



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star – Planning & Zoning Department

**MEETING DATE:** May 7, 2024

**FILE(S) #:** FP-24-01, Final Plat, Trident Ridge Subdivision Phase 8

### REQUEST

Applicant is seeking approval of a Final Plat for Trident Ridge Subdivision Phase 8, consisting of 37 residential lots and 5 common lots on 8.46 acres. The phase is located on the east side of Wing Road, north of Beacon Light Road in Star, Idaho. Ada County Parcels R4830410116, R4830410314, R4830410113.

**APPLICANT/REPRESENTATIVE:**

Becky Yzagurrie-Ardurra  
Ardurra  
2471 S. Titanium Place  
Meridian, Idaho 83642

**OWNER:**

Brookfield Holdings (Hayden II) LLC  
250 Vesey St., 15<sup>th</sup> Floor  
New York, NY 10281

### PROPERTY INFORMATION

Land Use Designation - Residential R-3-PUD

**Phase 8**

Acres - 8.46 acres  
Residential Lots - 37  
Common Lots - 5

### HISTORY

September 4, 2007 Council approved applications for Annexation and Zoning (R-1 & R-3)

|                   |  |
|-------------------|--|
| November 21, 2017 | Public hearing for Preliminary Plat (PP-17-04) was tabled until December 19, 2017 so Council could do a site visit of property.  |
| November 22, 2017 | Council visited the proposed development location.   |
| December 19, 2017 | Council approved the Preliminary Plat (PP-17-04) for Trident Ridge Subdivision consisting of 143.6 acres, 324 residential lots and 23 common lots with a density of 2.26 du/ac. City accepted the donation of a parcel of land for a city park of +/- 50 acres and agreed to pay up to \$60k toward a bridge at the end of Wing Road for emergency vehicle access. |
| January 2, 2018   | Council formally clarified that a pedestrian foot bridge is to be built along with eight parking spaces and the use of park impact fees not to exceed \$60k for construction of an emergency vehicle access bridge.  |
| June 4, 2019      | Council approved Final Plats for phase 1 and 2 (FP-18-04 & FP-18-05). Phase 1 sits on 17.12 acres and has 45 residential lots and 8 common lots. Phase 2 is on 2 acres and consists of 20 residential lots and 0 common lots.  |
| October 6, 2020   | Council approved the Final Plat for Phase 3 (FP-20-15) sitting on 11 acres and consisting of 46 residential lots and 1 common lot.   |
| April 20, 2021    | Council approved the Final Plat for Phase 4 (FP-21-05) sitting on 10.56 acres and consisting of 38 residential lots and 2 common lots.   |
| May 4, 2021       | Council approved the Final Plat for Phase 5 (FP-21-06) comprised of 11.90 acres and consisting of 37 residential lots and 3 common lots.   |
| November 15, 2022 | Council approved the Final Plat for Phase 6 (FP-22-24) comprised of 19.06 acres and consisting of 55 residential lots and 9 common lots.   |
| November 21, 2023 | Council approved the Final Plat for Phase 7 (FP-23-16) comprised of 13.42 acres consisting of 38 residential lots and 7 common lots.   |

|                           |
|---------------------------|
| <b>GENERAL DISCUSSION</b> |
|---------------------------|

The applicant is requesting approval of the Final Plat for phase 8 of Trident Ridge Subdivision consisting of 37 residential lots and 5 common lots on 8.46 acres. After the final phase, phase 8, 316 residential lots will have been approved in final plats. The preliminary plat originally approved 324 residential lots.

The Final Plat layout for Phase 8 generally complies with the approved Preliminary Plat.

In recent discussions with the applicant regarding the dedication of the future park property and construction of a bridge over Farmers Union Ditch, issues with the irrigation district, an adjacent property owner, and the applicants desire to continue the phasing of the development have arisen. Staff and the Mayor have met with the applicant regarding this issue with the discussion that the applicant should move forward with the dedication prior to signature of Phase 5, and that the applicant should provide their share portion of the bridge construction in the amount of \$60,000.00. Once this is completed, the City will work with the District and the Community moving forward, allowing the applicant to complete the development without the park and bridge issues as their responsibility. **Council should discuss the acceptance of this.**

**For the eight parking stalls that were requested to be part of the improvements at the end of Wing Road, a condition will be added requiring the completion of the spaces as part of the Phase 8 construction.**

**The dedication of the park has been delayed by the City and was not part of any of the previous phases. Prior to signature of the final phase 8, the park shall be dedicated, the \$60,000 shall be paid to the City, and the parking area shall be improved.**

**Original Preliminary Plat Review:**

Site Data:

Total Acreage of Site – 143.6 acres

Total Number of Lots – 347 lots

Total Number of Residential Lots – 324 lots

Total Number of Common Lots – 23 lots

Total Number of Commercial Lots – None

Type of Units – Single Family Units

Dwelling Units Per Gross Acre – 2.26 Units per acre

Total Acreage of Common Lots – 64.4 acres

Percent of Site as Common Area – 45.6%

*General Site Design Features:*

**Landscaping**

The landscape plan submitted was approved as far as the locations. However, the UDC, Chapter 4, Section B-7 C-3 Street Trees, states that a minimum density of one (1) tree per thirty-five (35) linear feet is required. This can be accomplished with the requirement of having trees installed in the front yards of each lot.

**Open Space**

Open space for the subdivision comes in the form of passive green space, active play areas, exercise trails, picnic area, and a large natural park area with trails.

*Street Design.*

**Public Streets**

**All new streets are required to meet Ada County Highway District regulations and City of Star requirements. The applicant has agreed to construct all new streets starting in Phase 6 with street widths of 36' from back of curb to back of curb.** The Applicant requested and was granted a waiver of block lengths exceeding 500' as part of the original approval.

**Sidewalks**

The Applicant will be required to provide sidewalks throughout the development.

**Lighting**

Streetlights shall be of the same design throughout the entire development and shall be required to follow the “dark skies” regulations.

**Public Park Proposal:**

The Applicant intends to develop only the Residential (R3) portion of the subdivision. In the original application approved by the City, the Applicant offered to give to the City the 50 plus acre property above the Farmers Union Canal; in exchange the City agreed to provide up to \$60,000 for construction of a new bridge at the end of Wing Road for emergency vehicle use only.

**Staff analysis of Final Plat Submittal:**

**Lot Layout** – The gross density of Phase 8 is 4.6 du/acre.

**Common/Open Space and Amenities** – This phase will include a tot lot and fitness station along with connecting walking paths.

**Setbacks** – The applicant has not requested any special setbacks and the development will adhere to the requirements of the R-3 zone.

| Zoning District | Maximum Height Note Conditions | Minimum Yard Setbacks Note Conditions                     |      |                  |             |
|-----------------|--------------------------------|---|------|------------------|-------------|
|                 |                                | Front (1)   | Rear | Interior Side    | Street Side |
| R-3             | 35'                            | 15' to living area/side load garage<br>20' to garage face | 15'  | 5' per story (2) | 20'         |

**Streetlights** – Streetlight plan/design specifications were previously submitted with the final plat application for previous phases. The streetlight design meets the dark sky standards consistent with the intent of the city. Streetlights shall be consistent throughout the remaining phases of the subdivision.

**Mailbox Clusters** – The Star Postmaster, Mel Norton has provided an approval letter for the mailbox clusters for this development. A letter of approval indicating specific locations has been provided in the original submittal documents for prior phases.

**Street Names** - Applicant has provided documentation from Ada County that the proposed street names have been approved. Correct street names are reflected on the final plat.

**Landscaping:** As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements.**

**Sidewalks** - Sidewalks are proposed at five-foot (5') widths and will be attached throughout the overall subdivision.

**PUBLIC NOTIFICATIONS**

Notifications of this application were sent to agencies having jurisdiction on April 2, 2024.

|                  |                          |                 |
|------------------|--------------------------|-----------------|
| April 8, 2024    | DEQ                      | Standard Letter |
| February 6, 2023 | City Engineer            | Checklist       |
| February 6, 2023 | Star Sewer & Water Dist. | Letter          |
| April 12, 2024   | Health Department        | Standard Letter |

**FINDINGS**

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

- A. The Plat is in conformance with the Comprehensive Plan.  
*The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.*
  
- B. Public services are available or can be made available and are adequate to accommodate the proposed development.  
*Staff finds that all public services are available and able to accommodate this development.*
  
- C. There is public financial capability of supporting services for the proposed development.  
*Staff knows of no financial hardship that would prevent services from being provided.*
  
- D. The development will not be detrimental to the public health, safety or general welfare; and,  
*Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.*
  
- E. The development preserves significant natural, scenic or historic features.  
*Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.*

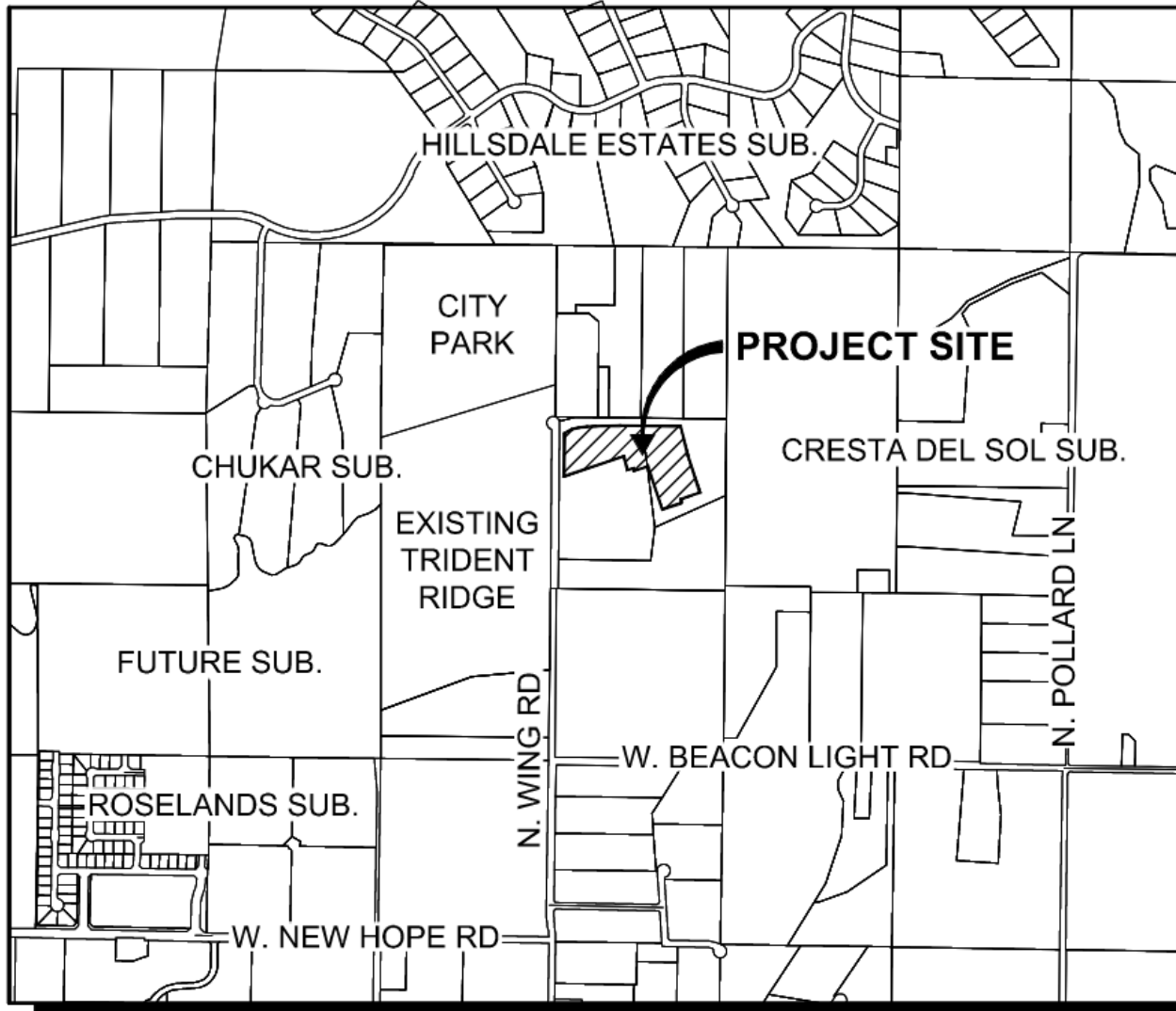
## CONDITIONS OF APPROVAL

1. **The applicant shall dedicate the park area and provide the City with a payment of \$60,000.00 for future improvements to the Farmers Union Ditch crossing prior to signature of this final phase of the development. The applicant shall work with City Staff on the transfer and payment.**
2. **The applicant shall complete the parking area improvements prior to signature of the final plat for Phase 8, when Scenic View Drive is completed and the right-of-way for the cul-de-sac of N. Wing Road is vacated.**
3. **All public streets shall be constructed with 36' widths.**
4. The approved Final Plat for Trident Ridge Subdivision Phase 7 shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
5. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
6. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
7. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
8. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
9. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
10. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
11. The streetlight design and style should utilize the lights already in place from previous phases and be consistent through all phases of the development.
12. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
13. The subsequent Final Plats shall comply with and be in accordance with the current City of Star Code, with the exception of any waivers granted by Council.
14. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
15. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
16. A separate sign application is required for any subdivision sign.

17. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
18. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
19. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
20. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
21. A copy of signed irrigation agreements shall be submitted to the City **prior to signature of the final plat.**
22. All common areas shall be maintained by the Homeowners Association.
23. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
24. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.
25. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
26. Any additional Condition of Approval as required by Staff and City Council.

|                         |
|-------------------------|
| <b>COUNCIL DECISION</b> |
|-------------------------|

The Star City Council \_\_\_\_\_ File # FP-24-01 Trident Ridge Subdivision, Final Plat, Phase 8 on \_\_\_\_\_, \_\_\_\_ 2024.



## VICINITY MAP

NOT TO SCALE





February 29, 2024

City of Star  
Attn: Ryan Field  
Planning and Zoning  
P.O. Box 130  
Star, ID 83669

**RE: Trident Ridge Subdivision No. 8 Final Plat Application**

Dear Staff and City Council Members,

Attached for your review is the Final Plat application for Trident Ridge Subdivision No. 8. This plat has been submitted per the City of Star's Zoning Code and the approved preliminary plat of Trident Ridge Subdivision.

Phase 8 of Trident Ridge Subdivision will include 37 single-family residential lots and 3 common lots on 8.46 acres. The gross density for this phase is 4.6 units per acre. Lot sizes range from 5,500 SF to 10,771 SF, with an average lot size of 6,685 SF. The approved open space consists of .97 acres of landscaped common lots accounting for 11% of the phased development area. Amenities in this phase include beautifully landscaped pathways and open space.

Construction of Phase 8 will comply with the approved preliminary plat and conditions of approval. As you complete your review, please don't hesitate to let me know if we can provide any additional information to clarify the project's vision. I can be reached via email at [BYzaguirre@ardurra.com](mailto:BYzaguirre@ardurra.com) or at 208-323-2288.

Respectfully,

Becky Yzaguirre  
Land Use Planner



03/06/2024 12:45:31 PM

City of Star  
P.O. Box 130  
Star, Idaho 83669  
P: 208-286-7247

## FINAL PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

|  |
|--|
| FILE NO.: <u>FP-24-01</u>  |
| Date Application Received: <u>03/06/2024</u> Fee Paid: <u>\$2,710.00</u> |
| Processed by: City: _____  |

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: Becky Yzagurrie- Ardurra  
Applicant Address: 2471 S. Titanium Pl. Meridian, ID. Zip: 83642  
Phone: 208-323-2288 Email: BYzaguirre@ardurra.com

Owner Name: Brookfield Holdings (Hayden II) LLC  
Owner Address: 250 Vesey St, FL 15. New York, New York Zip: 83669  
Phone: (208) 948-7012 Email: escheck@hayden-homes.com

Representative (e.g., architect, engineer, developer):  
Contact: Becky Yzagurrie Firm Name: Ardurra  
Address: 2471 S. Titanium Pl. Meridian, ID. Zip: 83642  
Phone: 208-323-2288 Email: BYzaguirre@ardurra.com

### Property Information:

Subdivision Name: Trident Ridge Phase: 8

Parcel Number(s): R4830410116, R4830410314, R4830410113

Approved Zoning: R-3 Units per acre: 4.6

Total acreage of phase: 8.46 Total number of lots: 41

Residential: 38 Commercial: N/A Industrial: N/A

Common lots: 3 Total acreage of common lots: .97 AC Percentage: 11%

Percent of common space to be used for drainage: 0 Acres: 0

Special Flood Hazard Area: total acreage N/A number of homes N/A

Changes from approved preliminary plat pertaining to this phase:

|                             | Preliminary Plat                  | Final Plat   |
|-----------------------------|-----------------------------------|--|
| Number of Residential Lots: | <u>37</u>                         | <u>38</u>  |
| Number of Common Lots:      | <u>5</u>                          | <u>3</u>   |
| Number of Commercial Lots:  | <u>0</u>                          | <u>0</u>   |
| Roads:                      | <u>Kosma Road, N. Eleanor Way</u> | <u>N. Silvermound Ave, W. Lady Fern CT, N. Anselmo Way</u> |

Amenities: Beautifully landscaped pathways, and open space

**Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision Name: Trident Ridge Subdivision Phase: 8

Special Flood Hazard Area: total acreage N/A number of homes N/A

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: N/A  
 FIRM effective date(s): mm/dd/year N/A  
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: N/A  
 Base Flood Elevation(s): AE N/A.0 ft., etc.: N/A
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

**Application Requirements:**

*(Applications are required to contain one copy of the following unless otherwise noted.)*

| Applicant<br>(√) | Description  | Staff<br>(√) |
|------------------|--|--------------|
| ✓                | Completed and signed copy of Final Plat Application  | BN           |
| ✓                | Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.   | BN           |
| ✓                | Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> <li>• Gross density of the phase of the Final Plat submitted</li> <li>• Lot range and average lot size of phase</li> <li>• Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities</li> <li>• List any specific approved building setbacks previously approved by Council.</li> </ul> | BN           |
| ✓                | Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet)   | BN           |
| ✓                | Electronic copy of current recorded warranty deed for the subject property   | BN           |
| ✓                | If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application.   | BN           |
| ✓                | Electronic copy of subdivision name approval from Ada County Surveyor's office.  | BN           |
| ✓                | Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming  | BN           |
| ✓                | Electronic copy of vicinity map showing the location of the subject property   | BN           |
| ✓                | One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy**   | BN           |
| ✓                | One (1) 11" X 17" paper copy of the Final Plat   | BN           |
| ✓                | Electronic copy of the Final landscape plan**  | BN           |

|     |   |    |
|-----|---|----|
| ✓   | One (1) 11" X 17" copy of the Final landscape plan  | BN |
| ✓   | Electronic copy of site grading & drainage plans**  | BN |
| ✓   | Electronic copy of originally approved Preliminary Plat**   | BN |
| ✓   | Electronic copy of a Plat with all phases marked with changes, if applicable**  | BN |
| ✓   | Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer**   |    |
| N/A | Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions**   |    |
| N/A | Electronic copy of streetlight <b>design</b> and <b>location</b> information  |    |
| N/A | Special Flood Information – Must be included on Preliminary/Final Plat and Application form.  |    |
| N/A | Electronic copy of all easement agreements submitted to the irrigation companies  |    |
|     | Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's)  |    |
| ✓   | One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u>  | BN |
| ✓   | <b>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</b> <ul style="list-style-type: none"> <li>• One (1) 11" X 17" and (1) 18" X 24" <b>recorded</b> copy of Final Plat</li> <li>• Electronic copy of final, approved construction drawings</li> <li>• Electronic copy of as-built irrigation plans</li> <li>• Electronic copy of recorded CC&amp;R's</li> <li>• Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign</li> <li>• Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please.</li> </ul> |    |
| ✓   | **NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid.   |    |

**FEE REQUIREMENT:**

*\*\* I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*

Applicant/Representative Signature

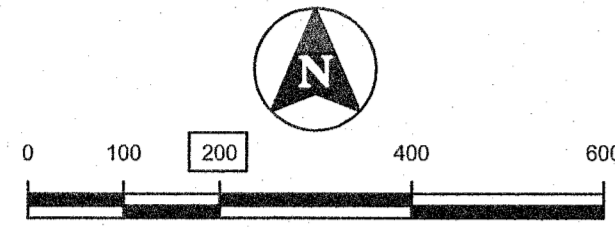
2/29/2024

Date

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# PRELIMINARY PLAT FOR TRIDENT RIDGE SUBDIVISION

A PORTION OF THE E 1/2 OF THE W 1/2 OF SECTION 32  
TOWNSHIP 5 NORTH, RANGE 1 WEST, BOISE MERIDIAN  
ADA COUNTY, IDAHO  
2017



