



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department

**MEETING DATE:** April 16, 2024 – PUBLIC HEARING

**FILE(S) #:** CU-24-02 – Conditional Use Permit – Star Fire Station No. 55

### OWNER/APPLICANT/REPRESENTATIVE

**Applicant/Owner:**

Star Fire Protection Station 55  
11665 W. State Street  
Star, Idaho 83669

**Representative:**

Chief Greg Timinsky  
Star Fire Protection District  
11665 W. State Street  
Star, Idaho 83669

### REQUEST

**Request:** The Applicant is seeking approval of a Conditional Use Permit to construct a new Fire Station. The property is located at 9415 W Floating in Star, Idaho, and consists of 2.26 acres.

### PROPERTY INFORMATION

**Property Location:** The subject property is generally located on the south side of W. Floating Feather Road, between N. Plummer Road and N. Pollard Road. Ada County Parcel No. R0367631080.

**Existing Site Characteristics:** The property is currently a vacant platted lot.

**Irrigation/Drainage District(s):** - Middleton Irrigation Association Inc  
Middleton Mill Ditch Company  
P.O. Box 848  
Star, Idaho 83669

**Flood Zone:** This property is **NOT** currently located in a Special Flood Hazard Area.  
FEMA FIRM Panel Number: 16001C0130J  
Effective Date: 06/19/2020  
Flood Zone: X

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – No.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	March 27, 2024
Neighborhood Meeting Held	April 8, 2024
Application Submitted & Fees Paid	Waived by City
Application Accepted	March 28, 2024
Residents within 300' Notified	March 28, 2024
Agencies Notified	March 28, 2024
Legal Notice Published	March 31, 2024
Property Posted	April 5, 2024

**HISTORY**

October 2, 2019      Council approved the preliminary plat for American Star Subdivision (PP-18-02).

May 3, 2022

Council approved the Final Plat application for Phase 4 of the American Star Subdivision (FP-22-04) to include 116 residential lots, 17 common lots and 1 lot for future Fire Station on 26.55 acres.

**SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Residential (R-3)	Future Public Use	Vacant
<b>Proposed</b>	Residential (R-3)	Future Public Use	Fire Station 55
<b>North of site</b>	Residential (R-3)	Estate Urban Residential	LDS Church
<b>South of site</b>	Residential (R-3)	Estate Urban Residential	American Star Subdivision
<b>East of site</b>	Residential (R-3)	Estate Urban Residential	American Star Subdivision
<b>West of site</b>	Residential (R-3)	Estate Urban Residential	American Star Subdivision

**ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

The following zoning districts are hereby established for the interpretation of this title, the zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(R) RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Public infrastructure; Public utility major, minor and yard (1)	C

Notes:

1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-3	35'	15' to living area/side load garage 20' to garage face	15'	7.5' <sup>(2)</sup>	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

**8-1B-4: CONDITIONAL USES:**

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a particular property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use in chapter 3, "District Regulations", of this title, and as otherwise required by specific development standards in chapter 5, "Specific Use Standards", of this title.

C. Process:

1. The applicant shall complete a preapplication conference with the administrator prior to submittal of an application for a conditional use.
2. An application and appropriate application fees, in accord with article A, "General Provisions", of this chapter, shall be submitted to the administrator on forms provided by the planning department.
3. The administrator may require additional information concerning the social, economic, fiscal or environmental effects of the proposed conditional use, prior to the scheduling of a public hearing.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.
4. Assure that the use and the property in which the use is located is maintained properly.
5. Designate the exact location and nature of the use and the property development.
6. Require the provision for on site or off-site public facilities or services.
7. Require more restrictive standards than those generally required in this title.
8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.

**8-1B-4E. FINDINGS:** The council shall base its determination on the conditional use permit request upon the following:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.
3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.
4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

**8-5-24: PUBLIC INFRASTRUCTURE; PUBLIC UTILITY MAJOR, MINOR AND YARD:**

- A. Accessory uses directly related to the maintenance and fueling of vehicles (including, but not limited to, truck and trailer washing, fuel pumps, garages for minor repair) may be allowed.
- B. Installation of underground fuel tanks shall require written approval from the Idaho division of environmental quality, Idaho department of water resources, and Star joint fire protection district.
- C. No portion of the outside storage areas and/or outside activity areas may be visible from any highway, interstate, gateway corridor, principal arterial, or minor arterial as herein defined.
- D. All driveways into and through the facility and any open area with a driving surface shall be surfaced with a dustless material including, but not limited to, asphalt, concrete, pavers or bricks.
- E. For any use requiring the storage of fuel or hazardous material, the use shall be located a minimum of one thousand feet (1,000') from a hospital or school.

## COMPREHENSIVE PLAN:

### 8.2.3 Land Use Map Designations:

#### Estate Urban Residential

Suitable primarily for single family residential use. Densities in this land use area are a maximum of 3 dwelling units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed immediately adjacent to existing residential lots of greater than one acre where those existing larger lots are not likely to be subdivided in the future. Clustering is allowed to preserve open space.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Work to create a vibrant Central Business District.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Encourage commercial development that is consistent with a family friendly feel, not overburdening the community with big box and franchise uses and discourage the development of strip commercial areas.

### 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas

- The Estate and Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- Low densities within the Estate and Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside

developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

- C. Site layout adjacent to and within the Special Transition Overlay Area shall provide for a transition in density and lot sizing.
- D. High Density residential uses should be located in close proximity to commercial centers located near highway corridors and on upper floors within the Central Business District land use area. High Density residential uses otherwise should not be dispersed throughout the community and should not be located along the Boise River.
- E. High Density residential may be limited to ensure compatibility and transition between uses adjacent to the site.
- F. High Density residential design specifications may include increased setbacks for multi-story buildings and increased landscape buffers.

#### 8.5.8 Policies Mostly Related to Open Space and Special Areas

- Projects that hold a residential designation, where the developers would like to provide or dedicate amenities similar to those allowed in the Public Use/Parks/Open Space designation, may transfer unused density from these areas to other areas within the development, as may be approved by the City Council through the Planned Unit Development or Development Agreement processes.
- Where possible, open space should be located to be contiguous to public lands and existing open space areas.
- Open space should be designed to capitalize on and expand the open space areas around natural features and environmentally sensitive areas. Priorities for preservation include: The most sensitive resources – floodways and floodplains (including riparian and wetland areas), slopes in excess of 25%, locally significant features, and scenic viewpoints. Fragmentation of open space areas should be minimized so that resource areas are able to be managed and viewed as an integrated network.
- Open space areas along the Boise River should be designed to function as part of a larger regional open space network.
- Require the conservation and preservation of open spaces and public access to the Boise River and BLM lands and interconnected pathways, open to the public, through new developments.
- The city should work with property owners adjacent to the Boise River to maintain and enhance the river corridor as an amenity for residents and visitors and to obtain public pathway easements and to have pathways constructed. Uses which complement this public access include trails and interpretive signage.



- Common areas in subdivisions should be centrally located for the residents use and should include micro-path connections where feasible.
- Discourage development within the floodplain, excluding within the Riverfront Center area, in which development could mitigate floodplain areas and provide for civic space within the floodway and adjacent areas.
- Floodway areas are to remain “open space” because of the nature of the floodway which can pose significant hazards during a flood event. Within the Riverfront Center, this floodway area should be developed as civic gathering area, open and park space, with the design allowing for floodwaters to inundate the area without contributing to hazard risk.
- Floodway areas are excluded from being used for calculating residential and development densities.
- Any portion of the floodway developed as a substantially improved wildlife habitat and/or wetlands area that is open to and usable by the public for open space, such as pathways, ball fields, parks, or similar amenities, as may be credited toward the minimum open space required for a development, if approved by the City Council.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.
- Areas over 25% slope are to be “no development” areas except for city approved trails and except where isolated areas of steep slope are located on property where site grading can easily modify the steep slope area for buildable area. In those cases where grading can be accomplished to modify the isolated steep slope areas the surrounding land use designation will apply within the area designated “steep slope.”
- Clustering of housing is to be encouraged where needed to preserve hillsides, natural features, and to avoid mass grading of land in areas determined to be preserved.

#### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.

- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

## PROJECT OVERVIEW

### CONDITIONAL USE PERMIT:

The Applicant is seeking approval of a Conditional Use Permit to construct a new fire station in the Star Fire Protection District, to be named Station No. 55. The building is proposed to be approximately 8,400 square feet in size. Access will be taken from W. Floating Feather Road directly to the property. There will be two access points and signs will direct one way traffic as necessary. The Applicant is proposing 32 parking spaces and 17 are required.

Section 8-4B-2 of the UDC requires all parking stalls to be a minimum of nine feet (9') wide and twenty feet (20') deep. The proposed site plan calls for eighteen feet (18') deep stalls.

Section 8-4B-2 also states.

- A. When a vehicle bumper overhangs onto a sidewalk or landscape area, the parking stall dimensions may be reduced two (2) feet in length if two (2) feet is added to the width of the sidewalk or landscaped area, and the additional area is planted in ground cover. In this case, wheel restraints may be removed.

The Unified Development Code, Section 8-4B-2 states that all drive aisles adjacent to a building shall be a minimum of twenty-five wide (25') or as required by the fire code, unless the building is thirty feet (30') in height or greater, at which point the drive aisle shall be twenty-six feet (26') wide or as otherwise approved by the Fire District. **The Applicant is proposing a drive aisle on the west side of the building that is less than twenty-five (25') wide. This should be adjusted to a minimum of twenty-five (25') as the building is under thirty feet (30') tall.**

**The applicant has provided exterior elevations along with black and white renderings that will need to be reviewed by the Design Review Committee, as part of the Certificate of Zoning Compliance process, for approval. Colored renderings will be required for the Design Review process.**

As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the

Unified Development Code. **The Applicant has not provided a landscape plan and will need to provide one for review during the Design Review process to confirm requirements are met.**

**The Applicant has provided a parking lot lighting plan for the site. The locations are aligned with code requirements. The Applicant has not provided a light design/cut sheet and will be required to receive Staff approval on parking lot lighting before building permit issuance.** All lighting shall be downward facing and Dark Sky like compliant to avoid any fugitive light to the neighboring properties.

