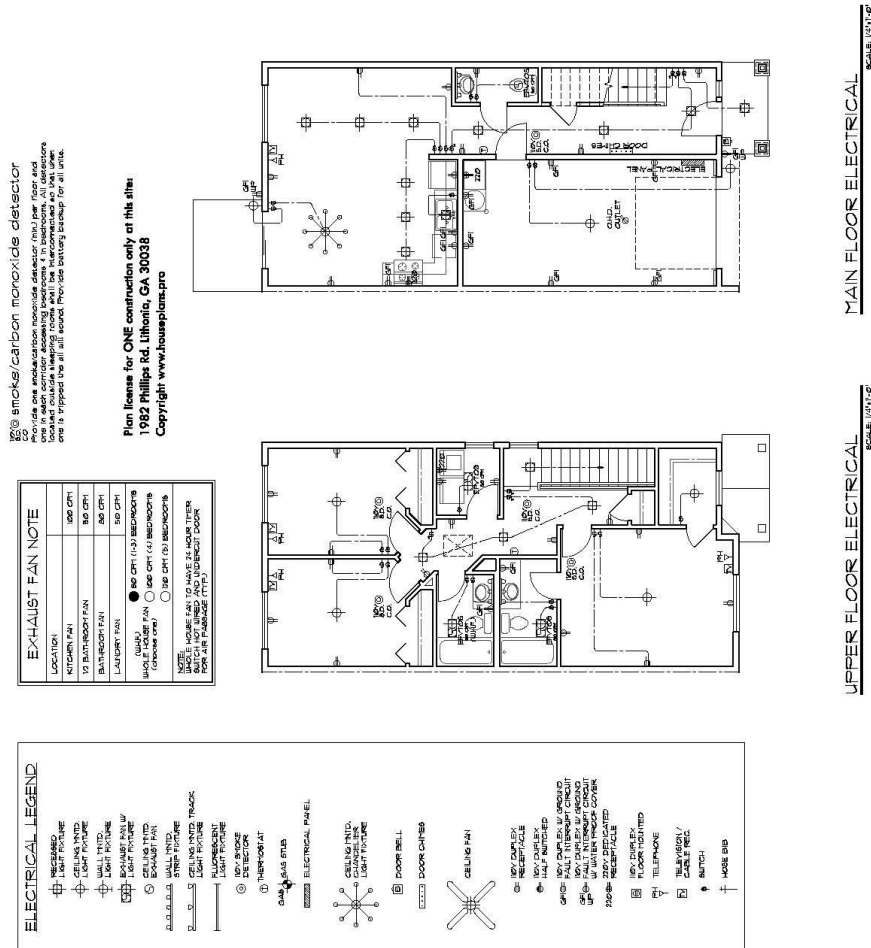
RESOLUTION	___
ORDINANCE	<u>X</u>
PROCLAMATION	___

SUBJECT: Rezoning Application - Thomas A. Arnold, Jr., and
Cunningham Properties, Inc.DEPARTMENT: PlanningPUBLIC HEARING: X Yes ___ NoATTACHMENT: X Yes ___ No 6 ppINFORMATION CONTACT: Mac Baggett or
Charles Coleman
PHONE NUMBER: 371-2155**PURPOSE:** CZ-85127 - To consider the application of Thomas A. Arnold, Jr., and Cunningham Properties, Inc., to rezone property located on the north side of Marbut Road, approximately 450' east of Phillips Road, from R-100 to R-A5 (42 acres) and RM-100 (50 acres) (conditional). The application is conditioned by a site plan.**DISTRICT:** ___ 1. ___ 2. ___ 3. ___ 4. X 5. ___ N/A**SUBJECT PROPERTY:** 16-102-2-2, 4 & 5; 16-123-2-5 (6386 Marbut Road). The property has frontage of approximately 2,000' on Marbut Road, 650' on Phillips Road and contains 92 acres, more or less.**RECOMMENDATION(s):** **PLANNING DEPARTMENT:** Approval with condition (revised 9/3/85). The application has been amended with the attached plan which identifies the location and land area of the two requested zoning districts. Staff supports the RM request as it will provide an intermediate category between the industrial park and the single family developments on Marbut Road. The request for R-A5 is supported as being consistent with zoning on Marbut and Phillips Roads. The condition applied to the R-A5 recommendation is that one-third of all units having access to Phillips Road be constructed with a 1,300 square-foot minimum floor area. Staff does not support approval of the attached plan because it does not comply with the Subdivision Ordinance relative to lengths of cul-de-sacs. The design will double the route for vehicles which provide county services to the development.**NOTE:** Conditions applied to the R-A5 zoning at the northwest corner of Marbut and Phillips are as follows:



1. Detached residential at 4.5 units per acre.
2. Houses to face Phillips Road.
3. No vinyl or aluminum siding.

PLANNING COMMISSION: Denial.**COMMUNITY COUNCIL:** Denial of RM-100; approval of R-A5 for entire tract subject to a 1,400 square-foot minimum.







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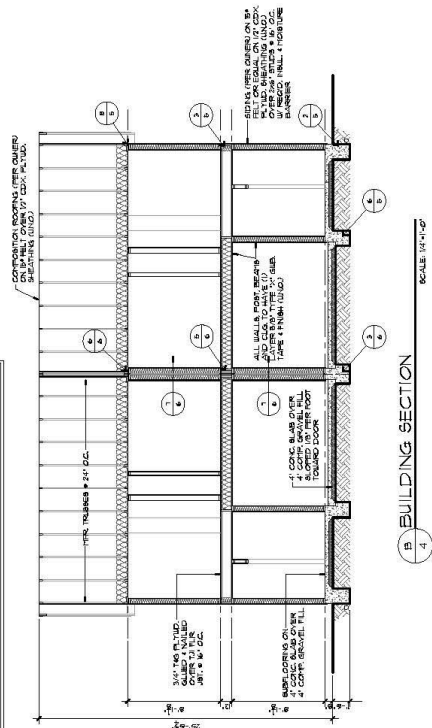
1982 Phillips Rd. Lithonia, GA 30058
 Copyright www.houseplans.com

© 1992

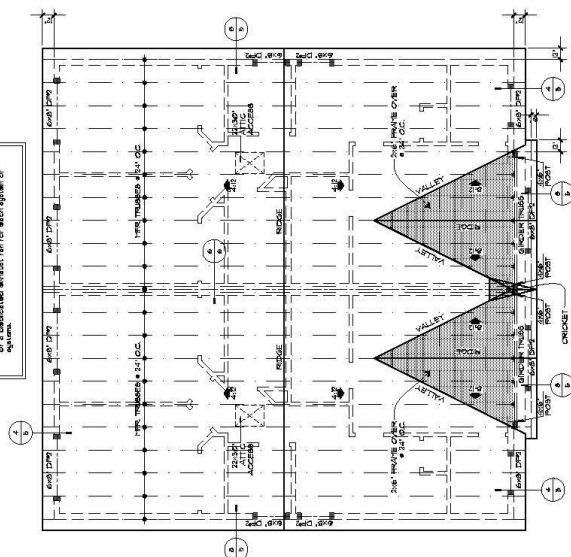
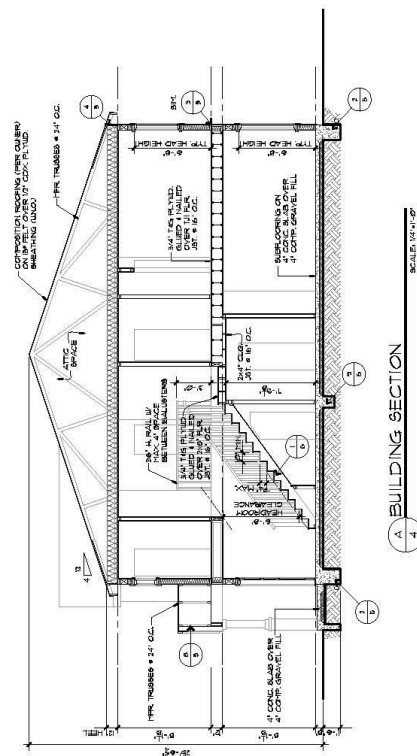
THIS PLAN IS THE PROPERTY OF BROTHER & ASSOCIATES, INC. IT IS TO BE USED FOR THE INDIVIDUAL HOME FOR WHICH IT WAS DESIGNED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BROTHER & ASSOCIATES, INC.

