



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department

**MEETING DATE:** **January 16, 2024 – PUBLIC HEARING**

**FILE(S) #:** RZ-23-04 – Rezone  
DA-23-06 – Development Agreement  
CU-23-07 – Conditional Use Permit – Keely

### OWNER/APPLICANT/REPRESENTATIVE

**Applicant/Owner**

Clint and Jill Keely  
518 S. Star Roady  
Star, Idaho 83669

### REQUEST

**Request:** The Applicant is requesting approval of a Rezone (R-1 to CBD), a Development Agreement and Conditional Use Permit for two, 4700 square foot Live/Work units. The property is located at 856 S. Star Road, Star, Idaho and consists of .909 acres.

### PROPERTY INFORMATION

**Property Location:** The subject property is generally located on the east side of S. Star Road at address 856 S. Star Road in Star, Idaho. Ada County Parcel Number R1842701822.

**Existing Site Characteristics:** The property currently has a single-family residential dwelling with pasture.

**Irrigation/Drainage District(s):** - Pioneer Ditch Company LTD  
P.O. Box 70  
Star, Idaho 83669

**Flood Zone:** This property is currently located in a Special Flood Hazard Area.  
FEMA FIRM Panel Number: 16001C0140J  
Effective Date: 06/19/2020  
Flood Zone: AE

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – Yes, will not be impacted by proposed project.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	October 19, 2023
Neighborhood Meeting Held	November 13, 2023
Application Submitted & Fees Paid	November 16, 2023/November 21, 2023
Application Accepted	December 7, 2023
Residents within 300' Notified	December 18, 2023
Agencies Notified	December 7, 2023
Legal Notice Published	December 20, 2023
Property Posted	January 4, 2024

**HISTORY**

The city does not have any previous land use history for this parcel.

**SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
<b>Proposed</b>	Central Business District (CBD)	Central Business District (CBD)	Live/Work units
<b>North of site</b>	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
<b>South of site</b>	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
<b>East of site</b>	Residential (R-1)	Central Business District (CBD)	Single-family residential w/pasture
<b>West of site</b>	Commercial (C-1)	Central Business District (CBD)	Professional Offices

**ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-1B-1: ANNEXATION AND ZONING; REZONE:**

B. Standards:

1. The subject property shall meet the minimum dimensional standards of the proper district.
2. The city may require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement and concept plan shall be required for any rezone to a mixed-use zone, high density zone or land which includes steep slope (land over 25%) or floodway.
3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
  2. The map amendment complies with the regulations outlined for the proposed district;
  3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
  4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

### **8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

CENTRAL BUSINESS DISTRICT: To provide for commercial, retail, civic, office, and entertainment uses. High density housing is encouraged on the upper floors of mixed-use buildings and may also be allowed at the fringes of the land use designation shown on the comprehensive plan. Live/work designed development is also encouraged in this district. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility. Special emphasis shall be placed on development in the central downtown area to encourage and create a vibrant, walkable downtown community that incorporates the Boise River as an active amenity.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	CBD
Live/Work Multi-Use	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
CBD	35'	0'	0'	0' <sup>4</sup>	0'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**8-1B-4: CONDITIONAL USES:**

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

**8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

#### **8-5-17: LIVE/WORK UNIT:**

General Standards:

1. Live/Work units are allowed in the Mixed Use (MU) and Central Business District (CBD) zoning districts.

2. The commercial component of live/work is intended for use by the following occupations: accountants, architects, artists and artisans, attorneys, computer software and multimedia related professions, consultants, engineers, fashion, florist and greens, designers, hair stylists and barbers, insurance, real estate, one-on-one instructors, or similar uses. The Council may authorize other similar uses using reasonable discretion, as long as such other uses are allowed within the base zone and not otherwise precluded by law.

3. Live/work units must be attached. Residential areas are permitted above the commercial component, to the side or in the rear of the business component.

4. The commercial component shall be primarily operated within the unit, but may be also conducted in the yard, provided it meets all further requirements of this title.

5. The external access for the commercial component shall be oriented to the street and should have at least one external entrance/exit separate from the living space. The entrance to the business component shall be located on the ground level. Access to the commercial component of each live/work unit shall be clearly separate from the common walkways or entrances to the

other residential units within the development, or other residential units in adjacent developments;

6. The commercial use shall not generate external noise, odor, glare, vibration or electrical interference detectable to the normal sensory perception by adjacent neighbors;

7. No explosive, toxic, combustible or flammable materials in excess of what would be allowed incidental to normal residential use shall be stored or used on the premises.

8. The commercial component as designated on the floor plan approved through the conditional use permit shall remain commercial and cannot be converted to residential use. The residential component may be converted to a commercial use in the CBD zoning district upon approval of a new application.

## **COMPREHENSIVE PLAN:**

### 8.2.3 Land Use Map Designations:

#### Central Business District

The Central Business District is planned to be a vibrant downtown center for the community. Uses encouraged are commercial, retail, civic, private offices, and entertainment. High density housing is encouraged on the upper floors of mixed-use buildings and at the fringes of the land use designation. Developments in this district are to place an emphasis on pedestrian and bicycle access and compatibility.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.



- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

#### 8.5.5 Policies Related Mostly to the Central Business District Planning Areas:

- A. The CBD zoning district should allow for a mix of commercial, office, institutional, and civic type uses with specific provisions for residential use in appropriate locations with compatible densities.
- B. High density residential is suitable within the CBD in mixed use buildings with commercial or office type uses on the first floor and high density residential on upper floors.
- C. Main Street, generally south of Tempe Lane extended, consists of several lots which are about one acre in size created by "Dixon Subdivision" almost a century ago. Many of the existing home sites on these lots are rural in nature, including farm animals. As redevelopment of this area occurs, a transition consisting of a compatible mix of lower intensity commercial and office type uses mixed with residential should be encouraged. This Main Street area needs to be studied to provide for special care guiding future development understanding that the rights consisting of the existing rural use of residential lots are not to be infringed. Furthermore, Main Street is to be studied for the provision of traffic calming measures and to provide for a connection for horseback riders to access an equestrian trail which should be planned along the Boise River.
- D. The city should develop a street improvement plan for the CBD identifying drainage and street improvements with a functional grid system and use public private partnerships to assure the system is built and that "ad hoc" development of parcels within the CBD do not block good planning.
- E. The city should develop a downtown grid system, in part, planning for the easterly extension of Tempe Lane and easterly extension of West First Street to help provide better downtown access and parking facilities.
- F. The east west public road from the Heron River Development, south of the LDS Church on Main Street, should be extended to Star Road.
- G. Implement, review, and update the 2011 Star Downtown Revitalization Plan for development strategies within the plan intended to stimulate development within the CBD.
- H. As recommended in the 2011 Star Downtown Revitalization Plan, the city should create an Urban Renewal District to stimulate development within the CBD.
- I. The city should encourage assemblage of the smaller properties where appropriate.

J. The “floodway” lands abutting the CBD land use designation, all as shown in the Comprehensive Plan Land Use Map, should continue to be developed as park space supporting activities integral to the economic and “Live, Work, Play” ambiance planned for the CBD.

K. Main city service facilities should be located in the CBD and should all be south of State Highway 44 clustered into a “City Services Campus”. That includes the City Hall, Library, Post Office, Emergency Services, Department of Motor Vehicles, and other related facilities.

L. Big Box commercial, generally a single-story single use building over 50,000 square feet, should not be permitted within the CBD and any single-story single use building which is large in scale, such as approaching the 50,000 square foot size, should be located to front on Highway 44 or Star Road.

#### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

#### 18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

## PROJECT OVERVIEW

### REZONE:

The rezone request from Residential (R-4) to Central Business District (CBD) on the applicant’s property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan Map. Sewer and Water will be provided by the Star Sewer and

Water District and is in close proximity to the property. Annexation into the Sewer and Water District will be required.

**CONDITIONAL USE PERMIT:**

The applicant is requesting approval of a Conditional Use Permit to construct two, 4,700 square foot live/work buildings. Each proposed building will consist of two residential units upstairs with two commercial units downstairs. Each residential unit is proposed to have two bedrooms and two baths with kitchen and great room. The commercial units are proposed to be open area with an ADA compliant bathroom in each unit. Each residential unit will be accessed by external stairs.

Access will be taken from S. Star Road, directly to the property along the northern edge of the parcel. To utilize this access, the Applicant will need to close their existing access to S. Star Road for the current residence and all access will utilize this new, northern ingress/egress.

The Applicant is proposing approximately 2,300 square feet of commercial space on the main level with two living residences on the second level. Section 8-4B-3 of the Unified Development Code requires one parking space for every 250 square feet of commercial space. Each proposed building will require 9 parking spaces for commercial use. Each residential unit will require two spaces, one of which must be covered. The Applicant is proposing 22 total parking spaces for both buildings, with four covered, satisfying the required number of parking spaces as required by the UDC. The proposed site plan only calls out one ADA parking spot. **Each building shall have one space designated as ADA.**

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep. The proposed site plan calls out the appropriate dimensions to satisfy this requirement.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. The Applicant is proposing a twenty-six foot (26') wide drive aisle along the northern edge of the property and a twenty-five foot (25') wide drive aisle between the two proposed buildings which satisfies the requirement for minimum drive aisle width.

**The applicant has provided exterior elevations and color renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval.**

Section 8-3A-4 of the UDC requires "All setbacks in the CBD . . . zone shall maintain a minimum 15' when adjacent to a residential use or zone." The applicant is requesting a ten foot (10') setback on the southern edge of the property in order to provide the required number of parking spaces and drive aisle width. In addition, the applicant is proposing a detached covered parking area along the eastern boundary of the property that will be within the required setback. Staff is supportive of these requests given the propensity for future development of the southern and eastern parcels and that no vehicle traffic will be along the southern property boundary and the eastern boundary is against adjacent pasture area. All other CBD setback requirements will be met.

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. **The Applicant has not provided a proper landscape plan that meets Code requirements. This will be required prior to final approval and will be part of the Design Review/CZC process. The landscape plan should give attention to residential neighbors.**

The Applicant is proposing to pave the driveway and all drive aisles.

**The Applicant has not provided a lighting plan for the site or building. This will be required prior to issuing a building permit and will be part of the Design Review/CZC process.** All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

#### **EXISTING DWELLING AND CBD REZONE:**

The applicant is proposing to rezone the entire property as CBD and keep the existing residential use on the house adjacent to Star Road. The intent is to split the residential use from the live/work uses and continue to use the residential dwelling until a future date, when the home will be either converted or redeveloped as commercial. The applicant has submitted an administrative lot split application that will be processed once the rezone is completed.

#### **DEVELOPMENT AGREEMENT:**

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Approved Commercial Use

- Future Development
- ITD Proportionate Share

**AGENCY RESPONSES**

ACHD	December 22, 2023
City Engineer	February 1, 2024
Fire District	December 22, 2023

**PUBLIC RESPONSES**

No public comments have been received for this application.

**STAFF ANALYSIS & RECOMMENDATIONS**

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed rezone, development agreement and conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

**FINDINGS**

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

**ANNEXATION/REZONE FINDINGS:**

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.
 