#### AGENCY RESPONSES

ITD  
DEQ

April 8, 2024  
April 8, 2024

#### PUBLIC RESPONSES

No public comments have been received for this application.

#### STAFF ANALYSIS & RECOMMENDATIONS

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

#### FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

## CONDITIONAL USE PERMIT FINDINGS:

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

*The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.*

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

*The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.*

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

*The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.*

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

*The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.*

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

*The Council must find that the proposed use be adequately served by essential public facilities and services.*

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.*

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

*The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.*

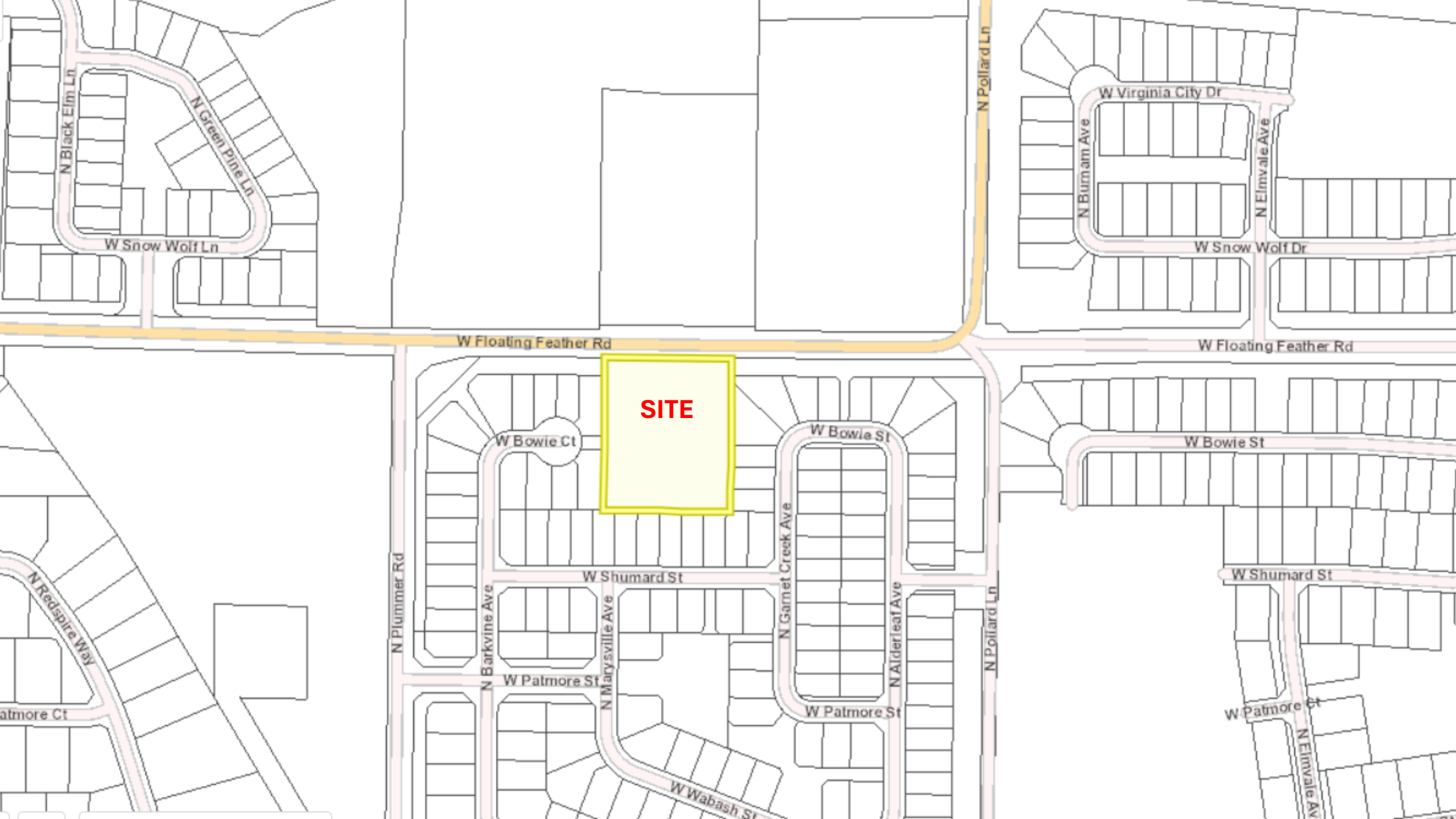
<b>CONDITIONS OF APPROVAL</b>
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1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting.
3. **Applicant shall submit a revised site plan to address the drive aisle width concern.**
4. **Applicant shall submit a landscaping plan prior to issuance of a certificate of occupancy that meets the requirements of the UDC.**
5. **A Certificate of Zoning Compliance will be required prior to issuing a building permit, to include final review and approval of the project by the Design Review Committee.**
6. **The Applicant shall meet all the requirements for the Ada County Highway District (ACHD) prior to certificate of occupancy.**
7. **The Applicant shall provide a letter from the Star Postmaster approving the location of the mailboxes for the new building, prior to issuing certificate of occupancy.**
8. The property shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
9. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
10. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
11. The applicant shall meet all requirements of the Star Sewer and Water District.
12. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
13. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy of the unit.
14. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
15. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.

- 16. Any additional Condition of Approval as required by Staff and City Council.
- 17. Any Conditions of Approval as required by Star Fire Protection District.

**COUNCIL DECISION**

The Star City Council \_\_\_\_\_ File Number CU-24-02, for Star Fire Protection Station No. 55 on \_\_\_\_\_, 2024.



**SITE**



## CONDITIONAL USE PERMIT APPLICATION

*\*\*\*All applicable information must be filled out to be processed.*

FILE NO.: CU-24-02  
Date Application Received: 03-28-2004 Fee Paid: \_\_\_\_\_  
Processed by: City: BN

### Applicant Information:

**PRIMARY CONTACT IS: Applicant \_\_\_ Owner \_\_\_ Representative \_\_\_**

Applicant Name: Star Fire Protection Station 55  
Applicant Address: 11665 W State St, Star Idaho Zip: 83669  
Phone: 208-229-9447 Email: Gtiminsky@midstarfire.org

Owner Name: Star Fire Protection District  
Owner Address: 11665 W State Street Star, Idaho  
Zip: 83669 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
Contact: \_\_\_\_\_ Firm Name: \_\_\_\_\_  
\_\_\_\_\_ Address: \_\_\_\_\_  
\_\_\_\_\_ Zip: \_\_\_\_\_ Phone: \_\_\_\_\_  
\_\_\_\_\_ Email: \_\_\_\_\_

### Property Information:

Site Address: 9415 W Floating Feather Rd. Parcel Number: R0367631080  
Requested Condition(s) for Conditional Use: Construct a new Fire Station on a parcel currently zoned for residential.

	Zoning Designation	Comp Plan Designation
Existing	Residential (R-3)	Future Public Use
Proposed	Residential (R-3)	Future Public Use
North of site	Residential (R-3)	Estate Urban Residential
South of site	Residential (R-3)	Estate Urban Residential
East of site	Residential (R-3)	Estate Urban Residential
West of site	Residential (R-3)	Estate Urban Residential



**Site Data:**

Total Acreage of Site: 2.263  
Proposed Percentage of Site Devoted to Bldg Coverage: \_\_\_\_\_  
Proposed Percentage of Site Devoted to Landscaping: \_\_\_\_\_  
Number of Parking spaces: Proposed 32 Required 16.7  
Requested Front Setback: \_\_\_\_\_ Requested Rear Setback: \_\_\_\_\_  
Requested Side Setback: \_\_\_\_\_ Requested Side Setback: \_\_\_\_\_  
Requested Side Setback: \_\_\_\_\_  
Existing Site Characteristics: \_\_\_\_\_

Number and Uses of Proposed Buildings: 1 building to be used as a Fire Station  
Location of Buildings: \_\_\_\_\_  
Gross Floor Area of Proposed Buildings: 8392 sq ft - 4456 will be usable 3486 parking/accessory use  
Describe Proposed On and Off-Site Traffic Circulation: \_\_\_\_\_

Proposed Signs – number, type, location: \_\_\_\_\_  
(include draft drawing) \_\_\_\_\_

Public Services (state what services are available and what agency is providing the service):

- Potable Water - Star Sewer & Water District
- Irrigation Water - Middleton Irrigation Association Inc./Middleton Mill Ditch Company
- Sanitary Sewer - Star Sewer & Water District
- Schools - West Ada School District
- Fire Protection - Star Fire Protection District
- Roads - ACHD

**Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision/Project Name: Star Fire Station #55 Phase: N/A

Special Flood Hazard Area: total acreage N/A number of homes/structures 1

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16001C0130J \_\_\_\_\_  
FIRM effective date(s): mm/dd/year 6/19/2020  
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X \_\_\_\_\_  
Base Flood Elevation(s): AE \_\_\_\_\_.0 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

## Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)

Applicant (√)	Description	Staff (√)
	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
	Completed and signed Conditional Use Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	
	Legal description of the property (word.doc and electronic version with engineer's seal):	
	Copy of recorded warranty deed.	
	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development.	
	Vicinity map showing the location of the subject property	
	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	
	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	
	Building elevations showing construction materials	
	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