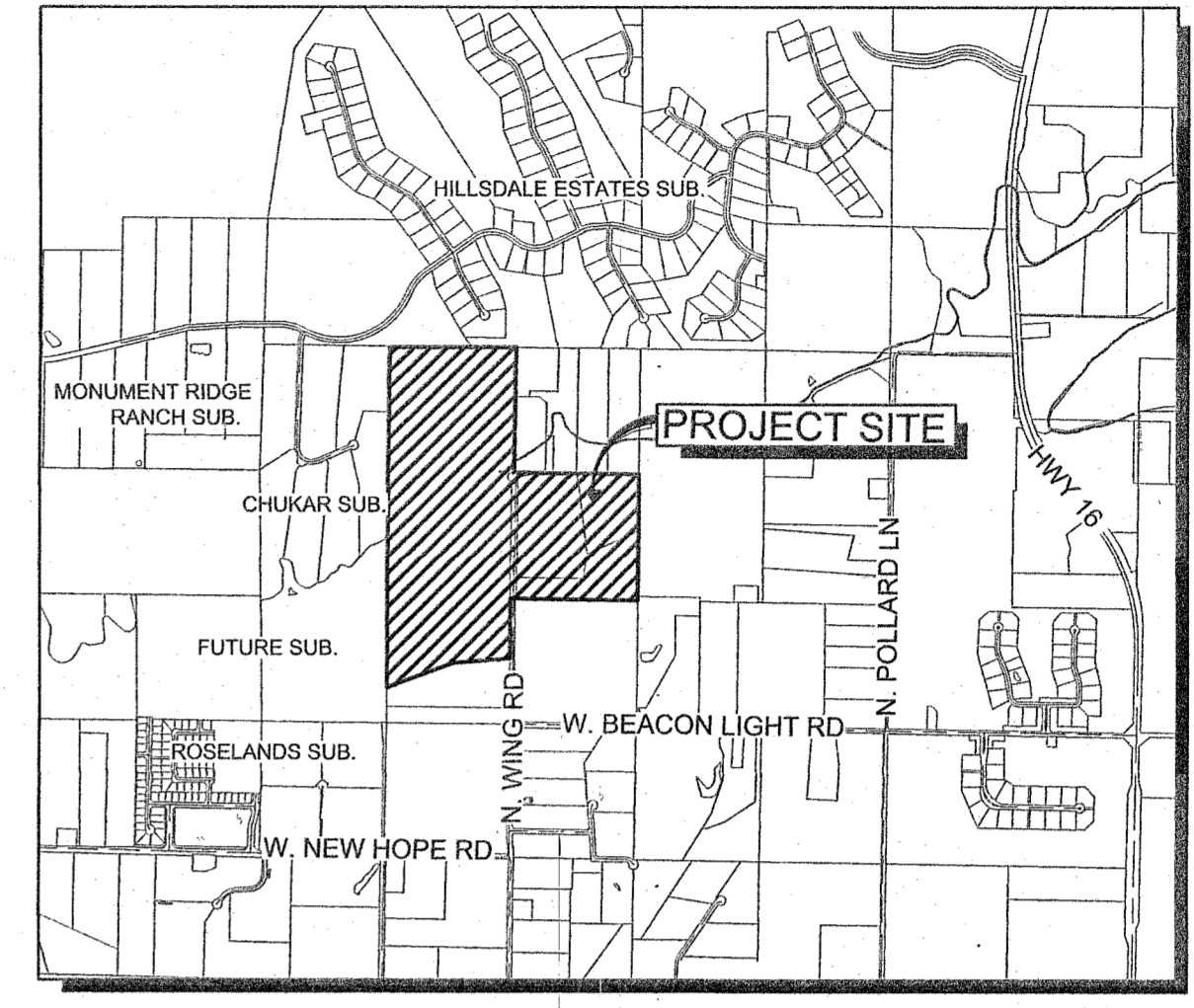
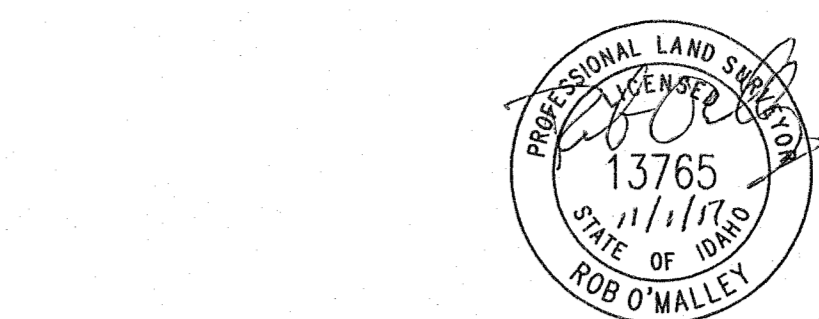
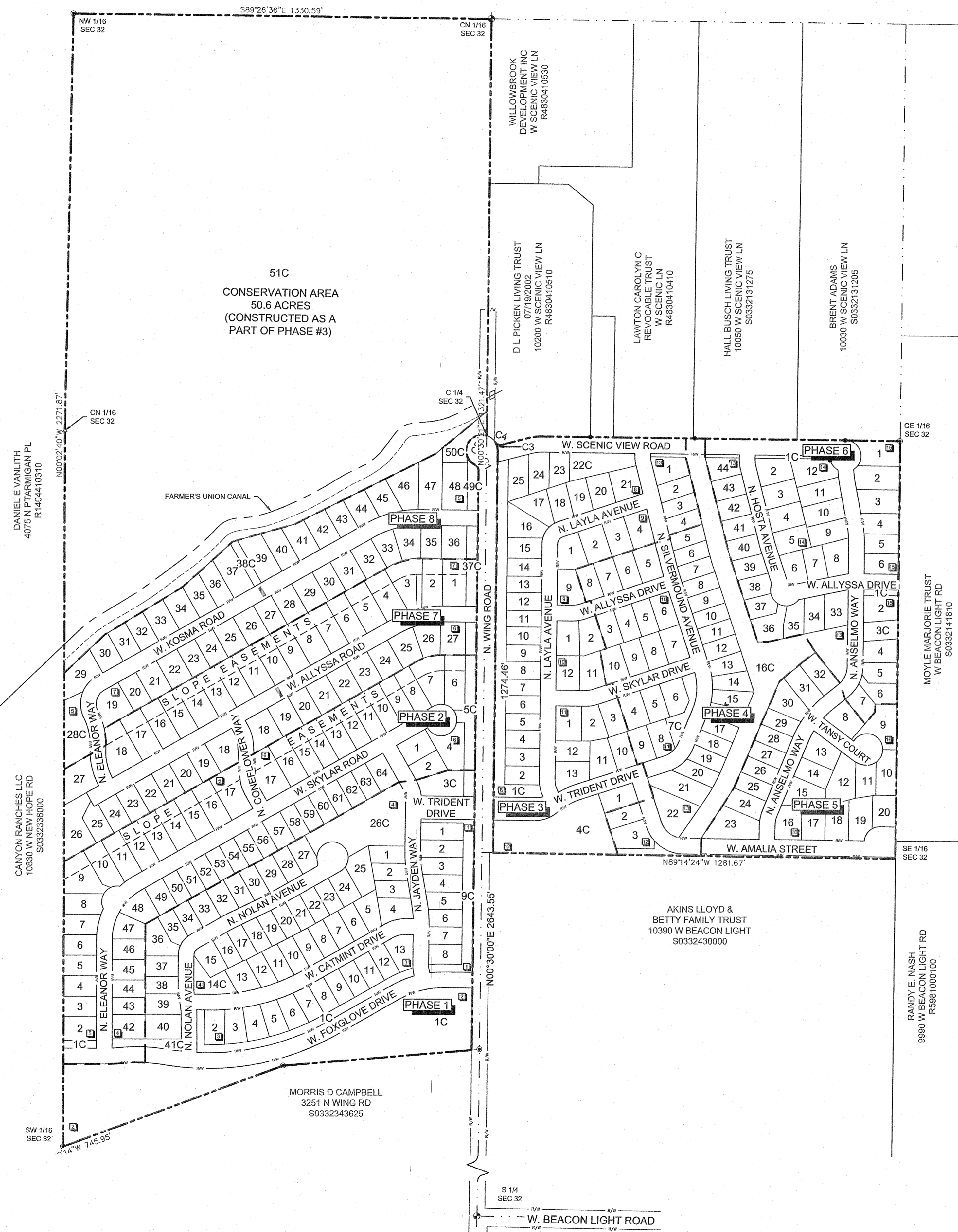
## LEGEND

|  |                                   |
|--|-----------------------------------|
|  | SUBDIVISION BOUNDARY              |
|  | SECTION LINE                      |
|  | PROPOSED PHASE LINE               |
|  | ROAD RIGHT-OF-WAY                 |
|  | PROPOSED EASEMENT                 |
|  | PROPOSED EDGE OF PAVEMENT         |
|  | PROPOSED EDGE OF GRAVEL           |
|  | PROPOSED SEWER LINE               |
|  | PROPOSED WATER LINE               |
|  | PROPOSED STORM DRAIN LINE         |
|  | PROPOSED PRESSURE IRRIGATION LINE |
|  | EXISTING GRAVITY IRRIGATION LINE  |
|  | PROPOSED DRAINAGE FLOW PATH       |
|  | PROPOSED SEWER MANHOLE            |
|  | PROPOSED STORM DRAIN MANHOLE      |
|  | PROPOSED CATCH BASIN/AREA INLET   |
|  | PROPOSED GRAVITY IRRIGATION BOX   |
|  | PROPOSED BLOCK NUMBER             |
|  | PROPOSED RESIDENTIAL LOT NUMBER   |
|  | PROPOSED COMMON LOT NUMBER        |
|  | PROPOSED MAJOR CONTOUR            |
|  | PROPOSED MINOR CONTOUR            |
|  | EXISTING MAJOR CONTOUR            |
|  | EXISTING MINOR CONTOUR            |

## NOTES

- ALL COMMON LOTS ARE TO BE OWNED AND MAINTAINED BY THE TRIDENT RIDGE HOMES OWNER ASSOCIATION.
- NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A PUBLISHED FLOOD ZONE.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4603 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION OR AN APPURTENANCE TO IT SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER THE SAME HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME THE OPERATION BEGAN, PROVIDED, THAT THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION OR APPURTENANCE TO IT."
- THIS PROPERTY IS PROVIDED IRRIGATION SERVICES BY FARMER'S UNION DITCH CO LTD, AND THE OWNER HAS COMPLIED WITH THE IDAHO CODE, SECTION 31-3806 AS IT PERTAINS TO IRRIGATION WATER. THE IRRIGATION SYSTEM SHALL BE OWNED AND OPERATED BY THE HOA.
- STREET DRAINAGE WILL BE ROUTED IN CURB AND GUTTER TO THE STORM SYSTEM. STORM DRAINAGE WILL BE DESIGNED IN ACCORDANCE WITH THE CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES AND THE ADA COUNTY HIGHWAY DISTRICT.
- DIRECT LOT ACCESS TO N. WING ROAD IS PROHIBITED FOR RESIDENTIAL LOTS.
- ALL ROADWAYS ARE PROPOSED TO BE PUBLIC AND DEDICATED TO ACHD. N. WING ROAD SHALL TERMINATE AT W. SCENIC VIEW ROAD AND NOT CONTINUE TO THE NORTH.

| CURVE | RADIUS | LENGTH  | DELTA      | BEARING     | CHORD  |
|-------|--------|---------|------------|-------------|--------|
| C1    | 20.00' | 22.56'  | 64°37'23"  | S31°48'41"E | 21.38' |
| C2    | 50.00' | 116.33' | 133°17'56" | S41°18'29"W | 91.81' |
| C3    | 50.00' | 29.03'  | 33°15'58"  | N16°18'40"W | 28.62' |
| C4    | 20.00' | 24.91'  | 71°21'25"  | S68°37'21"E | 23.33' |



VICINITY MAP  
SCALE 1" = 2000'

### SITE DATA

**DEVELOPER/PLANNER**  
HAYDEN HOMES  
TIM MCKWIA  
2464 SW GLACIER PL, SUITE 110  
REDMOND, OR 97756  
(800)923-6607

**OWNER**  
FIRST SECURITY CORPORATION  
401 W. FRONT STREET  
BOISE, ID 83702

**ENGINEER**  
T-O ENGINEERS  
JOHN CARPENTER, PE  
332 N. BROADMORE WAY SUITE 101  
NAMP, ID 83687  
(208) 442-6300

**SURVEYOR**  
T-O ENGINEERS  
ROB O'MALLEY, PLS  
332 N. BROADMORE WAY SUITE 101  
NAMP, ID 83687  
(208) 442-6300

**ACREAGE SUMMARY**  
TOTAL = 141.36 AC (EXCLUDE WING ROAD)  
ZONE R-1 = 50.60 AC  
ZONE R-3 = 90.76 AC  
  
TOTAL = 143.6 AC (INCLUDE N WING ROAD)  
WING ROAD = 2.24 AC  
  
OPEN SPACE PROVIDED = 64.40 AC (45.56%)

**ZONING**  
EXISTING R-1 (CONSERVATION LOT 31C):  
LOW DENSITY RESIDENTIAL DISTRICT  
EXISTING R-3 (PROPOSED RESIDENTIAL LOTS):  
MEDIUM LOW DENSITY RESIDENTIAL DISTRICT

**SETBACKS**  
R-3: FRONT LIVING = 15'  
FRONT GARAGE = 20'  
REAR = 15'  
INTERIOR = 5' PLUS 5' FOR EACH STORY  
STREET SIDE - LOCAL = 20'  
LANDSCAPE BUFFER  
COLLECTOR STREET = 35'  
ENTRY WAY = 40'

**ROADWAY JURISDICTION**  
ADA COUNTY HIGHWAY DISTRICT

**SEWER AND WATER PROVIDER**  
STAR SEWER AND WATER

**FIRE DISTRICT**  
STAR FIRE PROTECTION DISTRICT

**IRRIGATION DISTRICT**  
FARMER'S UNION DITCH CO LTD

### PHASE SUMMARY

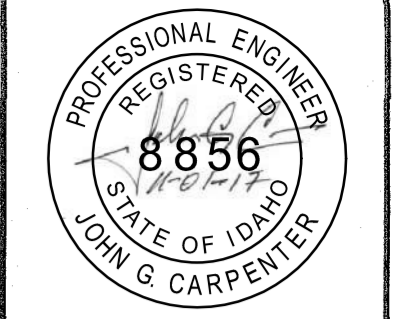
| PHASE | NUMBER OF LOTS |
|-------|----------------|
| 1     | 56             |
| 2     | 54             |
| 3     | 44             |
| 4     | 36             |
| 5     | 23             |
| 6     | 34             |
| 7     | 38             |
| 8     | 37             |
| TOTAL | 324            |

### SHEET INDEX

- TITLE SHEET
- LOT DIMENSION (WEST SIDE)
- LOT DIMENSION (EAST SIDE)
- UTILITY OVERVIEW
- GRADING PLAN (CONSERVATION LOT)
- UTILITY/GRADING/DRAINAGE PLAN (WEST SIDE)
- UTILITY/GRADING/DRAINAGE PLAN (EAST SIDE)
- STREET/SEWER PROFILES (WEST SIDE)
- STREET/SEWER PROFILES (WEST SIDE)
- STREET/SEWER PROFILES (EAST SIDE)
- STREET/SEWER PROFILES (EAST SIDE)

### AREA AND LOT SUMMARY

| LOT TYPE         | NUMBER OF LOTS | DWELLING UNITS | AREA (AC) | % OF TOTAL |
|------------------|----------------|----------------|-----------|------------|
| RESIDENTIAL      | 324            | 324            | 56.92     | 39.64%     |
| COMMON           | 23             | N/A            | 64.40     | 44.85%     |
| PUBLIC ROADWAYS  | N/A            | N/A            | 20.04     | 13.96%     |
| N. WING ROAD     | N/A            | N/A            | 2.24      | 1.55%      |
| TOTAL            | 347            | 324            | 143.60    | 100%       |
| PROPOSED DENSITY | 2.26           |                |           |            |



| E-FILE NAME | DESIGNED | DRAWN    | CHECKED  | APPROVED     |
|-------------|----------|----------|----------|--------------|
| 160246-C-BM | K. KEITH | K. KEITH | K. KEITH | J. CARPENTER |

**T-O ENGINEERS**  
CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
2471 S. TITANIUM PLACE  
MERIDIAN, IDAHO 83642-6703  
PHONE: (208) 923-2388  
FAX: (208) 923-2389  
COBERT@T-OENGINEERS.COM  
OFFICES ALSO IN:  
NAMP, IDAHO  
SPOKANE, WA  
BOISE, IDAHO

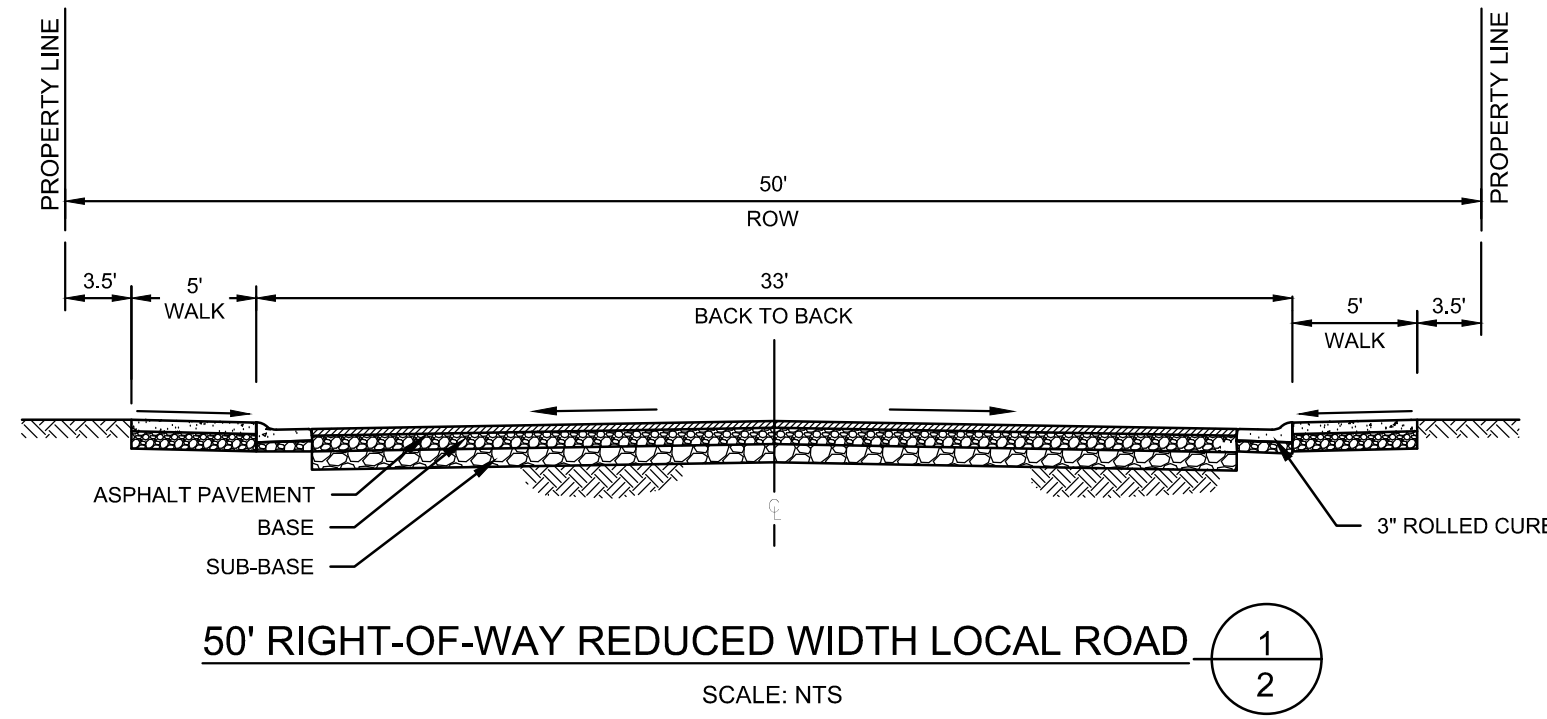
# PRELIMINARY PLAT FOR: TRIDENT RIDGE SUBDIVISION TITLE SHEET

ATTENTION:  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET OR 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE

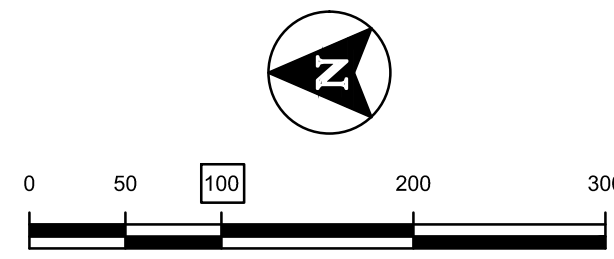
DATE: NOVEMBER 1, 2017  
PROJECT: 160245

SHEET 1 OF 11

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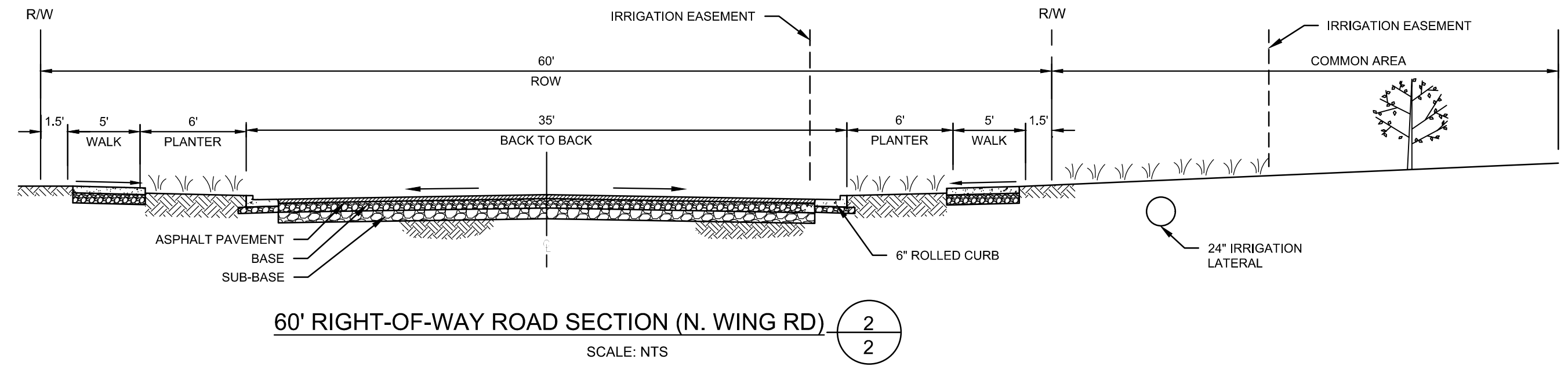