*The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:*

  - ✓ *Protection of property rights.*

- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Encourage urban and urban-type development and overcrowding of land.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

*The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

*The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the residential districts is to provide regulations and districts for various residential neighborhoods with gross densities in compliance with the intent of the Comprehensive Plan designation. Housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications in all districts exceeding one dwelling unit per acre. Private streets may be approved in this district for access to newly subdivided or split property.*

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

*The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.*

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

*The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.*

5. The annexation is in the best interest of the city.

*The Council must find that this annexation is reasonably necessary for the orderly development of the City.*

## **CONDITIONAL USE PERMIT FINDINGS:**

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

*The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.*

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

*The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.*

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

*The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.*

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

*The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.*

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

*The Council must find that the proposed use be adequately served by essential public facilities and services.*

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.*

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

*The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.*

<b>CONDITIONS OF APPROVAL</b>
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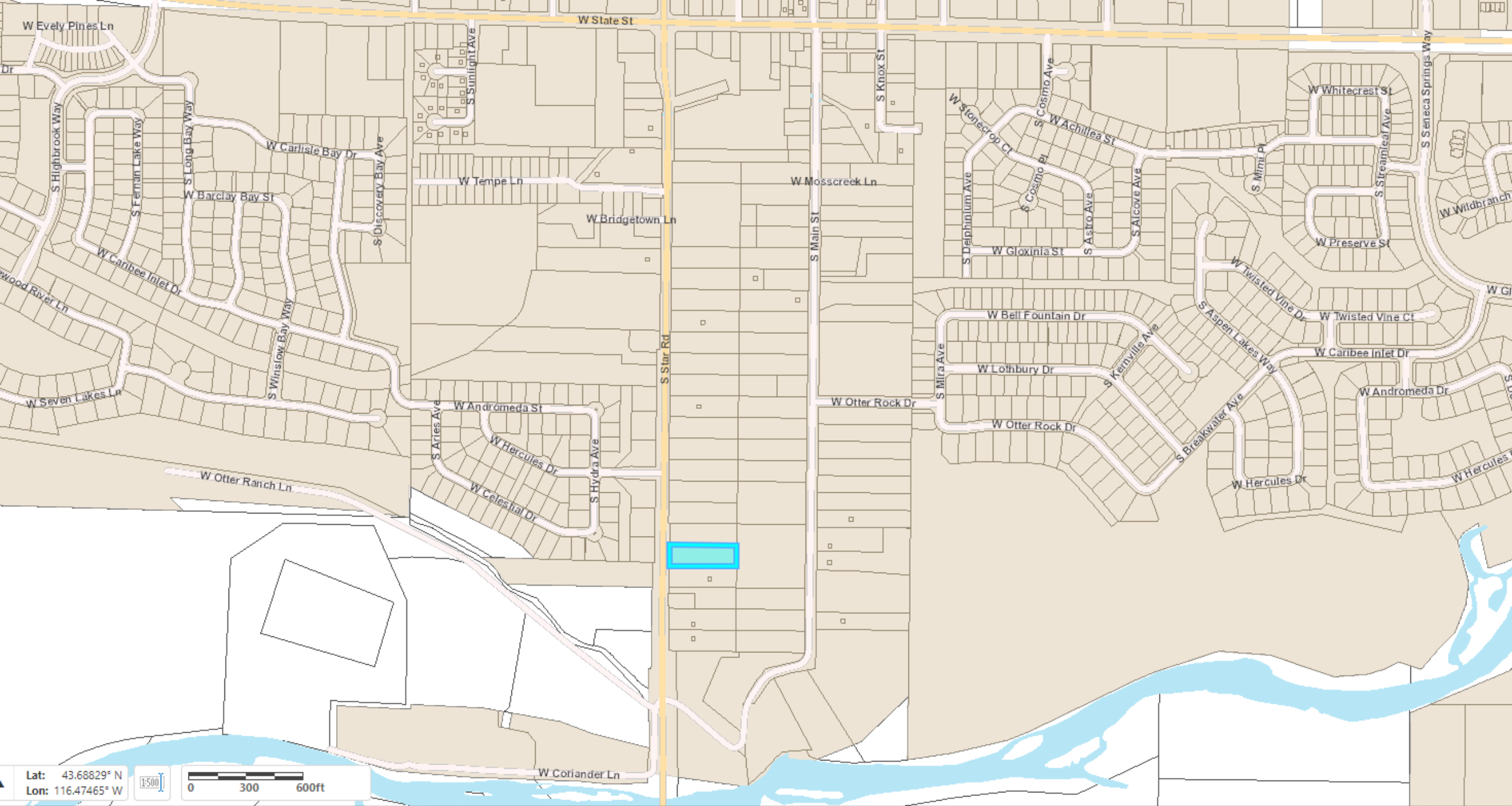
1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees (for the residential uses only) will be collected by the City of Star, by phase, prior to issuance of a building permit. The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.
3. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a lighting plan and design that meets city standards prior to Building Permit being issued.**
4. **A Certificate of Zoning Compliance will be required prior to issuing a building permit, to include final review and approval of the project by the Design Review Committee.**
5. **The Applicant shall meet all the requirements for the Ada County Highway District (ACHD) prior to certificate of occupancy.**
6. **The Applicant shall receive approval from the Flood Plain Administrator and complete the necessary paperwork for building in a special flood hazard area prior to issuing the building permit.**
7. **The Applicant shall provide a letter from the Star Postmaster approving the location of the mailboxes for the new buildings, prior to signing the final plat.**
8. **The Applicant shall complete and record the record of survey to split the existing residential use from the live/work uses prior issuance of any building permits.**
9. The property shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
10. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. The applicant shall meet all requirements of the Star Sewer and Water District.



13. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
14. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
15. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
16. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
17. Any additional Condition of Approval as required by Staff and City Council.
18. Any Conditions of Approval as required by Star Fire Protection District.

<b>COUNCIL DECISION</b>
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The Star City Council \_\_\_\_\_ File Number RZ-23-04, DA-23-06, CU-23-07, for  
Clint and Jill Keely on \_\_\_\_\_, 2024.



W Evelyn Pines Ln

W State St

S Highbrook Way  
S Fernan Lake Way  
S Long Bay Way

W Carlisle Bay Dr

W Barclay Bay St

S Discovery Bay Ave

W Tempe Ln

W Bridgetown Ln

W Mosscreek Ln

W Stonecrop Ct

S Cosmo Ave

S Cosmo Pl

W Achillea St

W Whitecrest St

S Streamleaf Ave

S Mimi Pl

W Preserve St

W Wildbranch

Wood River Ln

W Carbee Inlet Dr

S Winslow Bay Way

W Seven Lakes Ln

W Bell Fountain Dr

W Twisted Vine Dr

W Twisted Vine Ct

S Aries Ave

W Andromeda St

W Hercules Dr

S Hydra Ave

W Otter Rock Dr

W Otter Rock Dr

S Mitra Ave

W Lothbury Dr

S Kenyville Ave

S Breakwater Ave

W Carbee Inlet Dr

W Andromeda Dr

W Otter Ranch Ln

W Celesial Dr

W Hercules Dr

W Hercules

Lat: 43.68829° N  
Lon: 116.47465° W



0 300 600ft

W Coriander Ln

Project Narrative:

10-10-2023

Subject property;

856 S. Star road

Star ID 83669

Current zoning is R-1 however is within the CBD zoning. Current use is a single family dwelling on the front third of the property, the plan would be to use the north side of the property as the new entrance and build (2) 4700 sqft Live/Work buildings on the south property line. The current plan would be to build (1) and the second would be built in the future.

Clint Keely



## ANNEXATION & ZONING - REZONE APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>R2-23-04</u>	Fee Paid: <u>2190.<sup>00</sup></u>
Date Application Received: <u>11-16-23</u>	
Processed by: City: <u>BN</u>	

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Clint Keely  
 Applicant Address: 518 S. Star road Zip: 83669  
 Phone: 2088611867 Email: clint@keelyelectric.com

Owner Name: Clint and Jill Keely  
 Owner Address: 518 S Star road Zip: 83669  
 Phone: 2088611867 Email: clint@keelyelectric.com

Representative (e.g., architect, engineer, developer):  
 Contact: \_\_\_\_\_ Firm Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Property Information:

Site Address: 856 S. Star road Parcel Number: R1842701822  
 Total Acreage of Site: .909  
 Total Acreage of Site in Special Flood Hazard Area: .909  
 Proposed Zoning Designation of Site: CBD

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-1	CBD	
Proposed	CBD	CBD	
North of site	R-1	CBD	
South of site	R-1	CBD	
East of site	R-1	CBD	
West of site	C-1	CBD	

**Special On-Site Features** (Yes or No – If yes explain):

Areas of Critical Environmental Concern - No

Evidence of Erosion - No

Fish Habitat - No

Floodplain - Yes - Flood plain per FEMA map "AE" and "X"

Mature Trees - No

Riparian Vegetation - No

Steep Slopes - No

Stream/Creek - No

Unique Animal Life - No

Unique Plant Life - No










Unstable Soils - No









Wildlife Habitat - No

Historical Assets - No

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (✓)	Description	Staff (✓)
	Pre-application meeting with the Planning Department required prior to neighborhood meeting. Date of Pre-App Meeting: <b>10/19/2023</b>	✓
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	✓
	Completed and signed Annexation & Zoning/Rezone Application	✓
	All Annexations & Rezones require a Development Agreement *Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: 	✓
	An application for annexation or rezone shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority. A hearing date before the Council shall not be scheduled until the traffic impact study has been approved and the transportation authority (ACHD, ITD, CDH4) has issued a staff report on the development application.	
	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	✓
	Narrative fully describing the proposed project (must be signed by applicant)	✓
	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> <li>• Include a metes &amp; bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet.</li> </ul>	✓

	<ul style="list-style-type: none"> <li>Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h.</li> <li>If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map.</li> <li>Submit word.doc and pdf version with engineer's seal.</li> </ul>	✓
	Recorded warranty deed for the subject property	✓
	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	NA
	Vicinity map showing the location of the subject property with minimum <b>1-mile radius</b>	✓
	Copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, <b>a conceptual development plan for the property is required.</b>	✓
	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	✓
	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the entire property being considered as shown on record in the County Assessor's office. <b>Please contact the City to request addresses and labels (additional fee required).</b>	✓
	Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan or concept plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site, concept plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type.	✓
	Signed Certification of Posting with pictures (see attached posting requirements and certification form) – To be completed by applicant a minimum of 10-days prior to public hearing. Staff will notify applicant in writing of hearing and posting date.	
	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits, if applicable. Please contact SSWD for details at 208-286-7388.	

### APPLICANT ACKNOWLEDGEMENT\*\*:

**\*\* I have read, understand and accept the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be additional fees associated with this application incurred by the City in obtaining reviews or referrals by architect, outside engineering, or other professionals necessary to enable the City to process this application. I understand that I, as the applicant, I am responsible for all payments to the City of Star.**

  
 Applicant/Representative Signature

11-14-23  
 Date



## CONDITIONAL USE PERMIT APPLICATION

\*\*\*All applicable information must be filled out to be processed.

FILE NO.: CU-23-07  
Date Application Received: 11-16-23 Fee Paid: 1460.<sup>00</sup>  
Processed by: City: BN

### Applicant Information:

**PRIMARY CONTACT IS: Applicant  Owner  Representative**

Applicant Name: Clint Keely  
Applicant Address: 518 S. Star road Zip: 83669  
Phone: 2088611867 Email: clint@keelyelectric.com

Owner Name: Clint and Jill Keely  
Owner Address: 518 S Star road Zip: 83669  
Phone: 2088611867 Email: clint@keelyelectric.com

Representative (e.g., architect, engineer, developer):  
Contact: \_\_\_\_\_ Firm Name: \_\_\_\_\_  
Address: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Property Information:

Site Address: 856 S. Star road Parcel Number: R1842701822  
Requested Condition(s) for Conditional Use: Mixed use

	Zoning Designation	Comp Plan Designation
Existing	<b>R-1</b>	<b>CBD</b>
Proposed	<b>CBD</b>	<b>CBD</b>
North of site	<b>R-1</b>	<b>CBD</b>
South of site	<b>R-1</b>	<b>CBD</b>
East of site	<b>R-1</b>	<b>CBD</b>
West of site	<b>C-1</b>	<b>CBD</b>

**Site Data:**

Total Acreage of Site: .909  
Proposed Percentage of Site Devoted to Bldg Coverage: 32%  
Proposed Percentage of Site Devoted to Landscaping: 5  
Number of Parking spaces: Proposed 6 Required \_\_\_\_\_  
Requested Front Setback: 10' Requested Rear Setback: 10'  
Requested Side Setback: 10' Requested Side Setback: 10'  
Requested Side Setback: \_\_\_\_\_  
Existing Site Characteristics: Open field with existing house on front of property

Number and Uses of Proposed Buildings: 2, Mixed use Live/work  
Location of Buildings: South property line  
Gross Floor Area of Proposed Buildings: 9400  
Describe Proposed On and Off-Site Traffic Circulation: Tenants for living and retail/office below to enter and exit through north property drive

Proposed Signs – number, type, location: Signs above man door of each unit  
(include draft drawing) \_\_\_\_\_

Public Services (state what services are available and what agency is providing the service):  
Potable Water - Star water and sewer  
Irrigation Water - Pioneer Ditch CO  
Sanitary Sewer - Star water and sewer  
Schools - Star elem, Star middle, Owyhee high  
Fire Protection - Star Fire Dept  
Roads - ACHD

**Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision/Project Name: Keely offices Phase: 1  
Special Flood Hazard Area: total acreage .909 number of homes/structures  
2

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: 16001C0140J  
FIRM effective date(s): mm/dd/year 6/19/2020  
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: AE  
Base Flood Elevation(s): AE 24700 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.