## Site Plan (If applicable):

	The following items must be included on the site plan:	
	• Date, scale, north arrow, and project name	
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	
	• Existing boundaries, property lines, and dimensions of the lot	
	• Relationship to adjacent properties, streets, and private lanes	
	• Easements and right-of-way lines on or adjacent to the lot	
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	<ul style="list-style-type: none"> <li>• Open/common spaces</li> </ul>	
	<ul style="list-style-type: none"> <li>• Refuse and service areas</li> </ul>	
	<ul style="list-style-type: none"> <li>• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing &amp; proposed)</li> </ul>	
	<ul style="list-style-type: none"> <li>• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances</li> </ul>	

**Landscape Plan (If applicable):**

	<b>The following items must be included on the landscape plan:</b>	
	<ul style="list-style-type: none"> <li>• Date, scale, north arrow, and project name</li> </ul>	
	<ul style="list-style-type: none"> <li>• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan</li> </ul>	
	<ul style="list-style-type: none"> <li>• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings</li> </ul>	
	<ul style="list-style-type: none"> <li>• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.</li> </ul>	
	<ul style="list-style-type: none"> <li>• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements</li> </ul>	
	<ul style="list-style-type: none"> <li>• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours</li> </ul>	
	<ul style="list-style-type: none"> <li>• Sight Triangles as defined in 8-4 A-7 of this Ordinance</li> </ul>	
	<ul style="list-style-type: none"> <li>• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size</li> </ul>	
	<ul style="list-style-type: none"> <li>• Proposed screening structures</li> </ul>	
	<ul style="list-style-type: none"> <li>• Design drawings(s) of all fencing proposed</li> </ul>	
	<ul style="list-style-type: none"> <li>• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> <li>➤ Number of street trees and lineal feet of street frontage</li> <li>➤ Width of street buffers (exclusive of right-of-way)</li> <li>➤ Width of parking lot perimeter landscape strip</li> <li>➤ Buffer width between different land uses</li> <li>➤ Number of parking stalls and percent of parking area with internal landscaping</li> <li>➤ Total number of trees and tree species mix</li> <li>➤ Mitigation for removal of existing trees, including number of caliper inches being removed</li> </ul> </li> </ul>	

**SIGNS (If applicable):**

All signs will require separate submittal of a sign application.

**FEE REQUIREMENT:**

***\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.***

Applicant/Representative Signature

Date

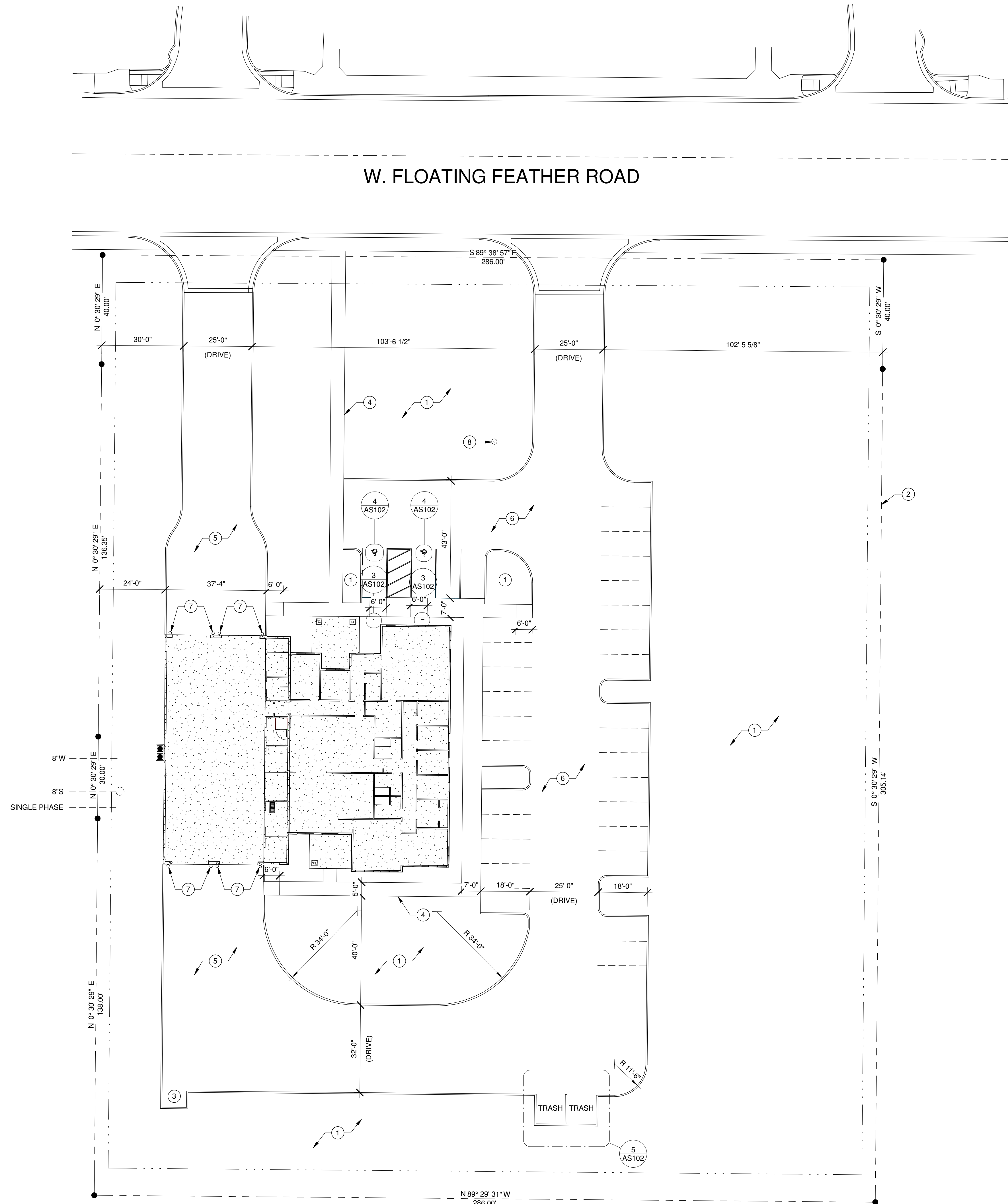


# GENERAL NOTES

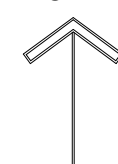
1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, PUBLIC ROADS AND STREETS - IMPROVED OR UNIMPROVED, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
4. DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SAFE AND CLEARLY MARKED VEHICULAR CIRCULATION ALONG ALL STREETS, AND PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED.

## KEYNOTES

1. LANDSCAPE AREA
2. PROPERTY LINE / CONTRACT LIMITS
3. NEW GENERATOR
4. SIDEWALK
5. CONCRETE APRON
6. ASPHALT PAVING
7. BOLLARD, SEE DETAIL 1, SHEET AS-2
8. FLAG POLE, SEE DETAIL 2, SHEET AS-2



NORTH



## ARCHITECTURAL SITE PLAN

1" = 20'-0"

**encompass, inc.**  
**DENNIS LEE TAGGART, Architect**  
 ARIZONA, CALIFORNIA, COLORADO, KANSAS, MONTANA, NEVADA, NEW MEXICO, TEXAS, UTAH  
 N.C.A.R.B. CERTIFIED - A.S.I.D. Licensed Professional  
 456 WEST BROADWAY AVENUE, MERIDIAN, IDAHO 83642  
 OFFICE (208) 344-8800  
 e-mail: dennislee@taggartinc.com

LICENSED ARCHITECT  
 AR-1262  
 DENNIS LEE TAGGART  
 STATE OF IDAHO  
 12/22/2023

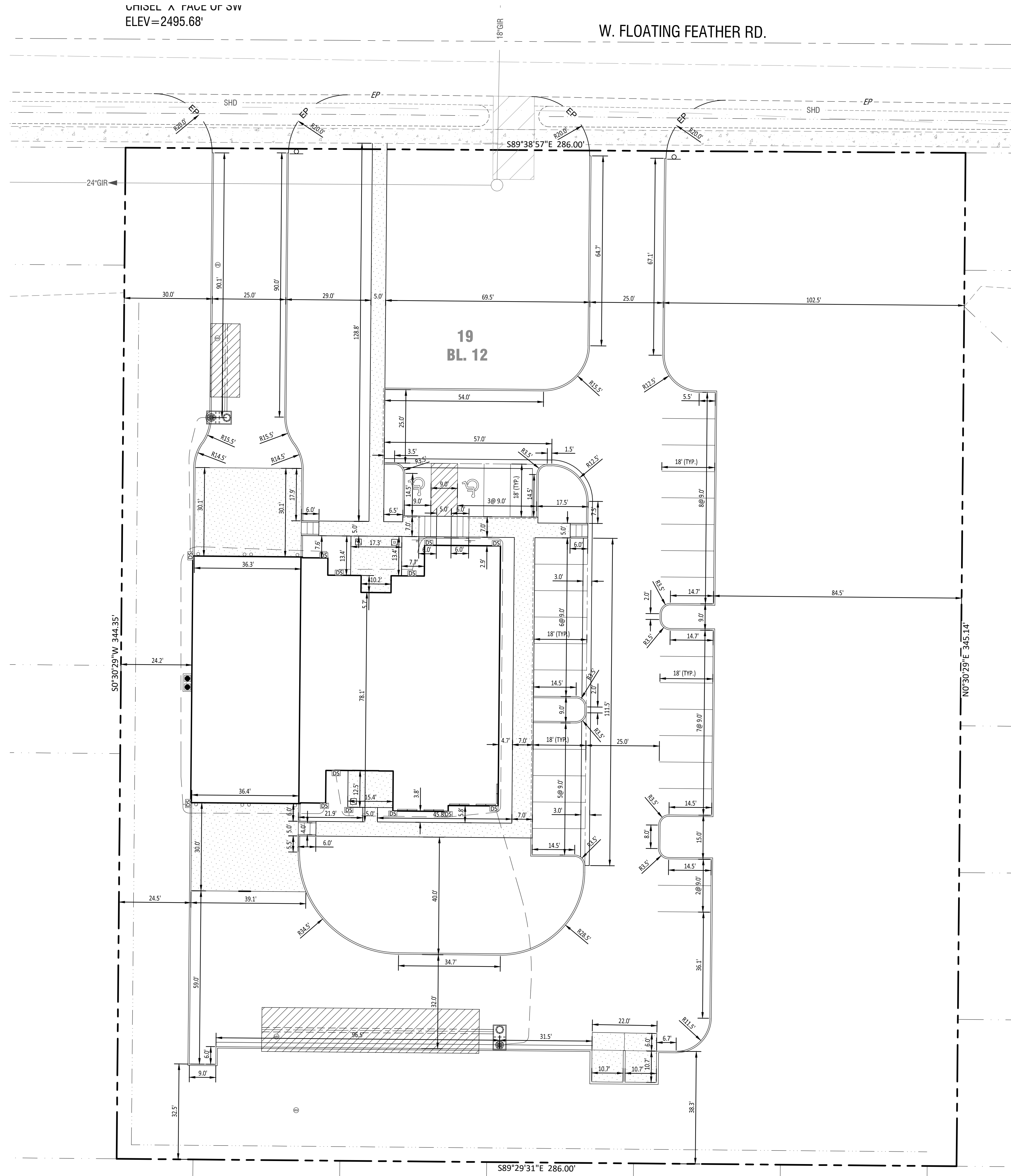
FIRE STATION #55  
 STAR FIRE DEPARTMENT  
 STAR FIRE PROTECTION DISTRICT  
 TBD FLOATING FEATHER ROAD  
 ADA COUNTY STAR IDAHO