# PRELIMINARY PLAT FOR TRIDENT RIDGE SUBDIVISION

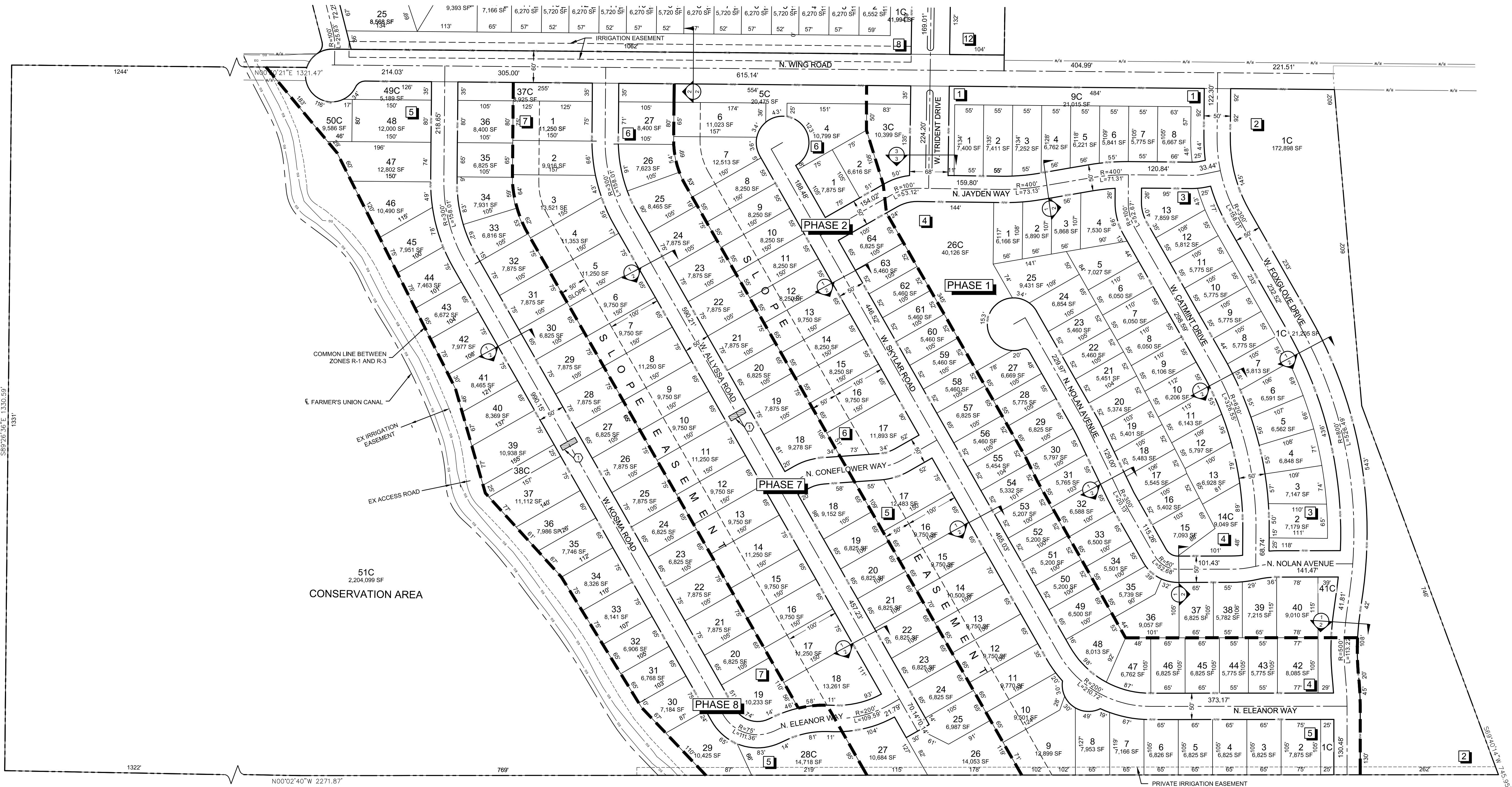


**KEY NOTES**

① TRAFFIC CALMING PER ACHD SECTION 7207.3. CONTRACTOR TO COORDINATE STAMPED CONCRETE COLOR AND STYLE WITH OWNER



SEE SHEET 3



FUTURE ROSELANDS SUBDIVISION



| FILE NAME   | DATE | REVISIONS |
|-------------|------|-----------|
| 160245-C-RM |      |           |
| DESIGNED    |      |           |
| DRAWN       |      |           |
| CHECKED     |      |           |
| APPROVED    |      |           |

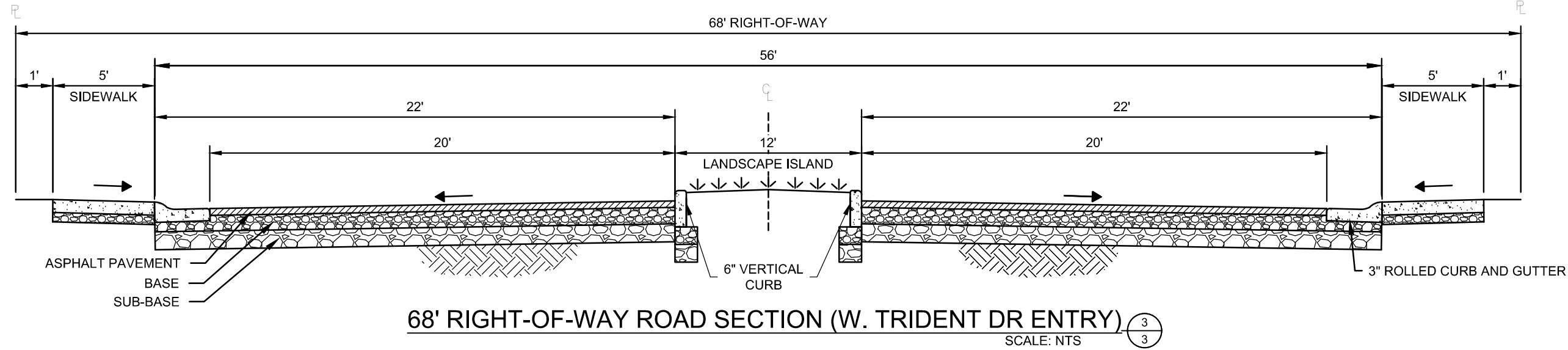
**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANIUM PLACE  
 MERIDIAN, IDAHO 83642-6703  
 PHONE: (208) 323-2288  
 OFFICES ALSO IN:  
 COEUR D'ALENE, IDAHO  
 SPOKANE, WA  
 BOISE, IDAHO

## PRELIMINARY PLAT FOR: TRIDENT RIDGE SUBDIVISION LOT DIMENSIONS (WEST SIDE)

ATTENTION:  
 IF THIS BAR DOES NOT MEASURE  
 1" ON 22x34 SHEET OR 1/2" ON  
 11x17 SHEET, THEN DRAWING IS  
 NOT TO SCALE.

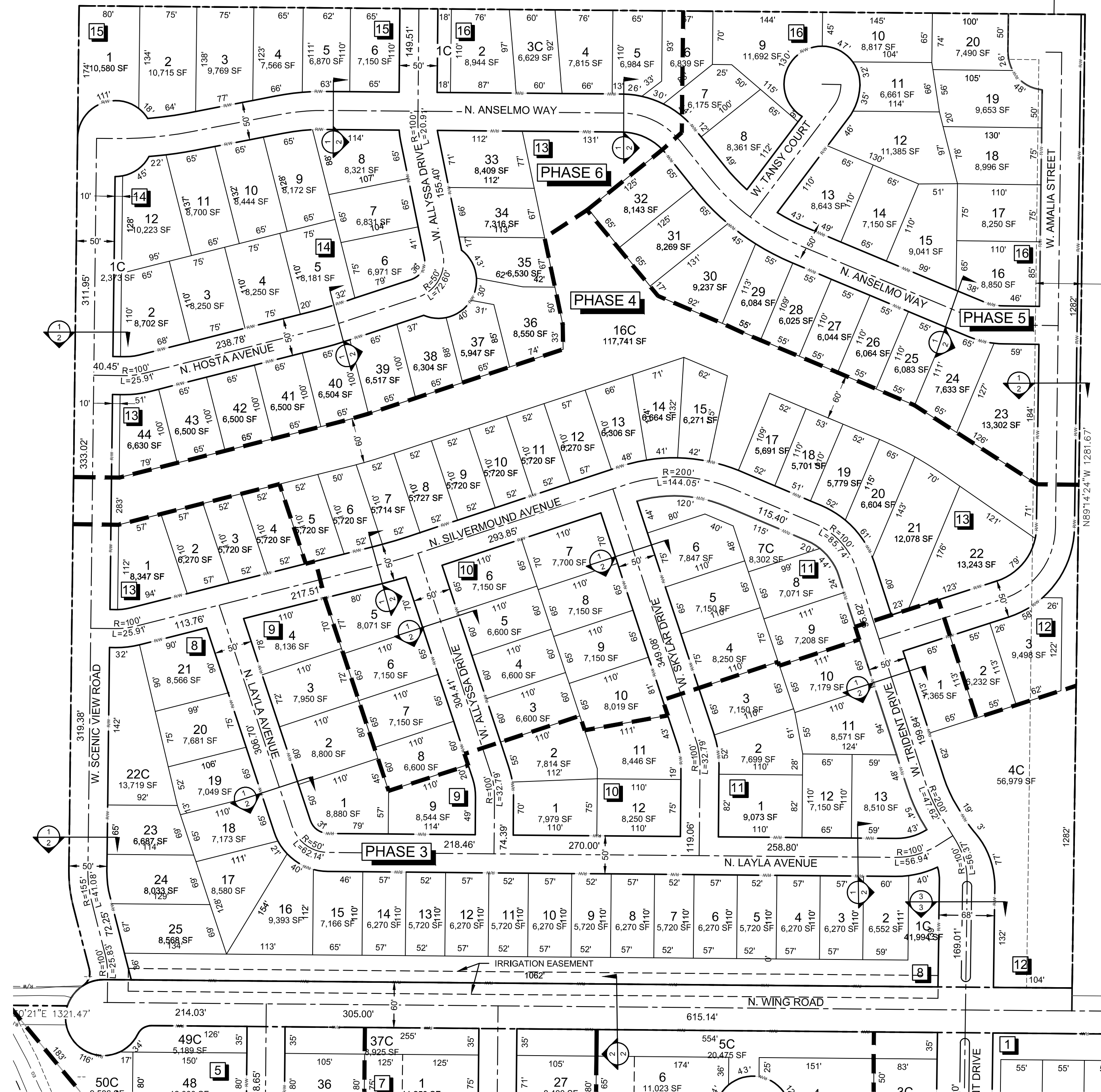
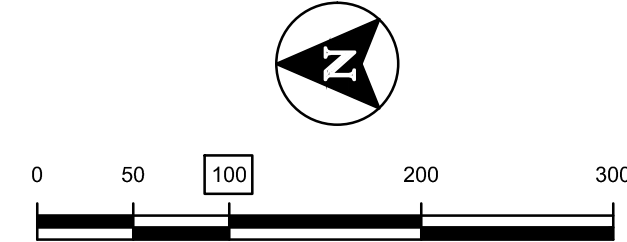
DATE: NOVEMBER 1, 2017  
 PROJECT: 160245

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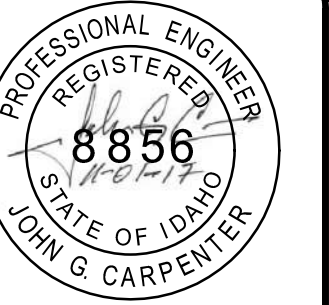


68' RIGHT-OF-WAY ROAD SECTION (W. TRIDENT DR ENTRY)  
SCALE: NTS

PRELIMINARY PLAT FOR  
TRIDENT RIDGE SUBDIVISION



SEE SHEET 2



| FILE NAME   | DATE | REVISIONS |
|-------------|------|-----------|
| 160245-C-BM |      |           |
| DESIGNED    |      |           |
| DRAWN       |      |           |
| CHECKED     |      |           |
| APPROVED    |      |           |

**T-O ENGINEERS**  
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FAX: (208) 323-2289  
COEUR D'ALENE, IDAHO  
SPOKANE, WA  
BOISE, IDAHO

PRELIMINARY PLAT FOR:  
**TRIDENT RIDGE SUBDIVISION**  
LOT DIMENSIONS (EAST SIDE)

ATTENTION:  
IF THIS BAR DOES NOT MEASURE  
1" ON 22x34 SHEET OR 1/2" ON  
11x17 SHEET, THEN DRAWING IS  
NOT TO SCALE.

DATE: NOVEMBER 1, 2017  
PROJECT: 160245

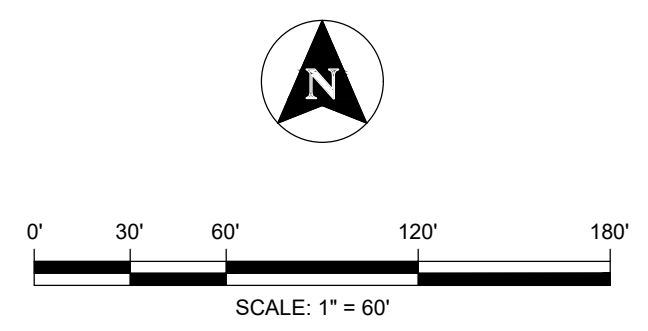
# TRIDENT RIDGE SUBDIVISION NO. 8

A RE-SUBDIVISION OF A PORTION OF LOTS 1, 2, AND 3 BLOCK 1 OF KARMA CREST ESTATES SUBDIVISION  
 LOCATED IN THE NW1/4 OF THE SE1/4, SECTION 32, TOWNSHIP 5 NORTH, RANGE 1 WEST  
 BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO  
 2024

KARMA CREST ESTATES SUBDIVISION

UNPLATTED

CP&F INST. NO.  
 2023-063324  
 CE1/16



| LEGEND |   |
|--------|---|
|        | SUBDIVISION BOUNDARY                    |
|        | SECTION LINE                            |
|        | RIGHT-OF-WAY / LOT LINE                 |
|        | CENTERLINE                              |
|        | EASEMENT LINE                           |
|        | FOUND BRASS CAP MONUMENT                |
|        | FOUND ALUMINUM CAP MONUMENT             |
|        | FOUND 5/8" REBAR, PLS 13765 OR AS NOTED |
|        | SET 5/8" REBAR, PLS 13765               |
|        | SET 1/2" REBAR, PLS 13765               |
|        | LOT NUMBER                              |
|        | BLOCK NUMBER                            |

### SURVEYOR'S NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO RE-SUBDIVIDE PORTIONS OF PARCELS "A", "B", AND "C" OF KARMA CREST SUBDIVISION ORIGINALLY RECORDED IN BOOK 60, PAGE 6037-6039 OF PLATS, OFFICIAL RECORDS OF ADA COUNTY, IDAHO; LOTS 1, 2, AND 3, BLOCK 1 OF SAID SUBDIVISION HAVING BEEN RECONFIGURED PER RECORD OF SURVEY NO. 12165, RECORDED 01/10/2020, OFFICIAL RECORDS OF ADA COUNTY, IDAHO.

THE ORIGINAL CORNERS PER SAID PLAT AND RECORD OF SURVEY WERE FOUND IN GOOD CONDITION AND IN THEIR TRUE POSITIONS.

TRIDENT RIDGE  
 SUBDIVISION NO. 7

*Rob O'Malley*  
 ROB O'MALLEY  
 IDAHO NO. 13765

CP&F INST. NO.  
 2023-016176  
 CS1/16

CP&F INST. NO.  
 2024-  
 CS1/16

CP&F INST. NO.  
 2023-016176  
 32 1/4 T.5.N. R.1.W. BM  
 5 COR T.4.N. R.1.W. BM

W. BEACON LIGHT ROAD

332 N. BROADMORE WAY  
 NAMPA, IDAHO 83687  
 208-442-6300 | WWW.ARDURRA.COM

SHEET NO. 1 OF 4



# TRIDENT RIDGE SUBDIVISION NO. 8

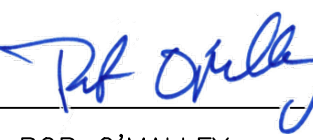
| LINE TABLE |             |          |
|------------|-------------|----------|
| LINE       | BEARING     | DISTANCE |
| L1         | N13°58'02"W | 8.42'    |
| L2         | N88°20'56"E | 34.67'   |
| L3         | S18°17'20"E | 15.11'   |
| L4         | S14°10'54"E | 19.20'   |
| L5         | S75°49'06"W | 50.00'   |
| L6         | S18°17'20"E | 22.95'   |
| L7         | S00°40'19"W | 1.82'    |
| L8         | N89°18'28"W | 14.85'   |
| L9         | S61°40'38"E | 30.20'   |
| L10        | S34°22'51"W | 7.84'    |
| L11        | S34°22'51"W | 24.39'   |
| L12        | S14°10'54"E | 48.32'   |
| L13        | S50°36'20"E | 14.16'   |
| L14        | S44°19'17"E | 17.25'   |
| L15        | S14°10'54"E | 18.32'   |
| L16        | N45°41'13"E | 15.81'   |
| L17        | N52°25'39"E | 13.29'   |
| L18        | N88°20'56"E | 34.67'   |
| L19        | S89°19'41"E | 37.78'   |
| L20        | S89°19'41"E | 36.77'   |

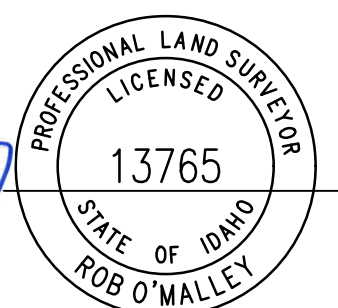
| LINE TABLE |             |          |
|------------|-------------|----------|
| LINE       | BEARING     | DISTANCE |
| L21        | S89°19'41"E | 36.77'   |
| L22        | N71°42'40"E | 25.00'   |
| L23        | N71°42'40"E | 25.00'   |
| L24        | N75°49'06"E | 25.00'   |
| L25        | N75°49'06"E | 25.00'   |
| L26        | N88°20'56"E | 10.03'   |
| L27        | N14°10'54"W | 13.25'   |

| CURVE TABLE |         |         |            |             |        |  |
|-------------|---------|---------|------------|-------------|--------|--|
| CURVE       | RADIUS  | LENGTH  | DELTA      | BEARING     | CHORD  |  |
| C1          | 75.00'  | 15.21'  | 11°37'10"  | S24°09'45"E | 15.18' |  |
| C2          | 100.00' | 11.64'  | 6°40'01"   | S10°50'53"E | 11.63' |  |
| C3          | 100.00' | 25.92'  | 14°51'13"  | S6°45'18"E  | 25.85' |  |
| C4          | 345.00' | 24.73'  | 4°06'26"   | S16°14'07"E | 24.73' |  |
| C5          | 125.00' | 7.74'   | 3°32'55"   | S12°24'26"E | 7.74'  |  |
| C6          | 20.00'  | 24.79'  | 71°01'17"  | S71°17'09"E | 23.23' |  |
| C7          | 57.00'  | 29.93'  | 30°04'52"  | N49°39'44"W | 29.58' |  |
| C8          | 57.00'  | 114.68' | 115°16'22" | S57°39'39"W | 96.29' |  |
| C9          | 57.00'  | 80.72'  | 81°08'31"  | S40°32'47"E | 74.14' |  |
| C10         | 57.00'  | 54.64'  | 54°55'42"  | N71°25'06"E | 52.58' |  |
| C11         | 20.00'  | 10.09'  | 28°53'41"  | S57°16'52"W | 9.98'  |  |
| C12         | 470.00' | 3.07'   | 0°22'27"   | S14°22'07"E | 3.07'  |  |
| C13         | 470.00' | 30.62'  | 3°43'59"   | S16°25'20"E | 30.62' |  |
| C14         | 370.00' | 23.45'  | 3°37'55"   | S16°28'22"E | 23.45' |  |
| C15         | 370.00' | 3.07'   | 0°28'31"   | S14°25'09"E | 3.07'  |  |
| C16         | 125.00' | 22.02'  | 10°05'28"  | S9°08'10"E  | 21.99' |  |
| C17         | 75.00'  | 10.06'  | 7°41'15"   | S10°20'17"E | 10.06' |  |
| C18         | 320.00' | 22.94'  | 4°06'26"   | S16°14'07"E | 22.93' |  |

## NOTES

- ALL LOT LINES COMMON TO A PUBLIC RIGHT-OF-WAY HAVE A TEN FOOT (10') WIDE PERMANENT PUBLIC UTILITIES, PROPERTY DRAINAGE, AND IRRIGATION EASEMENT.
- REAR LOT LINES HAVE A TEN FOOT (10') WIDE PERMANENT PRESSURE IRRIGATION AND PROPERTY DRAINAGE EASEMENT.
- ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE REGULATIONS IN EFFECT AT THE TIME OF RESUBDIVISION.
- MINIMUM BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF STAR APPLICABLE ZONING AND SUBDIVISION REGULATIONS AT THE TIME OF ISSUANCE OF INDIVIDUAL BUILDING PERMITS.
- IRRIGATION WATER HAS BEEN PROVIDED FROM FARMER'S UNION DITCH CO. LTD, IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION SHALL BE ENTITLED TO IRRIGATION WATER RIGHTS AND SHALL BE OBLIGATED FOR ASSESSMENTS FROM SAID DITCH COMPANY AND THE TRIDENT RIDGE SUBDIVISION HOMEOWNER'S ASSOCIATION.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- MAINTENANCE OF ANY IRRIGATION OR DRAINAGE PIPE OR DITCH CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE DISTRICT OR THE HOMEOWNERS' ASSOCIATION.
- LOT 11, BLOCK 12; LOT 25, BLOCK 12; AND LOT 32, BLOCK 13; ARE COMMON LOTS TO BE OWNED AND MAINTAINED BY THE TRIDENT RIDGE SUBDIVISION HOMEOWNERS' ASSOCIATION. SAID LOTS ARE SUBJECT TO A BLANKET PERMANENT PUBLIC UTILITIES, PROPERTY DRAINAGE, AND IRRIGATION EASEMENT.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
- REFERENCE IS MADE TO PUBLIC HEALTH LETTER ON FILE REGARDING ADDITIONAL RESTRICTIONS.
- NO ADDITION DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
- THIS DEVELOPMENT IS SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS (CC&R'S) THAT PERTAIN TO THIS DEVELOPMENT, TO BE FILED AND RECORDED IN THE OFFICE OF THE RECORDER, ADA COUNTY.