**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted.)











Applicant	Description	Staff (✓)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	✓
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	✓
	Completed and signed Conditional Use Application	✓
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	✓
	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	✓
	Legal description of the property (word.doc and electronic version with engineer's seal):	✓
	Copy of recorded warranty deed.	✓
	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	✓
	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Vicinity map showing the location of the subject property	✓
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	✓
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, <u>shall be submitted in original pdf format (no scans) on a thumb drive only (no discs)</u> with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	✓
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

**Site Plan (If applicable):**

	The following items must be included on the site plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
	• Existing boundaries, property lines, and dimensions of the lot	
	• Relationship to adjacent properties, streets, and private lanes	
	• Easements and right-of-way lines on or adjacent to the lot	
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	<ul style="list-style-type: none"> <li>• Open/common spaces</li> </ul>	
	<ul style="list-style-type: none"> <li>• Refuse and service areas</li> </ul>	
	<ul style="list-style-type: none"> <li>• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing &amp; proposed)</li> </ul>	
	<ul style="list-style-type: none"> <li>• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances</li> </ul>	

**Landscape Plan (If applicable):**

	<b>The following items must be included on the landscape plan:</b>	
	<ul style="list-style-type: none"> <li>• Date, scale, north arrow, and project name</li> </ul>	
	<ul style="list-style-type: none"> <li>• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan</li> </ul>	
	<ul style="list-style-type: none"> <li>• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings</li> </ul>	
	<ul style="list-style-type: none"> <li>• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.</li> </ul>	
	<ul style="list-style-type: none"> <li>• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements</li> </ul>	
	<ul style="list-style-type: none"> <li>• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours</li> </ul>	
	<ul style="list-style-type: none"> <li>• Sight Triangles as defined in 8-4 A-7 of this Ordinance</li> </ul>	
	<ul style="list-style-type: none"> <li>• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size</li> </ul>	
	<ul style="list-style-type: none"> <li>• Proposed screening structures</li> </ul>	
	<ul style="list-style-type: none"> <li>• Design drawings(s) of all fencing proposed</li> </ul>	
	<ul style="list-style-type: none"> <li>• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> <li>➢ Number of street trees and lineal feet of street frontage</li> <li>➢ Width of street buffers (exclusive of right-of-way)</li> <li>➢ Width of parking lot perimeter landscape strip</li> <li>➢ Buffer width between different land uses</li> <li>➢ Number of parking stalls and percent of parking area with internal landscaping</li> <li>➢ Total number of trees and tree species mix</li> <li>➢ Mitigation for removal of existing trees, including number of caliper inches being removed</li> </ul> </li> </ul>	

**SIGNS (If applicable):**

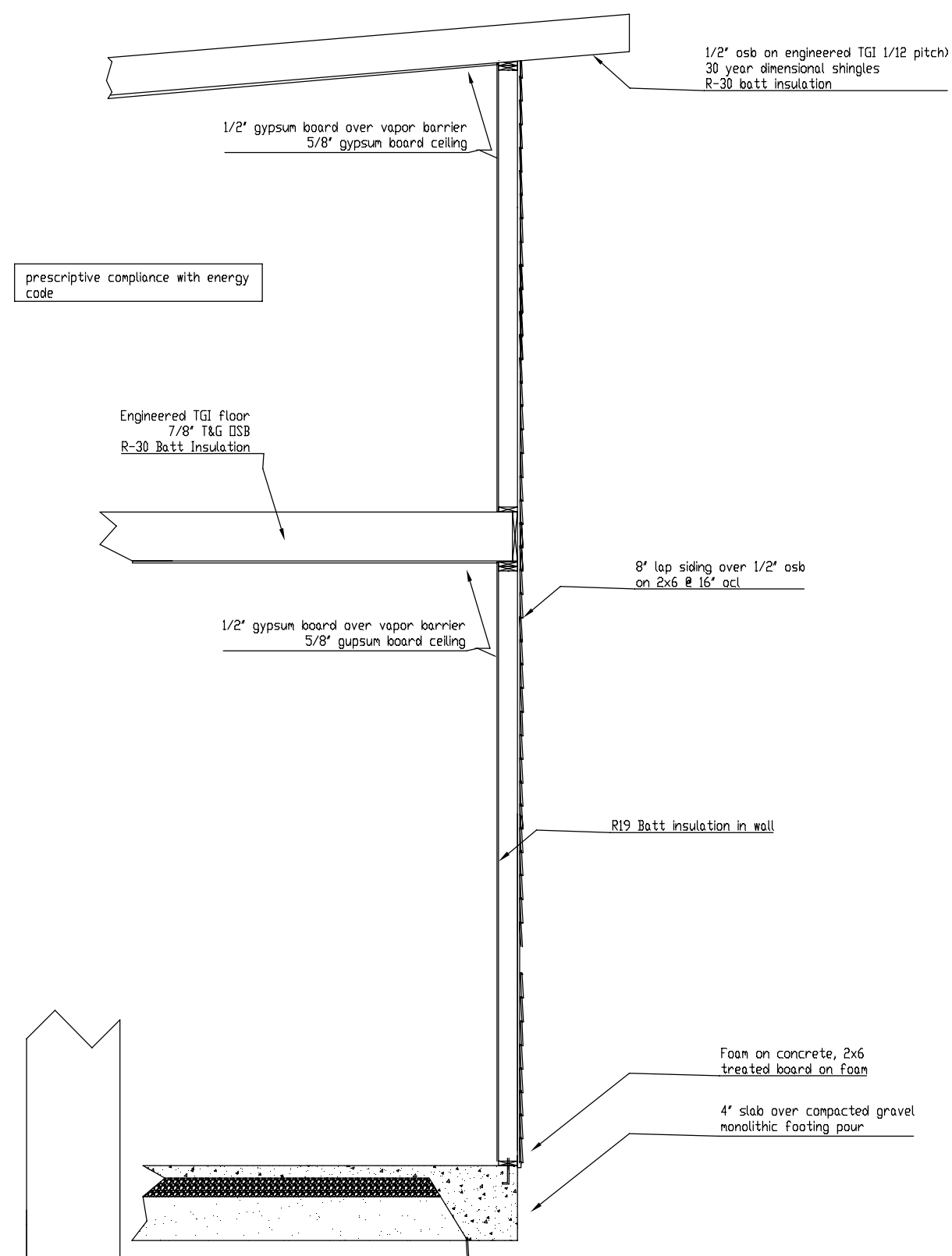
All signs will require separate submittal of a sign application.

**FEE REQUIREMENT:**

**\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**



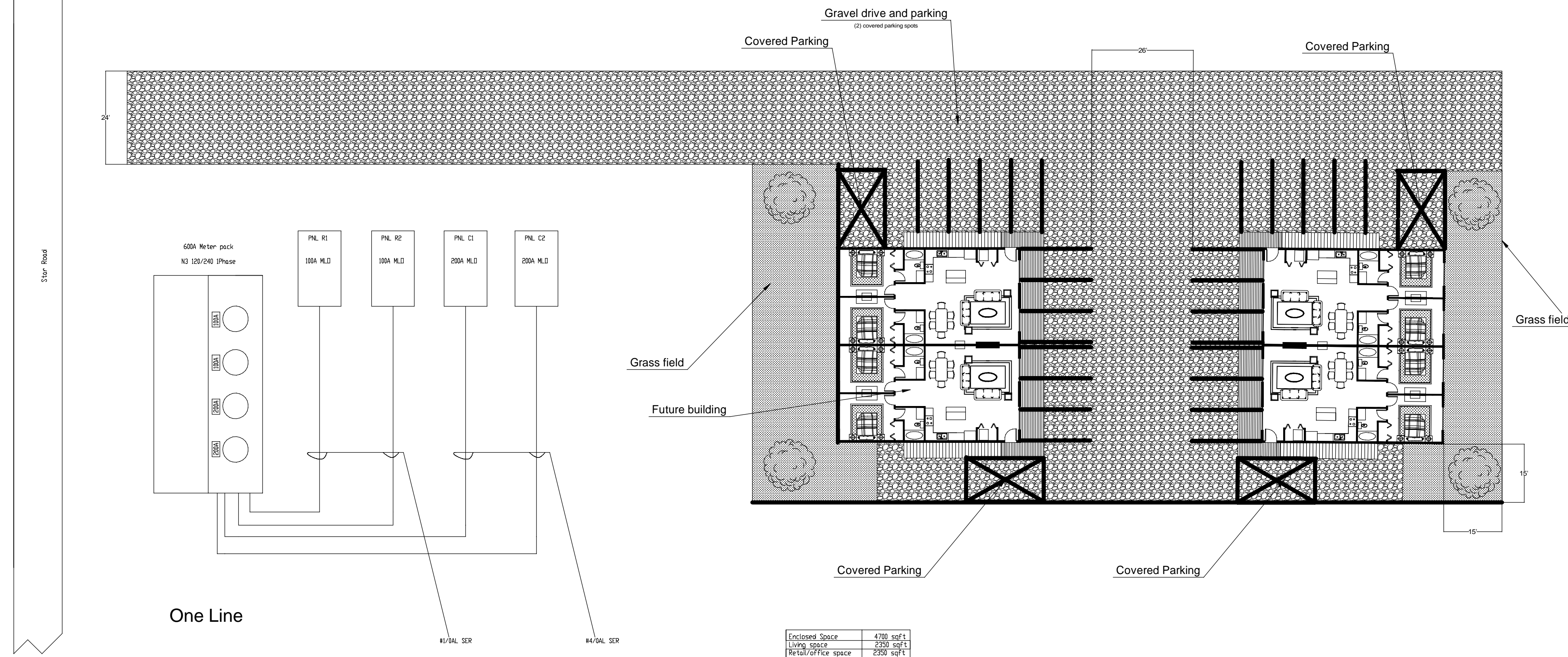
11-14-23



Window Schedule	
W1	6-0 x 5-0 double hung
W2	6-0 x 2-0 fixed payne
W3	6-0 x 5-0 double hung
W4	6-0 x 2-0 fixed payne
W5	6-0 x 5-0 double hung
W6	6-0 x 2-0 fixed payne
W7	6-0 x 5-0 double hung
W8	6-0 x 2-0 fixed payne
W9	6-0 x 5-0 double hung
W10	6-0 x 5-0 double hung
W11	6-0 x 5-0 double hung
W12	6-0 x 5-0 double hung

Door Schedule	
D1	3-0 Fiberglass
D2	3-0 Fiberglass
D3	4'-8" Bifold
D4	2-6 hollow core
D5	2-6 hollow core
D6	2-6 hollow core
D7	2-6 hollow core
D8	4'-8" Bifold
D9	4'-8" Bifold
D10	2-6 hollow core
D11	2-6 hollow core
D12	2-6 hollow core
D13	2-6 hollow core
D14	4'-8" Bifold
D15	3-0 Fiberglass
D16	16'W x 14'T OH
D17	16'W x 14'T OH
D18	3-0 Fiberglass
D19	3-0 hollow core
D20	3-0 hollow core
D21	4'-6" bifold
D22	4'-6" bifold