OWNER OF DOCUMENTS  
 Drawings and specifications are instruments of service and shall remain the property of Dennis L. Taggart, Architect. No part of this drawing shall be used for any other project or extension to this project except by agreement in writing and with appropriate compensation to Dennis L. Taggart, Architect.  
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Revision	Date
PROJECT NO.	22-126
DATE:	12.22.2023
DRAWN BY:	JM
SHEET NO.	AS101

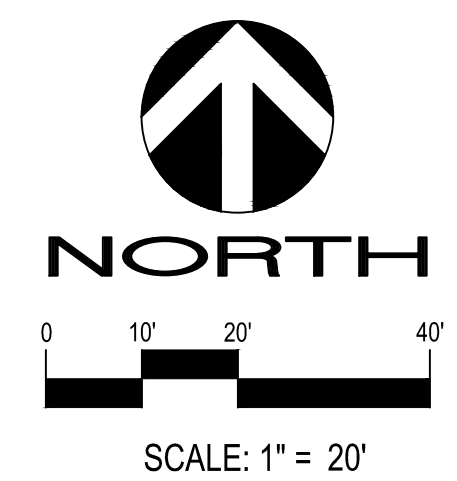
UPONCL A PAUL OF JMW  
ELEV=2495.68'

W. FLOATING FEATHER RD.

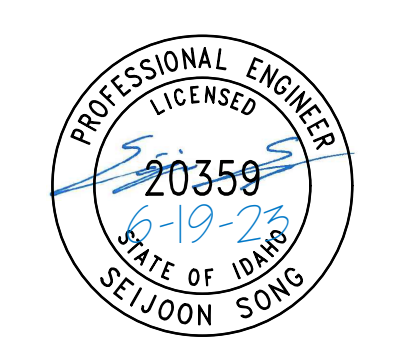


**HORIZONTAL CONTROL PLAN NOTES**

1. ALL CURB DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING TIES ARE TO FACE OF FOUNDATION (SEE ARCHITECTURAL & STRUCTURAL PLANS FOR EXACT FOUNDATION DIMENSIONS).
3. SURVEYOR TO CONFIRM ACAD FILE COORDINATES WITH FINAL AGENCY APPROVED HARD COPY OF HORIZONTAL CONTROL PLAN DRAWINGS.
4. THIS PROJECT BOUNDARY IS TAKEN FROM THE FINAL PLAT OF AMERICAN STAR SUBDIVISION NO. 4. FIELD STAKING SURVEYOR TO LOCATE ALL PROPERTY CORNER PINS AND CONFIRM TO PLAT PRIOR TO SETTING STAKES.
5. SEE ARCHITECTURAL PLANS FOR BUILDING DETAILS AND LANDSCAPE PLANS FOR LANDSCAPE AREAS.



DATE: SSCP64	BY: CK
REVIEWED BY: SSCP63	
NO. DATE REVISION	



CHECKED BY: SS  
DESIGNED BY: RLC  
DRAWN BY: RLC

FIRST SUBMITTAL DATE: 19 June 2023

PROJECT NO.  
**COUN00002237**

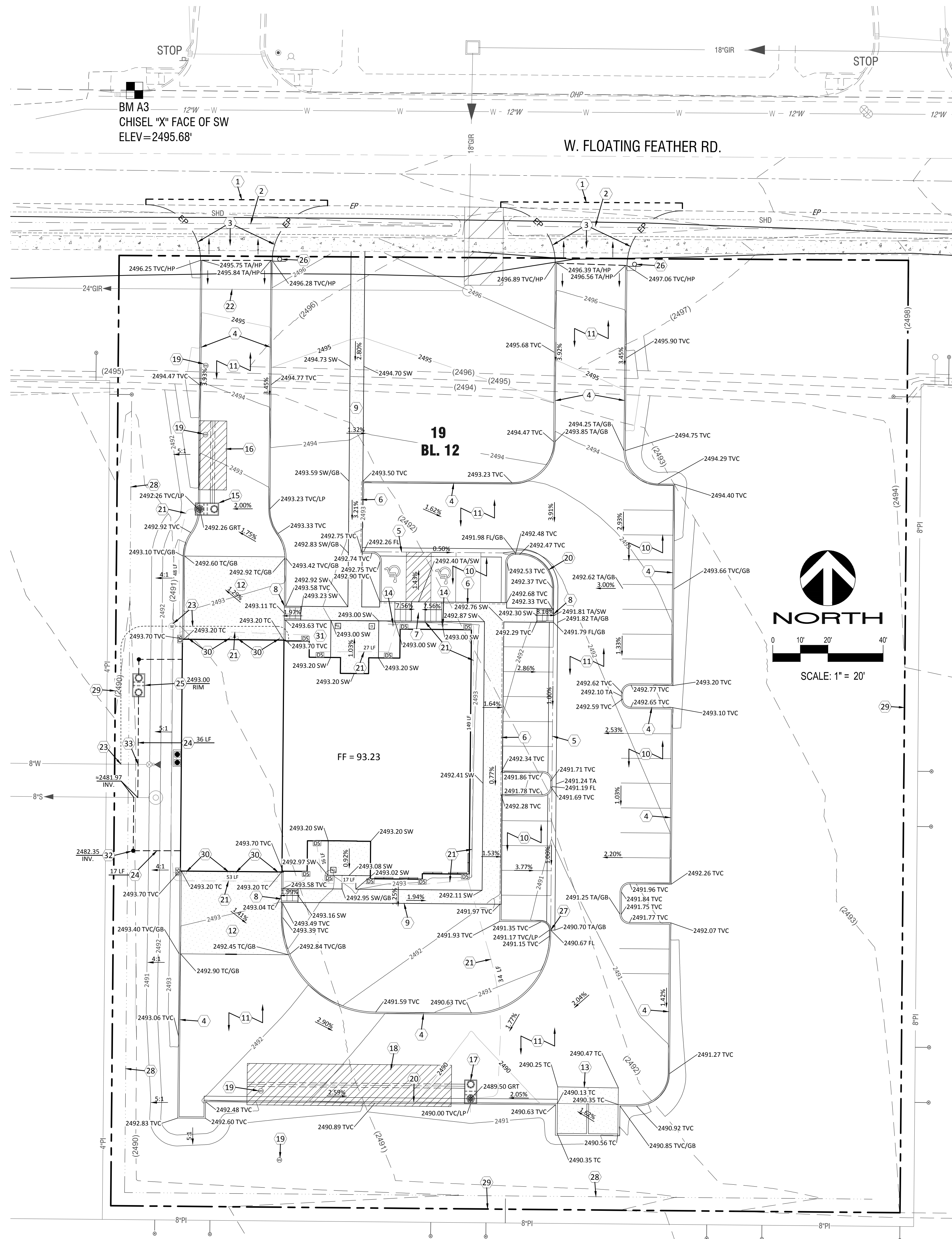
SHEET NO. **2 OF 4**

**2**

Plot Date: 6/19/2023 9:55 AM  
Save Date: 6/19/2023 9:47 AM  
By: Rainy Carpenter  
File: P:\COUN00002237\04\ACAD\DWG\Star Fire HC Plan.dwg