  
 ROB O'MALLEY  
 IDAHO NO. 13765





332 N. BROADMORE WAY  
 NAMPA, IDAHO 83687  
 208-442-6300 | WWW.ARDURRA.COM

SHEET NO. 2 OF 4

# TRIDENT RIDGE SUBDIVISION NO. 8

## CERTIFICATE OF OWNERS

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY HEREINAFTER DESCRIBED.

A PORTION OF PARCELS "A", "B", AND "C" OF KARMA CREST SUBDIVISION ORIGINALLY RECORDED IN BOOK 60, PAGE 6037-6039 OF PLATS, OFFICIAL RECORDS OF ADA COUNTY, IDAHO, LOCATED IN THE NW1/4 OF THE SE1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF STAR, ADA COUNTY, IDAHO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING COMMENCING AT AN ALUMINUM CAP MONUMENT MARKING CENTER SOUTH 1/16 CORNER OF SECTION 32; THENCE, ALONG THE EAST BOUNDARY OF SAID NW1/4 OF THE SE1/4,

A. N.00°30'00"E., 866.05 FEET; THENCE,  
B.S.89°30'00"E., 72.00 FEET ALONG THE BOUNDARY OF TRIDENT RIDGE SUBDIVISION NO. 7 TO THE POINT OF BEGINNING;

1. N.00°30'00"E., 301.31 FEET; THENCE,

2. N.47°21'53"E., 76.84 FEET; THENCE,

3. S.88°56'29"E., 65.71 FEET; THENCE,

4. N.84°43'27"E., 261.00 FEET; THENCE,

5. N.13°58'02"W., 8.42 FEET; THENCE,

6. N.88°20'56"E., 44.70 FEET; THENCE,

7. S.89°19'41"E., 470.03 FEET; THENCE,

8. S.14°10'54"E., 235.39 FEET; THENCE,

9. S.18°17'20"E., 292.99 FEET; THENCE,

10. S.71°42'40"W., 160.00 FEET; THENCE,

11. S.18°17'20"E., 15.11 FEET TO A TANGENT CURVE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT,

12. SOUTHEASTERLY ALONG SAID CURVE TO THE LEFT, HAVING A RADIUS OF 75.00 FEET, AN ARC LENGTH OF 15.21 FEET, THROUGH A CENTRAL ANGLE OF 11°37'10" AND A LONG CHORD WHICH BEARS S.24°09'45"E., 15.18 FEET; THENCE, NON-TANGENT FROM SAID CURVE,

13. S.71°42'40"W., 161.10 FEET; THENCE LEAVING SAID BOUNDARY OF TRIDENT RIDGE SUBDIVISION NO. 7 AND ALONG THE BOUNDARY OF TRIDENT RIDGE SUBDIVISION NO. 6,

14. N.18°03'36"W., 347.86 FEET; THENCE,

15. S.72°17'37"W., 111.10 FEET; THENCE,

16. N.14°10'54"W., 19.20 FEET; THENCE,

17. S.75°49'06"W., 50.00 FEET; THENCE,

18. N.14°10'54"W., 107.38 FEET; THENCE,

19. S.71°41'55"W., 484.43 FEET TO THE POINT OF BEGINNING.

CONTAINING: 8.46 ACRES, MORE OR LESS.

By: \_\_\_\_\_  
DENNIS P MURPHY, MANAGER, HAYDEN HOMES IDAHO, LLC.

## ACKNOWLEDGMENT

STATE OF IDAHO }  
COUNTY OF COUNTY } S.S.

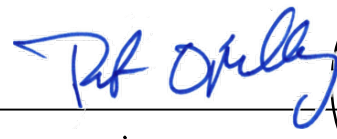
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED DENNIS P MURPHY, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF HAYDEN HOMES IDAHO, LLC, AN IDAHO LIMITED LIABILITY COMPANY, WHO SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF SAID COMPANY, AND THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME IN NAME.

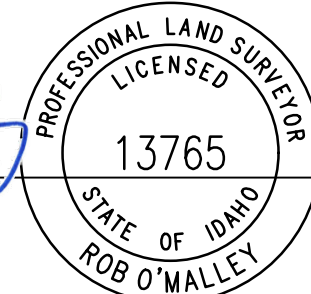
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

\_\_\_\_\_  
NOTARY PUBLIC FOR THE STATE OF IDAHO

## CERTIFICATE OF SURVEYOR

I, ROB O'MALLEY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" WAS DRAWN FROM THE FIELD NOTES OF A SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED HEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS AND THE CORNER PERPETUATION AND FILING ACT, IDAHO CODE 55-1601 THROUGH 55-1612.

  
ROB O'MALLEY  
IDAHO NO. 13765



 **ARDURRA**

332 N. BROADMORE WAY  
NAMPA, IDAHO 83687  
208-442-6300 | WWW.ARDURRA.COM

SHEET NO. 3 OF 4

TRIDENT RIDGE SUBDIVISION NO. 8

HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50 CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITION OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

R.E.H.S. DISTRICT HEALTH DEPARTMENT

DATE

ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ACCEPTANCE

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT - ADA COUNTY HIGHWAY DISTRICT

APPROVAL OF THE CITY ENGINEER

I, THE UNDERSIGNED CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY, \_\_\_\_\_ HEREBY APPROVE THIS PLAT.

CITY ENGINEER ~ STAR, IDAHO

DATE

APPROVAL OF THE CITY COUNCIL

I, THE UNDERSIGNED CITY CLERK IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE FOREGOING PLAT WAS DULY ACCEPTED AND APPROVED.

CITY CLERK ~ STAR, IDAHO

CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL LAND SURVEYOR FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

ADA COUNTY SURVEYOR

DATE

CERTIFICATE OF THE COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

COUNTY TREASURER

DATE

CERTIFICATE OF COUNTY RECORDER

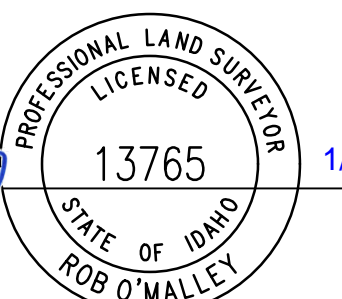
STATE OF IDAHO }  
COUNTY OF ADA } S.S.

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD AT THE REQUEST OF \_\_\_\_\_, AT \_\_\_\_\_ MINUTES PAST \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, IN BOOK \_\_\_\_\_ OF PLATS, AT PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_ AS INSTRUMENT NO. \_\_\_\_\_.

DEPUTY

EX OFFICIO RECORDER

*Rob O'Malley*  
ROB O'MALLEY  
IDAHO NO. 13765  
1/9/24



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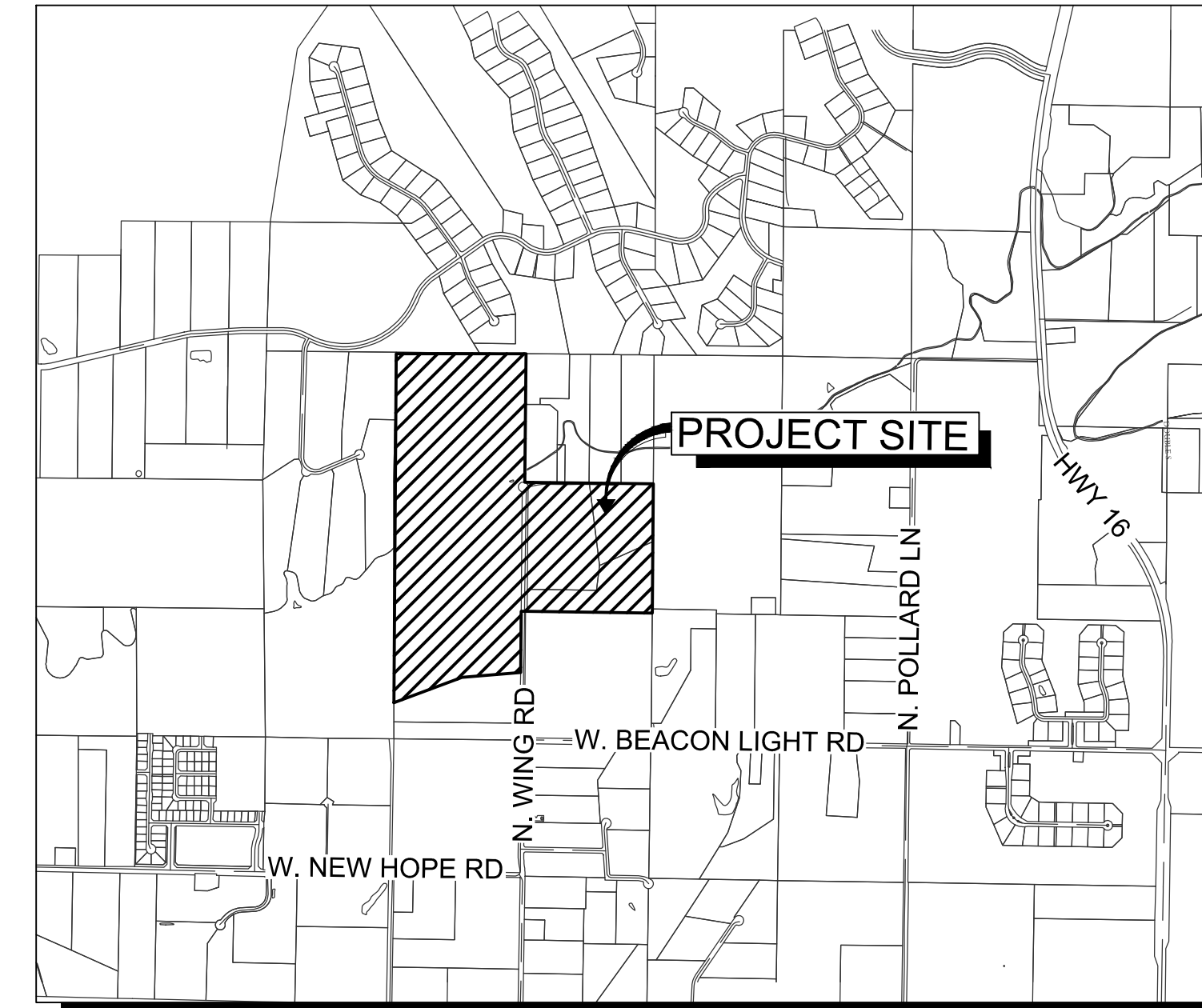
**LANDSCAPE NOTES:**

- ALL CONTRACTOR WORK SHALL BE CONDUCTED IN ACCORDANCE WITH ISPPWC (IDAHO STANDARD PUBLIC WORKS CONSTRUCTION), 2013, AND CITY OF STAR, ID CODES, STANDARDS AND STATE AND LOCAL REGULATIONS.
- ALL STRUCTURES, SITE IMPROVEMENTS AND UNDERGROUND UTILITIES SHALL BE LOCATED PRIOR TO CONSTRUCTION AND PROTECTED. CALL DIG-A-LINE 1-800-342-1585 TO LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO STRUCTURES, UTILITIES OR CONCRETE WILL BE REPLACE AT CONTRACTOR'S EXPENSE.
- COORDINATE WITH CIVIL ENGINEERING DRAWINGS FOR PAVING, UTILITIES AND GRADING INFORMATION.
- PREPARE SITE FOR PLANTING BY GRUBBING AND REMOVING WEEDS. IF NECESSARY APPLY ROUND-UP (OR EQUIVALENT HERBICIDE), USING A CERTIFIED APPLICATOR. REMOVE ROCKS AND OTHER MATERIALS OVER 3".
- ALL LAWN AREAS SHALL HAVE MIN 6" OF TOPSOIL AND AND FILL TREE PITS WITH TOPSOIL. TOPSOIL SHALL BE FRIABLE LOAM, PH RANGE 5.5 TO 7, A MINIMUM OF 5% ORGANIC MATERIAL, FREE OF STONES 1 INCH OR LARGER OR ANY OTHER EXTRANEIOUS MATERIALS. IT IS ACCEPTABLE TO AMEND NATIVE SOILS TO MEET THIS TOPSOIL SPECIFICATION IF SOIL TEXTURE IS LOAMY.
- FINE GRADE TO ELEVATIONS SET BY ENGINEER'S PLANS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES. REFER TO ENGINEER'S PLANS FOR GRADING INFORMATION.
- SURFACE WATER DRAINAGE IS TO BE CONTAINED WITHIN EACH LOT UNLESS EXPRESSLY ALLOWED OTHERWISE BY APPROVED ENGINEERING PLANS.
- IF WORK IS IN THE SPRING, BETWEEN THE MONTHS MARCH TO MAY, THEN APPLY PRE-EMERGANT TO ALL NON-PAVED LANDSCAPE AREAS, EXCEPT AREAS RECEIVING GRASS SOD, PRIOR TO PLANTING.
- BERMING AND GRADING AS SHOWN ON PLANS SHALL HAVE GRADUAL TRANSITIONS TO EXISTING OR ENGINEER PROPOSED GRADES. GRADING SHALL NOT CHANGE FLOW OR DIRECTION OF SURFACE DRAINAGE SWALES AS SHOWN ON ENGINEERS PLANS.
- ESTIMATED QUANTITIES ARE SHOWN FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITY ESTIMATES.
- LAY SOD WITHIN 24 HOURS OF HARVESTING. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS AND EVEN GRADES.
- CONTRACTOR RESPONSIBLE FOR KEEPING LANDSCAPED AREAS CLEAN. REMOVE ALL DEBRIS, SPOILS AND TRASH FROM SITE FOR DISPOSAL AT APPROVED LANDFILL OR WASTE DISPOSAL SITE.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM FEDERAL STANDARDS AS REGULATED BY ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK. PLANTS NOT MEETING THESE STANDARDS FOR QUALITY, OR PLANTS DETERMINED TO BE UNHEALTHY BY OWNER'S REPRESENTATIVE, WILL BE REJECTED.
- INSTALL ONLY SPECIFIED PLANTS. PLANT SUBSTITUTES MUST BE APPROVED BY LANDSCAPE ARCHITECT. UNAPPROVED PLANT SUBSTITUTES WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD (ADA COUNTY HIGHWAY DISTRICT) STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- TREES SHALL NOT BE PLANTED WITHIN CLEAR VISION TRIANGLES.
- NO TREES SHALL BE PLACED WITHIN 50' OF STOP SIGN.
- SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR BEGINNING A THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL DEAD OR UNHEALTHY PLANT MATERIAL IMMEDIATELY WITH SAME TYPE AND SIZE AT NO COST TO THE OWNER.
- ALL LANDSCAPE SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM OPERATED BY ONE CONTROLLER, AND DESIGNED WITH HYDRO-ZONES THAT FUNCTION WELL WITHIN THE WATER SERVICE PROVIDED FOR HEALTHY GROWTH OF PLANT MATERIAL.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED WITH THE FOLLOWING SPECIFICATIONS:
  - COVERAGE FOR DIFFERENT HYDROZONES:
    - LAWN AND GRASS AREAS - MP ROTOR SPRINKLERS AND / OR ROTORS WITH 100% DOUBLE COVERAGE.
    - PLANTING BEDS - DRIP IRRIGATION.
  - SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
  - SEPARATE HYDROZONES SHALL BE USED FOR LAWNS AND TREES/SHRUBS/GROUND COVER AREAS.
  - SPRINKLERS SHALL NOT OVERSPRAY ONTO IMPERVIOUS SURFACES, BUILDING OR STRUCTURES IN CALM WIND CONDITIONS.
- IRRIGATION CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR FOR ALL SLEEVES THAT NEED TO BE INSTALLED TO ALLOW EFFICIENT IRRIGATION PIPING.
- IRRIGATION CONTROLLERS SHALL BE PEDESTAL MOUNTED IN PLANTING BEDS. CONTROLLER LOCATIONS SHALL BE EASILY ACCESSIBLE, BUT VISIBLY DISCRETE.

**PLANT SCHEDULE PHASE 8**

| CLASS II        | BOTANICAL / COMMON NAME  | SIZE      | CONTAINER | WATER ZONE | CLASS HEIGHT | MATURE SIZE   | QTY |
|-----------------|--|-----------|-----------|------------|--------------|---------------|-----|
|                 | ACER PLATANOIDES 'COLUMNARBROAD' TM / PARKWAY MAPLE                    | 2" CAL.   | B&B       | 3          | II           | 40'X25'       | 2   |
|                 | BETULA NIGRA / RIVER BIRCH   | 2" CAL.   | B&B       | 1          | II           | 40'X40'       | 2   |
|                 | GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST | 2" CAL.   | B&B       | 2          | II           | 50'X35'       | 4   |
|                 | LIRIODENDRON TULIPIFERA 'JFS-OZ' TM / EMERALD CITY TULIP POPLAR        | 2" CAL.   | B&B       | 1          | II           | 50'X35'       | 6   |
| CLASS III TREES | BOTANICAL / COMMON NAME  | SIZE      | CONTAINER | WATER ZONE | CLASS HEIGHT | MATURE SIZE   | QTY |
|                 | SALIX BABYLONICA / WEEPING WILLOW                                      | 2" CAL.   |           | 4          | III          | 50'X35'       | 2   |
| EVERGREEN TREES | BOTANICAL / COMMON NAME  | SIZE      | CONTAINER | WATER ZONE | CLASS HEIGHT | MATURE SIZE   | QTY |
|                 | PINUS NIGRA / AUSTRIAN BLACK PINE                                      | 6'-7' HT. | B&B       | 2          | EVERGREEN    | 60'X30'       | 4   |
| CLASS I TREES   | BOTANICAL / COMMON NAME  | SIZE      | CONTAINER | WATER ZONE | CLASS HEIGHT | MATURE SIZE   | QTY |
|                 | CERCIS CANADENSIS / EASTERN REDBUD                                     | 2" CAL.   | B&B       | 2          | I            | 30'X25'       | 1   |
|                 | MALUS X 'RADIANT' / RADIANT CRAB APPLE                                 | 2" CAL.   | B&B       | 2          | I            | 20'X20'       | 3   |
|                 | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE                          | 2" CAL.   | B&B       | 1          | I            | 25'X20'       | 4   |
| SHRUBS          | BOTANICAL / COMMON NAME  | SIZE      | CONTAINER | WATER ZONE | TYPE         | MATURE HEIGHT | QTY |
|                 | CORNUS STOLONIFERA 'FARROW' / ARCTIC FIRE DOGWOOD                      | 2-3 GAL.  | POT       | 1          | SHRUB        | 4'X4'         | 7   |
|                 | EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH                     | 2-3 GAL.  | POT       | 2          | SHRUB        | 8' X 6'       | 2   |
|                 | FORSYTHIA X INTERMEDIA 'SPRING GLORY' / SPRING GLORY FORSYTHIA         | 2-3 GAL.  | POT       | 1          | SHRUB        | 8' X 6'       | 10  |
|                 | PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK             | 2-3 GAL.  | POT       | 1          | SHRUB        | 3'X3'         | 7   |
|                 | SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC                          | 2-3 GAL.  | POT       | 2          | SHRUB        | 6'X6'         | 6   |
| GRASSES         | BOTANICAL / COMMON NAME  | SIZE      | CONTAINER | WATER ZONE | TYPE         | MATURE HEIGHT | QTY |
|                 | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS        | 1 GAL.    | POT       | 1          | ORN GRASS    | 3'X3'         | 2   |
|                 | HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS                            | 1 GAL.    | POT       | 1          | ORN GRASS    | 2'X2'         | 4   |

NOTES  
 1. SEE GENERAL LANDSCAPE NOTES, THIS SHEET. ALSO SEE SHEETS L4 FOR PLANTING DETAILS  
 2. WATER ZONES SHOWN IN THE MINIMUM NUMBER OF IRRIGATION APPLICATIONS PER MONTH REQUIRED FOR HEALTHY GROWTH (SEE BOISE PARKS AND RECS WATER CONSERVATION GUIDELINES AND SALT LAKE CITY HYDROZONE SCHDL. 2013)



**PROJECT LOCATION**  
NTS

**DEVELOPER/APPLICANT**  
 HAYDEN HOMES  
 Contact: Tim Mokwa  
 1406 N. Main Street, Suite 109  
 Meridian, ID 83642  
 1-800-923-6607

**LANDSCAPE ARCHITECT**  
 T-O ENGINEERS  
 Jaime Snyder, LA  
 2471 W. Titanium Place  
 Meridian, ID 83642  
 (208) 323-2288

**811 CALL BEFORE YOU DIG!**  
 CALL DIGLINE INC.  
 PRIOR TO COMMENCING UNDERGROUND WORK  
 DIAL: 811

NOTE:  
 THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN APPROXIMATELY ONLY PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL UTILITY COMPANIES OF THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY FAILURE TO EXACTLY LOCATE AND PROTECT ALL UTILITIES.