## ORIGINAL SUBMITTED SITE PLAN



STAMP

Clint Anthony Keely  
and Jill Christine Keely Residence

518 South Star Road  
Star, Idaho 83669

Scale = 1" to 20'

---

DATE

10/7/2023

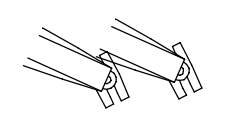
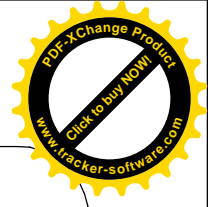
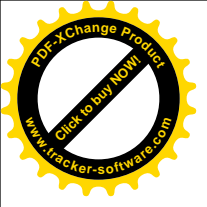
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SHEET

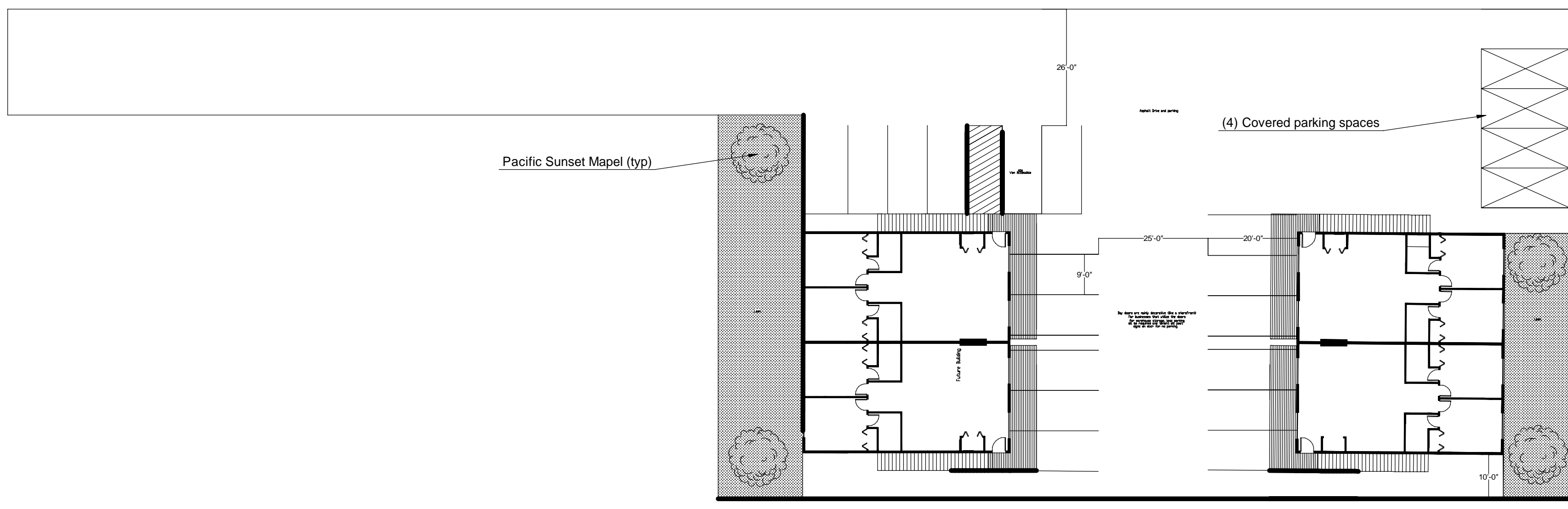
11

OF

11



# UPDATED SITE PLAN 2-1-24



Landscape plan

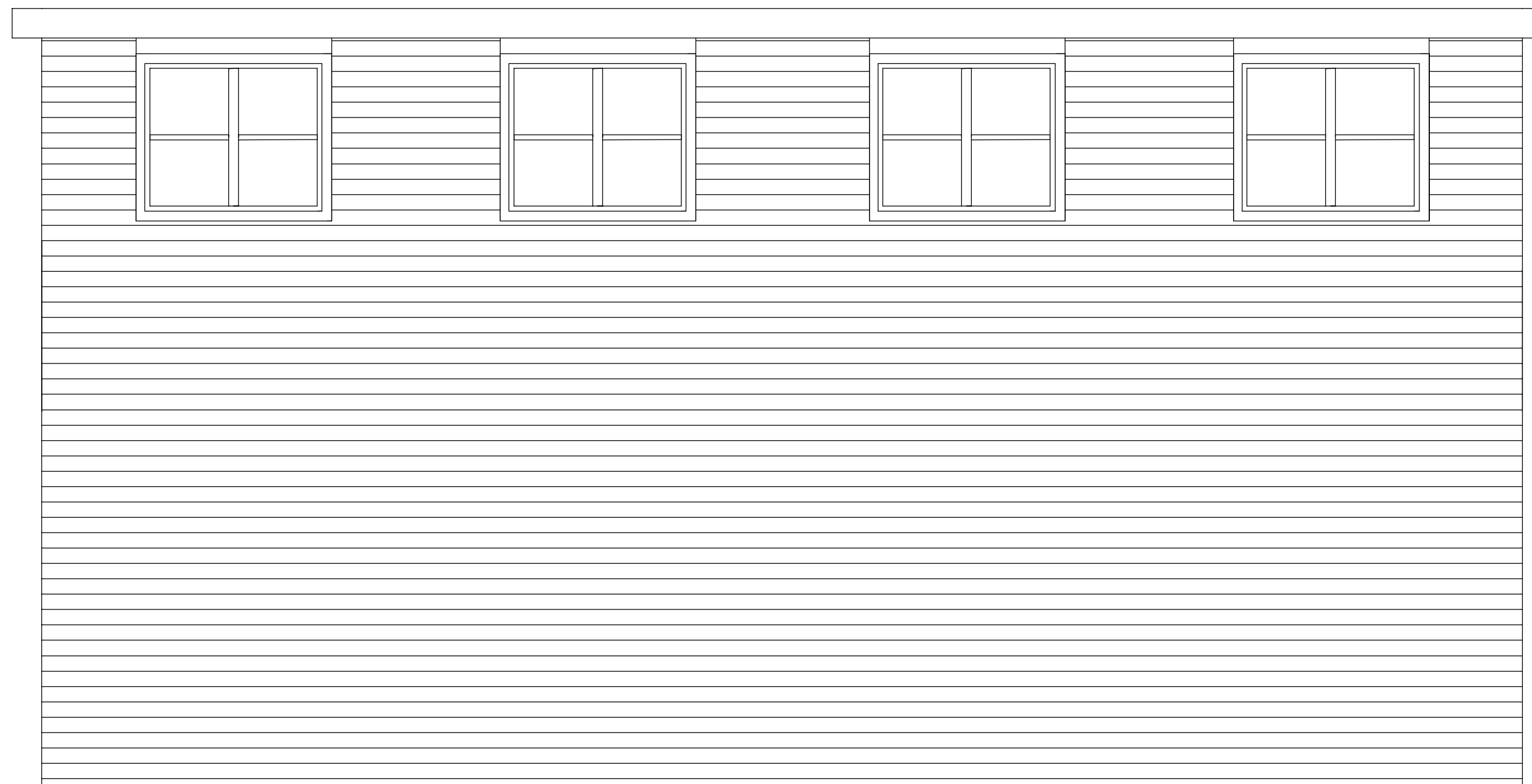
STAMP	
Clint Anthony Keely and Jill Keely Live/Work	856 South Star Road Star, Idaho 83669
DATE	10/7/2023
SHEET	12 OF 13
Scale = 1/4" to 1'	



Area from top of upper window to bottom of lower window  
to be brown wood grain; rest of exterior to be gray lap siding



North Elevation



South Elevation

STAMP

Clint Anthony Keely  
and Jill Keely Live/Work

856 South Star Road  
Star, Idaho 83669

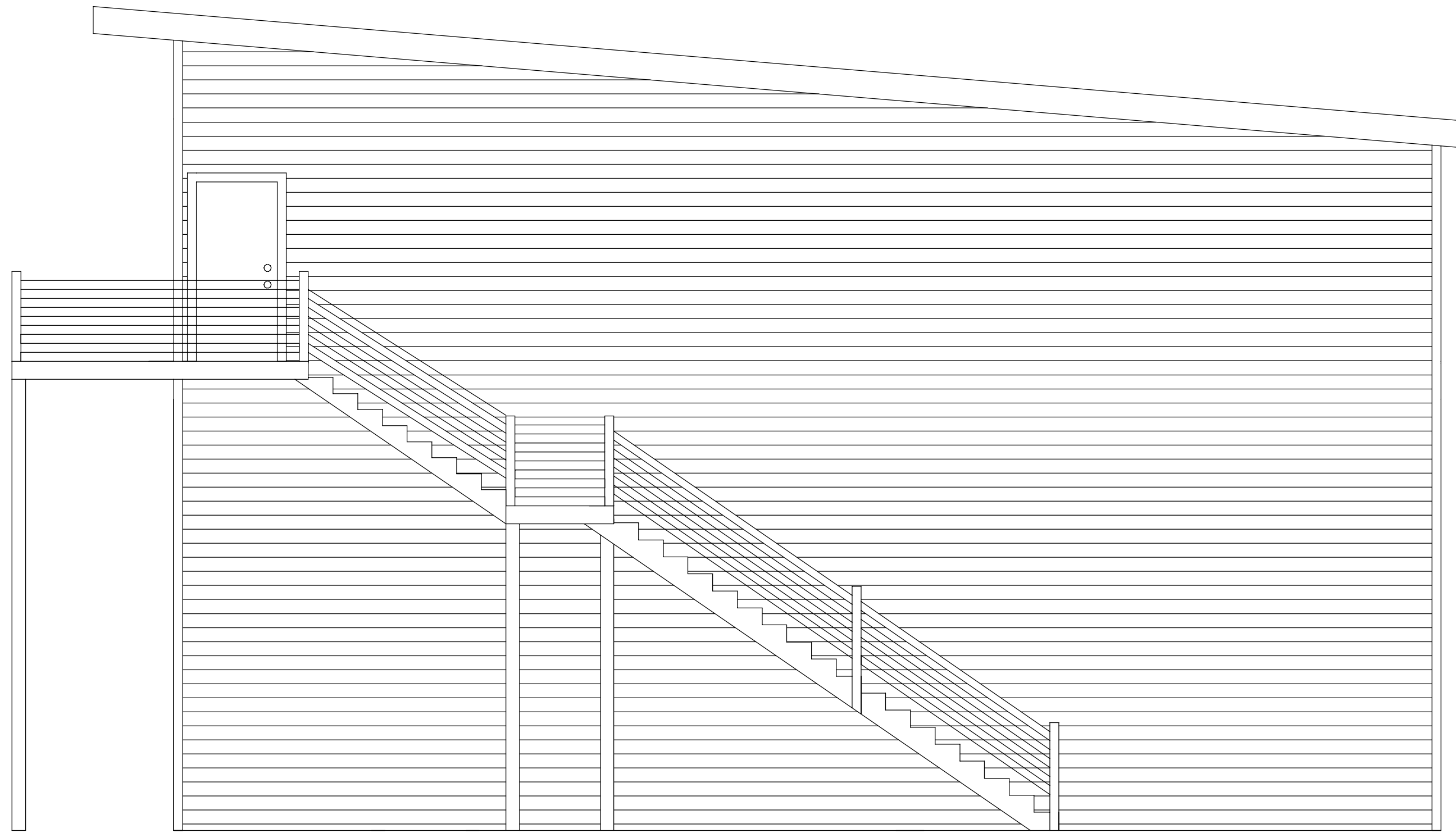
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DATE