NOTE: THE EXTERIOR WALL ENVELOPE SHALL BE INSTALLED IN A MANNER TO ALLOW WATER THAT ENTERS THE ASSEMBLY TO DRAIN TO THE EXTERIOR.
THE DEVELOPER SHALL PROVIDE AN EXTERIOR VENTILATION WATER RESISTIVE BARRIER, AND INTEGRATED FLASHING SYSTEM WITHIN THE WATER RESISTIVE BARRIER AND THE EXTERIOR VENTILATION INSULATED FINISHES.
THE IR SPACE IS NOT REQUIRED USING THE EXTERIOR VENTILATION OR WATER RESISTIVE BARRIER COMPLIES WITH ASTM E2373.

MINIMUM INSULATION VALUE:	
ATTIC/GLA FLAT	R-30
ATTIC/GLA VAULT	R-50
EXTERIOR WALLS	R-21 Intermediate
INTERIOR WALLS	R-5
CEILING	R-30
SLAB-ON-GRASS	R-50
SLAB-ON-FORMATION	R-9
(24" WIDTH x PERIMETER)	
GROUND WALL	R-10 LAYERS
(FOR MOIST ONLY)	
FOOTING AIR DUCT	R-5
IN UNLIMITED SPACES	
NOTES: 1. JOINTS AROUND WINDOWS & DOORS MUST BE SEALED WITH INSULATING MATERIALS.	
2. JOINTS BETWEEN WALLS AND FOUNDATIONS MUST BE SEALED WITH INSULATING MATERIALS.	

[illegible][illegible]

Plan license for ONE construction only at this site:
1982 Phillips Rd. Lithonia, GA 30038
Copyright www.houseplans.pro