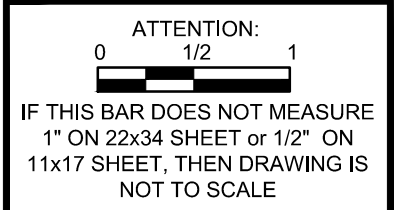
| SHEET | SHEET NAME                       |
|-------|----------------------------------|
| L1.00 | Cover Sheet                      |
| L2.00 | Landscape Material & Layout Plan |
| L3.00 | Overall Planting Plan            |
| L3.10 | Planting Plan - Area One         |
| L3.20 | Planting Plan - Area Two         |
| L4.00 | Details                          |



| NO.      | REVISIONS DESCRIPTION | DATE |
|----------|-----------------------|------|
| DESIGNED | 22/3/24               |      |
| DRAWN    | N. POWRELL            |      |
| CHECKED  | N. POWRELL            |      |
| APPROVED | J. SNYDER             |      |

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 W. TITANIUM PLACE  
 MERIDIAN, IDAHO 83642  
 WWW.T-O-ENGINEERS.COM  
 PHONE: (208) 323-2288  
 BOISE • CODY • COEUR D'ALENE • HEBER CITY  
 MERIDIAN • NAMPYA • SPOKANE

CONSTRUCTION DRAWINGS FOR:  
**TRIDENT RIDGE SUBD. NO. 8**  
 COVER SHEET



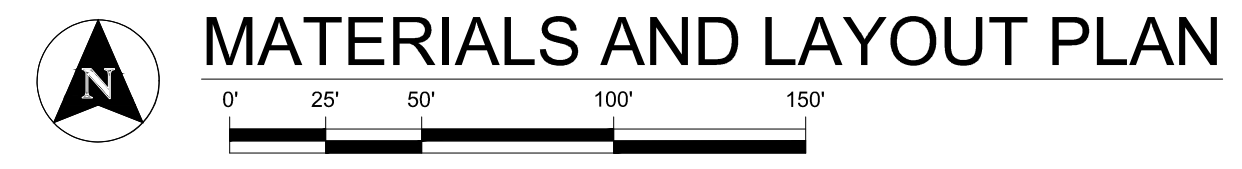
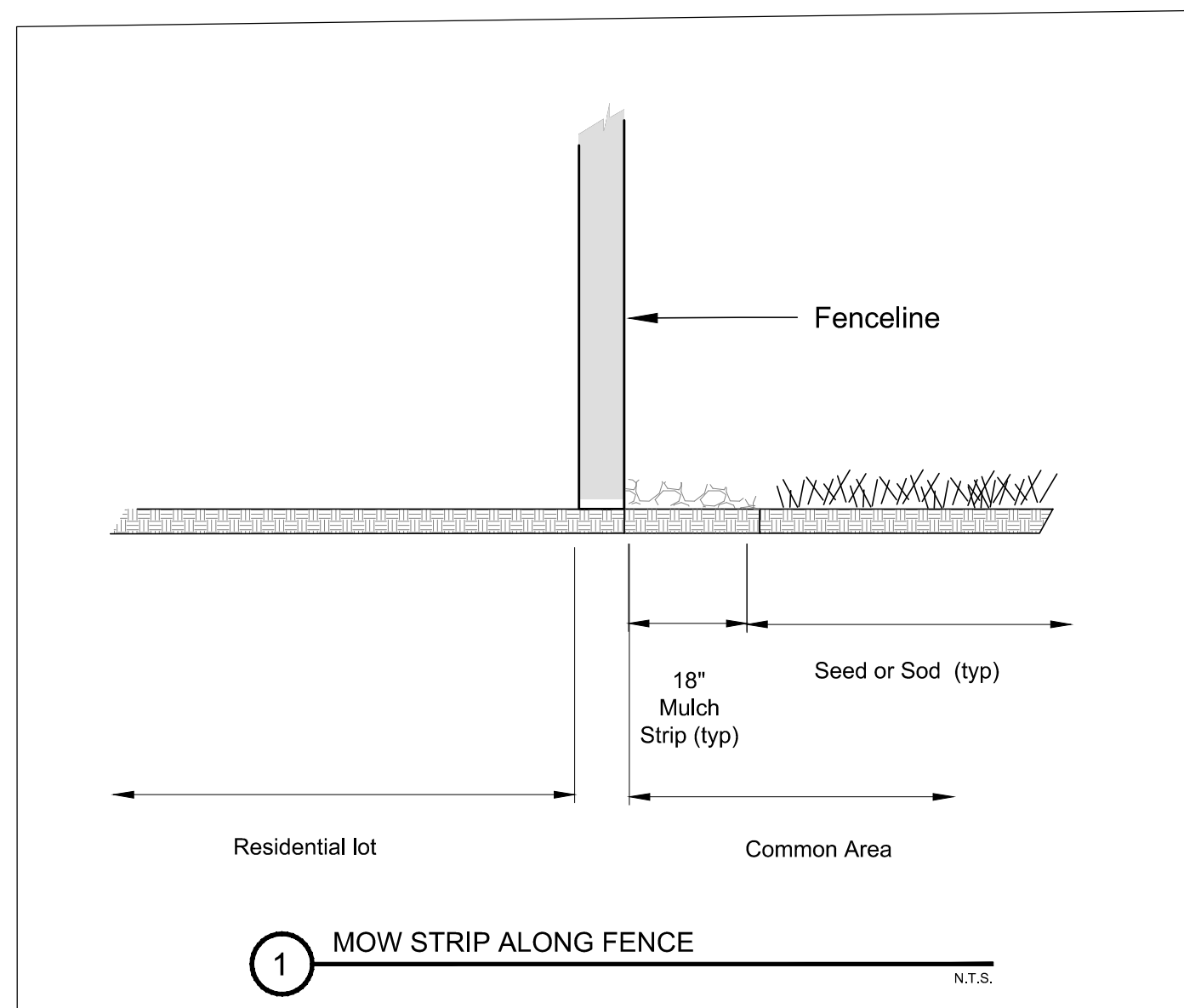
DATE: September 19, 2022  
 PROJECT: 210398  
 SHEET: L1.0

**LANDSCAPE MATERIALS SCHEDULE**

| Key | Material                    | Description  | Qty          | Notes/Remarks  |
|-----|-----------------------------|--|--------------|--|
|     | Planter Beds                | 3/4" crushed rock mulch (brown and tan) and plants per planting plan                                     | 10,414 sq ft | Planter areas shall have 4" topsoil and be irrigated with pressurized, automatically controlled, irrigation system. Mulch all areas not designated as lawn. 2.5" deep rock mulch throughout. Quantity does not include tree ring beds. |
|     | Lawn Sod                    | High Traffic Area Lawn   | 2,817 sq ft  | Install sod adjacent to sidewalks and curb to a width of 10' off back of curb and any additional areas shown per plan.   |
|     | Lawn Maintenance Grass Area | Low Grow Triple Fescue Blend, or similar   | 36,208 sq ft | Area May Require one seasonal mowing for maintenance.  |
|     | Fitness Stations            | Distributor: Recreation Today<br>Model: 5 piece fitness package plus 1 additional of developer's choice. | 1            | Located along pathway system per plan and installed with appropriate safety zone and specified pad per manufacturer details.   |
|     | Clear Vision Triangle       | Triangle Formed Per City of Star Code  | -            | See plans for locations.   |
|     | Privacy Fence - 6'          | 6" Vinyl Fence. Color: Sand, Tongue and Groove   | 174 l.f.     | Perimeter fencing as shown on plans. See Detail, Sheet L4.0. See mowstrip detail, this sheet.  |
|     | View Fence - 5'             | 5' Iron View Fence.  | 965 l.f.     | As shown on plans. See Detail, Sheet L4.0. See mowstrip detail, this sheet.  |
|     | Landscape Boulders          | 3'x3'x3' typical size. Lichen covered basalt or sandstone  | 19           | See plans for locations.   |

**REFERENCE NOTES SCHEDULE**

| SYMBOL | DESCRIPTION                |
|--------|----------------------------|
|        | FITNESS STATION PAD.       |
|        | MOW STRIP ALONG FENCE.     |
|        | PRIVACY FENCE, SEE DETAIL. |
|        | VIEW FENCE, SEE DETAIL.    |



| NO. | REVISIONS DESCRIPTION | DATE | DESIGNED   | DRAWN      | CHECKED   | APPROVED  |
|-----|-----------------------|------|------------|------------|-----------|-----------|
|     |                       |      | N. POWRELL | N. POWRELL | J. SNYDER | J. SNYDER |

**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANIUM PLACE  
 MERIDIAN, IDAHO 83662  
 PHONE: (208) 323-2288 WWW.TO-ENGINEERS.COM  
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CONSTRUCTION DRAWINGS FOR:  
**TRIDENT RIDGE SUBD. NO. 8**  
 LANDSCAPE MATERIALS AND LAYOUT PLAN

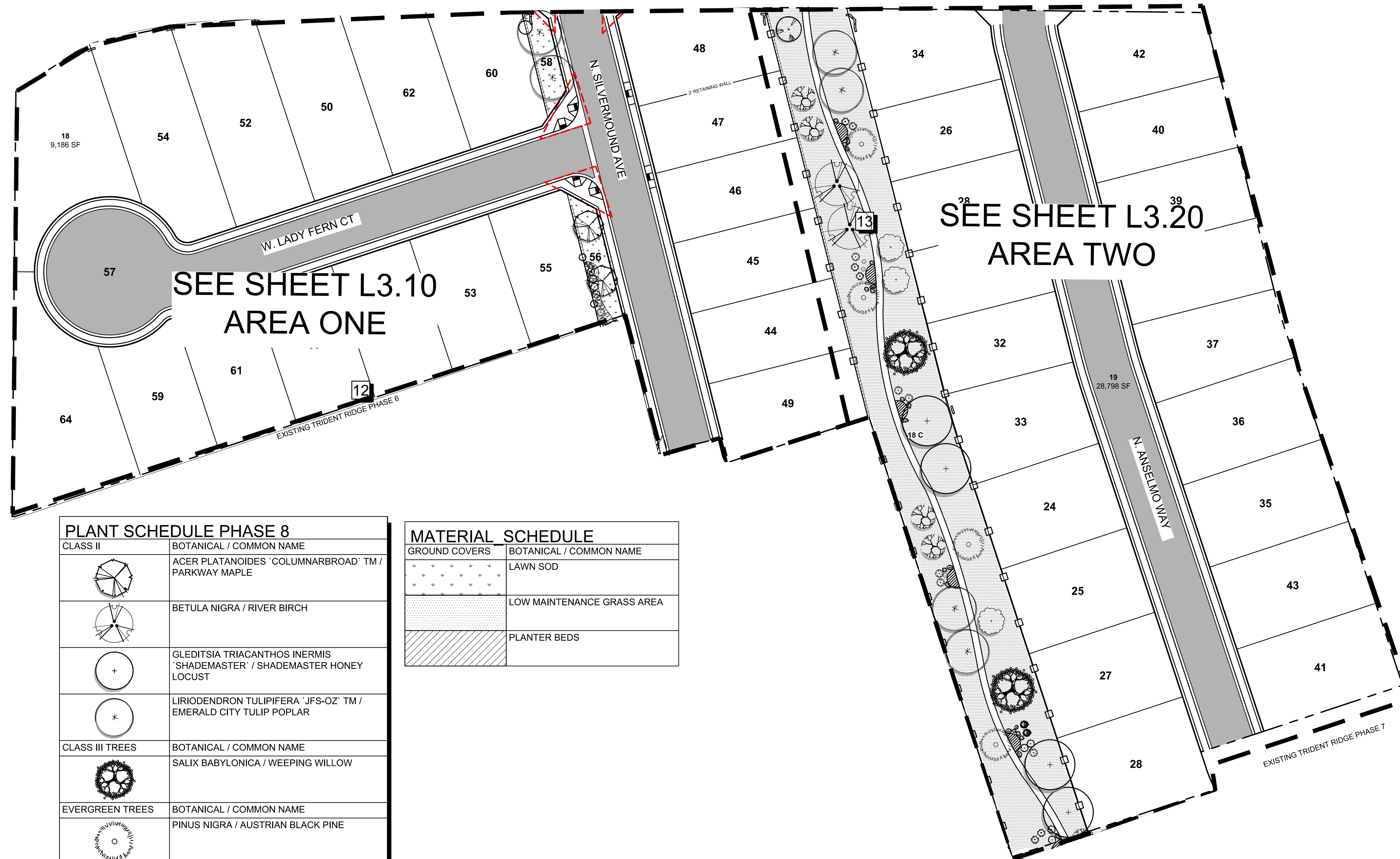
ATTENTION: 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.

DATE: September 19, 2022  
 PROJECT: 210398  
 SHEET: **L2.0**

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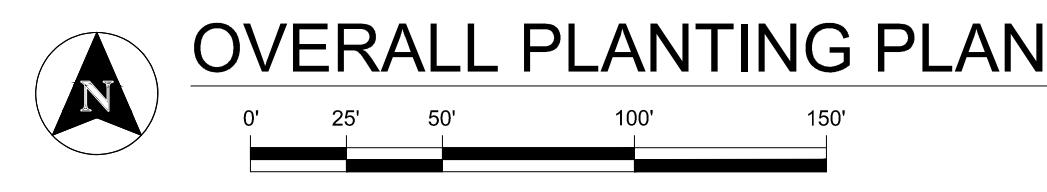
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SITE KEY  
NTS

| PLANT SCHEDULE PHASE 8 |   |
|------------------------|---|
| CLASS II               | BOTANICAL / COMMON NAME   |
|                        | ACER PLATANOIDES 'COLUMNARBROAD' TM / PARKWAY MAPLE                   |
|                        | BETULA NIGRA / RIVER BIRCH  |
|                        | GLEDISIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST |
|                        | LIRIODENDRON TULIPIFERA 'JFS-OZ' TM / EMERALD CITY TULIP POPLAR       |
| CLASS III TREES        | BOTANICAL / COMMON NAME   |
|                        | SALIX BABYLONICA / WEEPING WILLOW                                     |
| EVERGREEN TREES        | BOTANICAL / COMMON NAME   |
|                        | PINUS NIGRA / AUSTRIAN BLACK PINE                                     |
| CLASS I TREES          | BOTANICAL / COMMON NAME   |
|                        | CERCIS CANADENSIS / EASTERN REDBUD                                    |
|                        | MALUS X 'RADIANT' / RADIANT CRAB APPLE                                |
|                        | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE                         |
| SHRUBS                 | BOTANICAL / COMMON NAME   |
|                        | CORNUS STOLONIFERA 'FARROW' / ARCTIC FIRE DOGWOOD                     |
|                        | EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH                    |
|                        | FORSYTHIA X INTERMEDIA 'SPRING GLORY' / SPRING GLORY FORSYTHIA        |
|                        | PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK            |
|                        | PINUS MUGO 'COMPACTA' / DWARF MUGO PINE                               |
|                        | SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC                         |
| GRASSES                | BOTANICAL / COMMON NAME   |
|                        | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS       |
|                        | HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS                           |

| MATERIAL SCHEDULE |                            |
|-------------------|----------------------------|
| GROUND COVERS     | BOTANICAL / COMMON NAME    |
|                   | LAWN SOD                   |
|                   | LOW MAINTENANCE GRASS AREA |
|                   | PLANTER BEDS               |



OVERALL PLANTING PLAN

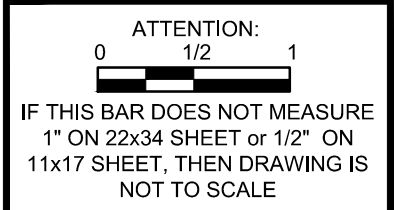


|             |            |
|-------------|------------|
| BORDER SIZE | 22"x34"    |
| DESIGNED    | N. POWRELL |
| DRAWN       | N. POWRELL |
| CHECKED     | J. SNYDER  |
| APPROVED    | J. SNYDER  |

| NO. | REVISIONS DESCRIPTION | DATE |
|-----|-----------------------|------|
|     |                       |      |
|     |                       |      |
|     |                       |      |

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CONSTRUCTION DRAWINGS FOR:  
**TRIDENT RIDGE SUBD. NO. 8**  
**OVERALL PLANTING PLAN**



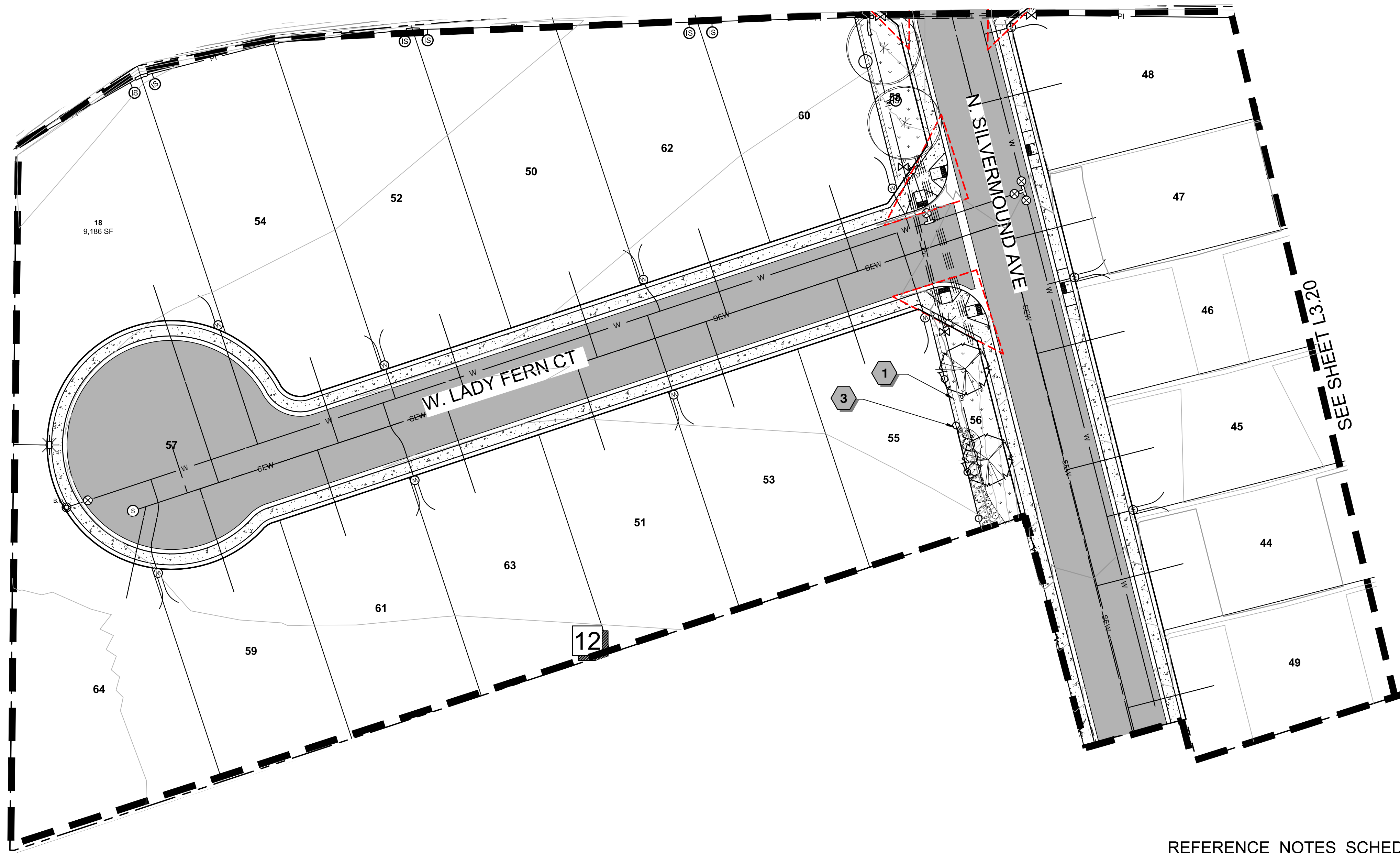
DATE: September 19, 2022  
PROJECT: 210397  
SHEET:

**L3.0**

NOTES  
1. SEE GENERAL LANDSCAPE NOTES, SHEET L1.0. ALSO SEE SHEETS L4.0 FOR PLANTING DETAILS

L:\210397\_L3\ACADD\DWG\MODEL\210397-L3-P8.DWG, 9/19/2022

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SEE SHEET L3.20

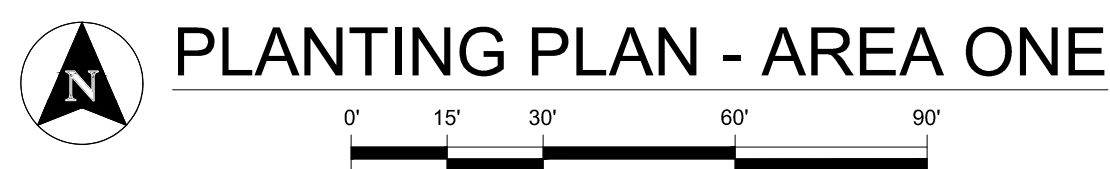
**REFERENCE NOTES SCHEDULE**

| SYMBOL | DESCRIPTION                |
|--------|----------------------------|
| 1      | FITNESS STATION PAD        |
| 2      | MOW STRIP ALONG FENCE      |
| 3      | PRIVACY FENCE, SEE DETAIL. |
| 4      | VIEW FENCE, SEE DETAIL.    |

| PLANT SCHEDULE PHASE 8 |  |
|------------------------|--|
| CLASS II               | BOTANICAL / COMMON NAME  |
|                        | ACER PLATANOIDES 'COLUMNARBROAD' TM / PARKWAY MAPLE                    |
|                        | BETULA NIGRA / RIVER BIRCH   |
|                        | GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST |
|                        | LIRIODENDRON TULIPIFERA 'JFS-OZ' TM / EMERALD CITY TULIP POPLAR        |
| CLASS III TREES        | BOTANICAL / COMMON NAME  |
|                        | SALIX BABYLONICA / WEEPING WILLOW                                      |
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|                        | MALUS X 'RADIANT' / RADIANT CRAB APPLE                                 |
|                        | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE                          |
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|                        | CORNUS STOLONIFERA 'FARROW' / ARCTIC FIRE DOGWOOD                      |
|                        | EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH                     |
|                        | FORSYTHIA X INTERMEDIA 'SPRING GLORY' / SPRING GLORY FORSYTHIA         |
|                        | PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK             |
|                        | PINUS MUGO 'COMPACTA' / DWARF MUGO PINE                                |
|                        | SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC                          |
| GRASSES                | BOTANICAL / COMMON NAME  |
|                        | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS        |
|                        | HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS                           |