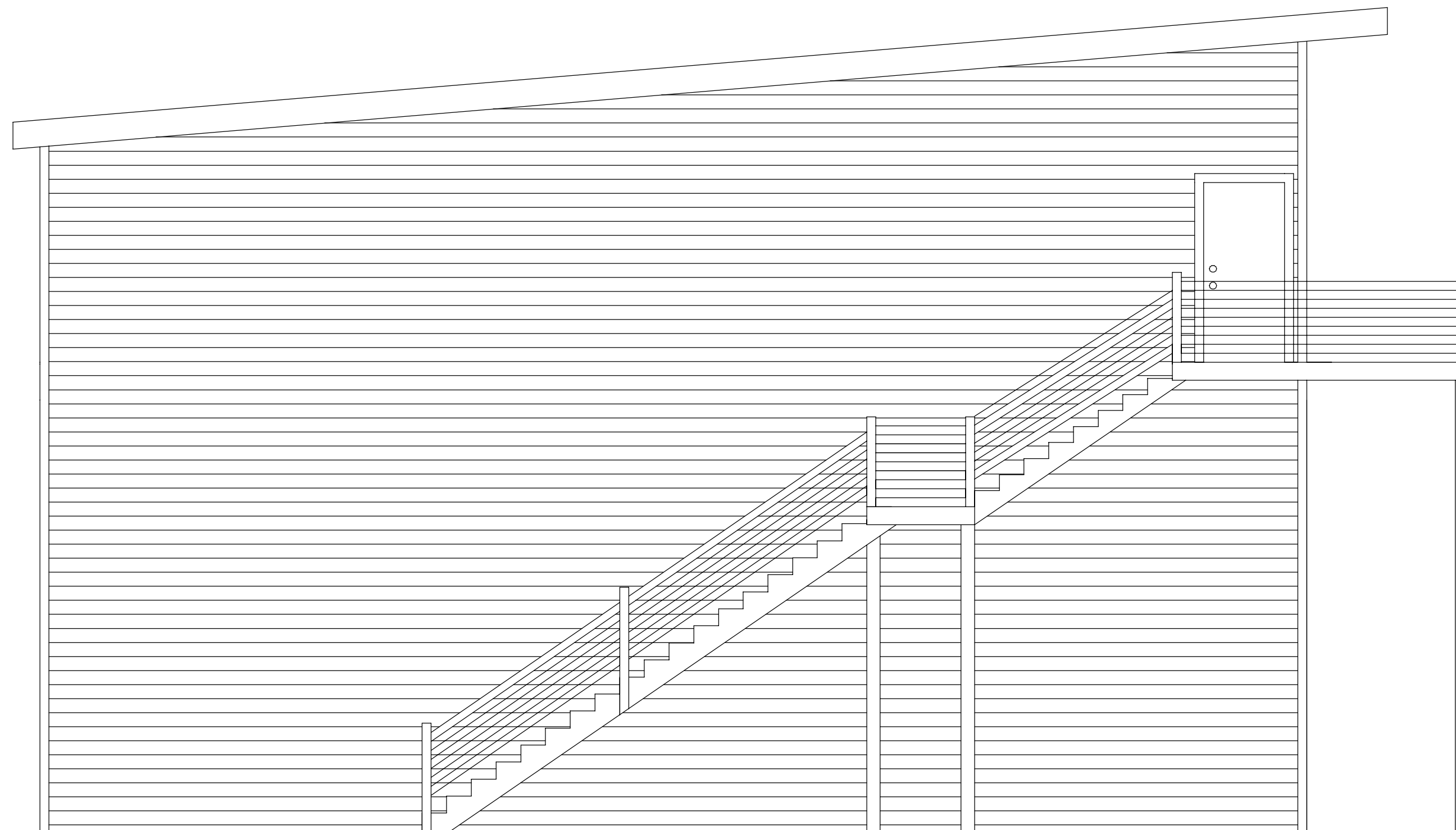
10/7/20223

SHEET

1  
OF  
11



West Elevation



East Elevation

STAMP

Clint Anthony Keely  
and Jill Keely Live/Work

856 South Star Road  
Star, Idaho 83669

Scale = 1/4" to 1'

DATE

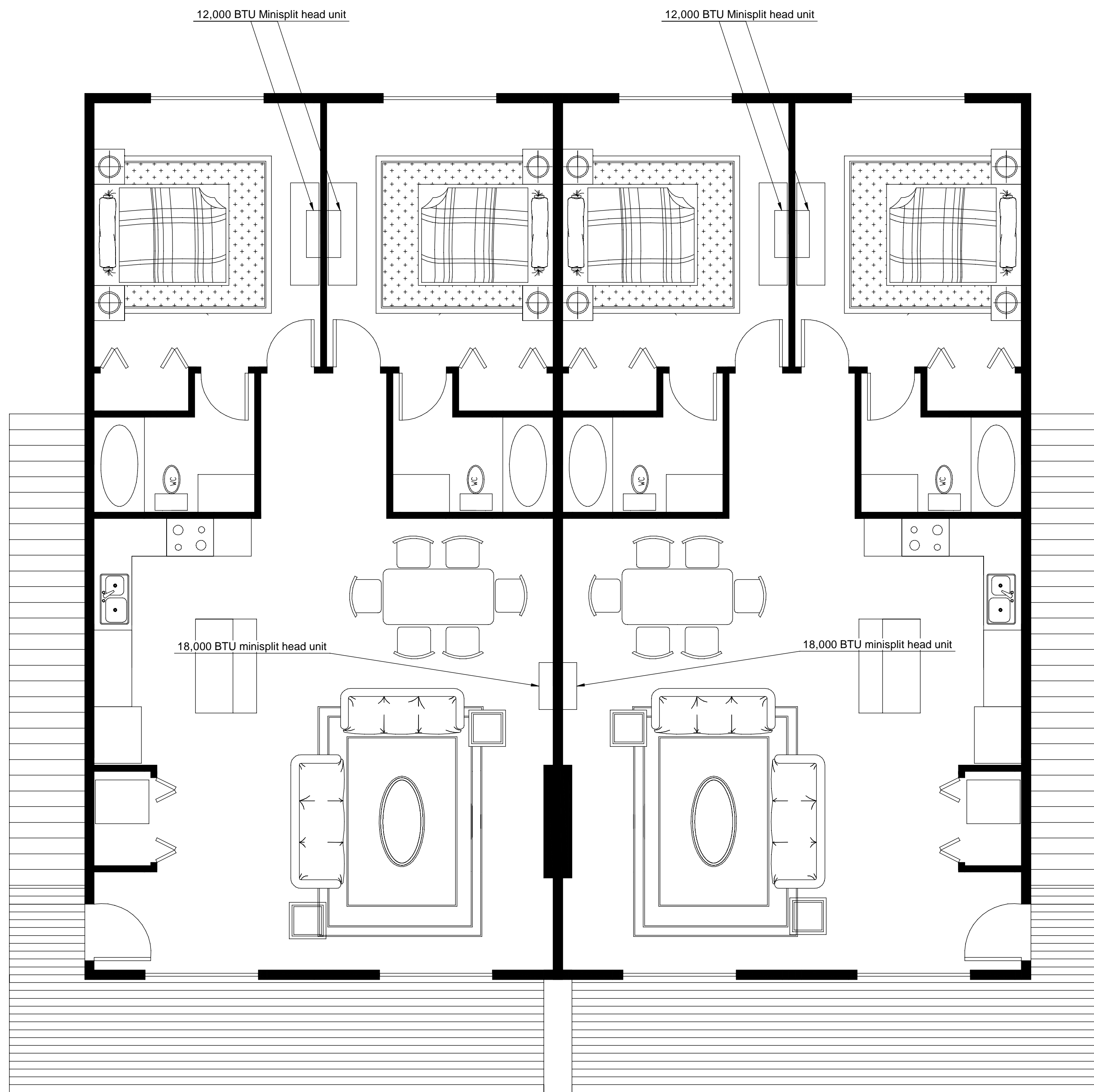
10/7/2023

SHEET

2

OF

11



Second Floor Furniture Plan

STAMP

Clint Anthony Keely  
and Jill Keely Live/Work

856 South Star Road  
Star, Idaho 83669

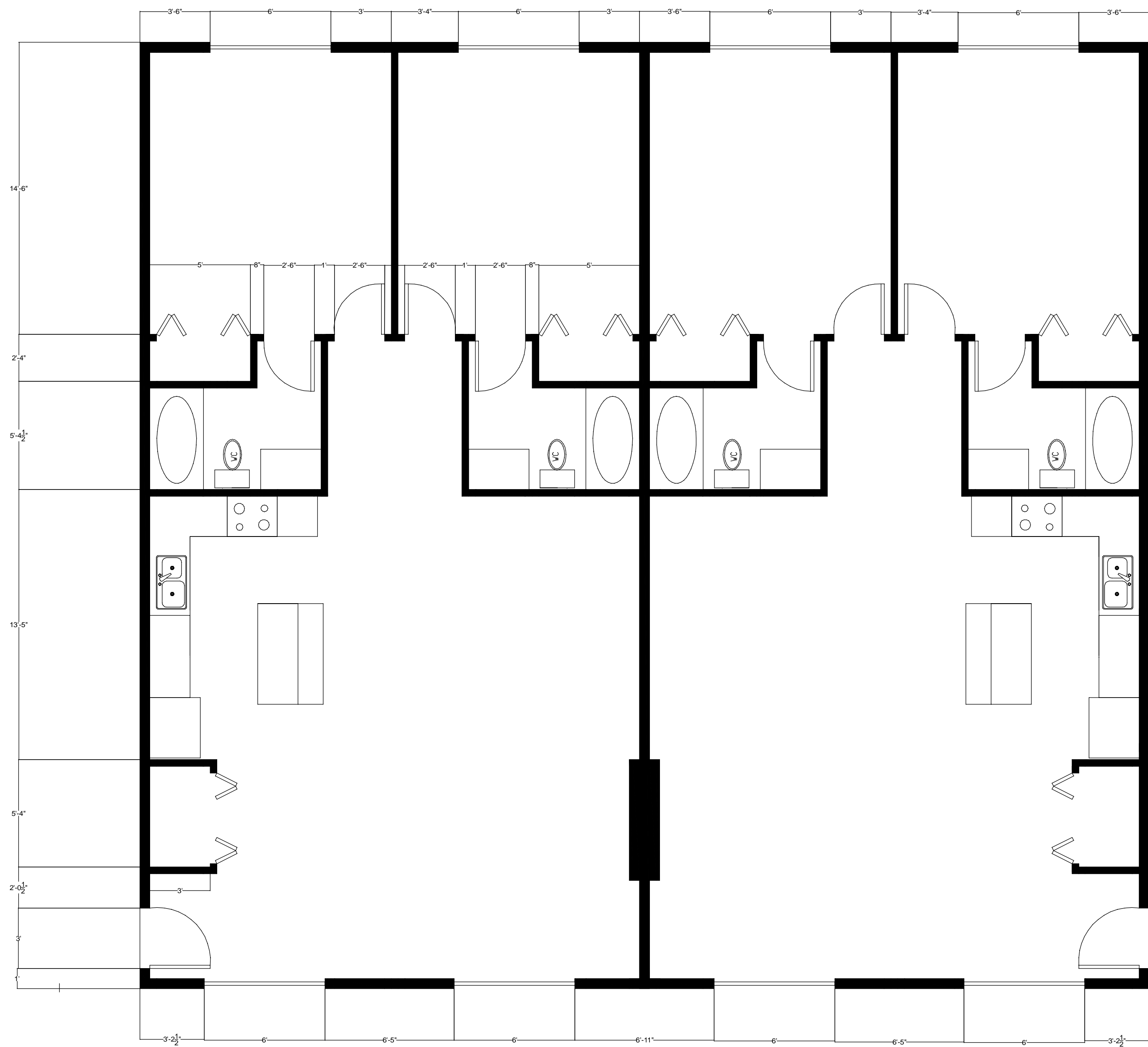
Scale = 1/4" to 1'

DATE

10/7/2023

SHEET

3  
OF  
11



Second Floor Plan layout

STAMP

Clint Anthony Keely  
and Jill Keely Live/Work

856 South Star Road  
Star, Idaho 83669

Scale = 1/4" to 1'