IDAHO

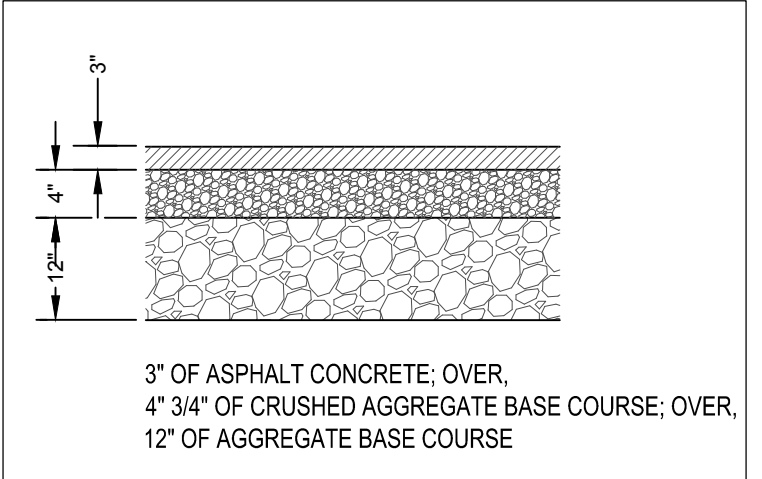
STAR



### GRADING LEGEND

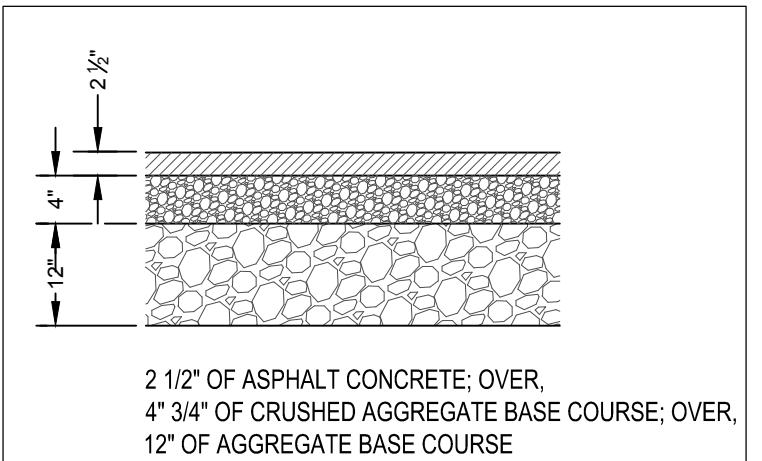
— 2490.37	DESIGN ELEVATION
- - 2498.0	EXISTING GROUND ELEVATION
1.9% 4.1	DESIGN SLOPE
FF	FINISHED FLOOR
TVC	FINISHED SURFACE (@ TOP BACK VERTICAL CURB)
TA	FINISHED SURFACE (@ TOP OF CONCRETE)
TA	FINISHED SURFACE (@ TOP OF ASPHALT)
SW	FINISHED SURFACE (@ TOP OF SIDEWALK)
GB	GRADE BREAK/CHANGE IN SLOPE
LP	LOW POINT
HP	HIGH POINT
EX	EXISTING SURFACE ELEVATION
GRT	TOP OF GRATE
FL	FLOW LINE
INV.	INVERT ELEVATION
LF	LINEAR FEET

- NOTE:  
1. FOR EXTERIOR LIGHTING AND UTILITY CONDUITS SEE SITE ELECTRICAL PLAN.
- ### KEYNOTES
- SAW CUT EXIST. PAVEMENT MIN. 2-FT FOR SMOOTH TRANSITION. (SEE PAVEMENT REPAIR NOTES SHEET 4)
  - OVEREXCAVATE EXIST. BORROW DITCH & FILL W/STRUCTURAL MATERIAL
  - PROTECT IN PLACE EXIST. SIDEWALK. CONTRACTOR TO ENSURE ASPHALT IS FLUSH W/EXISTING SIDEWALK
  - CONST. VERTICAL CURB & NO GUTTER (TYP.) (PER I.S.P.W.C. SD-701A)
  - CONST. 3-FT WIDE VALLEY GUTTER SIMILAR TO I.S.P.W.C. SD-708 (SEE DETAIL THIS SHEET)
  - CONST. THICKENED EDGE SIDEWALK (SEE DETAIL THIS SHEET)
  - CONST. MID BLOCK ADA PED RAMP (PER I.S.P.W.C. 712G)
  - CONST. DIRECTIONAL STYLE ADA PED RAMP (SIMILAR TO I.S.P.W.C. SD-712A)
  - CONST. 5-FT WIDE CONC. SIDEWALK (PER I.S.P.W.C. SD-709) (SEE DETAIL THIS SHEET)
  - CONST. LIGHT DUTY STRUCTURAL PAVEMENT SECTION (PARKING) (SEE DETAIL THIS SHEET)
  - CONST. MODERATE DUTY PAVEMENT SECTION (DRIVE AISLE) (SEE DETAIL THIS SHEET)
  - CONST. CONC. APRON (SEE CONC. APRON DETAIL THIS SHEET)
  - CONST. CONC. APRON FOR TRASH ENCLOSURE (SEE CONC. APRON DETAIL THIS SHEET) (SEE ARCHITECTS PLANS FOR WALLS/ENCLOSURE DETAILS)
  - STANDARD ADA PARKING STALL (SLOPE NOT TO EXCEED 2.0% IN ANY DIRECTION). PAINT 36" x 36" BLUE & WHITE HANDICAP SYMBOL. INSTALL HANDICAP PARKING SIGN (M.I.U.T.C.D. R7-8) BEHIND SIDEWALK/CURB OR CENTERED ON PARKING STALL.
  - CONST. 1000 GAL SAND/GREASE TRAP #1 (PRIVATE-SEE DETAIL SHEET 4) CONTRACTOR TO WRAP CURB AROUND GRATED LID
  - CONST. SEEPAGE BED #1 L=25', W=10', D=5' (PRIVATE-SEE DETAIL SHEET 4)
  - CONST. 1000 GAL SAND/GREASE TRAP #2 (PRIVATE-SEE DETAIL SHEET 4) CONTRACTOR TO HAND FORM GUTTER PAN TO FLOW
  - CONST. SEEPAGE BED #2 L=7', W=15', D=4.1' (PRIVATE-SEE DETAIL SHEET 4)
  - CONST. GROUNDWATER OBSERVATION WELL (SEE DETAIL SHEET 4)
  - CONST. 6" VERTICAL CURB & GUTTER (PER I.S.P.W.C. SD-701)
  - CONST. 6" PVC FLEX PIPE (OR EQUIVALENT) FROM DOWNSPOUTS TO SAND/GREASE TRAPS (TYP.) ADAPT DOWNSPOUTS AS NEEDED. (SEE DETAIL SHEET 4) PROVIDE TYPE I BEDDING MATERIALS UNDER ASPHALT ONLY.
  - PROTECT IN PLACE EXIST. GRAVITY IRRIGATION PIPE
  - CONNECT TO EXIST. WATER MAIN. COORDINATE W/STAR SEWER & WATER DISTRICT. CONST. 2" WATER SERVICE W/METER SETTER (SEE PLUMBING PLANS)
  - CONNECT TO EXIST. SEWER MAIN. COORDINATE W/STAR SEWER & WATER DISTRICT. CONST. 4" SEWER SERVICE @ 2% MIN. SLOPE (SEE PLUMBING PLANS)
  - CONST. GREASE INTERCEPTOR (SEE PLUMBING PLANS)
  - INSTALL 30" x 30" STOP SIGN
  - CONTRACTOR TO HAND FORM GUTTER TO FLOW TO ASPHALT
  - EXISTING SWALES TO BE PROTECTED IN PLACE
  - SEE LANDSCAPE PLANS FOR PERIMETER FENCING
  - INSTALL STEEL BOLLARDS (SEE DETAIL THIS SHEET)
  - APPROX. LOCATION OF INCOMING GAS LINE. CONTRACTOR TO COORDINATE WITH INTERMOUNTAIN GAS AND BUILDING PLANS FOR EXACT LOCATION
  - CONST. 4" CLEAN-OUT. COORDINATE W/STAR SEWER & WATER DISTRICT
  - NON POTABLE WATER CROSSING (SEE WATER NOTE 4 ON SHEET 1)



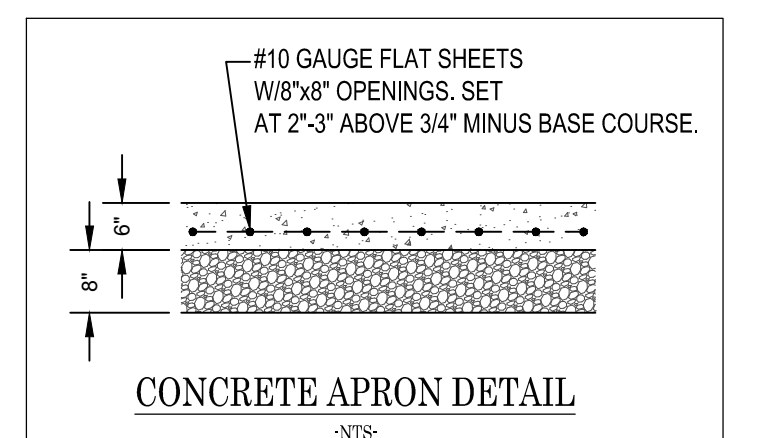
NOTE  
PER MTI FILE #B181516g 11-13-18.