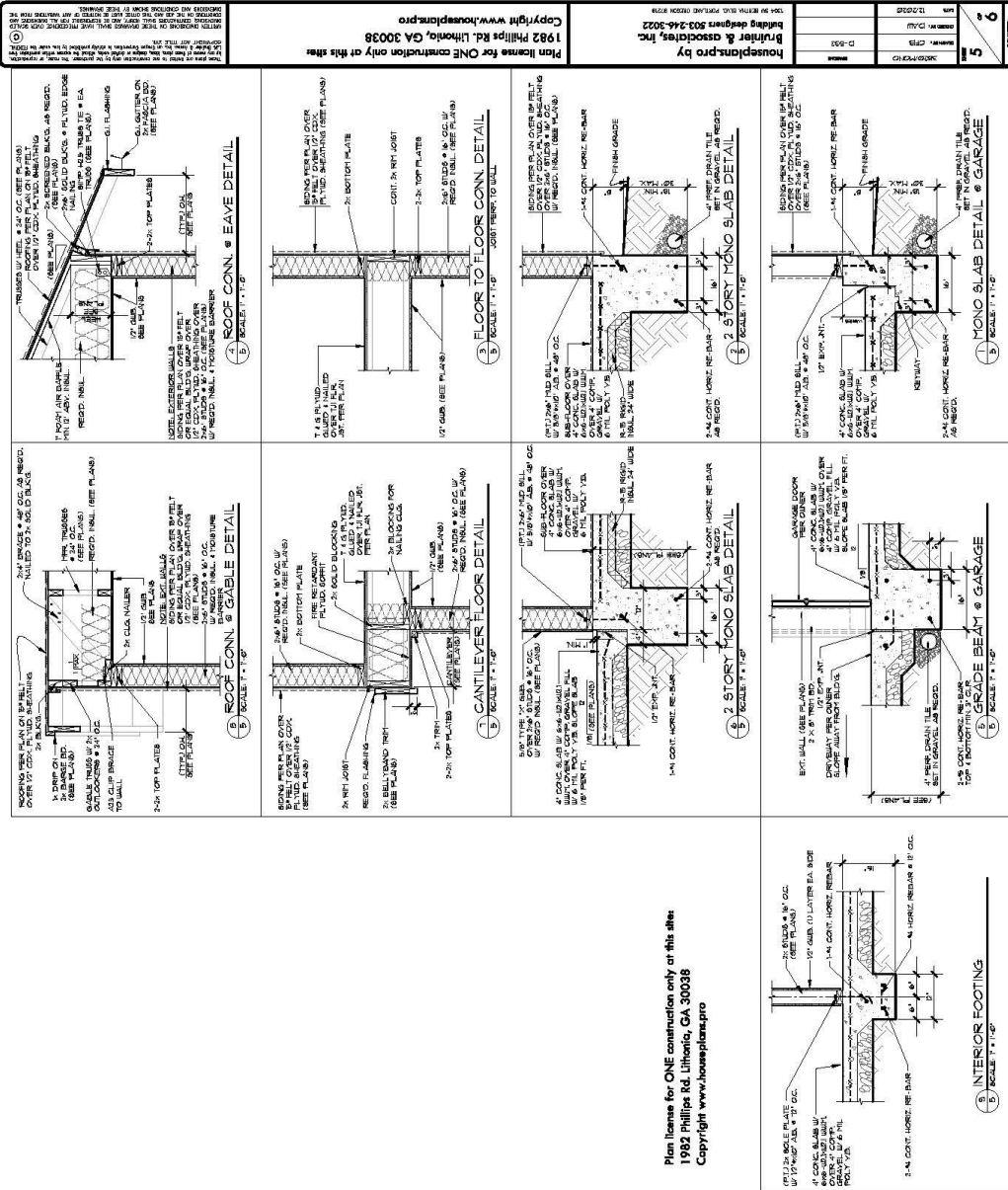


ATTIC VENTILATION CALCULATION		
VENTILATION REQUIRED	VENTILATION PROVIDED	TOTAL
$618 \text{ ft}^2 \times 144 \text{ N}^{\circ} / \text{sq ft}$ $89,008 \text{ N}^{\circ}$ REQ.	(24) 1/4" ROOF VENTS @ 32.5 ROOF JACKS @ 754 (1) 24" GABLE VENT @ 452	90,000 N ^o

NOTES:

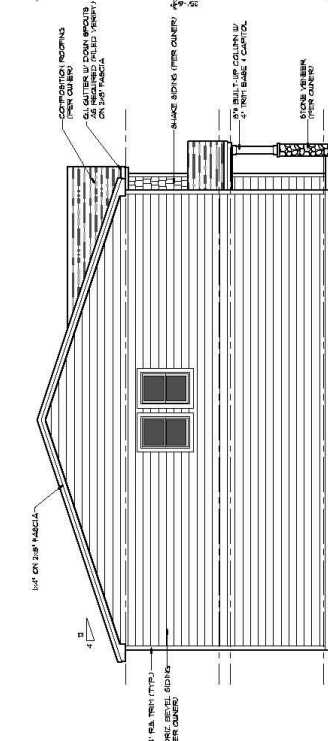
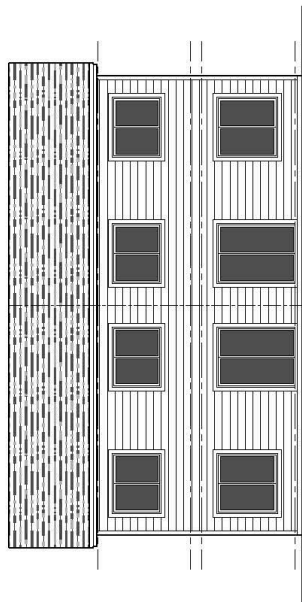
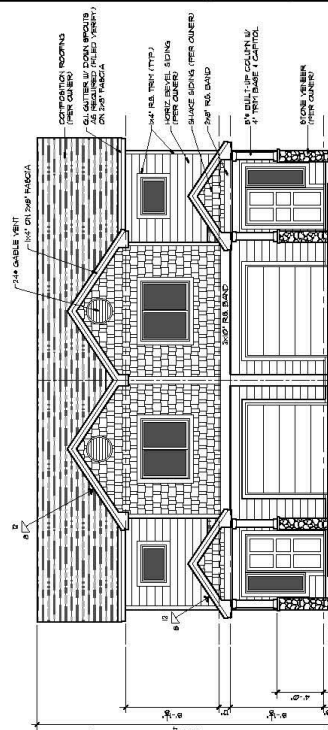
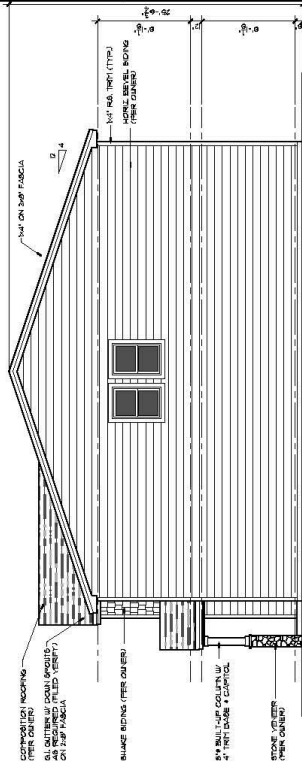
- SAVE VENTS - 41N^o PER LINEAL FOOT
- SAVE VENTS - 41N^o PER LINEAL FOOT
- ROOF JACKS - 81N^o EACH (110)
- GABLE END VENTS - 452N^o

ROOF FRAMING PLAN



houseplans.pro building designers 803-246-3022 1982 Phillips Rd. Lithonia, GA 30038 Copyright www.houseplans.pro		Plan license for ONE construction only at this site: 1982 Phillips Rd. Lithonia, GA 30038 Copyright www.houseplans.pro	
1004 30 NORTH 30th STREET, SUITE 100, ATLANTA, GA 30303 houseplans.pro		1004 30 NORTH 30th STREET, SUITE 100, ATLANTA, GA 30303 houseplans.pro	
DATE: 12/20/23		DATE: 12/20/23	
PROJECT: RZ-23-005		PROJECT: RZ-23-005	
SHEET: 1 OF 1		SHEET: 1 OF 1	

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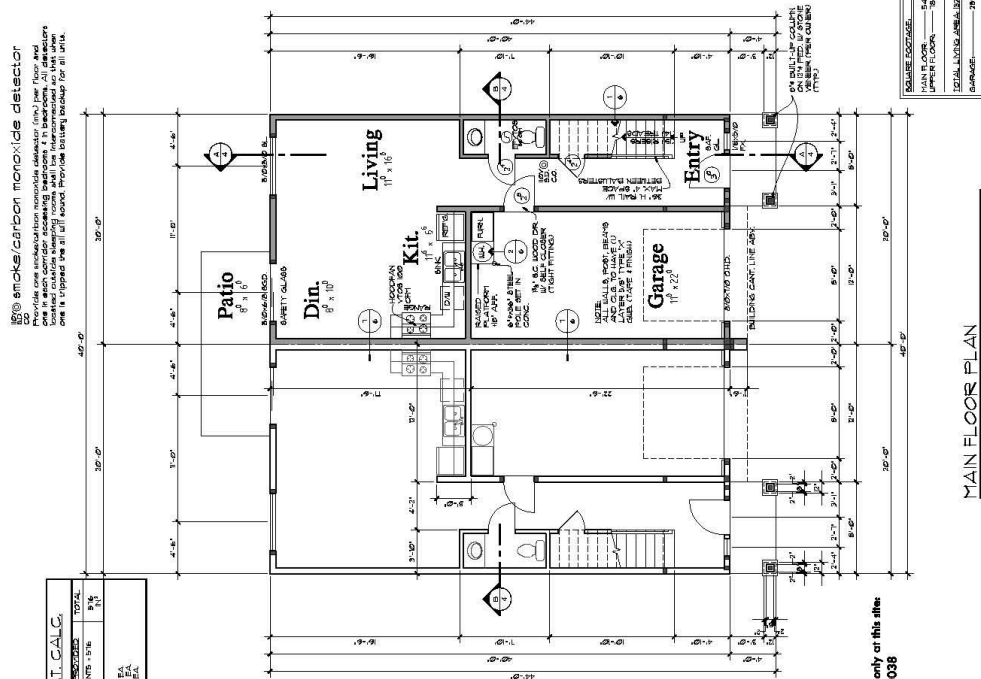
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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