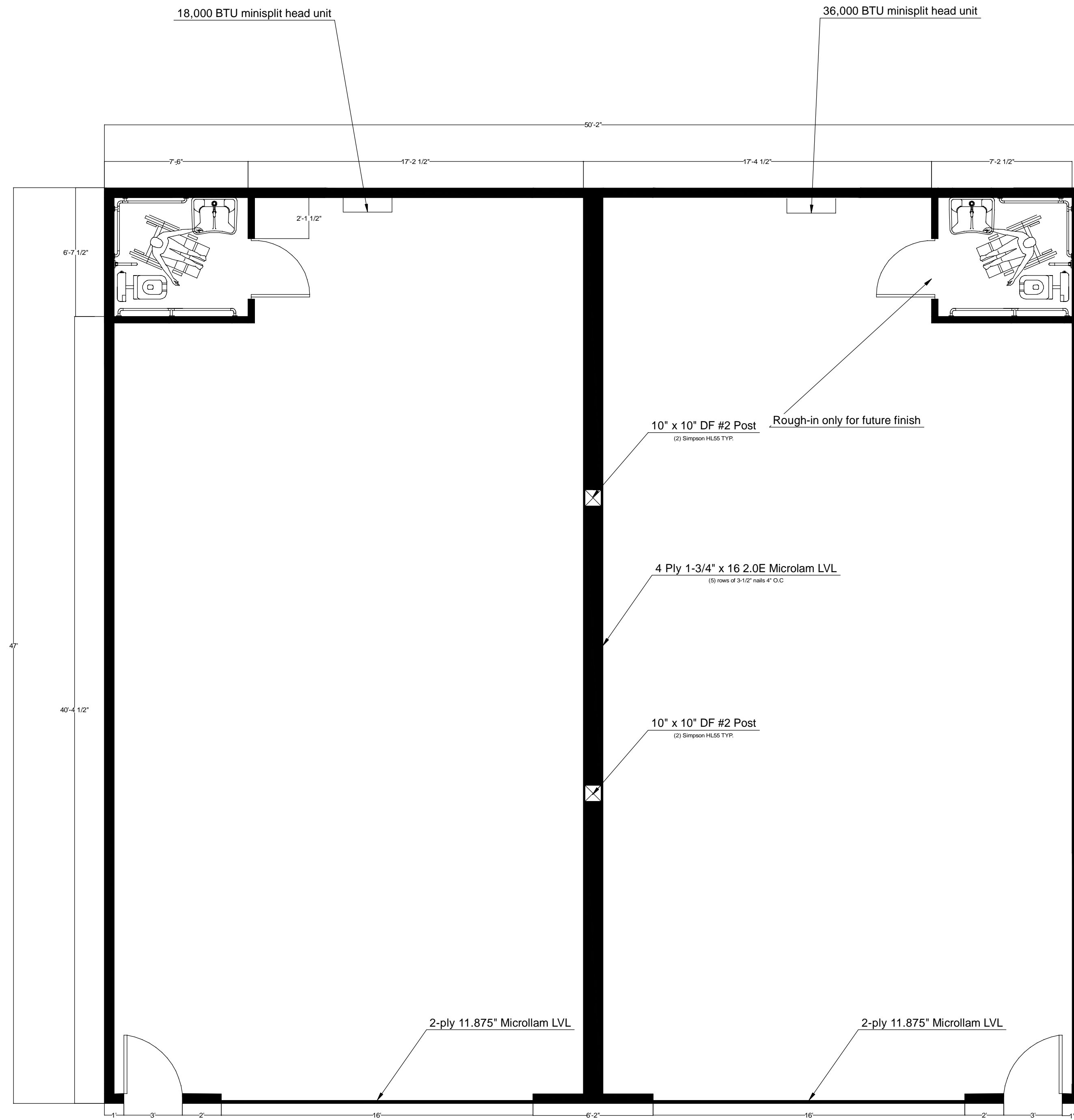
DATE

10/7/2023

SHEET

4  
OF  
11





1st Floor Plan layout

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669 Scale = 1/4" to 1'	
DATE	
10/7/2023	
SHEET	
5 OF 11	



Second floor framing

STAMP

Clint Anthony Keely  
and Jill Keely Live/Work

856 South Star Road  
Star, Idaho 83669

Scale = 1/4" to 1'