NOTES  
1. SEE GENERAL LANDSCAPE NOTES, SHEET L1.0. ALSO SEE SHEETS L4.0 FOR PLANTING DETAILS

| MATERIAL SCHEDULE |                            |
|-------------------|----------------------------|
| GROUND COVERS     | BOTANICAL / COMMON NAME    |
|                   | LAWN SOD                   |
|                   | LOW MAINTENANCE GRASS AREA |
|                   | PLANTER BEDS               |



**PLANTING PLAN - AREA ONE**



| NO. | REVISIONS DESCRIPTION | DATE | DESIGNED   | DRAWN      | CHECKED   | APPROVED  |
|-----|-----------------------|------|------------|------------|-----------|-----------|
|     |                       |      | N. POWRELL | N. POWRELL | J. SNYDER | J. SNYDER |

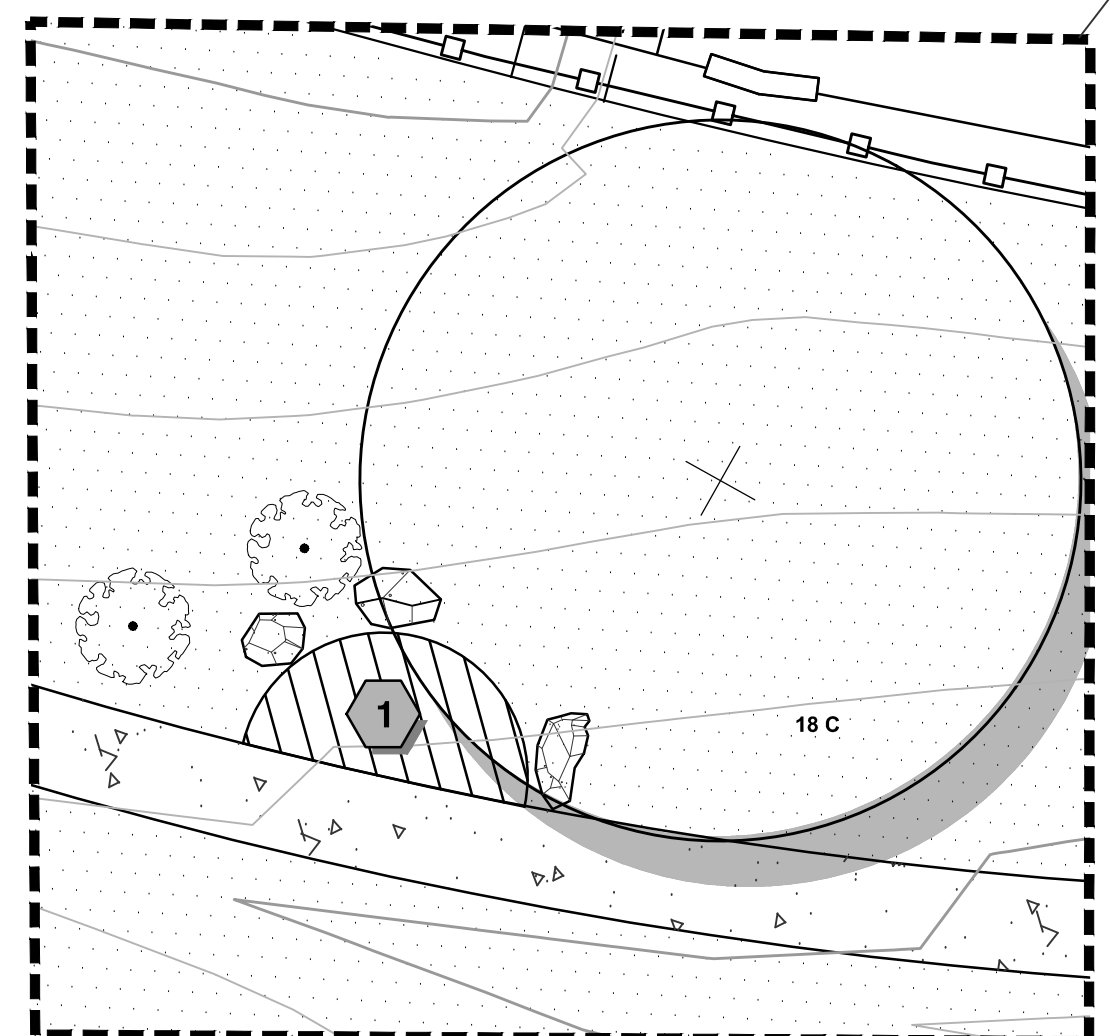
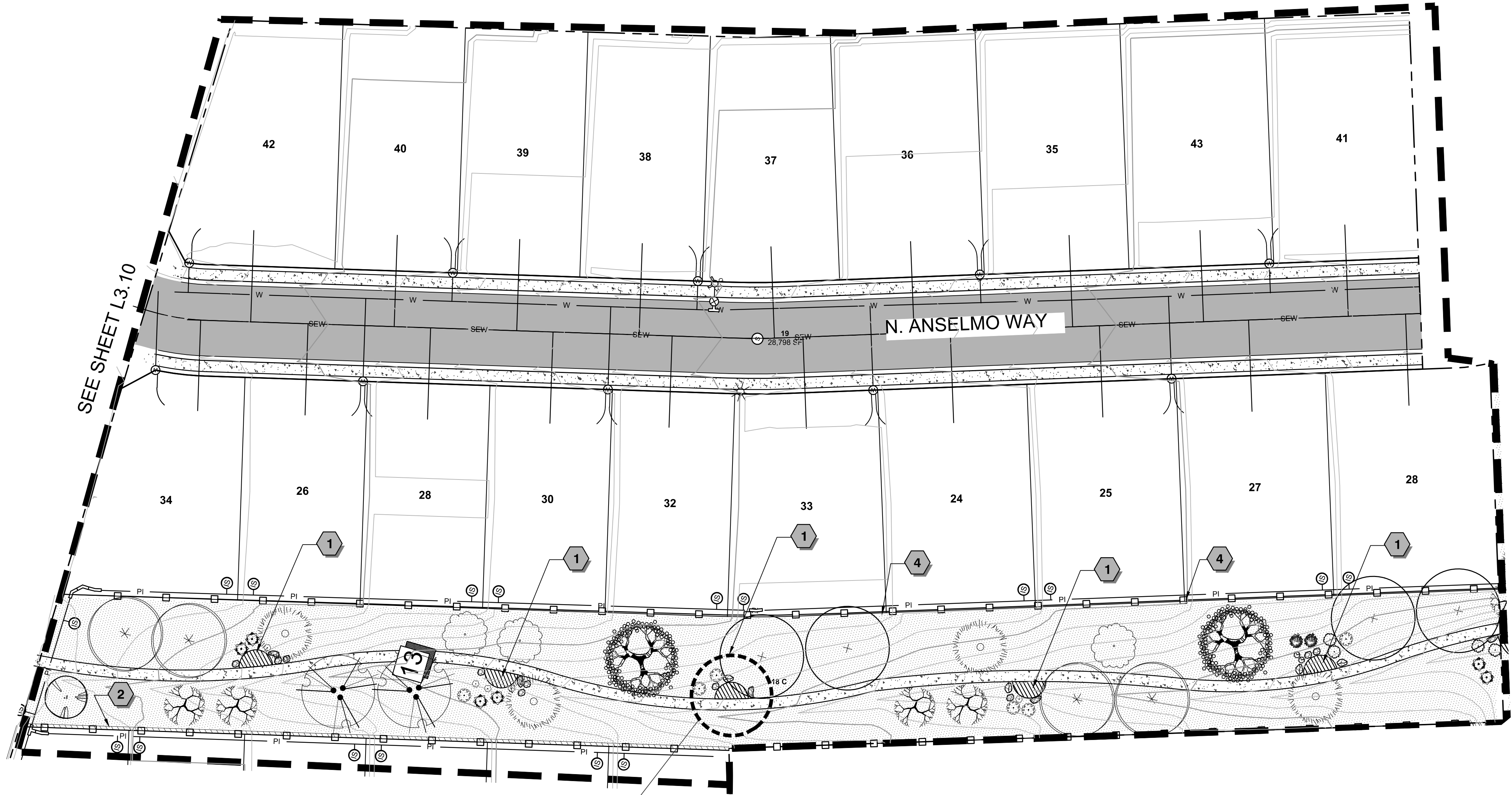
**T-O ENGINEERS**  
 CONSULTING ENGINEERS, SURVEYORS & PLANNERS  
 2471 S. TITANIUM PLACE  
 MERIDIAN, IDAHO 83642  
 PHONE: (208) 323-2288 WWW.T-O-ENGINEERS.COM  
 BOISE • CODY • COEUR D'ALENE • HEBER CITY  
 MERIDIAN • NAMP • SPOKANE

CONSTRUCTION DRAWINGS FOR:  
**TRIDENT RIDGE SUBD. NO. 8**  
 PLANTING PLAN - AREA ONE

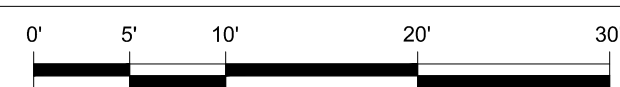
|  |                    |
|--|--------------------|
| ATTENTION:   | 0 1/2 1            |
| IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE. |                    |
| DATE:  | September 19, 2022 |
| PROJECT:   | 210398             |
| SHEET:   | L3.10              |

L:\210398\_LACADDON\MODEL\010398-L3P-FR.DWG, 9/19/2022

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**BLOW UP PLAN - TYP. FITNESS STATION PAD**



**REFERENCE NOTES SCHEDULE**

| SYMBOL | DESCRIPTION             |
|--------|-------------------------|
| 1      | FITNESS STATION PAD     |
| 2      | MOW STRIP ALONG FENCE   |
| 4      | VIEW FENCE, SEE DETAIL. |

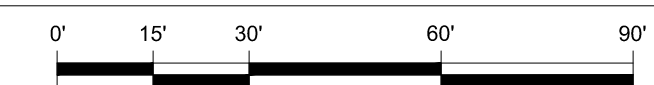
| PLANT SCHEDULE PHASE 8 |  |
|------------------------|--|
| CLASS II               | BOTANICAL / COMMON NAME  |
|                        | ACER PLATANOIDES 'COLUMNARBROAD' TM / PARKWAY MAPLE                    |
|                        | BETULA NIGRA / RIVER BIRCH   |
|                        | GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER HONEY LOCUST |
|                        | LIRIODENDRON TULIPIFERA 'JFS-OZ' TM / EMERALD CITY TULIP POPLAR        |
| CLASS III TREES        | BOTANICAL / COMMON NAME  |
|                        | SALIX BABYLONICA / WEEPING WILLOW                                      |
| EVERGREEN TREES        | BOTANICAL / COMMON NAME  |
|                        | PINUS NIGRA / AUSTRIAN BLACK PINE                                      |
| CLASS I TREES          | BOTANICAL / COMMON NAME  |
|                        | CERCIS CANADENSIS / EASTERN REDBUD                                     |
|                        | MALUS X 'RADIANT' / RADIANT CRAB APPLE                                 |
|                        | MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE                          |
| SHRUBS                 | BOTANICAL / COMMON NAME  |
|                        | CORNUS STOLONIFERA 'FARROW' / ARCTIC FIRE DOGWOOD                      |
|                        | EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH                     |
|                        | FORSYTHIA X INTERMEDIA 'SPRING GLORY' / SPRING GLORY FORSYTHIA         |
|                        | PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK             |
|                        | PINUS MUGO 'COMPACTA' / DWARF MUGO PINE                                |
|                        | SYRINGA MEYERI 'PALIBIN' / DWARF KOREAN LILAC                          |
| GRASSES                | BOTANICAL / COMMON NAME  |
|                        | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS        |
|                        | HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS                            |

NOTES  
1. SEE GENERAL LANDSCAPE NOTES, SHEET L1.0. ALSO SEE SHEETS L4.0 FOR PLANTING DETAILS

**MATERIAL SCHEDULE**

| GROUND COVERS | BOTANICAL / COMMON NAME    |
|---------------|----------------------------|
|               | LAWN SOD                   |
|               | LOW MAINTENANCE GRASS AREA |
|               | PLANTER BEDS               |

**PLANTING PLAN - AREA TWO**



| BORDER SIZE | DESIGNED   | DRAWN      | CHECKED   | APPROVED  |
|-------------|------------|------------|-----------|-----------|
| 22"x34"     | N. POWRELL | N. POWRELL | J. SNYDER | J. SNYDER |

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MERIDIAN, IDAHO 83642  
PHONE: (208) 323-2288  
WWW.T-OENGINEERS.COM  
BOISE • CODY • COEUR D'ALENE • HEBER CITY  
MERIDIAN • NAMPYA • SPOKANE

CONSTRUCTION DRAWINGS FOR:  
**TRIDENT RIDGE SUBD. NO. 8**  
PLANTING PLAN - AREA TWO

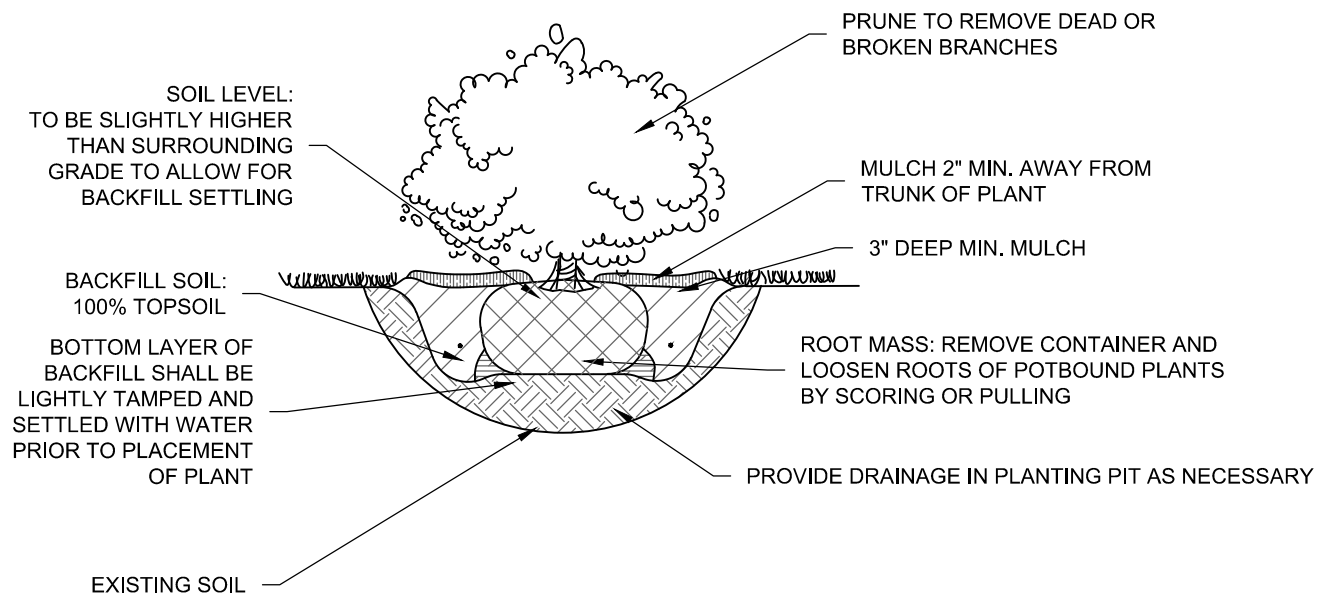
|  |                    |
|--|--------------------|
| ATTENTION:   | 0 1/2 1            |
| IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE. |                    |
| DATE:  | September 19, 2022 |
| PROJECT:   | 210398             |
| SHEET:   | L3.20              |

L:\210398\_L3\ACADDWG\MODEL\010398-L3-P18.DWG, 9/19/2022

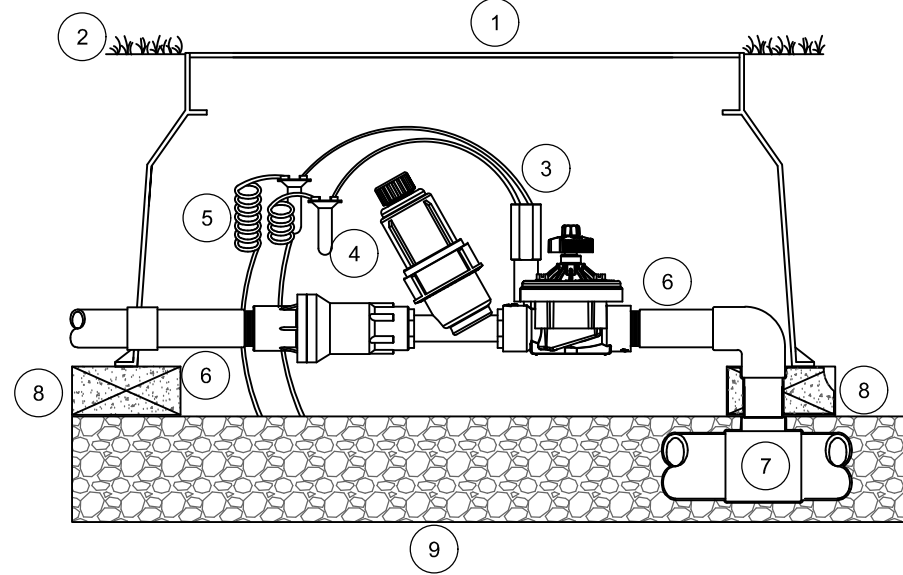


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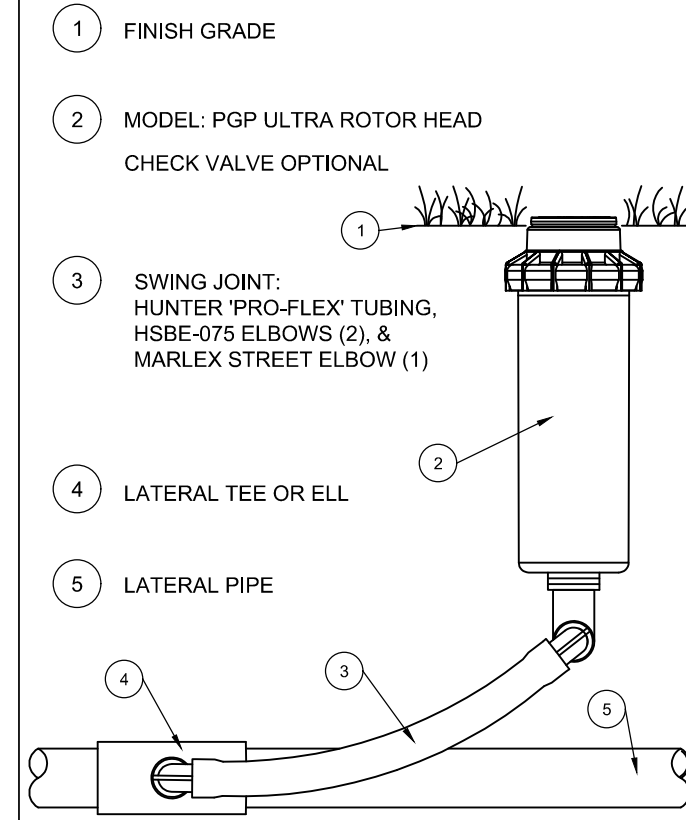
NOTE:  
REMOVE ALL TAGS, TWINE OR OTHER  
NON-BIODEGRADABLE MATERIALS  
ATTACHED TO PLANT OR ROOT MASS



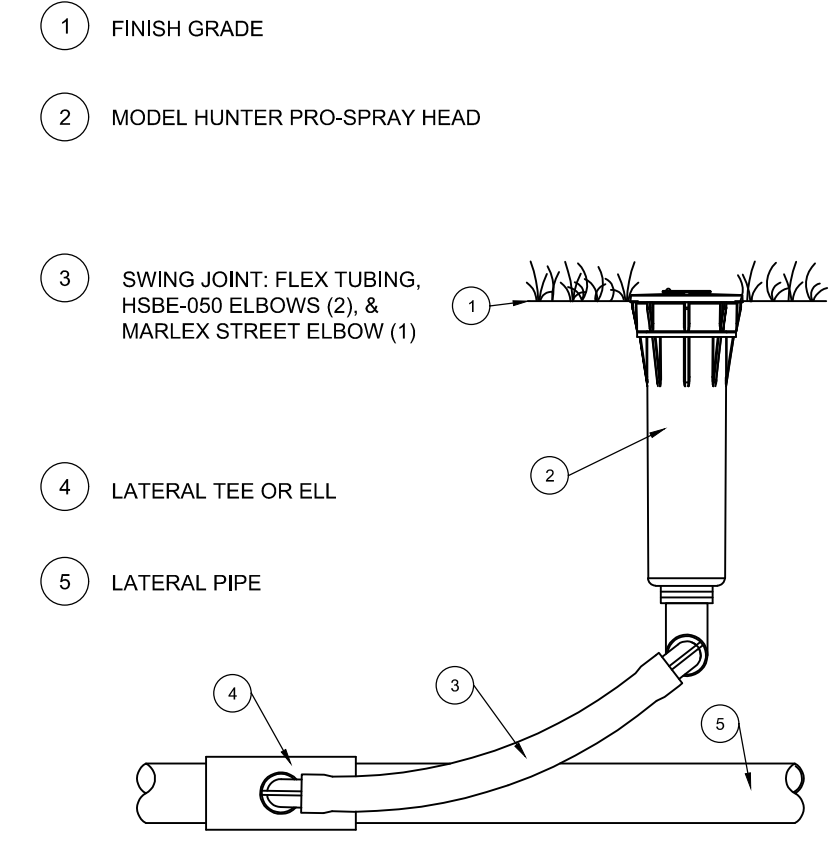
**1** SHRUB PLANTING DETAIL  
N.T.S.