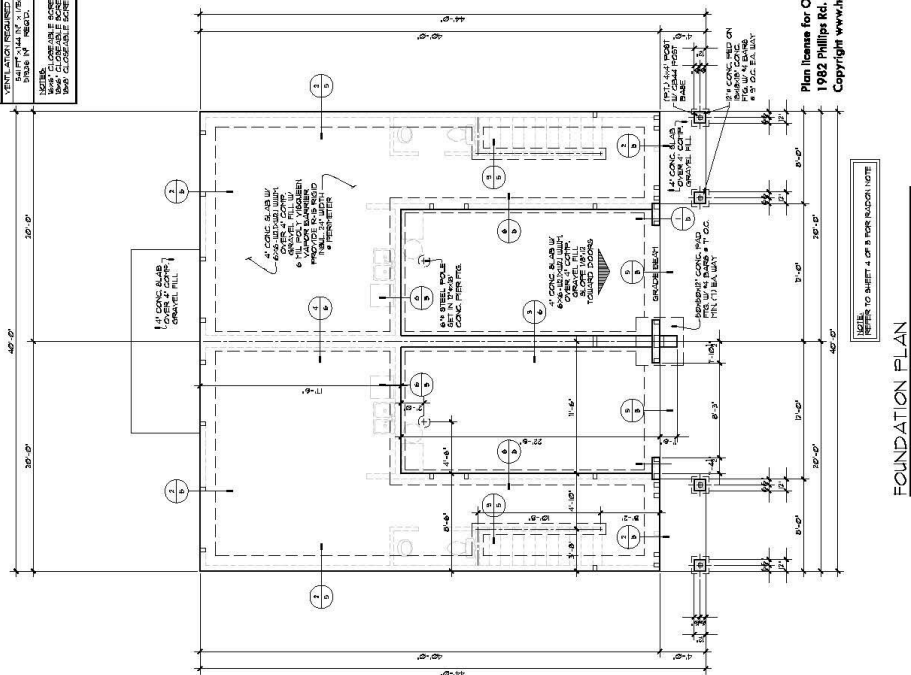
REAR ELEVATION
SCALE: 1/4" = 1'-0"

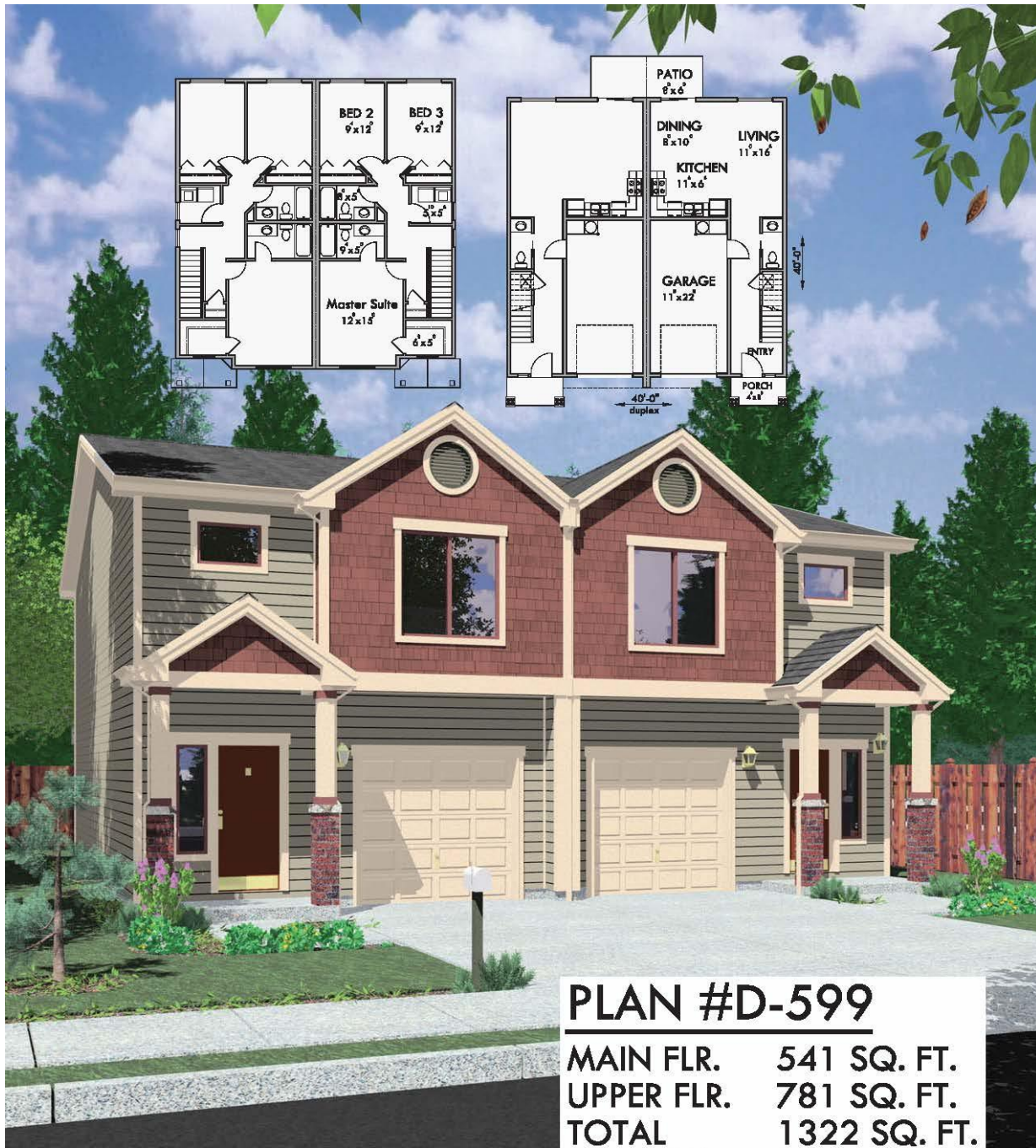
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

[illegible]

CRAWL SPACE VENT. CALC.		TOTAL
VENTILATION REQUIRED		
SAFETY: 144 IN ² / 160 G PIECE IN REQ'D.	4 160G VENTS = 640	640 IN ²

NOTES:
 160G = CLOSABLE SCREENED VENTS. 64 IN² EA.
 160G = CLOSABLE SCREENED VENTS. 16 IN² EA.
 160G = CLOSABLE BORED VENTS. 44 IN² EA.





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RZ-23-005

Planning and Zoning Department

Letter of Intent

Bridgemore Group
Lucretia Ramsey, manager
5751 Hunters Chase Ct.
Lithonia, GA 30038
lucretiaramsey@gmail.com
770-527-4011
6/21/23

Stonecrest Zoning Department
3120 Stonecrest Blvd #190,
Stonecrest, GA-30038[City, State, ZIP Code]

Subject: Rezoning Request for Property from RA5 (CZ85127) to R2 Duplex

Dear Stonecrest Zoning Department,

I hope this letter finds you well. I am writing to formally request a rezoning of a single-family property located at 1982 Phillips Rd Lithonia, GA 30058.. The purpose of this rezoning request is to convert the property from its current zoning designation of RA5 (Single-Family Residential) (CZ85127) to R2 (Duplex Residential). I believe that this rezoning is justified based on the following reasons:

1. Demand for Duplex Housing: There is a growing demand for duplex housing in our community, and rezoning this property to R2 would help address this need. Allowing the construction of a duplex would provide additional housing options without significantly altering the character of the neighborhood.
2. Compatible Surrounding Zoning: The proposed rezoning to R2 is consistent with the surrounding zoning in the area. There are existing multifamily dwellings in the surrounding areas of the property, indicating that a duplex on this property would be in harmony with the existing neighborhood.
3. Minimal Impact on Infrastructure: Rezoning this property to R2 would have minimal impact on the existing infrastructure. The property is already connected to the necessary utilities, and the increased density from a duplex would not impose a significant burden on local services and facilities.