DATE

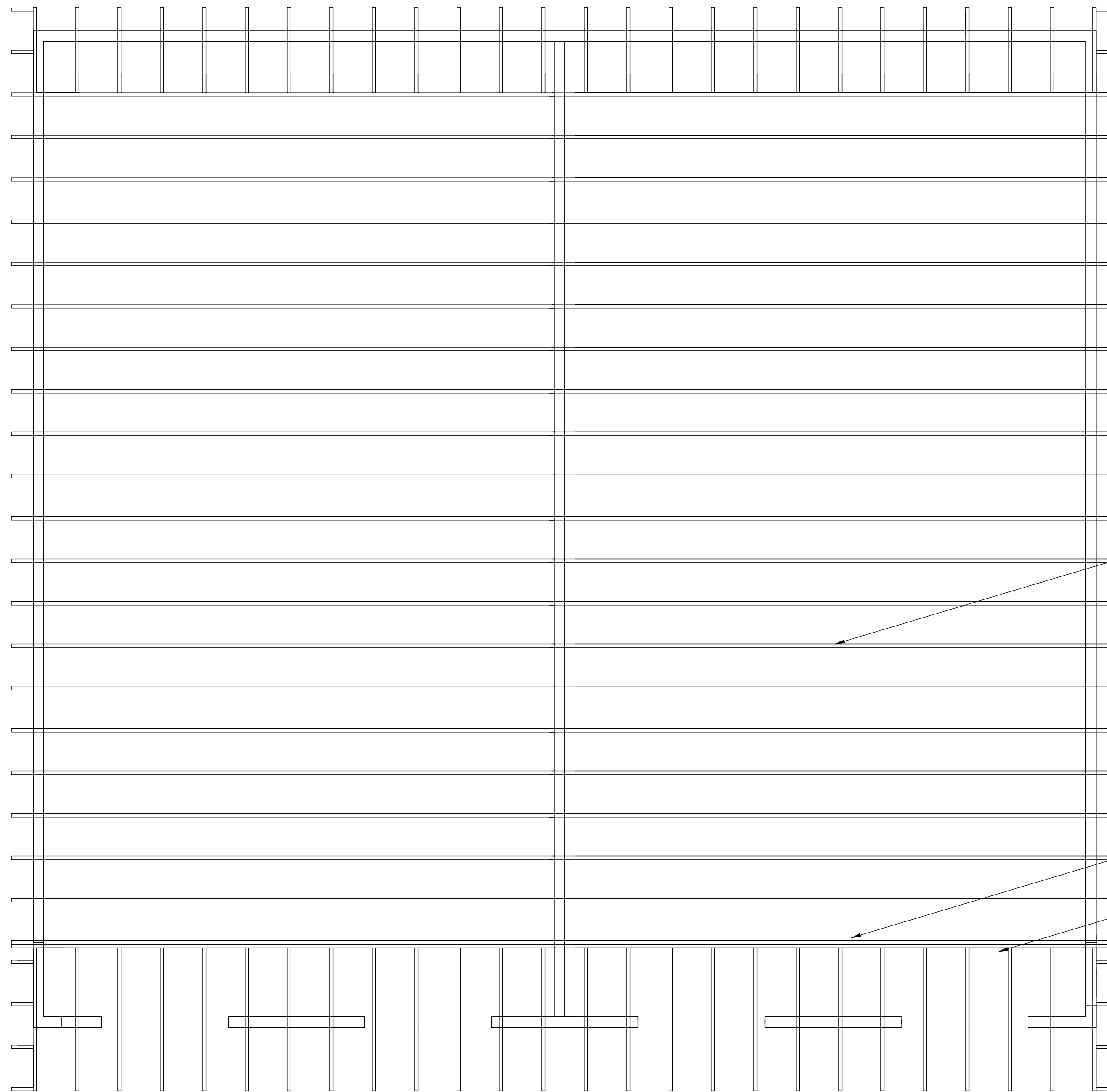
10/7/2023

SHEET

6

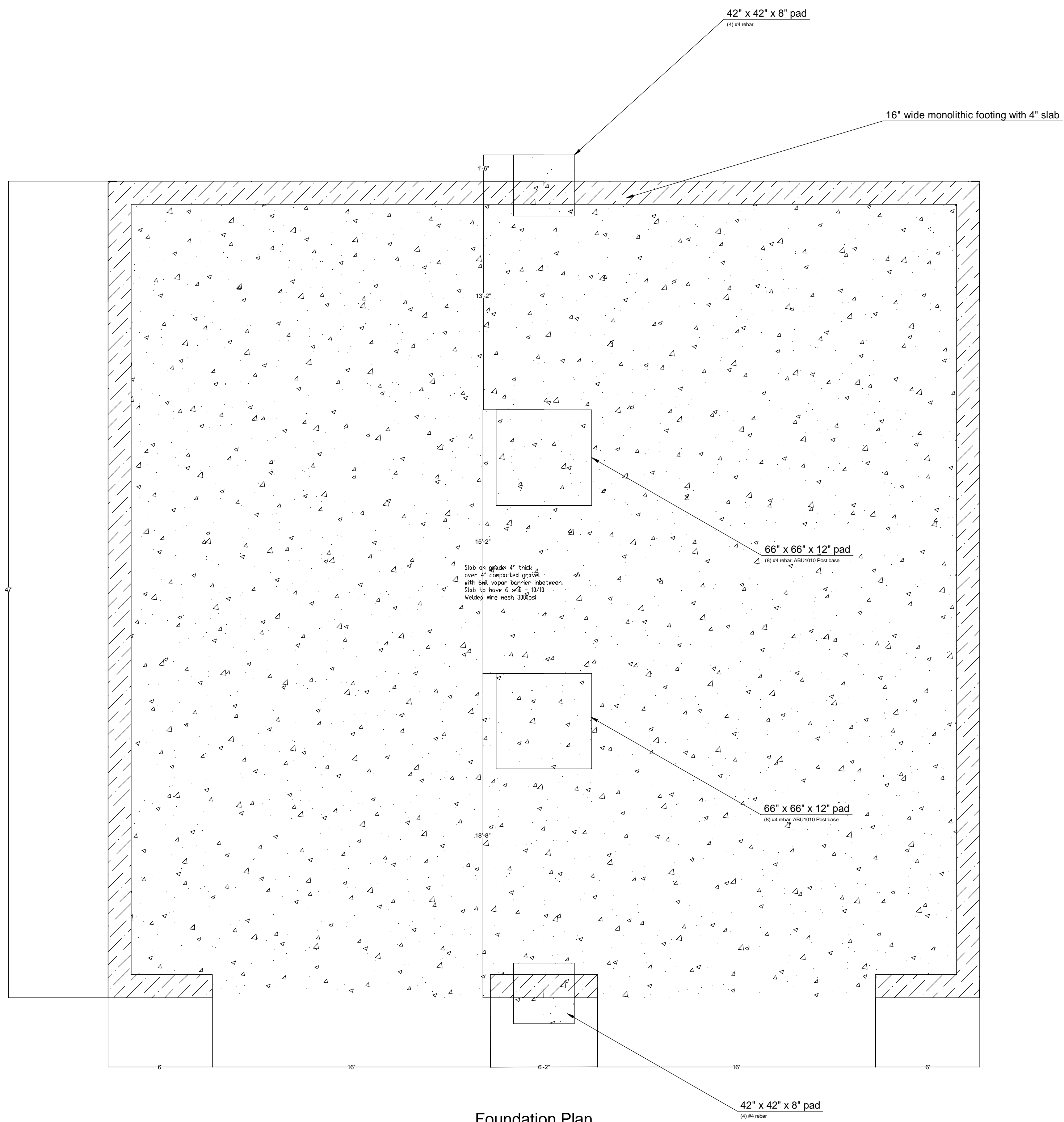
OF

11



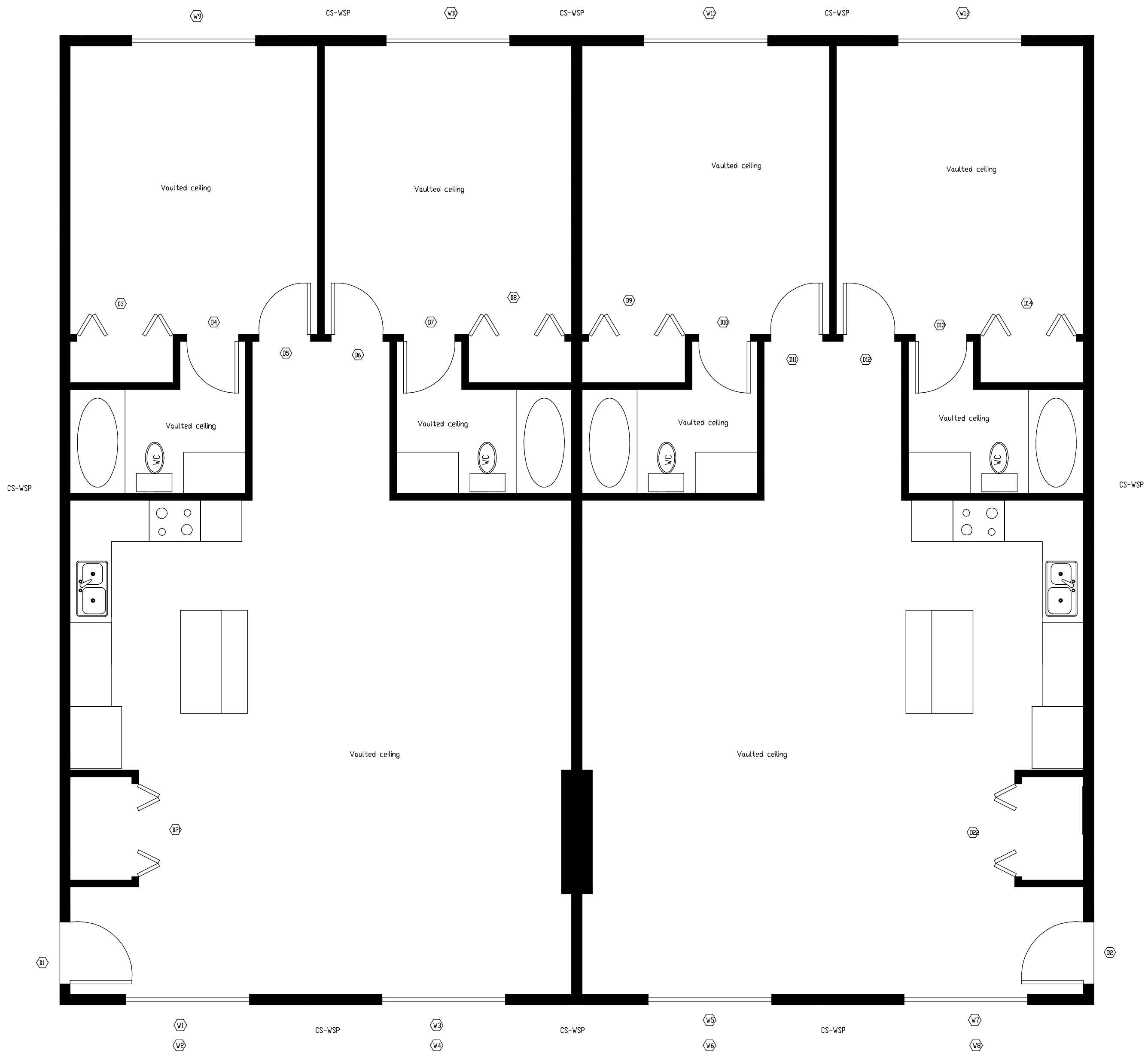
Roof framing plan

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	856 South Star Road Star, Idaho 83669
	Scale = 1/4" to 1'
DATE	
10/7/2023	
SHEET	
7 OF 11	



Foundation Plan

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669	
Scale = 1/4" to 1'	
DATE	
10/7/2023	
SHEET	
8	
OF	
11	



Second Floor Wall shear  
Doors and windows

STAMP	
Clint Anthony Keely and Jill Keely Live/Work	
856 South Star Road Star, Idaho 83669	
Scale = 1/4" to 1'	
DATE	
10/7/2023	
SHEET	
9 OF 11	





DATE: December 22, 2023

TO: City of Star – Planning and Zoning

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review

PROJECT NAME: Keely Live/Work Units  
Files: RZ-23-04, CU-23-07, DA-23-06

**Fire District Summary Report:**

1. **Overview:** The applicant is requesting approval of a Rezone from Residential (R-1) to Central business District (CBD-DA), Development Agreement, and a Conditional Use Permit for two 4,700 sq. ft. Live/Work units.
2. This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
3. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.9 miles with a travel time of 2 minutes under ideal driving conditions.
4. **Side Setback:** Side Setback as per Star City Code.
5. **Impact Fee Category:** Residential Multi Family (2 Units per building)
6. **Accessibility:** Roadway Access, Traffic, Radio Coverage
  - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
  - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
  - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
  - d. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
  - e. A minimum width of 24ft all-weather drivable surface will be required for this project.
    - i. Aerial Fire Apparatus Access Road per Appendix D Section D105, where the vertical distance between the grade plane and the highest roof surface exceeds 30 ft.
  - f. All access lanes are considered fire lanes. 24”x18” Reflective Fire Lane Signs to be posted. Locations to be approved by Fire Code Official. See attached.



7. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
  - a. An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site.
  - b. Fire Flow: Fire Flow will be calculated during building review.
    - i. Fire Flow Estimate based on 4,700 Sq. Ft. and VB Construction
      1. 1,750 for a duration of 2 hours.
  - c. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or designee in accordance with International Fire Code Section (IFC) 508.5.4.
  - d. Water Supply: A hydrant must be located within 100 ft of the Fire Department Riser Room FDC.
8. **Fire Protection Systems:**
  - a. Fire Sprinklers – Yes
  - b. Fire Alarm – Yes
  - c. Knox Box – Yes
9. **Inspections:**
  - a. Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued.
10. **Additional Comments:**
  - a. An additional review will be conducted during the building permit phase of this project. At that time the project will comply with the current Fire Code and Codes set forth by the City of Star.
  - b. It shall be the responsibly of the applicant to submit appropriate applications and supporting documents to the Fire District for review.





Alexis Pickering, President  
Miranda Gold, Vice-President  
Jim Hansen, Commissioner  
Kent Goldthorpe, Commissioner  
Dave McKinney, Commissioner

December 22, 2023

To: Clint & Jill Keely  
518 S. Star Road  
Star, Idaho 83669

Subject: STAR23-0008/ RZ-23-04, DA-23-06, CU-23-07  
856 S. Star Road  
Keely Live/Work, Rezone and Conditional Use Permit

The applicant is requesting approval of a rezone of 0.909 acres from R-1 (Residential) to CBD-DA (Central Business District with Development Agreement), and a Conditional Use Permit application for the development of two 4,700 square foot Live/Work buildings. The existing residence is proposed to remain.

## A. Findings of Fact

### 1. Star Road

#### a. Existing Conditions:

Star Road is improved with 2-travel lanes, 25-feet of pavement, no curb, gutter, or sidewalk abutting the site. There is 79 to 90-feet of right-of-way for Star Road (36-feet from centerline).

#### b. Policy:

**Arterial Roadway Policy:** District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets. Improvements shall include transitional segments in accordance with the current version of PROWAG.

**Master Street Map and Typology Policy:** District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map, Livable Streets Design Guide, and the most current ACHD Livable Streets Performance Measures Plan as adopted by the ACHD Commission. The developer or engineer should contact the District before starting any design.

**Street Section and Right-of-Way Width Policy:** District Policies 7205.2.1 & 7205.5.2 state the standard 5-lane street section shall be 59-feet (back-of-curb to back-of-curb). This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane or landscaped median with intermittent turn lanes, and curbs and gutters. A 5-lane road shall also include a minimum 10-foot wide multi-use path on both sides with an 8-foot wide buffer from back-of-curb. Other bike facility treatments as defined in the ACHD Bike Master Plan may be approved at the discretion of the ACHD Development Review Supervisor. If an interim on-street bike lane is required in order to connect to existing facilities, the street section shall be 75-feet to allow for a 5-foot wide bike lane and 3-foot wide painted buffer.

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**Right-of-Way Dedication:** District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

**Pedestrian Facilities:** District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide are required on both sides of all arterial streets. A parkway strip at least 8-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Alternatively, on roadways identified for improvement in the Capital Improvement Plan, a minimum 10-foot wide multi-use path may be required. The path shall be placed in accordance with planned buildout in the Master Street Map with a minimum 8-foot wide planter strip as measured to the closest edge of the path. Street trees are encouraged between the pedestrian facility and the roadway when irrigation and maintenance will occur by the adjacent property owner or HOA through an approved license agreement. Consult the District's planter width policy if trees are to be placed within the parkway strip. In some instances, to match existing conditions, a minimum 7-foot wide sidewalk may be constructed next to the back-of-curb. ACHD Development Review staff will be responsible for determining the required facility. Vertical hardscape alternatives to street trees may be considered in the buffer space when street trees are not practicable.

Detached sidewalks and multi-use paths are encouraged and should be parallel to the adjacent roadway. Pedestrian facilities will only be allowed to deviate from a straight line parallel to the roadway when authorized by Development Review staff to accommodate site specific conditions (i.e., street trees, utilities, etc.).

Appropriate easements shall be provided if public pedestrian facilities are placed out of the right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the pedestrian facility. Pedestrian facilities shall either be located wholly within the public right-of-way or wholly within an easement.

Curb ramps or blended transitions shall be provided to connect the pedestrian access route at each pedestrian street crossing in accordance with the current version of PROWAG. Provide detectable warning surface in accordance with the current version of PROWAG.

**Frontage Improvements Policy:** District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter, and additional pavement widening may be required (See Section 7205.5.5).

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**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Star Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 59-foot street section within 100-feet of right-of-way.

- c. **Applicant's Proposal:** The applicant is not proposing improvements to Star Road abutting the site.
- d. **Staff Comments/Recommendations:** Consistent with District Master Street Map, Frontage Improvements, and Pedestrian Facilities policies, the applicant should be required to dedicate additional right-of-way to total 50-feet from centerline of Star Road and improve Star Road with 17-feet of pavement from centerline plus a 3-foot wide gravel shoulder and construct a 5-foot wide detached concrete sidewalk abutting the site. Alternatively, a minimum 10-foot wide multi-use path may be required as this segment of Star Road is listed in the CIP and ACHD Development Review staff will be responsible for determining the required pedestrian facility. Locate the pedestrian facility a minimum of 43-feet from the centerline of Star Road.

## 2. Driveways – Star Road

- a. **Existing Conditions:** There are two existing driveways from the site onto Star Road located as follows (measured centerline to centerline):
  - 25-foot wide paved driveway located 463-feet south of Hercules Drive.
  - 13-foot wide unimproved driveway located 384-feet south of Hercules Drive.

- b. **Policy:**

**Access Points Policy:** District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

**Access Policy:** District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

**Driveway Location Policy:** District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a dual left turn lane shall be located a minimum of 330-feet from

the nearest intersection for a right-in/right-out only driveway and a minimum of 710-feet from the intersection for a full-movement driveway.

**Successive Driveways:** District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 35 MPH to align or offset a minimum of 330-feet from any existing or proposed driveway.

**Driveway Width Policy:** District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

**Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

**Cross Access Easements/Shared Access Policy:** District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

- c. **Applicant's Proposal:** The applicant is proposing to close the existing 25-foot wide driveway onto Star Road located 463-feet south of Hercules Drive with landscaping and 5-foot wide detached concrete sidewalk.

The applicant is proposing to construct the existing 13-foot wide unimproved driveway onto Star Road, located 384-feet south of Hercules Drive, as a paved 24-foot wide shared curb return type driveway to provide access to the existing residence at front of the site and the two proposed live/work buildings to be constructed at the rear of the site.