**2** DRIP SYSTEM CONTROL VALVE  
N.T.S.



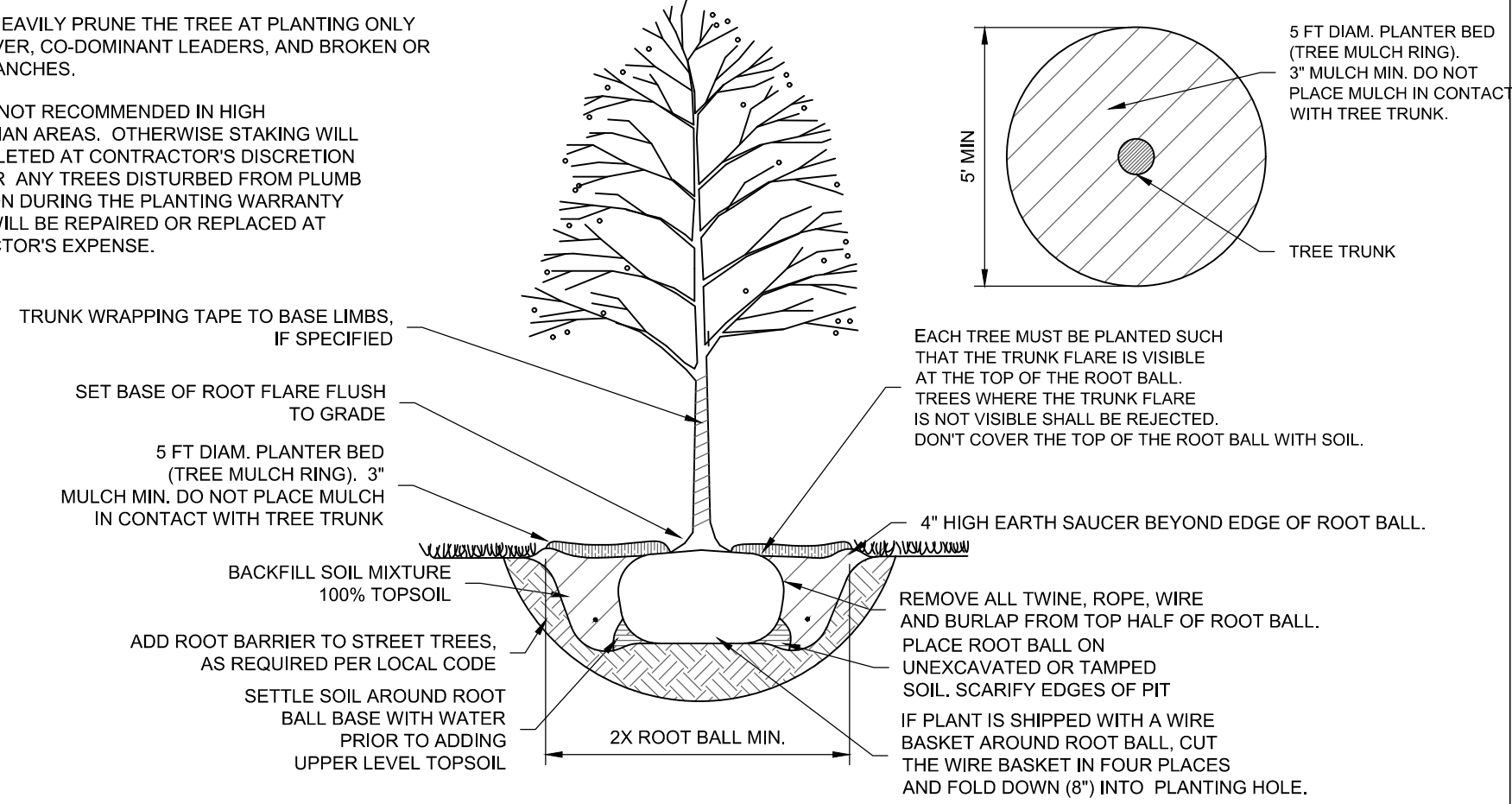
**3** HUNTER PGP ROTOR  
N.T.S.



**4** HUNTER PRS30 SPRAY BODY  
W/ MP ROTATOR MP800SR  
N.T.S.

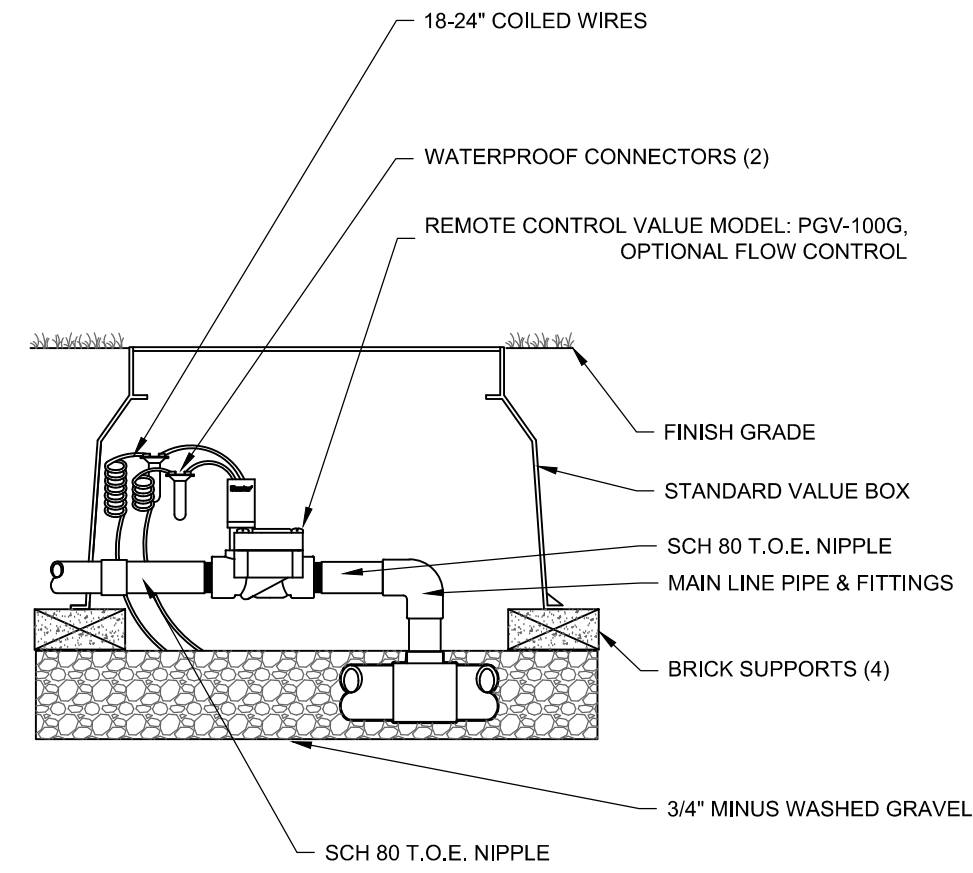
DO NOT HEAVILY PRUNE THE TREE AT PLANTING ONLY CROSSOVER, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES.

STAKING NOT RECOMMENDED IN HIGH PEDESTRIAN AREAS. OTHERWISE STAKING WILL BE COMPLETED AT CONTRACTOR'S DISCRETION HOWEVER ANY TREES DISTURBED FROM PLUMB CONDITION DURING THE PLANTING WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

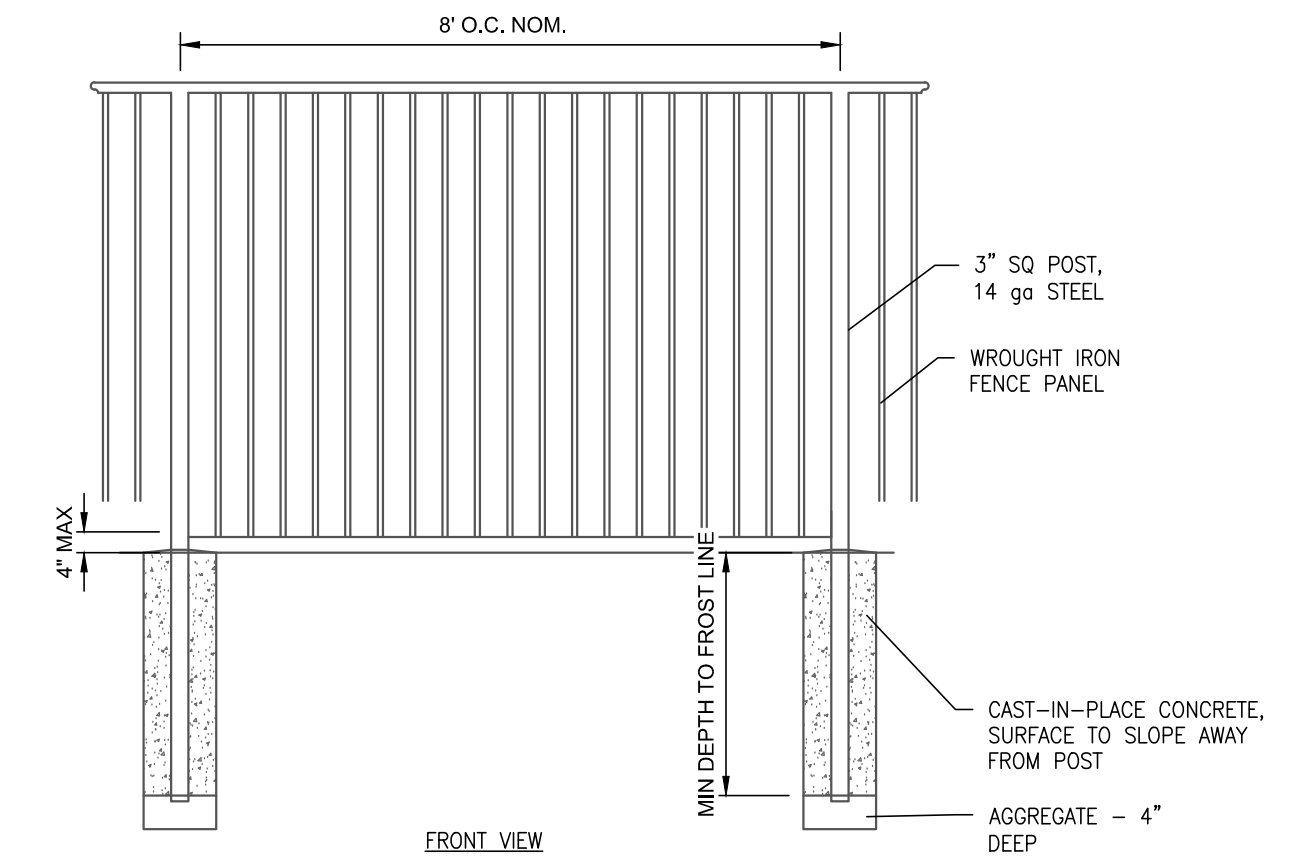


- NOTES:
- DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
  - TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR HOWEVER ANY TREES DISTURBED FROM PLUMB CONDITION DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
  - WATER PLANTS THOROUGHLY WITHIN 4 HOURS AFTER INSTALLATION.
  - SEE PLAN NOTES FOR TOPSOIL SPECIFICATION.
  - ADD ROOT BARRIER TO STREET TREES PER LOCAL CODE.

**5** TREE PLANTING DETAIL  
N.T.S.

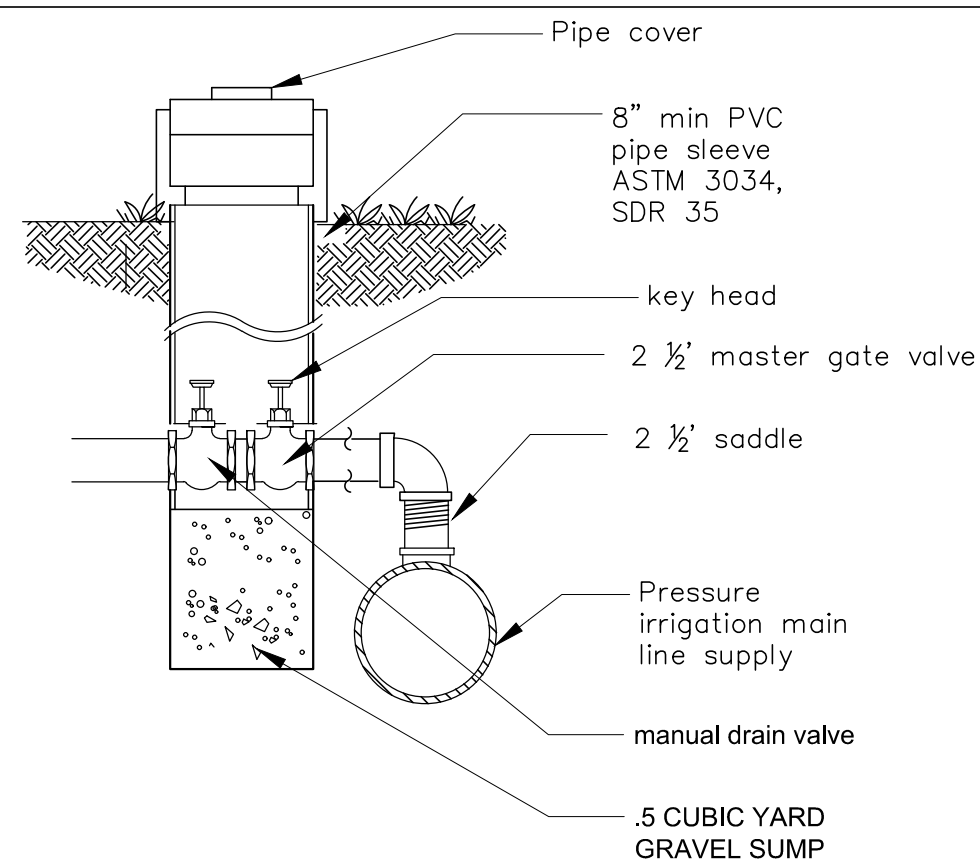


**6** ELECTRIC SPRINKLER CONTROL VALVE  
N.T.S.



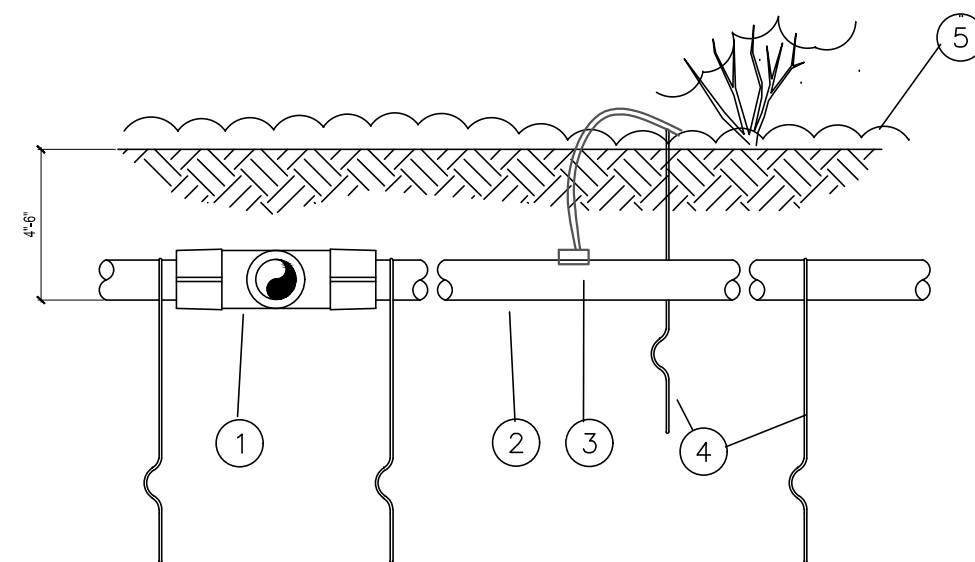
- NOTES:
- FENCING PLACED ON SLOPES SHALL BE RAKED WITH LONG CONSISTENT SLOPING RAILS AND PLUMB PICKETS.
  - SPACE BETWEEN THE FENCE AND THE FINISH GRADE SHALL NOT EXCEED 4".
  - ALL FOOTINGS SHALL DRAIN AWAY FROM POST.
  - DO NOT SCALE DRAWINGS.

**7** VIEW FENCE DETAIL - 5'  
N.T.S.



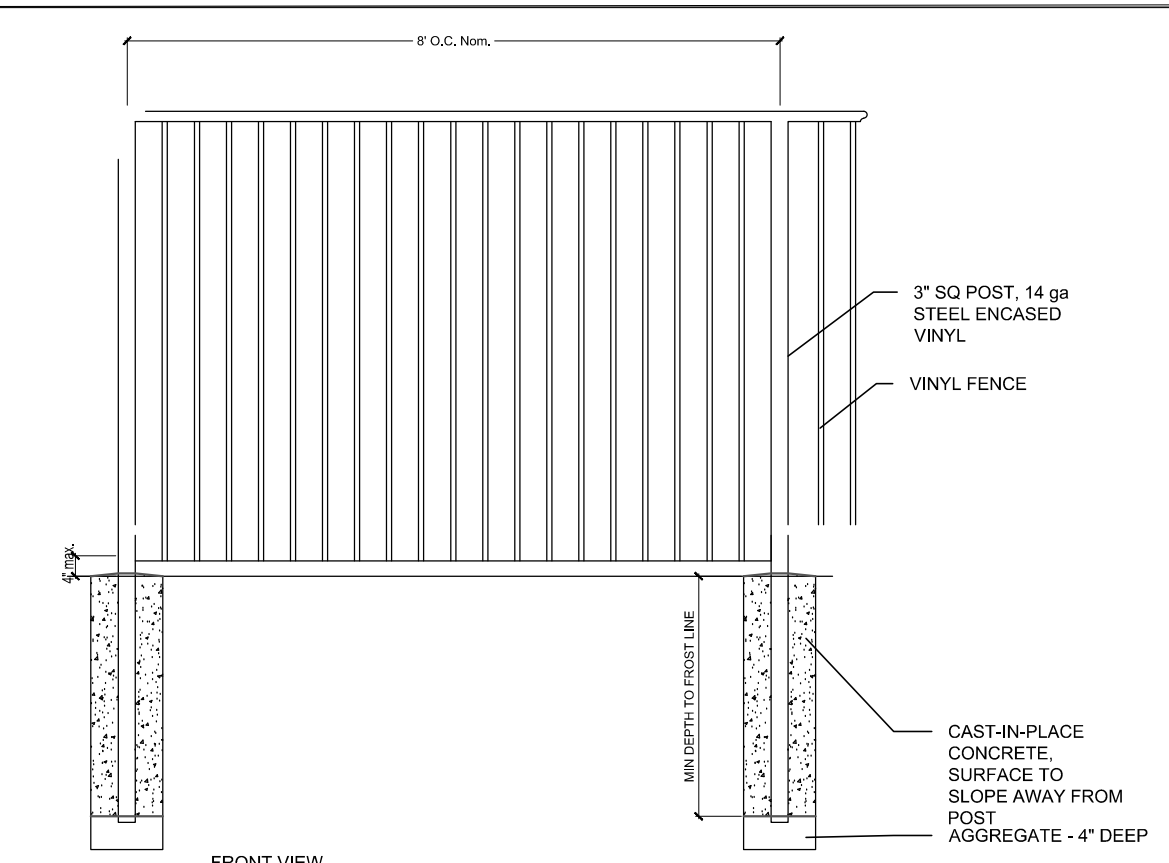
- NOTES:
- ALL DOUBLE CHECK AND BACKFLOW PREVENTION DEVICES MUST MEET LOCAL CODE REQUIREMENTS.
  - USE APPROVED BOX ENCLOSURE WITH LOCKABLE LID

**8** MASTER GATE VALVE, MANUAL DRAIN VALVE  
N.T.S.



- NOTES:
- PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
  - AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
  - INSERTION FLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.

**9** DRIP IRRIGATION LINE INSTALLATION  
N.T.S.



- NOTES:
- FENCE COLOR FINISH SHALL BE SAND WITH 2 YEAR WARRANTY AGAINST FADING.
  - FENCING PLACED ON SLOPES SHALL BE RAKED WITH LONG CONSISTENT SLOPING RAILS AND PLUMB PICKETS.
  - SPACE BETWEEN THE FENCE AND THE FINISH GRADE SHALL NOT EXCEED 4".
  - ALL FOOTINGS SHALL DRAIN AWAY FROM POST.
  - DO NOT SCALE DRAWING.

**10** PRIVACY FENCE DETAIL - 6'  
N.T.S.



| NO. | REVISIONS DESCRIPTION | DESIGNED |    | DRAWN |    | CHECKED |    | APPROVED |    |
|-----|-----------------------|----------|----|-------|----|---------|----|----------|----|
|     |                       | DATE     | BY | DATE  | BY | DATE    | BY | DATE     | BY |
|     |                       |          |    |       |    |         |    |          |    |
|     |                       |          |    |       |    |         |    |          |    |
|     |                       |          |    |       |    |         |    |          |    |
|     |                       |          |    |       |    |         |    |          |    |

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LANDSCAPE CONSTRUCTION DRAWINGS FOR:  
**TRIDENT RIDGE SUBD. NO. 8**  
LANDSCAPE DETAILS

SCALE: 0 1/2 1  
IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.

DATE: September 19, 2022  
PROJECT: 210398  
SHEET:

**L4.0**



April 8, 2024

Shawn L. Nickel  
Planning Director and Zoning Administrator  
Star City Hall  
P.O. Box 130  
Star, Idaho 83669  
[snickel@staridaho.org](mailto:snickel@staridaho.org)

Subject: Trident Ridge Subdivision Final Plat Phase 8

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

**2. WASTEWATER AND RECYCLED WATER**

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.

- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

### **3. DRINKING WATER**

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### 4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.
  - For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
  - If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
  - The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:  
<https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
  - The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.
- For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

#### 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

## 6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff  
Regional Administrator

c:

2021AEK

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

[www.staridaho.org](http://www.staridaho.org)



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsens  
Kevan Wheelock  
David Hershey

6 February 2023

John Carpenter  
T-O Engineers  
322 N. Broadmore Way  
Nampa, ID 83687

**Re: Trident Ridge Subdivision Phase 8 – Construction Drawing approval**

Dear Mr. Carpenter

The City of Star has reviewed the Final Plat and Construction Drawings for the Trident Ridge Subdivision Phase 8 dated October 21, 2022. We reviewed this package to check conformance with the City Subdivision Ordinance and coordinated our review with Shawn L. Nickel.

We recommend that the construction drawings and final plat be APPROVED. The City Engineer's signature on the final plat will be withheld until the proposed improvements are completed or bonded for as allowed for in City Code and requirements identified on the attached checklist are satisfactorily addressed.

By stamping and signing the Final Plat and Construction Drawings, the Registered Professional Land Surveyor and Professional Engineer, respectively, are responsible to ensure that said plat and construction drawings conform to all City standards, ordinances, and policies (and State laws and statutes). Any variances or waivers to these standards, ordinances, or policies must be specifically and previously approved in writing by the City. Acceptance of the above referenced Final Plat and Construction Drawings does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,

Ryan V. Morgan, P.E.  
City Engineer



# CITY OF STAR FINAL PLAT AND CONSTRUCTION DRAWING REVIEW CHECKLIST

Subdivision: Trident Ridge Phase: 8 Date: 2/6/2023

Developable Lots: 38 Review No: 1

Developer: Hayden Homes/Eric Scheck

Tel: 208948-7012 Email: \_\_\_\_\_

Engineer: TO-Engineers/John Carpenter

Tel: 208-442-6300 Email: Jcarpenter@to-engineers.com

Property Address: \_\_\_\_\_

Review Check By: Ryan Morgan, P.E., City Engineer

### FINAL PLAT REVIEW

| ITEM | OK | NEED | N/A | FINAL PLAT APPLICATION REQUIREMENTS   |
|------|----|------|-----|---|
| 1    | X  |      |     | Submit two (2) copies of final engineering construction drawings showing streets, sidewalk, water, sewer, pressure irrigation, street lighting, landscaping, and other public improvements.   |
| 2    |    |      | X   | Submit one (1) 8½ x 11 map showing property in relation to floodplain and/or floodway. Provide Floodplain Development Permit Application as required.   |
| 4    | X  |      |     | Landscape plan provided. Confirm consistent with approved preliminary plat.   |
| 5    |    |      |     | Verified written legal description.   |
| 6    |    | X    |     | Letter of credit for outstanding pressure irrigation and landscaping improvements <b>only</b> when weather conditions precludes construction of improvements prior to signature of mylar.   |
| ITEM | OK | NEED | N/A | FINAL PLAT REVIEW   |
| 7    | X  |      |     | Public and private easements are shown on plat for open spaces, access drives, drainage facilities, floodway maintenance boundaries, offsite storage areas and connecting piping for detached flood water storage impoundments, existing irrigation ditches, new irrigation ditches or pipelines, bicycle / pedestrian pathways (connectivity to adjacent developments), and irrigation piping. |
| 8    | X  |      |     | Right to Farm Act Note on face of plat.   |
| 9    |    |      | X   | Note on face of plat: "This subdivision is located within zone XX as shown on the firm panel ### , City of Star, Ada County, (or Canyon County?) Idaho and Incorporated Areas. A building permit shall not be issued  |

|    |   |   |  |  |
|----|---|---|--|--|
|    |   |   |  | for any lot that is located within the mapped floodplain until a Flood Plain Development Permit is obtained for the individual lot. Each lot within the mapped floodplain shall require an individual Flood Plain Development Permit.”   |
| 10 | X |   |  | 10-foot utility and irrigation easements are shown, or noted, along the front lot lines, rear lot lines, and side lot lines as required.   |
| 11 | X |   |  | Note is shown on the final plat: <b>“Minimum building setbacks shall be in accordance with the City of Star applicable zoning and subdivision regulations at the time of issuance of individual building permits or as specifically approved and / or required, or as shown on the this plat.”</b>   |
| 12 | X |   |  | Seal of Professional Land Surveyor is displayed, dated, and signed on face of plat.  |
| 13 | X |   |  | Water and sewer easements shown on face of plat. In Owner Certification referencing sewer and water.   |
| 14 |   | X |  | On the signature page of the plat please include the following<br><b>“I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF STAR, ADA COUNTY, IDAHO, ON THIS DAY,</b><br>_____, <b>HEREBY APPROVE THIS PLAT.”</b> underneath the <b><u>APPROVAL OF CITY ENGINEER</u></b> line, and before the signature line. <b>Please use precise language above.</b> |

### CONSTRUCTION DRAWING REVIEW

| ITEM | OK | NEED | N/A | GENERAL  |
|------|----|------|-----|--|
| 15   | X  |      |     | Construction drawings are stamped, signed, & dated by a professional engineer licensed in the State of Idaho.  |
| 16   | X  |      |     | Natural features map showing all existing site features and 1-foot contour elevations is provided in accordance with the City’s code.  |
| 17   | X  |      |     | Each sheet has north arrow, graphic scale, date, title block and sheet number.   |
| 18   | X  |      |     | All profiles are drawn to the same horizontal scale as plan views.   |
| 19   | X  |      |     | Street lighting plans are provided showing pole locations at every corner and end of cul-de-sac and luminary types. All street lighting shall be in accordance with the current edition of the ISPWC and the City of Star Supplemental Specifications. |
| ITEM | OK | NEED | N/A | FLOODPLAIN DEVELOPMENT   |
| 20   |    |      | X   | Provide completed Floodplain Application. Floodplain   |



|             |           |             |            |   |
|-------------|-----------|-------------|------------|---|
|             |           |             |            | application must be approved prior to approval of final plat.   |
| 21          |           |             | X          | Floodplain and floodway boundaries and elevations are shown on the grading plans and final plat.  |
| 22          |           |             | X          | Building lowest floor elevations are greater than or equal to 2-feet above the base flood elevation, or verification is provided of flood proofing.   |
| 23          |           |             | X          | Enclosed spaces located below 2-feet above the BFE adequately vented (1 square inch of venting per square foot of enclosed space).  |
| 24          |           |             | X          | Roadway centerline elevations and manhole and other minor structure rim elevations are 0.5-feet above the base flood elevation.   |
| 25          |           |             | X          | All buildings are set back a minimum of 50-feet from the floodway boundary line except that when the area of special flood hazard boundary is 50-feet or less from the flood way line, the boundary line shall be the setback line. |
| 26          |           |             | X          | Easements and conveyance provisions have been made for connection between the floodway and any detached floodwater storage impoundment.   |
| 27          |           |             | X          | Calculations are provided and show 48-hour max time period for 100% utilization of detached storage impoundment.  |
| <b>ITEM</b> | <b>OK</b> | <b>NEED</b> | <b>N/A</b> | <b>GRADING PLAN</b>   |
| 28          | X         |             |            | Grading plans are provided and are stamped, dated, and signed by a professional engineer licensed in the State of Idaho.  |
| 29          |           |             | X          | The vertical datum used for elevations shown on grading and drainage plans is NAVD 88 for all developments that are fully or partially within the floodplain.   |
| 30          | X         |             |            | Grading plans show finished, existing, and base flood 1-foot contour elevations.  |
| 31          | X         |             |            | Drainage facilities and easements are shown.  |
| 32          | X         |             |            | Plan and profile sheets show proposed and existing utilities (rim elevations, pipe invert elevations, etc.), finished centerline roadway grades, existing grade, and base flood elevations.   |
| 33          | X         |             |            | Existing irrigation ditches, canals, and easements are shown.   |
| 34          | X         |             |            | Cut and fill slopes are no steeper that 2H:1V. (Spot checked by City Engineer)  |
| 35          | X         |             |            | Tops and toes of all cut and fill slopes are set back from property boundary at least 3-feet plus 1/5 the height of the cut or fill but need not exceed 10-feet. (Spot checked by City Engineer)                                    |
| 36          | X         |             |            | Tops and toes of cut and fill slopes are set back from structures 6-feet plus 1/5 of the height of the cut or fill but  |

|             |           |             |            |  |
|-------------|-----------|-------------|------------|--|
|             |           |             |            | need not exceed 10-feet. (Spot checked by City Engineer)   |
| 37          | X         |             |            | Provisions have been made for permeant erosion control at pipe outfalls, along steep earth slopes, and within drainage ditches.  |
| 38          | X         |             |            | Existing and proposed elevations match at property boundaries.   |
| <b>ITEM</b> | <b>OK</b> | <b>NEED</b> | <b>N/A</b> | <b>DRAINAGE PLAN</b>   |
| 39          | X         |             |            | Drainage plans are provided and stamped, dated, and signed by a professional engineer licensed in the State of Idaho.  |
| 40          | X         |             |            | Drainage calculations are provided and stamped, dated, and signed by a professional engineer licensed in the State of Idaho.   |
| 41          | X         |             |            | Narrative is provided that describes the proposed method of stormwater retention.  |
| 42          | X         |             |            | Drainage calculations contain no arithmetic errors. Drainage basin map areas match calculations. (Spot checked by City Engineer)   |
| 43          | X         |             |            | The design storm, percolation rate, or other design criteria are within accepted limits. (ITD Zone A—IDF Curve; Storage designed for 100 year storm; Primary conveyance designed for 25-year storm)                    |
| 44          | X         |             |            | Peak discharge rate and velocity through sand and grease traps calculated and are less than 0.5 ft/sec.  |
| 45          |           |             | X          | Section view of drainage facility provided.  |
| 46          | X         |             |            | Able to determine drainage directions from information given.  |
| 47          | X         |             |            | Drainage facilities do not conflict with other utilities. (Spot check by City Engineer)  |
| 48          |           |             | X          | Provision for conveyance or disposal of roof drainage provided for commercial developments.  |
| 49          |           |             | X          | Storm water pretreatment provided. BMP facilities are designed in conformance with the “State of Idaho Catalog of Stormwater Best Management Practices”.   |
| 50          |           |             | X          | 5-foot setback from property line maintained for drainage facilities.  |
| 51          |           |             | X          | Drainage basin / pond dimensions listed or noted.  |
| 52          | X         |             |            | Drainage facilities drawn to scale on grading and drainage plan.   |
| 53          |           |             | X          | Drain rock, ASTM C33 sand, or pond liner specified.  |
| 54          |           |             | X          | 3-foot separation from bottom of drainage facility to maximum seasonal high groundwater elevation shown on detail. Ground water elevation must be shown, if not encountered provide elevation of the bottom of deepest |

|             |           |             |            |   |
|-------------|-----------|-------------|------------|---|
|             |           |             |            | test pit.   |
| 55          |           |             | X          | Vegetative cover shown over biofiltration facilities.   |
| 56          |           |             | X          | Appropriate license agreements have been executed and are provided for offsite discharge of storm water.  |
| <b>ITEM</b> | <b>OK</b> | <b>NEED</b> | <b>N/A</b> | <b>GRAVITY IRRIGATION</b>   |
| 57          | X         |             |            | Plan approval letter is provided from the appropriate irrigation district.  |
| <b>ITEM</b> | <b>OK</b> | <b>NEED</b> | <b>N/A</b> | <b>PRESSURE IRRIGATION</b>  |
| 58          | X         |             |            | Plans for a pressure irrigation system are provided (Required only if development contains more than four lots).  |
| 59          | X         |             |            | The pressure irrigation system is <i>not</i> connected to the potable water system.   |
| 60          | X         |             |            | Design provides a minimum of 15 gpm @ 45 PSI to each destination point.   |
| 61          | X         |             |            | If pressure irrigation will not be available to each lot at all times, provide rotation schedule for irrigation system usage identifying times and days that pressure irrigation will be available to each lot. |
| 62          | X         |             |            | Easements are provided for all pressure irrigation piping. (Note on face of plat).  |
| 63          | X         |             |            | Main line distribution piping is 3-inches in diameter or greater.   |
| 64          | X         |             |            | Provisions are made for diversion and flow measurement from a gravity irrigation source ditch.  |
| 65          | X         |             |            | Applicant provided verification with a signed contract indicating written assurance that provisions have been made for ownership, operation, and maintenance of the irrigation system.                          |
| 66          |           |             | X          | Provide written verification and plan approval from Star Sewer and Water District if potable water is planned to be used as a secondary irrigation source.  |
| 67          | X         |             |            | Provided verification that water rights and/or irrigation shares will be transferred to the association managing entity.  |
| <b>ITEM</b> | <b>OK</b> | <b>NEED</b> | <b>N/A</b> | <b>RE-SUBMITTAL REQUIREMENTS*</b>   |
| 68          | X         |             |            | Return (1) one revised plan set in pdf format <b>to the City of Star Engineer</b> . PDF may be provided via email or on a thumb drive Unbound or un-collated plan sets will not be accepted.                    |
| 69          | X         |             |            | Provide a response letter, <b>referencing the City of Star checklist</b> with the revised plan set that highlights what actions were taken to correct any outstanding items.                                    |

**\*All re-submittals should be returned to the City of Star for re-review.**

**Notes:**

*Additional Final Plat Comments:*

- 

*Additional Construction Drawing Comments:*

-



## QUALIFIED LICENSED PROFESSIONAL ENGINEER (QLPE) REVIEW AND APPROVAL CHECKLIST

### About this form

- This checklist is optional to use and is guidance from DEQ to qualified licensed professional engineers (QLPE). This checklist describes the required elements of a QLPE project transmittal letter and is intended to assist DEQ in the tracking of drinking water and wastewater projects, as well as assist the QLPE in reviewing and approving certain types of Plans and Specifications.
- This checklist should be filled out by the qualified licensed professional engineer (QLPE) when the QLPE is reviewing and approving a project for construction under Idaho Code § 39-118(2)(d). If the project requires DEQ approval prior to construction, the QLPE shall direct the Design Engineer to submit the plans and specifications through the normal DEQ review process.
- This checklist may be used in place of a transmittal letter from the QLPE.
- This and other design checklists are available at any DEQ regional office or online at [http://www.deq.state.id.us/water/assist\\_business/engineers/checklists.cfm](http://www.deq.state.id.us/water/assist_business/engineers/checklists.cfm).
- **The other checklists include additional information about submitting a package of plans and specifications for DEQ review.**

### **I. GENERAL PROJECT INFORMATION**

1 Project Name: Trident Ridge Subdivision No. 8

2 Approving Authority\*: Star Sewer and Water District

3 Qualified Licensed Professional Engineer:

Name: Ryan V. Morgan; P.E., LEED AP

Employer: Star Sewer and Water District

4 This approval is for:

Public drinking water system simple water main extension

Public sewer system simple wastewater main extension

5 Design Engineer \_\_\_\_\_

Name: John G. Carpenter

Employer: T-O Engineers

6 Project Owner or Developer: (Please provide exact name of owner or authorized representative)

Name: Eric Scheck

Firm: Hayden Homes

Address: 1406 N Main St. Suite 114

City: Meridian State: ID ZIP: 83642

\* Approving Authority refers to the City, County, Quasi-Municipal Corporation, or Regulated Public Utility that is approving the plans and specifications per Idaho Code 39-118(2)(d).

**II. REQUIRED CERTIFICATIONS**

| Checklist Item  | Yes                                 |
|---|-------------------------------------|
| A) I am the QLPE representing the Approving Authority.  | <input checked="" type="checkbox"/> |
| B) This project consists of simple wastewater main extension(s), simple water main extension(s), or both. It complies with the current facility plan or preliminary engineering report. The water or wastewater system has adequate capacity for the project. (If required, please include declining balance spreadsheet to demonstrate capacity) | <input checked="" type="checkbox"/> |
| C) The Approving Authority has committed to serve this project and has reserved capacity for it. (Attach separate will serve letter or other documentation if needed.)  | <input checked="" type="checkbox"/> |
| D) The Approving Authority will own and operate the project upon completion of construction. (Attach separate letter or other documentation if needed.)   | <input checked="" type="checkbox"/> |
| E) I have reviewed the plans and specifications and verified that they comply with the facility and design standards (IDAPA 58.01.08 and IDAPA 58.01.16) and engineering standards of care.   | <input checked="" type="checkbox"/> |

**III. PLAN & SPECIFICATION APPROVAL**

| Checklist Item   | Yes                                 |
|--|-------------------------------------|
| A) As the QLPE for the Approving Authority, I have approved the plans and specifications for construction. I am not the design engineer, nor was I otherwise involved in the design.   | <input checked="" type="checkbox"/> |
| B) The plans and specifications have been marked as “Approved for Construction”, and a copy of the approved plans were transmitted to DEQ with this checklist.   | <input checked="" type="checkbox"/> |
| C) The plans are for simple wastewater main extension(s), simple water main extension(s), or both. No mechanical systems such as drinking water sources, treatment facilities, booster stations, storage facilities, or wastewater systems such as lift stations or treatment works are included with this project. ** | <input checked="" type="checkbox"/> |
| D) This extension project will connect to:<br>1) Existing drinking water and/or wastewater mains owned by the Approving Authority.   | <input checked="" type="checkbox"/> |
| <b>OR</b>  |                                     |
| 2) A future main(s) not existing at the time of approval. The future main(s) will be owned by the Approving Authority. In such cases, sanitary restrictions will remain in force.  | <input type="checkbox"/>            |

\*\* Portions of a project that require DEQ approval must be approved by DEQ prior to the QLPE approval of the drinking water or wastewater extensions. Alternatively, the drinking water and/or wastewater extensions may be submitted to DEQ for approval of the entire project.

**IV. SANITARY RESTRICTIONS**

If the project includes drinking water and wastewater main extensions that will be reviewed and approved separately, the two Approving Agencies must coordinate the review and approval as it pertains to the lifting of sanitary restrictions.

**Recommendation** **Yes**

I have reviewed and approved all drinking water and wastewater improvements included in this project, and I recommend that the district health department release sanitary restrictions.

**OR**

I have reviewed and approved only the drinking water  wastewater  (check one) improvements included in this project, and I recommend that the district health department release sanitary restrictions once they receive the approval from the other Approving Authority.

**OR**

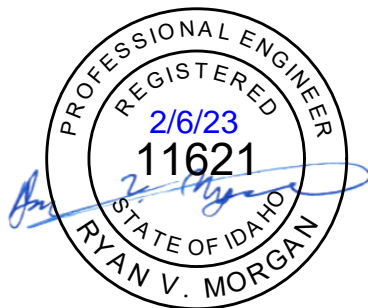
I recommend that the district health department leave sanitary restrictions in place.

**V. NOTE ON RULES AND STANDARDS**

**This checklist addresses the majority of common items from the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08), the Wastewater Rules (IDAPA 58.01.16, for QLPE approval of projects. However, this checklist is not all-inclusive, and users are expected to fully understand the rules and standards, apply them where necessary, and request interpretations from DEQ if there are any questions. DEQ regional offices may have additional written information that will assist in the design/approval process.**

**VI. QLPE CERTIFICATION**

*All responses indicated on the checklist above are accurately reflected in the attached Plans and Specifications.*



QLPE's, Signature, Date and Seal



February 6, 2023

Aaron Sheff, P.E.  
Department of Environmental Quality  
Southwest Idaho Regional Office  
1445 North Orchard  
Boise, ID 83706

Re: **Star Sewer and Water District QLPE Plan Review and Service Approval  
Trident Ridge Subdivision Phase 8**

**PLAN REVIEW**

The District has reviewed the Trident Ridge Subdivision Phase 8 water and sewer construction plans dated October 21, 2022 for conformance with the State of Idaho Department of Environmental Quality standards, rules, engineering standards of care, and District standards. The proposed development is an extension of sewer and water lines that conforms with the current water and sewer master plans, and consequently, approval of the project may be issued by a qualified licensed professional engineer prior to construction. A set of these stamped construction plans have been submitted to the Department of Environmental Quality in conjunction with this “Will Serve” letter.

Once the District has accepted the construction and the developer has certified that the water and sewer facilities were constructed to District standards, the District will own and operate the water and sewer facilities excluding facilities that are located on private property outside of any easements, service lines, or any temporary pressure systems.

**WELL/TANK STATUS AND CAPACITY**

The existing potable water system, including wells, tanks and booster stations have the capacity for all “Will Serves”.

**TREATMENT PLANT STATUS AND CAPACITY**

The existing wastewater treatment plant has the capacity for all “Will Serves”.

**SEWER/WATER APPROVAL**

The District hereby issues the Trident Ridge Subdivision Phase 8 a “Will Serve Letter” and recommends lifting sanitary sewer and water restrictions for 38 lots.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ryan V. Morgan".

Ryan V. Morgan, P.E.  
District Engineer





Ada County Transmittal  
Division of Community and Environmental Health

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Meridian
- Kuna
- Star

Rezone/OTD # \_\_\_\_\_

Conditional/Accessory Use # \_\_\_\_\_

Preliminary / Final / Short Plat FP-24-01

Development Name/Section Trident Ridge 8 CDH File # \_\_\_\_\_

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water
  - waste flow characteristics
  - bedrock from original grade
  - other \_\_\_\_\_
- 5. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 6. After written approvals from appropriate entities are submitted, we can approve this proposal for:
  - central sewage
  - community sewage system
  - community water well
  - interim sewage
  - central water
  - individual sewage
  - individual water
- 7. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage
  - community sewage system
  - community water
  - sewage dry lines
  - central water
- 8. Infiltration beds for storm water disposal are considered shallow injection wells. If they are not in the City of Boise or ACHD right-of-way, an application and fee per well, vicinity map and construction plans must be submitted to CDH.
- 9. If restroom or plumbing facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 10. An accessory use application, fee, detailed site plan and floor plans must be submitted to CDH for review.
- 11. Land development application, fee per lot, test holes and full engineering report is required.
- 12. CDH makes no guarantee a septic permit will be issued on the split off lot. A speculative site evaluation is recommended.
- 13. We will require plans be submitted for a plan review for any:
  - food establishment
  - swimming pools or spas
  - child care center
  - beverage establishment
  - grocery store
- 14. \_\_\_\_\_

Reviewed By: [Signature] Date: 4/12/24