**STRUCTURAL PAVEMENT SECTION  
MODERATE DUTY**  
-NTS-



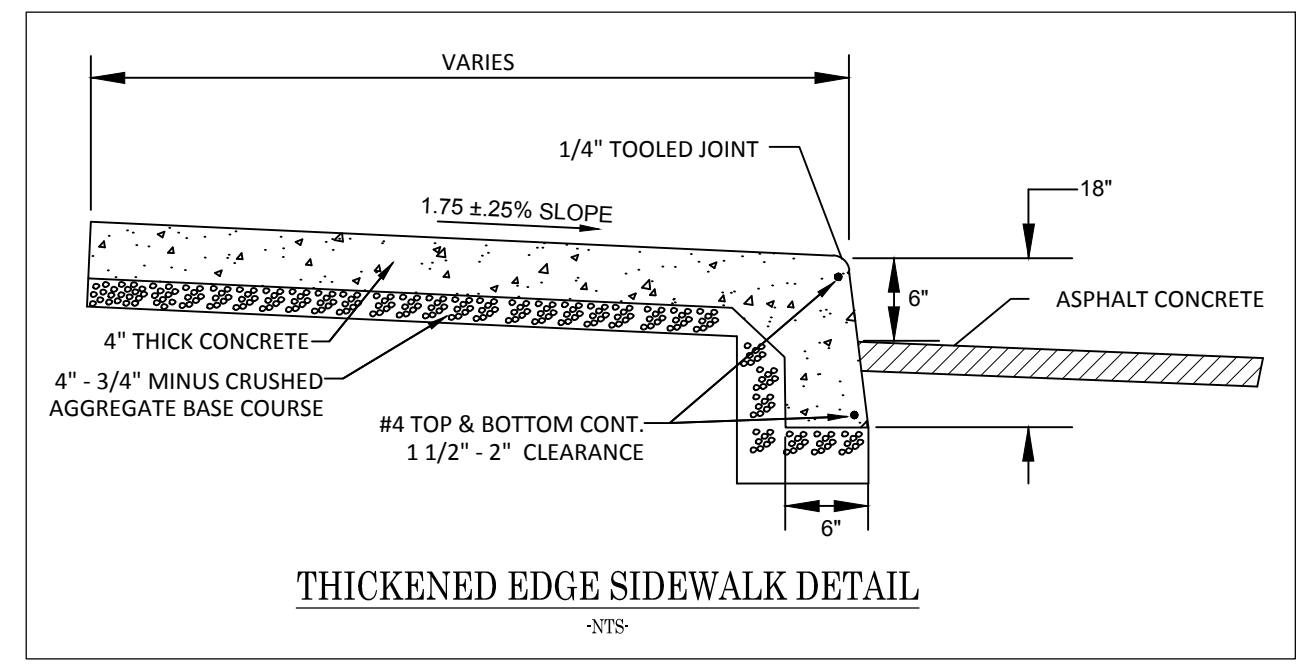
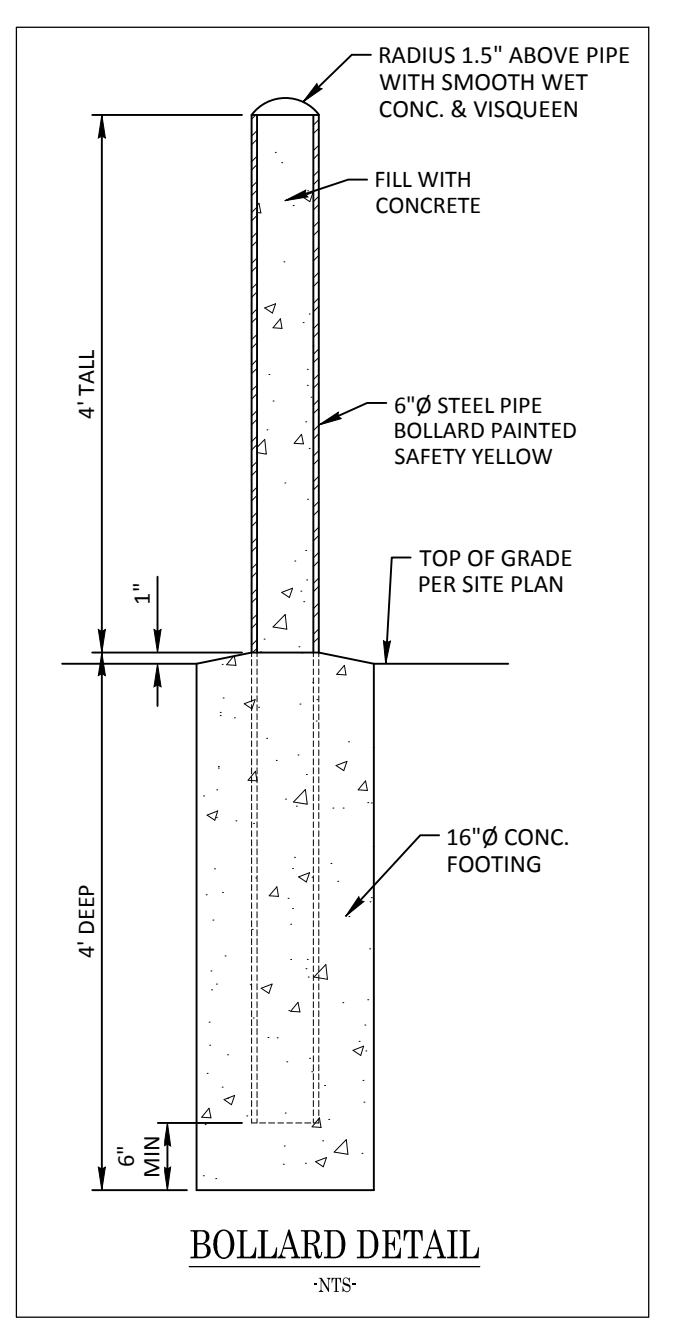
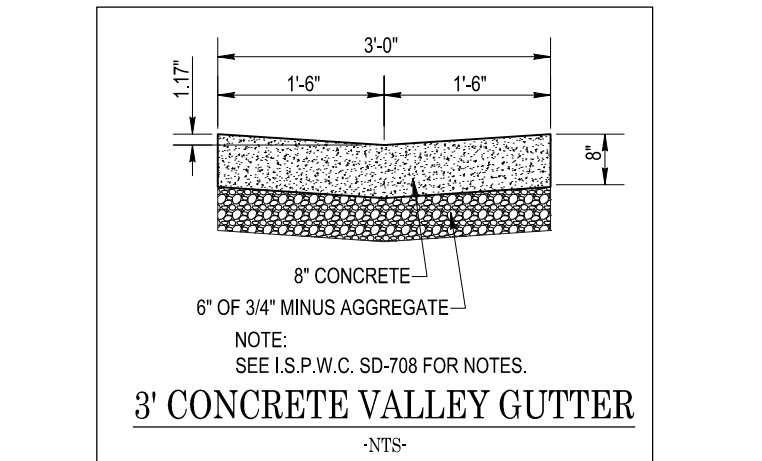
NOTE  
PER MTI FILE #B181516G 11-13-18.

**STRUCTURAL PAVEMENT SECTION  
LIGHT DUTY**  
-NTS-



**CONCRETE APRON DETAIL**  
-NTS-

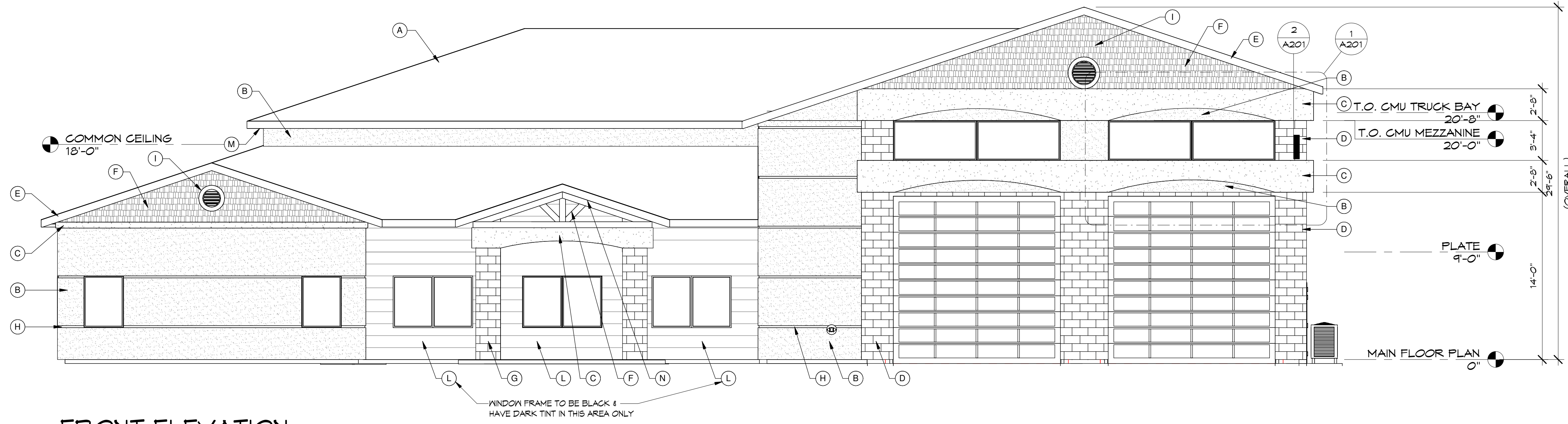
NOTES:  
1. CONCRETE TO BE 4,000 PSI. MIN. STRENGTH. IN LIEU OF #10 GAUGE WIRE CAN USE FIBER MESH CONCRETE.  
2. DO NOT DOWEL CONCRETE APRON INTO FINISHED FLOOR SLAB.  
3. STATE OF IDAHO SPECIFICATIONS (NOT IS/PWC)  
4. EXPANSION JOINTS TO BE PLACED IN MIDDLE OF APRONS THUS PROVIDING (8) APRONS IN SIZE OF APPROX. 6'x6'. #10 GAUGE WIRE SHOULD BE (4) FLAT SECTIONS. (NO CONNECTIONS AT JOINT)



**Cut/Fill Summary**

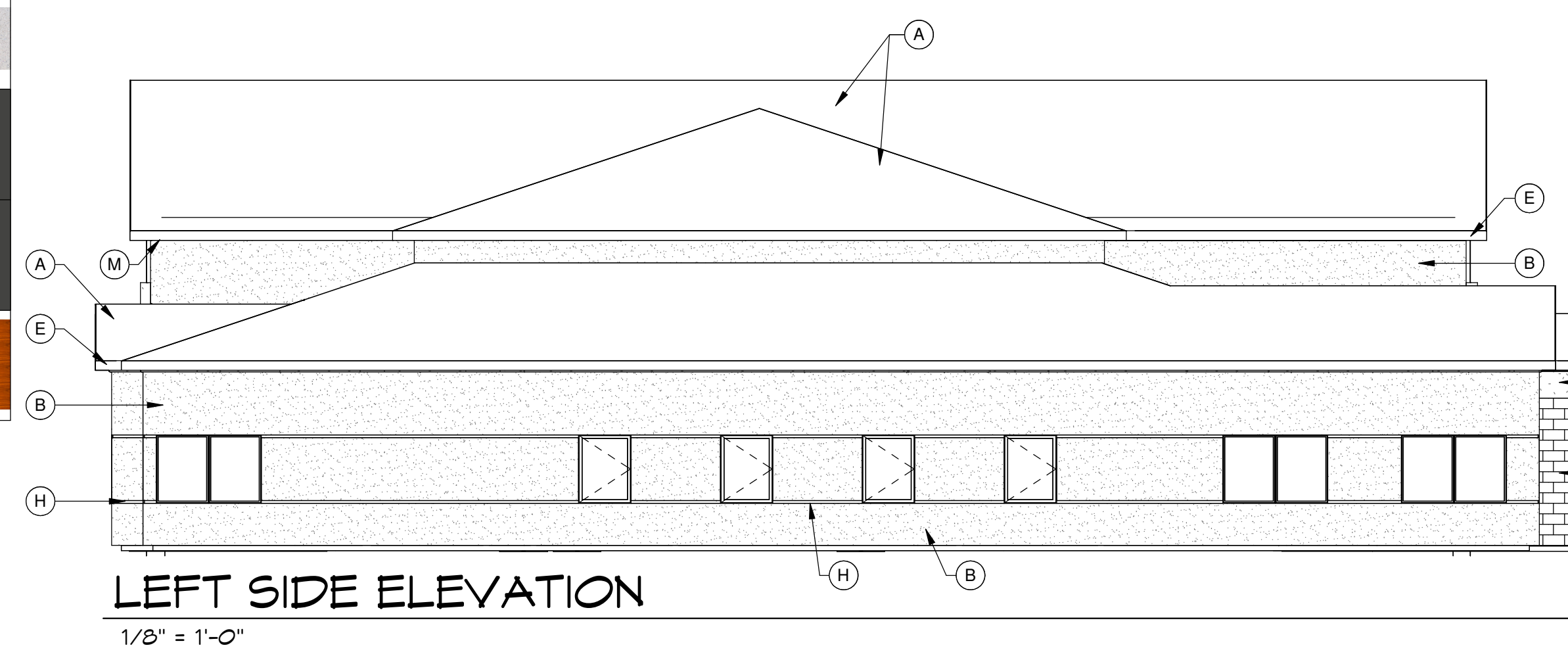
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
VOLUMES	1.00		59911.2 Sq. Ft.	607.3 Cu. Yd.	1934.7 Cu. Yd.	1327.4 Cu. Yd.<Fill>
Totals			59911.2 Sq. Ft.	607.3 Cu. Yd.	1934.7 Cu. Yd.	1327.4 Cu. Yd.<Fill>

COMPONENT	MARK	DESCRIPTION	SAMPLE
ROOF	(A)	50-YEAR (BLACK) ARCHITECTURAL SHINGLE	
STUCCO	(B)	MATCH SW 1669 'SUMMIT GRAY'	
STUCCO	(C)	WHITE MATCH SW 1004 'SNOWBOUND'	
CMU WALL	(D)	SPLIT FACE CMU MATCH CDRILITE 'GRAY'	
8' 26 GA. PRE-FINISHED METAL FASCIA	(E)	MATCH SW 1069 'IRON ORE'	
GABLE ENDS	(F)	NATURAL SHAKE SIDING	
COLUMNS	(G)	SPLIT FACE CMU MATCH CDRILITE 'GRAY'	
2" RECESSED STUCCO JOINT	(H)	WHITE MATCH SW 1004 'SNOWBOUND'	
VENTS	(I)	BLACK	
DECORATIVE GABLE TRUSS	(J)	NATURAL WOOD	
CMU WALL (1 COURSE ONLY)	(K)	12" SMOOTH FACE CMU MATCH CDRILITE 'WHITE'	
12" GLOSS FINISH METAL SIDING	(L)	BRIDGESTEEL-SHIFLAP METAL SIDING 1/4" REVEAL 'MATT BLACK'	
SOFFITS	(M)	HARDIE SOFFIT PANEL (VENTED SMOOTH) 'MIDNIGHT SOOT'	
VAULTED PORCH SOFFIT	(N)	LONGBOARD 6" V-GROOVE PROFILE (WESTERN CEDAR)	



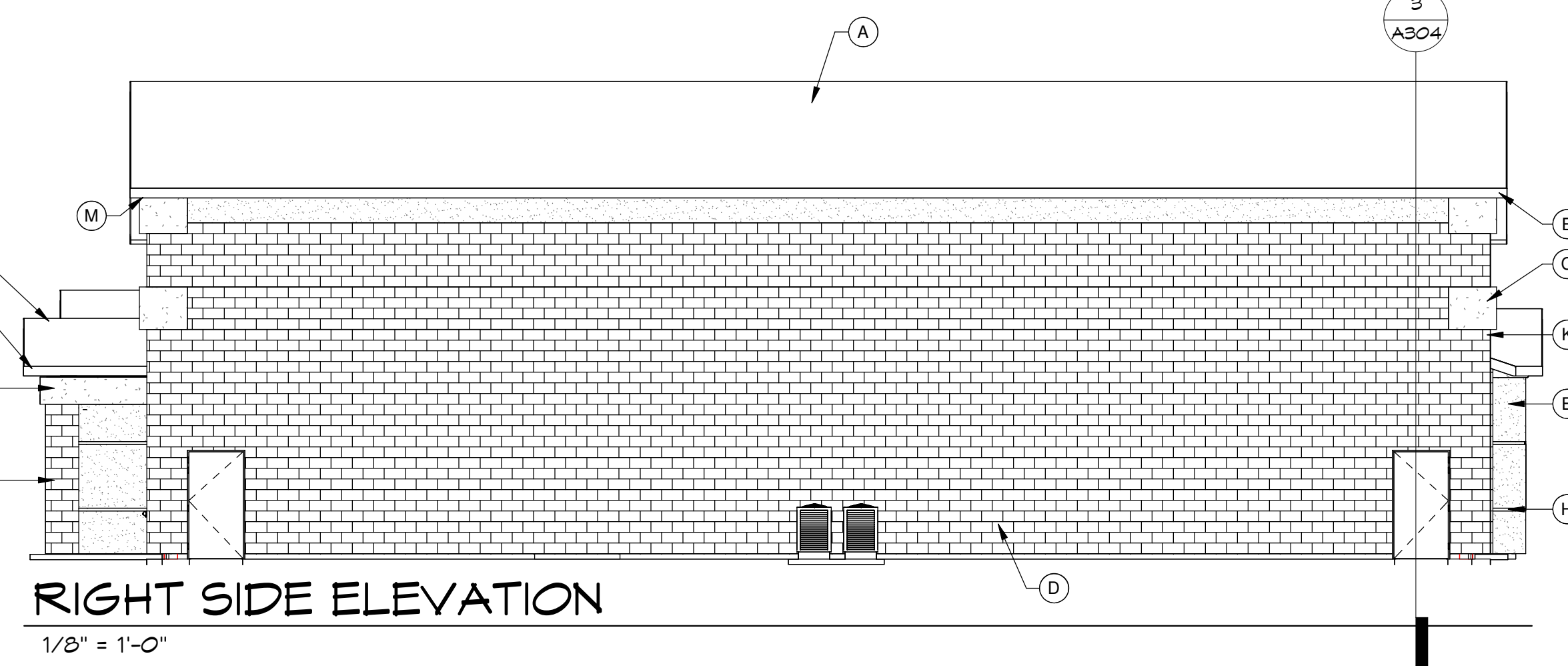
**FRONT ELEVATION**

3/16" = 1'-0"



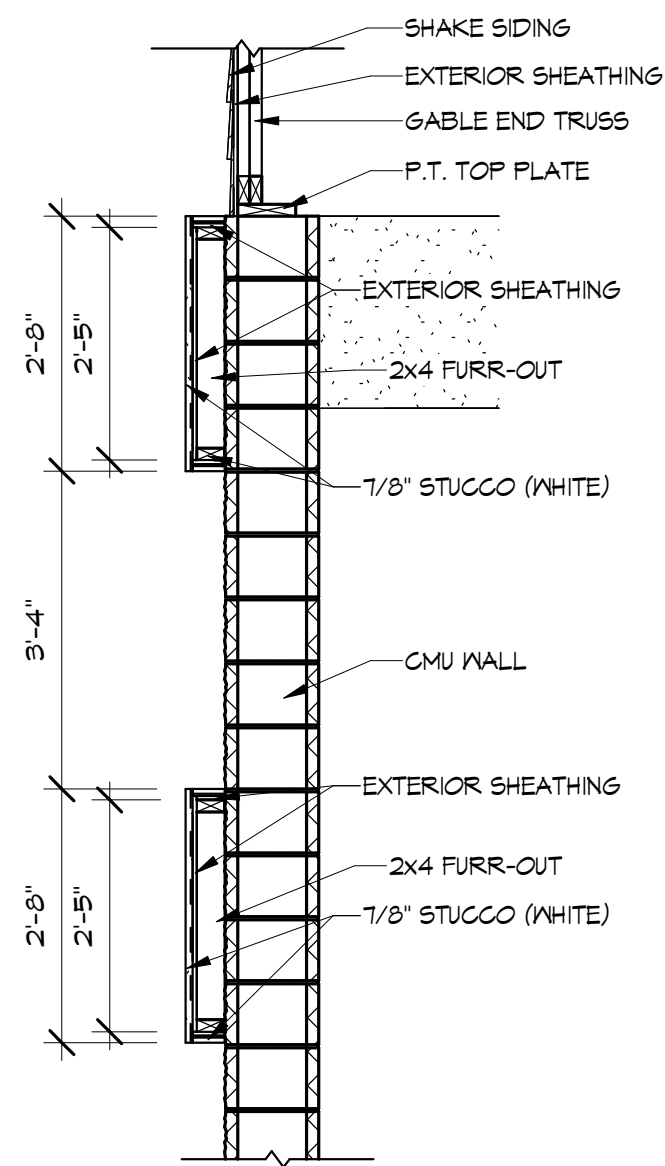
**LEFT SIDE ELEVATION**

1/8" = 1'-0"



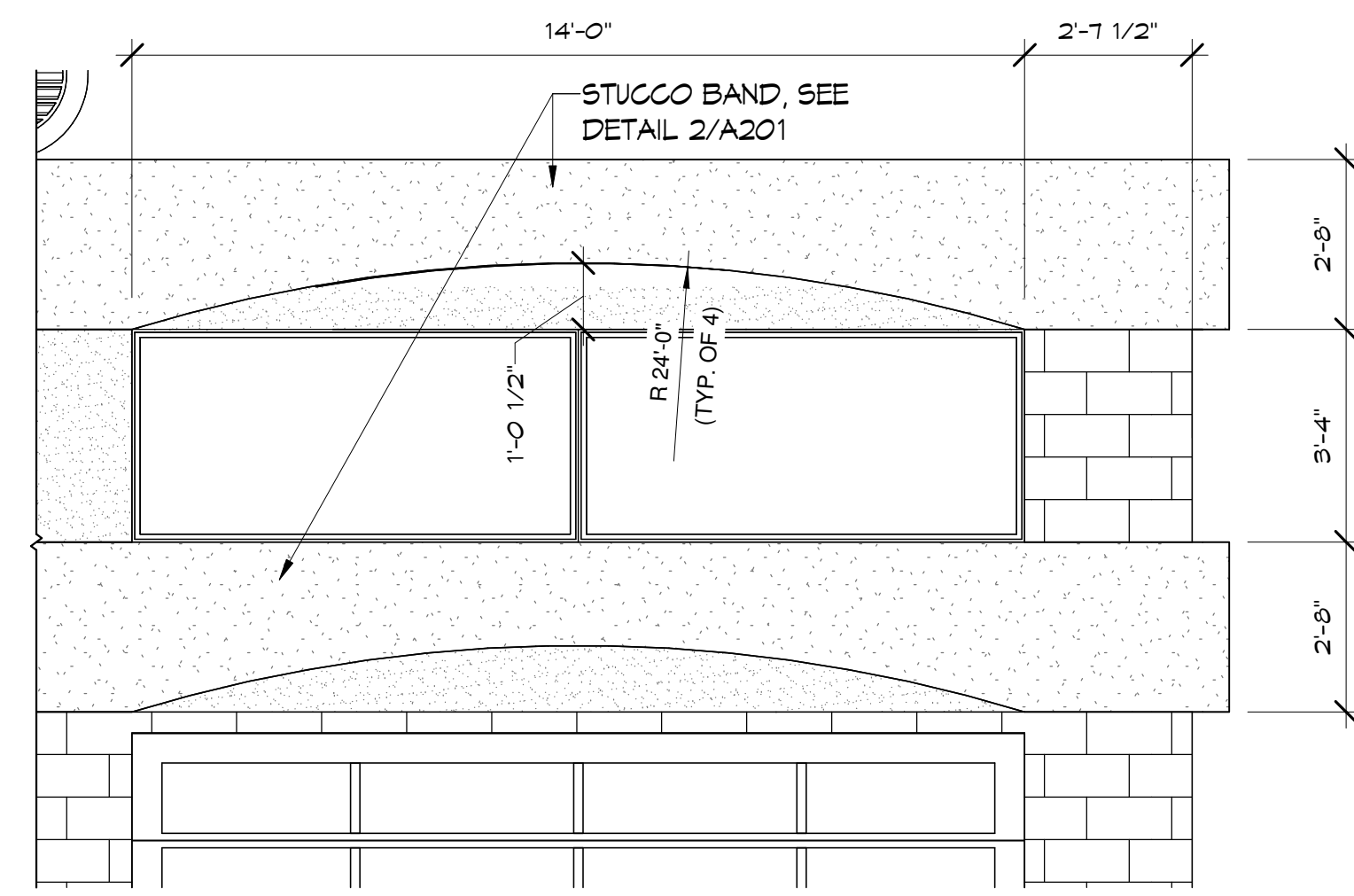
**RIGHT SIDE ELEVATION**

1/8" = 1'-0"



**2 STUCCO BAND DETAIL**

1/2" = 1'-0"



**1 STUCCO ARCH DETAIL**

3/8" = 1'-0"



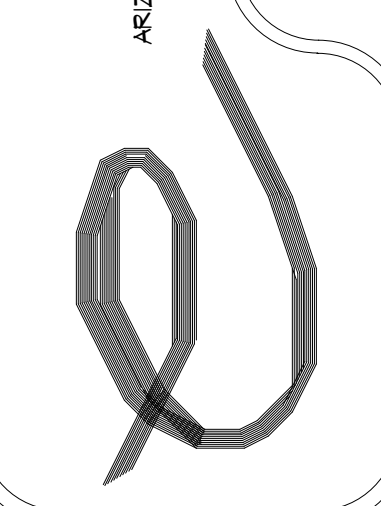
**REAR ELEVATION**

1/8" = 1'-0"

**ROOF DRAINAGE**

1. PROVIDE GUTTERS w/ DOWNSPOUTS TO PROVIDE ROOF DRAINAGE TO GRADE AND AWAY FROM FOUNDATION.

**encompass, inc.**  
DENNIS LEE TAGGART, Architect  
ARIZONA, CALIFORNIA, COLORADO, KANSAS, MONTANA, NEVADA, NEW MEXICO, TEXAS, UTAH  
N.C.A.R.B. CERTIFIED - A.S.I.D. Licensed Professional  
456 WEST BROADWAY AVENUE, MERIDIAN, IDAHO 83642  
OFFICE (208) 344-8800  
e-mail dennislee@taggartinc.com



LICENSED ARCHITECT  
AR-1262  
DENNIS LEE TAGGART  
STATE OF IDAHO  
12/22/2023

**FIRE STATION #55**  
STAR FIRE DEPARTMENT  
STAR FIRE PROTECTION DISTRICT  
TBD FLOATING FEATHER ROAD  
ADA COUNTY STAR IDAHO

OWNER OF DOCUMENTS  
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Revision	Date

PROJECT NO. 22-126  
DATE: 12.22.2023  
DRAWN BY: FSF  
SHEET NO.

**A201**





April 8, 2024

Shawn L. Nickel  
Planning Director and Zoning Administrator  
Star City Hall  
P.O. Box 130  
Star, Idaho 83669  
[snickel@staridaho.org](mailto:snickel@staridaho.org)

Subject: Star Fire District Station No. 55 CUP

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

**2. WASTEWATER AND RECYCLED WATER**

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.

- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

### **3. DRINKING WATER**

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.
  - For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
  - If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
  - The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:  
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
  - The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.
- For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

#### 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

## 6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff  
Regional Administrator

c:

2021AEK

## Shawn Nickel

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**From:** Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>  
**Sent:** Monday, April 8, 2024 2:53 PM  
**To:** Shawn Nickel  
**Cc:** Barbara Norgrove  
**Subject:** RE: Agency Transmittal - Star Fire District Station No. 55 CUP

Hello Shawn –

After careful review of the transmittal submitted to ITD on March 28, 2024 regarding Star Fire District Station No. 55 - CUP, the Department has no comments or concerns to make at this time.

Thank you,



*Niki Benyakhlef*  
Development Services Coordinator

**District 3 Development Services**  
O: 208.334.8337 | C: 208.296.9750  
Email: [niki.benyakhlef@itd.idaho.gov](mailto:niki.benyakhlef@itd.idaho.gov)  
Website: [itd.idaho.gov](http://itd.idaho.gov)

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**From:** Barbara Norgrove <bnorgrove@staridaho.org>  
**Sent:** Thursday, March 28, 2024 4:41 PM  
**To:** jboal@adaweb.net; sheriff@adaweb.net; Daniel.Weed@cableone.biz; Terence.Alsup@cableone.biz; Lbadigian@cdhd.idaho.gov; Mreno@cdhd.idaho.gov; Gloria Stokes <drain.dist.2@gmail.com>; GIS@tax.idaho.gov; D3 Development Services <D3Development.Services@itd.idaho.gov>; Ryan Morgan <rmorgan@staridaho.org>; Ryan Morgan <rmorgan@starswd.com>; bryce@sawtoothlaw.com; gtiminsky@starfirerescue.org; Melvin.B.Norton@usps.gov; harp.kimberly@westada.org; farmers.union.ditch@gmail.com; ERIC.GRZEBINSKI@mdu.com; planningreview@achdidaho.org; hday@starswd.com; bmoore@adacounty.id.gov; BRO.Admin@deq.idaho.gov; samuel.flores@sparklight.biz; PDickerson@idahopower.com; permits@starfirerescue.org; info@pioneerirrigation.com; irrigation.mm.mi@gmail.com; syarrington@adacounty.id.gov; westerninfo@idwr.idaho.gov; gmprdtim@gmail.com; Andy Waldera <andy@sawtoothlaw.com>; brandon.flack@idfg.idaho.gov; Ryan Field <rfield@staridaho.org>; file@idwr.idaho.gov; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; Cheryl.Implach@intgas.com; irr.water.3@gmail.com; Mwallace@achdidaho.org; Richard Girard <rgirard@staridaho.org>; Kerry.schmidt@intgas.com; Chris Todd <ctodd@staridaho.org>; John Tensen <jtensen@staridaho.org>; gis@compassidaho.org; Vincent Trimboli <Vincent.Trimboli@itd.idaho.gov>; zsmith@adacounty.id.gov; CalahanH <CalahanH@landproDATA.com>; Brian Duran <Brian.Duran@itd.idaho.gov>; gmprdclerk@gmail.com  
**Cc:** Shawn Nickel <snickel@staridaho.org>  
**Subject:** FW: Agency Transmittal - Star Fire District Station No. 55 CUP

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