- d. **Staff Comments/Recommendations:** The applicant's proposal to close the existing 25-foot wide driveway onto Star Road driveway with landscaping and 5-foot wide detached concrete sidewalk meets District policy and should be approved as proposed.

The applicant's proposal to reconstruct the existing unimproved driveway as a paved 24-foot wide shared driveway onto Star Road does not meet District Successive Driveways policy which requires driveways to align or offset a minimum of 330-feet from any other driveway on Star Road. However, staff recommends a modification of policy to allow the 24-foot wide driveway to be located as proposed due to the fact that, there is limited site frontage, the Fire Department is requiring a minimum of 24-feet access to the back of the site for emergency vehicle response operations (adequate roadway widths, signage, turnarounds and turning radius for fire apparatus) and the proposed driveway will allow access to the entire site including the remaining residence in the front and the two proposed commercial live/work buildings in the rear.

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The applicant should be required to construct and pave the proposed 24-foot wide shared driveway as a curb return type shared driveway and pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of Star Road. This driveway may be restricted to right-in/right-out only as traffic conditions warrant, as determined by ACHD.

### 3. Tree Planters

**Tree Planter Policy:** Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

### 4. Landscaping

**Landscaping Policy:** A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

### 5. Other Access

Star Road is classified as a minor arterial roadway. Other than the access specifically approved with this application; direct lot access is prohibited to this roadway.

## B. Site Specific Conditions of Approval

1. Dedicate right-of-way to total 50-feet from centerline of Star Road abutting the site.
2. Improve Star Road with 17-feet of pavement from the centerline plus a 3-foot wide gravel shoulder and construct 5-foot wide detached concrete sidewalk abutting the site. Alternatively, a minimum 10-foot wide multi-use path may be required to be constructed. ACHD Development Review staff will be responsible for determining the required pedestrian facility. Locate the pedestrian facility a minimum of 43-feet from the centerline of Star Road.
3. Close the existing 25-foot wide driveway onto Star Road located 463-feet south of Hercules Drive with landscaping and 5-foot wide detached concrete sidewalk.
4. Construct the existing 13-foot wide unimproved driveway as a 24-foot wide paved shared curb return type driveway to access the back portion of the site. This driveway may be restricted to right-in/right-out only as traffic conditions warrant, as determined by ACHD.
5. Other than the access specifically approved with this application, direct lot access is prohibited to Star Road.
6. A Traffic Impact Fee will be assessed by ACHD and will be due prior to issuance of a building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
7. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. Comply with the Standard Conditions of Approval as noted below.

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## C. Traffic Information

### Trip Generation

The applicant is requesting CBD-DA (Central Business District with Development Agreement), as the proposed zoning designation and has provided a concept plan showing a development with Live/Work uses. This development is estimated to generate more than 10 additional vehicle trips per day (10 existing); and more than 2 additional vehicle trips per hour in the PM peak hour (1 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 11<sup>th</sup> edition.

### Condition of Area Roadways: Traffic Count is based on vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Star Road	115-feet	Minor Arterial	508	Better Than "E"

\* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

### Average Daily Traffic Count (ADT): Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Star Road north of Boise River was 12,197 on December 31, 2022.

## D. Attachments

1. Vicinity Map
2. Site Plan
3. Standard Conditions of Approval
4. Appeal Guidelines
5. Fire Department Review

If you have any questions, please feel free to contact me at [rhamilton@achdidaho.org](mailto:rhamilton@achdidaho.org) or (208) 387-6171.

Sincerely,

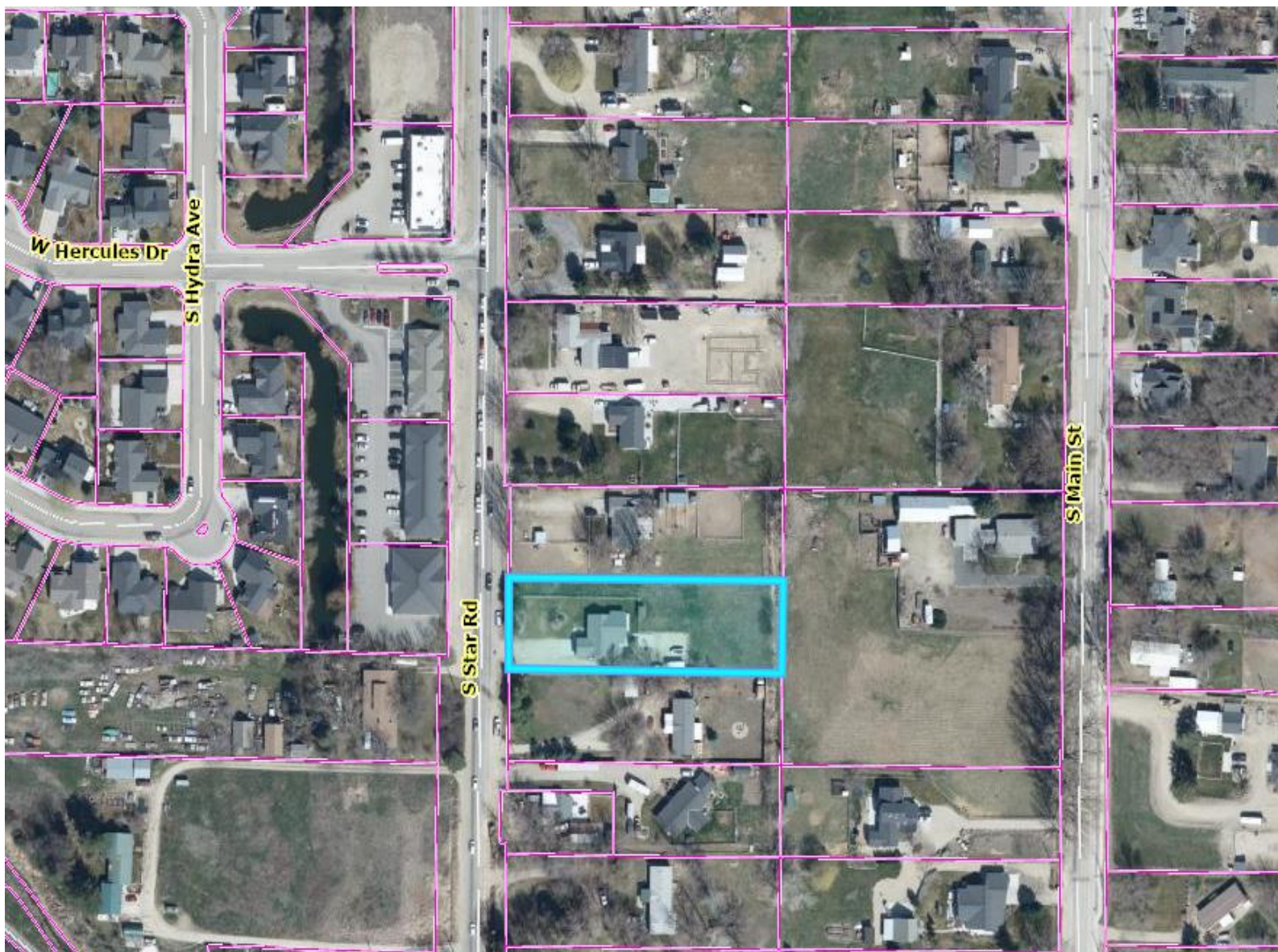


Renata Ball-Hamilton  
Planner  
Development Services

cc: City of Star (Shawn L. Nickel), Via Email

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## VICINITY MAP



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DATE: December 22, 2023

TO: City of Star – Planning and Zoning

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Review

PROJECT NAME: Keely Live/Work Units  
Files: RZ-23-04, CU-23-07, DA-23-06

**Fire District Summary Report:**

1. **Overview:** The applicant is requesting approval of a Rezone from Residential (R-1) to Central business District (CBD-DA), Development Agreement, and a Conditional Use Permit for two 4,700 sq. ft. Live/Work units.
2. This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
3. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.9 miles with a travel time of 2 minutes under ideal driving conditions.
4. **Side Setback:** Side Setback as per Star City Code.
5. **Impact Fee Category:** Residential Multi Family (2 Units per building)
6. **Accessibility:** Roadway Access, Traffic, Radio Coverage
  - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
  - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
  - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
  - d. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
  - e. A minimum width of 24ft all-weather drivable surface will be required for this project.
    - i. Aerial Fire Apparatus Access Road per Appendix D Section D105, where the vertical distance between the grade plane and the highest roof surface exceeds 30 ft.
  - f. All access lanes are considered fire lanes. 24”x18” Reflective Fire Lane Signs to be posted. Locations to be approved by Fire Code Official. See attached.



7. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
  - a. An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site.
  - b. Fire Flow: Fire Flow will be calculated during building review.
    - i. Fire Flow Estimate based on 4,700 Sq. Ft. and VB Construction
      1. 1,750 for a duration of 2 hours.
  - c. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or designee in accordance with International Fire Code Section (IFC) 508.5.4.
  - d. Water Supply: A hydrant must be located within 100 ft of the Fire Department Riser Room FDC.
  
8. **Fire Protection Systems:**
  - a. Fire Sprinklers – Yes
  - b. Fire Alarm – Yes
  - c. Knox Box – Yes
  
9. **Inspections:**
  - a. Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued.
  
10. **Additional Comments:**
  - a. An additional review will be conducted during the building permit phase of this project. At that time the project will comply with the current Fire Code and Codes set forth by the City of Star.
  - b. It shall be the responsibly of the applicant to submit appropriate applications and supporting documents to the Fire District for review.

## Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter, and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property, which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

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## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend, or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

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# CITY OF STAR CUP REVIEW CHECKLIST

Project: Keely Live/Work Phase: 1 Date: 2/2/2024

Applicant: Clint Keely Review No: 1

Tel: 208-861-1867 Email: [clint@keelyelectric.com](mailto:clint@keelyelectric.com)

Engineer: Not Provided

Tel: \_\_\_\_\_ Email: \_\_\_\_\_

Property Address: \_\_\_\_\_

Review Check By: Ryan Morgan, P.E, City Engineer

ITEM	OK	NEED	N/A	GENERAL
1	X			Legal Description of subdivision provided.
2	X			Verified written legal description.
3		X		Landscape plan provided.
4		X		Public and private easements are shown on plat for open spaces, access drives, drainage facilities, floodway maintenance boundaries, offsite storage areas and connecting piping for detached flood water storage impoundments, existing irrigation ditches, new irrigation ditches or pipelines, bicycle / pedestrian pathways (connectivity to adjacent developments), and irrigation piping. <b>Water Mains</b>
5		X		Water and sewer easements shown on face of plat. <b>Not shown</b>
6			X	Preliminary plat is stamped, signed, and dated by a professional engineer or land surveyor licensed in the State of Idaho.
7				Natural features map showing all existing site features and 1-foot contour elevations is provided in accordance with Section 8-6A-3 of City of Star Subdivision Ordinance.
8				Each sheet has north arrow, graphic scale, date, title block and sheet number.
9				All street lighting shall be in accordance with the current edition of the ISPWC and the City of Star Supplemental Specifications.
10				Existing irrigation ditches and canals are shown.
ITEM	OK	NEED	N/A	Flood Plain
11		X		Is the property located within a Floodplain, is the Floodplain delineated and labeled on the preliminary plat?

12		X		Is the property located within a Floodway is the Floodway delineated and labeled on the preliminary
13		X		Was a floodplain application submitted? Application must be approved prior to approval of the preliminary plat.
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>STORM DRAINAGE</b>
14		X		Storm drainage facilities do not conflict with other utilities. (Spot check by City Engineer)
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>PRESSURE IRRIGATION</b>
15			X	Plans for a pressure irrigation system are provided (Required only if development contains more than four lots).
<b>ITEM</b>	<b>OK</b>	<b>NEED</b>	<b>N/A</b>	<b>LANDSCAPE PLAN</b>
16		X		Tree species meet the City of Boise acceptable species guidelines, for location within or adjacent to right-of-way, as adopted by Star City Code.

Notes: