



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star Planning Department

MEETING DATE: **October 1, 2024 – PUBLIC HEARING**

FILE(S) #: PP-22-02 MOD Preliminary Plat Modification for Addington Subdivision

OWNER/APPLICANT/REPRESENTATIVE

Applicant/Representative:

Tamara Thompson
The Land Group, Inc.
462 E. Shore Drive
Eagle, Idaho 83616

Property Owner:

STC Development, LLC
199 N. Capital Blvd., Ste. 300
Boise, Idaho 83702

REQUEST

Request: The Applicant is seeking approval of a Preliminary Plat modification for a proposed residential subdivision consisting of 31 residential lots and 3 common lots. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre. **The original preliminary plat was previously approved by City Council on September 6, 2022.**

PROPERTY INFORMATION

Property Location: The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003014.

Surrounding Land Use/Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	Residential (R-7)	Compact Residential	Vacant
Proposed	Residential (R-7)	Compact Residential	Compact Residential
North of site	Residential (R-4) (R-7) / Rural Urban Transition (RUT)	Compact Residential	Single Family Residential
South of site	Commercial (C-2)	Central Business District	Albertsons/Agricultural
East of site	Residential (R-4)	Compact Residential	Single Family Residential
West of site	Residential (R-7)	Compact Residential	Endsley Court Subdivision

Existing Site Characteristics: The property is currently vacant ground.

Irrigation/Drainage District(s): Middleton Irrigation Association
Middleton Mill Ditch Company
P.O. Box 848
Middleton, Idaho 83644

Flood Zone: This property is not currently located in a Flood Hazard Area.
FEMA FIRM Panel Number: 16001C0130J & 16001C0125J
Effective Date: 6/19/2020

Special On-Site Features:

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No evidence.
- ✪ Fish Habitat – No.
- ✪ Floodplain – No.
- ✪ Mature Trees – None.
- ✪ Riparian Vegetation – No.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Historical Assets – No historical assets have been observed.
- ✪ Wildlife Habitat – No known sensitive wildlife habitat observed.

APPLICATION REQUIREMENTS

Pre-Application Meeting Held	May 9, 2024
Application Submitted & Fees Paid	July 31, 2024
Application Accepted	August 28, 2024

Residents within 300' Notified	September 11, 2024
Legal Notice Published	September 15, 2024
Property Posted	September 20, 2024

HISTORY

September 19, 2017	Council approved annexation and zoning (R-7) as part of the Sample Property Annexation, Ordinance 264.
April 19, 2022	Council approved applications for a Preliminary Plat (PP-22-02) and Private Street (PR-22-01) for Addington Subdivision consisting of 34 residential lots and 1 common lot on 5.58 acres of property.
May 2, 2022	City Staff received a Request for Reconsideration of the Addington Subdivision approval.
September 6, 2022	Council approved the Request for Reconsideration. Building lots remained 34 residential and 1 common lot on the original 5.58 acres.

CODE DEFINITIONS / COMPREHENSIVE PLAN

UNIFIED DEVELOPMENT CODE:

8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Dwelling:	
Multi-Family	C
Secondary	A
Single-Family Attached	P
Single-Family Detached	P
Two-Family Duplex	P
Live/Work Multi-Use	N

8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-6 to R-11 attached housing	35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 5' at end of building	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.
2. Zero-Lot-Line and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, IL, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone.
4. As approved by the Fire District.

8-4D-3: STANDARDS (PRIVATE STREETS):

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.

3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.

4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);

2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;

3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the city of Star based on plans submitted by a certified engineer.

4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.

5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists.

6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.

- a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The

board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.

- b. The study required by this section shall at a minimum include:
 - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
 - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
 - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
 - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
 - v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
- c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

8-4E-2: STANDARDS FOR COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS:

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
 - 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the total gross acreage of land area of the development. A minimum of 10% of the total gross acreage of the development shall be for useable area open space. Open space shall be designated as a total of 15% minimum for residential developments in all zones with densities of R-2 or greater.
 - 2. Each development is required to have at least one site amenity.
 - 3. One additional site amenity shall be required for each additional twenty (20) acres of

development area, plus one additional amenity per 75 residential units.

4. Developments with a density of 1 dwelling unit per acre or less may request a waiver of open space and amenities to the Council. Developments with a density of 2 dwelling units per acre or less may request a 50% reduction in total required open space and amenities to the Council.

5. For multi-family developments, see Section 8-5-20 for additional standards.

B. Qualified Usable Area Open Space: The following qualifies to meet the useable area open space requirements:

1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:

a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;

b. Qualified natural areas, as determined by the Administrator;

c. Ponds or water features where active fishing, paddle boarding, or other activities are provided (50% qualifies towards total required usable area open space, must be accessible by all residents to qualify. Ponds must be aerated. All ponds shall be provided with safety floatation devices (rings) located at reasonable distances, as determined by the administrator;

d. A plaza.

e. Common lots that include a pathway providing local or regional connectivity that is a minimum of 20' in width.

f. Irrigation easements/ditches when a pathway is included (to be measured from the center of the ditch to the property line of the common lot).

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkway along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified

otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total, as determined by the Administrator.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
 - a. Swimming pool with an enlarged deck and changing and restroom facility (pools shall count towards 3 required site amenities).
 - b. Children's play structures.
 - c. Sports courts.
 - d. Additional open space in excess of 10% qualified usable space.

- e. RV parking for the use of the residents within the development.
- f. School and/or Fire station sites if accepted by the district.
- g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
 - (1) The system is not required for sidewalks adjacent to public right of way;
 - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
 - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- h. Pond and/or waterway amenities including, but not limited to docks, shade structures, ADA access, and fish stocking.

6. Community Gardens.

D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

E. Maintenance:

- 1. All common open space and site amenities shall be owned by and be the responsibility of an owners' association for the purpose of maintaining the common area and improvements thereon.

8-3B-3: RESIDENTIAL DISTRICTS: ADDITIONAL RESIDENTIAL DISTRICT STANDARDS

J. Additional residential standards applying to all new residential subdivisions:

- 1. Residential Elevations:
 - i. Building elevations for all residential uses shall be submitted with any development application and will be included as part of any preliminary plat, development agreement and/or any other condition of approval.
 - ii. Single-Family Residential Building Front and Side Elevation Minimum Standards. These standards shall be reviewed for compliance with all submitted residential building permits under the Building Zoning Certificate process. Council may adopt these standards as part of a development agreement or preliminary plat approval. The following minimum standards shall be applied to all new residential structure elements in all zones:
 - 1. Exterior finishes shall be primarily horizontal/vertical wood or

wood product siding, brick, stucco, stone, or other decorative masonry product. A minimum of three (3) architectural elements shall be provided for all single-family residential structures. These elements shall include, but are not limited to, shingled, horizontal or vertical siding, stone or brick highlights, garage door windows or hardware, colored window frames, or other architectural treatments deemed appropriate by the administrator.

8-3B-3 - FIGURE EXTERIOR ARCHITECTURAL ELEMENTS:



2. Two-story detached structures should provide a minimum of one, second story side window per side elevation, when appropriate.
3. A minimum one (1) foot overhang shall be provided on all roof overhangs. Administrator may approve deviation from this standard.
4. Dwellings backing up to collector or arterial streets shall have rear elevations and/or architectural designs that provide depth and dimension, avoiding the flat-wall appearance. These elements must be functional and may not be minimized or created solely for the purpose of compliance with this provision.
5. Additional landscaping buffers may also be required.

2. Dwelling Unit Design. Building styles shall be spread throughout the entire development (including all contiguously owned and phased properties). Nowhere within the development shall any fewer than 5 different exterior elevation styles and/or floorplans be located adjacent to each other. The number of different dwelling styles within a development shall be as follows:

- a. 1 to 50 units = minimum of 5 architectural styles and/or floorplans
 - b. 51 to 100 units = minimum of 7 architectural styles and/or floorplans
 - c. 101 and over units = minimum of 10 architectural styles and/or floorplans
3. Homeowners Associations. All subdivisions shall be maintained by a Homeowners association with appropriate Conditions, Covenants and Restrictions (CC&R's). CC&R's are not enforceable by the City and are private contracts between the developer and the property owner.
4. Irrigation and drainage ditches shall not be covered, tiled or re-routed as part of any new residential development unless specifically approved by Council and the applicable irrigation and/or drainage district. Perforated piping may be considered as an option if tiling is allowed.

8-4A-21: MAILBOXES:

All mailbox clusters shall be approved by the postmaster prior to installation. All clusters shall be covered with an architecturally designed cover, to be approved by the Administrator prior to final plat signature. All covers shall be provided with lighting and shall be stained/painted and kept in good condition at all times. The administrator may issue a letter of violation to the HOA when any mailbox cluster or cover falls into disrepair. Maintenance shall be included in the CC&R's. A turnout shall be installed adjacent to the mailbox cluster to provide community access, if approved by the transportation authority and postmaster. The design shall be included as part of the preliminary plat submittal.



8-6A-3: PRELIMINARY PLAT PROCESS

A. Preapplication Conference: The applicant shall complete a preapplication conference with the administrator or designee prior to submittal of an application for a preliminary plat. The purpose of this meeting is to discuss early and informally the purpose and effect of this title, and the criteria and standards contained herein.

B. Neighborhood Meeting: Applicants are required to hold a neighborhood meeting, in conformance with Section 8-1A-6C to provide an opportunity for public review of the proposed project prior to the submittal of an application. The applicant shall provide a summary of the meeting, including questions and concerns of the neighbors and how the submitted application addresses those issues.

C. Application Requirements: A complete subdivision application form and preliminary plat data as required in this title, together with fees shall be submitted to the administrator. At the discretion of the administrator or city engineer, appropriate supplementary information may also be required to sufficiently detail the proposed development within any special development area, including, but not limited to, hillside, planned unit development, floodplain, cemetery, manufactured home parks, and/or hazardous or unique areas of development. When possible, any unresolved access or traffic generation issues related to ACHD/HD4 or ITD regulated roadways should be resolved by the applicant prior to acceptance of any application. The administrator may require a letter from the appropriate transportation agency or servient property owner to be submitted with the application.

D. Required Information and Data: The contents of the preliminary plat and related information shall be in such a form as stipulated by the City Council, however, additional maps or data deemed necessary by the administrator may also be required. The applicant shall submit to the administrator at least the following:

1. Two (2) copies of the preliminary plat of the proposed subdivision, drawn in accordance with the requirements hereinafter stated. Each copy of the preliminary plat shall be submitted on good quality paper, be professionally drafted, shall have the dimensions of not less than twenty-four inches by thirty-six inches (24" x 36"), and shall be drawn to a scale of not less than one inch to one hundred feet (1"=100') and contain a drafting date and north arrow.
2. For hillside developments, one (1) bound copy of the preliminary engineering plans (not meant to be cross sections or detailed designs) showing streets, water, sewers, sidewalks, and other required public improvements, together with preliminary site grading, drainage and irrigation plans of the proposed subdivision. Such engineering plans shall contain sufficient information and detail to make a determination as to conformance of the proposed improvements to applicable regulations, ordinances and standards.

3. Two (2) copies of a landscape plan showing all open space, common areas, amenities, street trees and development signage;
4. Additional information on the preliminary plat and separately submitted information to include the following:
 - a. The name of the proposed subdivision, as approved in advance by the Ada County Engineering office;
 - b. The name, address, telephone and email of the applicant, developer, engineer and surveyor or drafter who prepared the preliminary plat;
 - c. The names and addresses of all adjoining property owners and recorded plats within three hundred feet (300') of the external boundaries of the land being considered for subdivision.
 - d. The land use and existing and proposed zoning of the proposed subdivision and the adjacent land;
 - e. Streets, street names, rights of ways and roadway widths, including adjoining streets or roadways;
 - f. Lot lines and blocks showing the dimensions and numbers of each, together with area of each lot in acres and square feet;
 - g. Contour lines, shown at five-foot (5') intervals where the land slope is greater than ten percent (10%) and at two-foot (2') intervals where land slope is ten percent (10%) or less, referenced to an established benchmark, including location and elevation;
 - h. Any proposed or existing utilities, including, but not limited to, power poles, storm and sanitary sewers, irrigation laterals, ditches, bridges, culverts, water mains and fire hydrants;
 - i. Any flood zone information including FEMA FIRM panels;
 - j. The legal description of the boundary of the property being subdivided with the seal of the surveyor of record;
 - k. Phasing plan showing all proposed phases of the development;
 - l. Preliminary irrigation analysis showing availability of water rights and distribution of irrigation to the lots within the proposed subdivision, or waiver request;
 - m. One (1) copy of a site report of the highest seasonal groundwater elevation prepared by a licensed engineer;
 - n. narrative, signed by the applicant, fully describing the proposed subdivision, including such information as number and type of uses on the lots (residential single, two or multi-family, commercial, etc.), common lots and the proposed uses of those lots (open space, parks, playgrounds, landscaping, or other uses) and any other information deemed necessary to explain the intent of the development including how it relates to other concurrently submitted applications (annexations, rezones, PUD's, CUP's, etc.).
 - o. Neighborhood meeting information including sign-in sheet, copy of meeting letter, copy of mailing labels, and detailed summary of neighbor questions and

concerns and how the development has been designed to address those concerns;

- p. A vicinity map showing the relationship of the proposed plat to the surrounding area (1/2-mile radius);
 - q. Deeds, affidavit of legal interest, address labels, postal service location approval, ACHD traffic study review status, electronic copies, or any other required information deemed necessary by the administrator to allow for proper review of the application;
 - r. A conceptual site plan shall be submitted for any non-residential developments showing building locations, parking and loading areas, traffic access drives and traffic circulation and trash enclosure locations;
 - s. Any additional required information for special area of developments including, but not limited to hillsides, wetlands or as further specified in this Title.
5. Additional information in the application as determined by the administrator may include the following:
- a. Building elevations, including multi-family uses, non-residential uses, clubhouses, well houses, or other elevations deemed necessary to assist the Council in their decision regarding a development;
 - b. Colored site plan and renderings of a subdivision detailing residential lot locations, open space and common areas, buffers, roadways, waterways and irrigation ditches, fencing, signs and landscaping.

E. Acceptance: Upon receipt of the preliminary plat, and compliance with all other requirements as provided for herein, the administrator shall certify the application as complete and shall affix the date of acceptance.

F. Decision: A decision on a preliminary plat for a parcel of land is made by the City Council after receiving a recommendation from the administrator and a public hearing is held.

COMPREHENSIVE PLAN:

8.2.3 Land Use Map Designations:

Compact Residential

Suitable primarily for residential use allowing a mix of housing types such as single family, two family, and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.

B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future.

8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

PROJECT OVERVIEW

PRELIMINARY PLAT MODIFICATION:

The revised Preliminary Plat submitted contains 31 single family residential lots and 1 common area lots on 5.58 acres with a proposed density of 5.56 dwelling units per acre. This is a reduction of 3 building lots from the original plat. The lots will still have access and frontage from the previously approved private street. The homes will continue to be attached units with one exception, Lot 31 will be a single family detached structure. Lots will include zero-lot-lines to accommodate the attached dwelling units only. Primary access for the development remains W. Joslyn Lane (previously Addington Lane) from N. Highbrook Way. This road originally had a cul-de-sac at the eastern end, against N. Center Street. That cul-de-sac has been removed and emergency access will be allowed onto N. Center Street using bollards to restrict public traffic.

The revised Preliminary Plat will now be completed in two phases, versus a single phase as presented originally. Phase 1 will remain front-loaded lots, with the driveways abutting W. Joslyn Lane. Phase 2 has been modified to include an alley and the units will have garages abutting the alley. The proposed alley is twenty-three feet (23') wide within a twenty-seven and a half feet (27.5') wide easement. This width will require approval from Star Fire and must have signage restricting all parking. Signs to be approved by the Fire Marshall.

The revised Preliminary Plat roadway alignment was shifted slightly to align with the irrigation easements of Drainage District No. 2 and the Flake Lateral. This adjustment satisfies the requirements outlined by the irrigation district, after the original approval was granted by Council. Furthermore, Phase 1 has also been shifted to allow the main sewer line to be under the roadway versus behind the residential lots, as the original plat proposed.

The revised Preliminary Plat is calling for attached sidewalks versus the detached walks proposed in the original Preliminary Plat. The reason for attached sidewalks is to allow for the planting of trees behind the sidewalk, out of the irrigation district easement. Public sidewalks are still proposed on both sides of W. Joslyn Lane.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure in a pocket park with a walking path and landscaping.

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and will be attached throughout the development.

- Lighting
Streetlights shall reflect the “Dark Sky” criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. **Applicant has provided a streetlight plan. The applicant will need to provide a design/cut sheet for City approval. Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. Staff also suggests a streetlight be placed at the intersection of the emergency access.**

- Street Names
Applicant has not provided documentation from Ada County that the street name is acceptable and has been approved. This will be required at final plat.

- Subdivision Name
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.

- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use “Treasure Valley Tree Selection Guide”, as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for the open areas. The plan does not show the appropriate number of required street trees. These will need to be added once driveways are designed to meet the requirement and receive occupancy permits.**

- Setbacks – The applicant is not requesting any setback waivers and will follow the approved setbacks for the R-7 zone.

- Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location.

- Phasing – The applicant is proposing the development be built out in two phases.

- Storm Water - Will be retained on site and utilize Drain 9 and two pervious paver sections in the private road.

AGENCY & DEPARTMENT RESPONSES

Star Fire District

Pending

PUBLIC RESPONSES

No public comments have been received.

STAFF RECOMMENDATION

Based upon the information provided to staff in the applications and agency comments received to date, the proposed Preliminary Plat will meet the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 5.56 dwelling unit per acre is within the range of 6-11 dwelling units per acre allowed in the Compact Residential Comprehensive Plan Future Land Use Map. Staff is supportive of proposed housing sizes and density that the (R-7) zoning designation will provide.

The Council should consider recommendations from Staff, together with the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

PRELIMINARY PLAT FINDINGS:

1. The plat is in compliance with the Comprehensive Plan.
The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:
 1. *Designing development projects that minimize impacts on existing adjacent properties, and*
 2. *Managing urban sprawl to protect outlying rural areas.*
2. Public Services are available or can be made available and are adequate to accommodate the proposed development.

The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.

3. There is public financial capability of supporting services for the proposed development;
The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.
4. The development will not be detrimental to the public health, safety or general welfare;
The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.
5. The development preserves significant natural, scenic or historic features;
The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.

PRIVATE STREET FINDINGS:

- A. The design of the private street meets the requirements of this article;
The City must find that the proposed private streets meets the design standards in the Code.
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:
The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.
The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.

Upon granting approval or denial of the application, the Council shall specify:

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

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1. The Ordinance and standards used in evaluating the application;

2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

CONDITIONS OF APPROVAL

1. The approved Preliminary Plat for the Addington Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant has entered into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. These fees are currently being calculated at \$1,000.00 per residential lot. These fees will be collected by the City of Star, by phase, prior to final plat signature.**
3. **The applicant shall pay all required emergency services mitigation fees to the City, as determined by City Council.**
4. The private streets shall have a minimum street width of 36' and shall otherwise be constructed to ACHD standards, unless otherwise approved by Council and the Fire District. The private street shall meet all requirements of the Star Fire District.
5. **All sidewalks and planter strips shall be built to UDC standards, unless otherwise approved by Council.**
6. **The Applicant/Owner shall submit a private street maintenance plan, including future funding, in compliance with Section 8-4D-3C of the UDC, with the submittal of the final plat application.**
7. **The Applicant shall provide approval for all street names from the Ada County Street Naming Committee and all names shall be correctly depicted on the final plat prior to signature.**
8. **The applicant shall comply with the Residential Standards for all new houses, as required in Section 8-3B-3 of the UDC.**
9. **The mailbox cluster must be covered and reasonably lit.**
10. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall submit a streetlight design prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative.**
11. Street trees along the private street shall be installed per Chapter 8, including Section 8-8C-2-M(2) Street Trees. If the trees will be installed by the builder, Certificate of Occupancy may be withheld until trees have been verified they are installed per code.
12. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
13. The property associated with this approved Preliminary Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the

property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

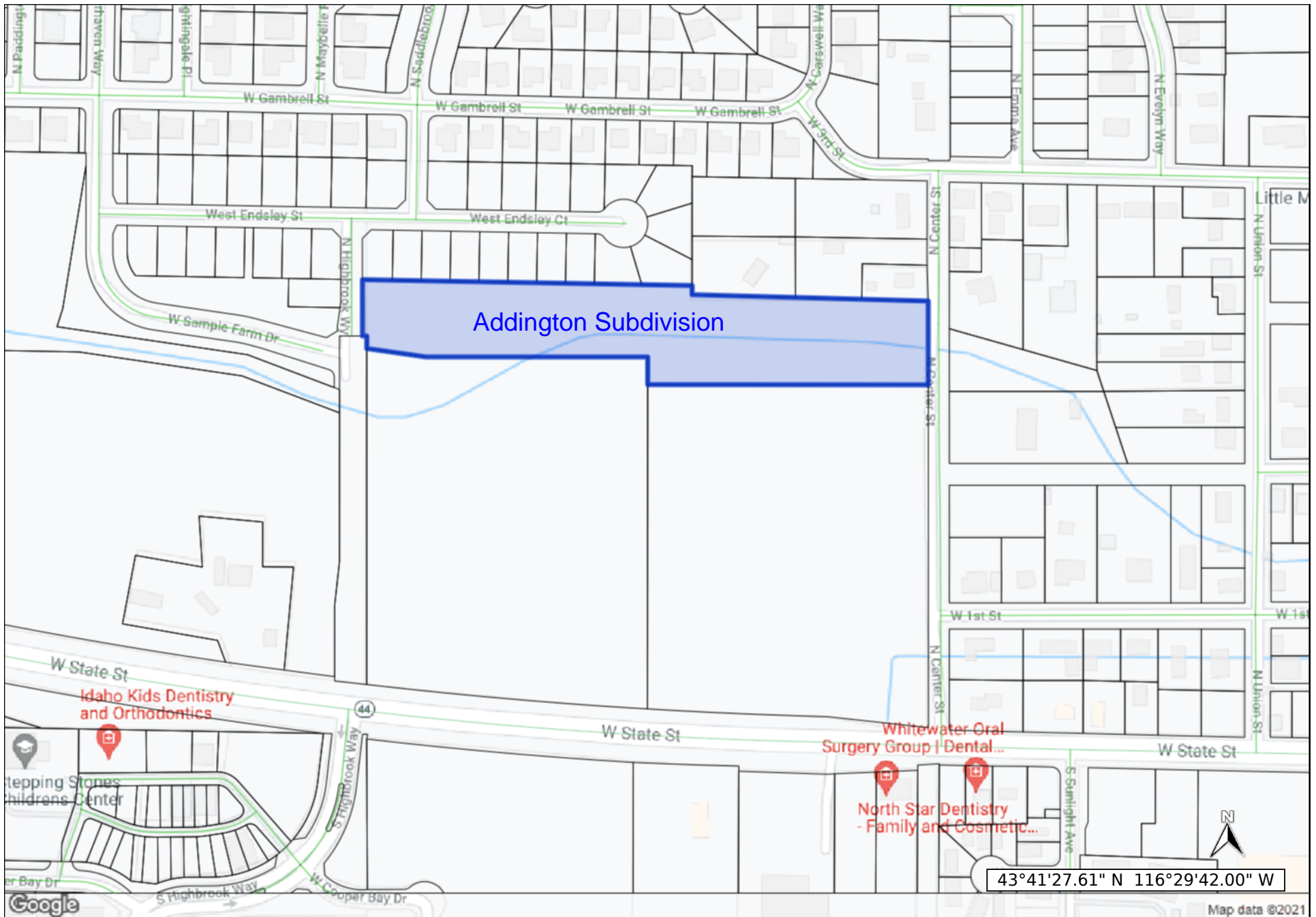
14. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
15. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
16. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
17. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
18. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
19. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
20. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
21. All common areas shall be owned and maintained by the Homeowners Association.
22. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
23. A sign application is required for any subdivision signs.

24. Any additional Condition of Approval as required by Staff and City Council.

COUNCIL DECISION

The Star City Council _____ File Number PP-22-02 MOD and for Addington Subdivision on _____, 2024.

Vicinity Map





July 31, 2024

Shawn Nickel
Planning Director and Zoning Administrator
City of Star – Planning and Zoning Department
10769 W. State Street
Star, ID 83669

RE: Preliminary Plat Modification Application – Addington Townhomes Subdivision

Dear Mr. Nickel:

Attached to this letter is the preliminary plat modification application for the Addington Townhomes Subdivision. This application includes parcel R8108003014 (5.58 acres total area).

The 5.58-acre site (area highlighted in blue below) is generally located on the northeast corner of W. Sample Farm Drive and N Highbrook Way. The property is currently zoned R-7 in the City of Star. The property is currently vacant land.

The site is bound on the south by the Albertsons development (Sample Commercial Subdivision) and future commercial; existing residential to the north, including the newly developed Endsley Court Subdivision; and public rights of way to the east and west.

Addington Subdivision was approved by Star City Council on April 19, 2022, and on September 6, 2022 as part of a reconsideration request. The file numbers are PP-22-02/PR-22-01. The project was approved with 34 residential lots and 1 common lot.



Although the City transmitted the preliminary plat (PP) application to the irrigation and drainage districts with the original preliminary plat, unfortunately, they did not review and comment until after City Council approval, when we submitted our construction permits. The requested revisions are primarily needed to facilitate the comments and requirements of the irrigation and drainage districts.

Key revisions:

- Buildable Lot Count – The original approved PP had 34 building lots. The amended PP is proposing 31, a reduction of 3 building lots.
- The homes continue to be attached units except for one, 1-unit home. The original PP had a mix of 2-unit and 3-unit attached single-family homes. Due to lot configuration constraints, the amended PP has all 2-unit attached single-family homes and one 1-unit home (lot 31).
- The original PP was planned as one phase, the amended PP is proposed as two phases. The western half of the subdivision (phase 1) will retain front loaded lots. The eastern half was revised to include an alley, with alley loaded lots.
- A 23' alley within 27.5' easement is proposed.
 - Per Deputy Chief Victor Islas, the alley will need to be signed 'Fire Access – No Parking.' The drawings illustrate the signs.
 - Vehicular turning movement exhibit has been submitted and reviewed by Deputy Chief Islas illustrating appropriate clearances.
- The original PP included a cul-de-sac. The cul-de-sac was removed in the amended PP as the alley will accommodate the required emergency vehicle circulation.
- Roadway alignments were shifted such that the private roadway easement overlays the DD2 & Flake Lateral easements. The irrigation district requires their easements to only be encumbered by common lots. The original PP had portions of private lots overlapping irrigation district easements. Additionally, the western half (Phase 1) was shifted further north to allow the sewer main to be under the street section in lieu of behind lots 3-16.
 - Western half (Phase 1) shifted north $\pm 12.5'$.
 - Eastern half (Phase 2) shifted south $\pm 17'$.
- The Original PP had a detached sidewalk adjacent to the eastern lots (Phase 2). Attached sidewalks are proposed to allow street trees at back of walk, out of the Irrigation District easements. Street trees in the planter strip between the back of curb and front of sidewalk would be within the irrigation easements which is prohibited.
- Public access pathways - 5' public sidewalks are proposed on both sides of the private roadway, linking N. Highbrook Way and N. Center Street.

Key items that remain the same:

- 36' private roadway remains within a 50' easement. Street parking can be accommodated with this street section.
 - The eastern end of the private street will still have an emergency access connection to N. Center Street with bollards. This will serve both first responders and the irrigation districts.
 - The original PP was approved with 0'/5' side yard setbacks. The amended PP includes the same 0'/5' side yard setbacks. Please note, Star's zoning code was amended after the original PP approval. Current setbacks are 0'/7.5' side yard. Per the email labeled Exhibit A, we request the amended PP be approved with the reduced side yard width as it is consistent with the prior approval.
 - Minimum lot width
 - Original PP had lots 32' and 27'. Amended PP lots are 31' to 32'. Please note, Star's zoning code has a minimum lot width of 35'. We request the amended PP be approved with the reduced lot width as it is consistent with the prior approval.
1. As with the original PP, utilities are available to support the project, and preliminary utility design is included with this submittal. For irrigation of the common areas and lots we propose to utilize surface water right shares supplemented by a well to supply the needed water for the system. The layout is shown on the attached drawings; the existing pump system is a private system owned and maintained by Star Town Center Land, LLC. The well and pumps were designed for the 28 acres, of which Addington is a part. All rights and responsibilities are documented in a recorded Shared Facilities and Use Agreement. Stubs are in place and ready for extensions. The recently completed Endsley Court HOA and STC Development are parties to the sharing agreement.
- The Homeowners Association of this development will be responsible for all landscape and irrigation maintenance
 - Storm water will be discharged off-site utilizing three connections to the Drain 9 piped system. A license agreement will be entered into with Drainage District No. 2.

The amended preliminary plat (as was the original PP), is consistent with the concept plat submitted to the City with the annexation and rezone applications, includes 31 single family lots (34 originally approved) and three common lots. Common lots will have 1.24 acres of usable open space and 1.99 acres for a perpetual easement for the Private Street (W. Joslyn Lane) and alley. This subdivision is proposed as a single-family development with a density of 5.56 units per acre. Access to the subdivision is from N. Highbrook Way.

The homes will be constructed with two different, yet complimentary, design styles:

Mountain Modern residential design blends contemporary architectural elements with the rustic charm of mountain environments, creating homes that harmonize with their natural



surroundings. Natural materials such as wood tones, stone, and metal are prominently featured, lending a rugged yet refined aesthetic that complements the mountainous terrain. The design often includes large, single sloped overhanging roofs, a variety of window fenestrations providing both protection from the elements and a sense of openness. This approach creates a serene and comfortable living space that reflects the beauty and tranquility of its mountain setting that blends with the Treasure Valley.

Prairie Modern design is a contemporary design that emphasizes harmony with the landscape and modern sensibilities. Characterized by a strong horizontal emphasis, it features low slope hip roofs, exaggerated overhangs, and expansive windows that blend the indoor and outdoor environments. This style utilizes natural materials like wood and stone, creating a warm, organic feel, and focuses on open, flowing floor plans that encourage spacious and flexible living. This approach melds timeless architectural principles with modern innovation, resulting in homes that are both beautiful and functional.

Thank you in advance for your consideration and support.

Sincerely,

A handwritten signature in blue ink that reads "Tamara Thompson". The signature is fluid and cursive, with the first name being more prominent than the last.

Tamara Thompson
Director of Client Services

Exhibit A

From: Shawn Nickel <Snickel@staridaho.org>
Sent: Thursday, February 22, 2024 7:33 AM
To: Tamara Thompson <tamara@thelandgroupinc.com>; Ryan Field <rfield@staridaho.org>
Subject: RE: Addington Townhouse Subdivision

Good morning, Tamara. Addington was originally approved for attached homes with zero lot lines and 5' setbacks at the end of the buildings. As long as you are continuing attached homes then you would be fine. If you are now asking for detached now, then you would need to meet current Code requirements for detached dwellings with setbacks of 7.5'.

Shawn

SHAWN L NICKEL
PLANNING DIRECTOR AND ZONING ADMINISTRATOR
CITY OF STAR
SNICKEL@STARIDAHO.ORG
208-286-7247 eTC. 3004





PRELIMINARY PLAT APPLICATION

***All information must be filled out to be processed.

FILE NO.: PP-22-02 MOD
Date Application Received: 7/31/2024 Fee Paid: \$3815.71
Processed by: City: BN

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: The Land Group, Inc. - Tamara Thompson
Applicant Address: 462 E. Shore Dr., Eagle, ID Zip: 83616
Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Owner Name: STC Development, LLC. - P. Eric Davis
Owner Address: 199 N. Capital Blvd., Suite 300, Boise, ID Zip: 83702
Phone: 208.331.0110 Email: davis@retailwest.com

Representative (e.g., architect, engineer, developer):
Contact: Tamara Thompson Firm Name: The Land Group, Inc.
Address: 462 E. Shore Dr., Eagle, ID Zip: 83616
Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Property Information:

Subdivision Name: Addington Subdivision
Site Location: Approximately 1,000 feet north of State Street between Highbrook Way and Center Street.
Approved Zoning Designation of Site: R-7
Parcel Number(s): R8108003014

Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-7	Compact Res/ Central Business	Residential
Proposed	R-7		
North of site	R-7; R-7-DA	Compact Residential	Residential
South of site	C-2	Central Business District	General Commercial
East of site	R-4	Central Business District	Residential
West of site	R-7	Compact Residential	Residential

SITE DATA (to be noted on the Preliminary Plat):

Total Acreage of Site - 5.58 acres
Breakdown of Acreage of Land in Contiguous Ownership - 5.58 acres - STC Development, LLC.
Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X
Dwelling Units per Gross Acre (Density) - 6 units
Minimum Lot Size - 2774 sf
Minimum Lot Width - 31 (requesting council waiver)

Total Number of Lots - 34
Residential - 31
Commercial - _____
Industrial - _____
Common - 3

Total Number of Residential Units - 31
Single-family - 31
Duplex - _____
Multi-family - _____

Percent of Site and Total Acreage of Common Area (min 15% of entire site) -
57.89 % / 3.23 acres
Percent of Site and Total Usable Open Space Area (min 10% of entire site) -
22.22 % / 1.24 acres
Percent of Common Space to be used for drainage - 0
Describe Common Space Areas (amenities, landscaping, structures, etc.) –
There are grass accent areas, a shade structure, pedestrian connections to Highbrook and Center Street

Public Streets - None Private Streets - Joslyn Ln
Describe Pedestrian Walkways (location, width, material) - 5' sidewalks along both sides of the Private St and additional 5' sidewalks to shade structure.
Describe Bike Paths (location, width, material) - There are no dedicated bike paths, but ample width provided in street to provide a share type (street shared with vehicles) for bike use.

FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):

Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: #16001C0125J & #16001C0130J
FIRM effective date(s): mm/dd/year 06/19/2020
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X
Base Flood Elevation(s): AE _____.0 ft., etc.: _____

- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.
- d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.
- e. All maps will delineate flood plain lines.

PUBLIC SERVICES (Describe what services are available and agency providing service):

Potable Water - Star Sewer & Water District
 Irrigation Water- Middleton Irrigation Association (Flake Lateral)
 Sanitary Sewer- Star Sewer & Water District
 Fire Protection - Star Fire Protection District
 Schools - West Ada School District
 Roads - ACHD

SPECIAL ON-SITE FEATURES (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - None Floodplain - None
 Evidence of Erosion - None Fish Habitat - None
 Historical Assets - None Mature Trees - None
 Riparian Vegetation - None Steep Slopes - None
 Stream/Creek - None Unstable Soils - None
 Unique Animal Life - None Unique Plant Life - None

Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
N/A	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. (Please contact the City for addresses & labels) (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	BN
	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative explaining the project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	BN
✓	Recorded warranty deed for the subject property	BN
✓	If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	BN
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	BN
✓	Electronic copy in pdf. format of Preliminary Plat	BN

✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	BN
✓	Electronic copy in pdf. format of landscape plan	BN
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans See sheets C1.07-C1.09	BN
✓	Phasing plan shall be included in the application if the project is to be phased. See sheet C1.00	BN
✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	BN
✓	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development. See sheet C1.00	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
✓	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	BN
✓	Special Flood Information – Must be included on Preliminary Plat and Application form.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight design and location information. Streetlights shall meet all City "Dark Sky" requirements. See sheet C1.00	BN
	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
✓	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	BN
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

FEE REQUIREMENT:

**** I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

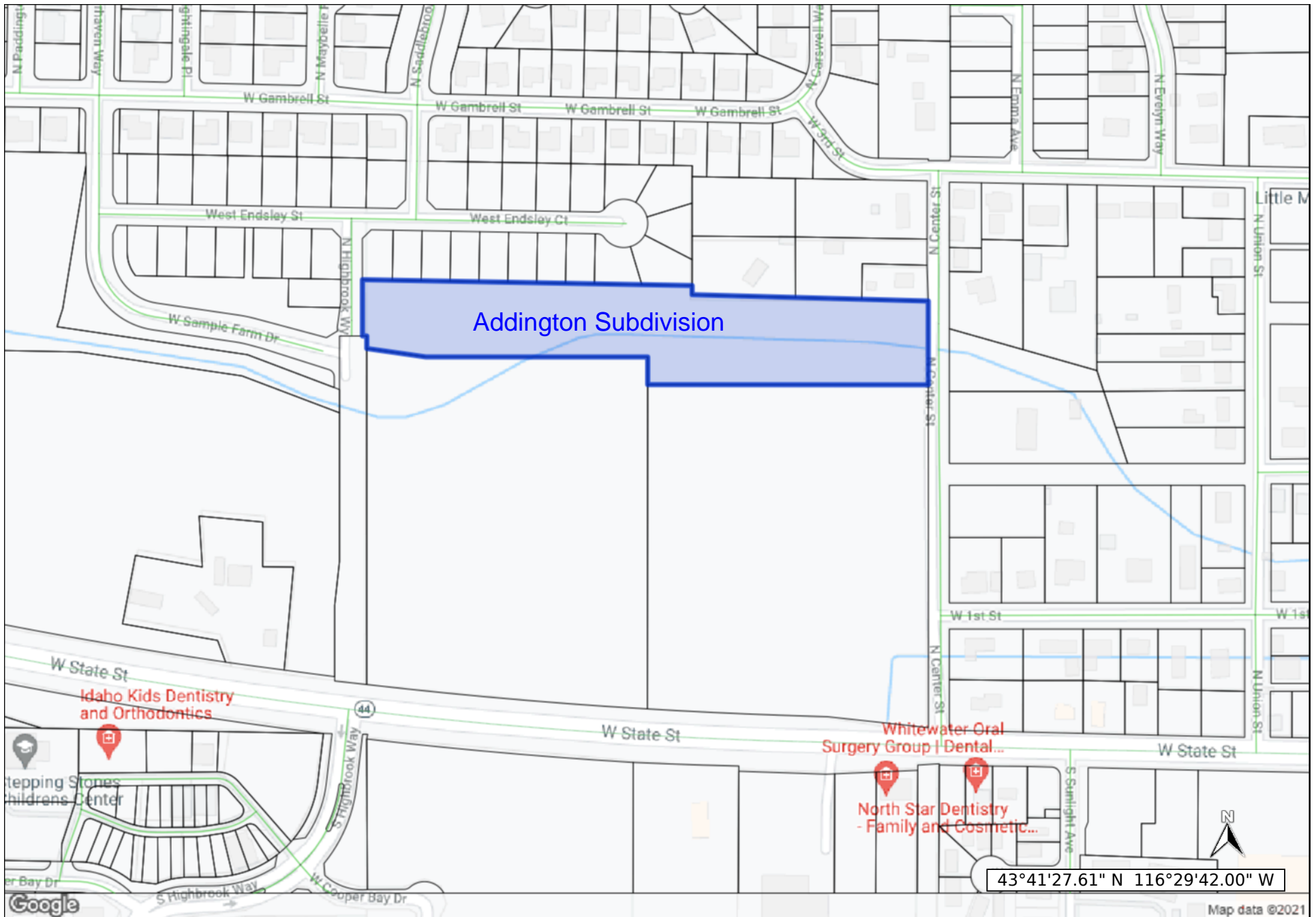
Jamara Simpson

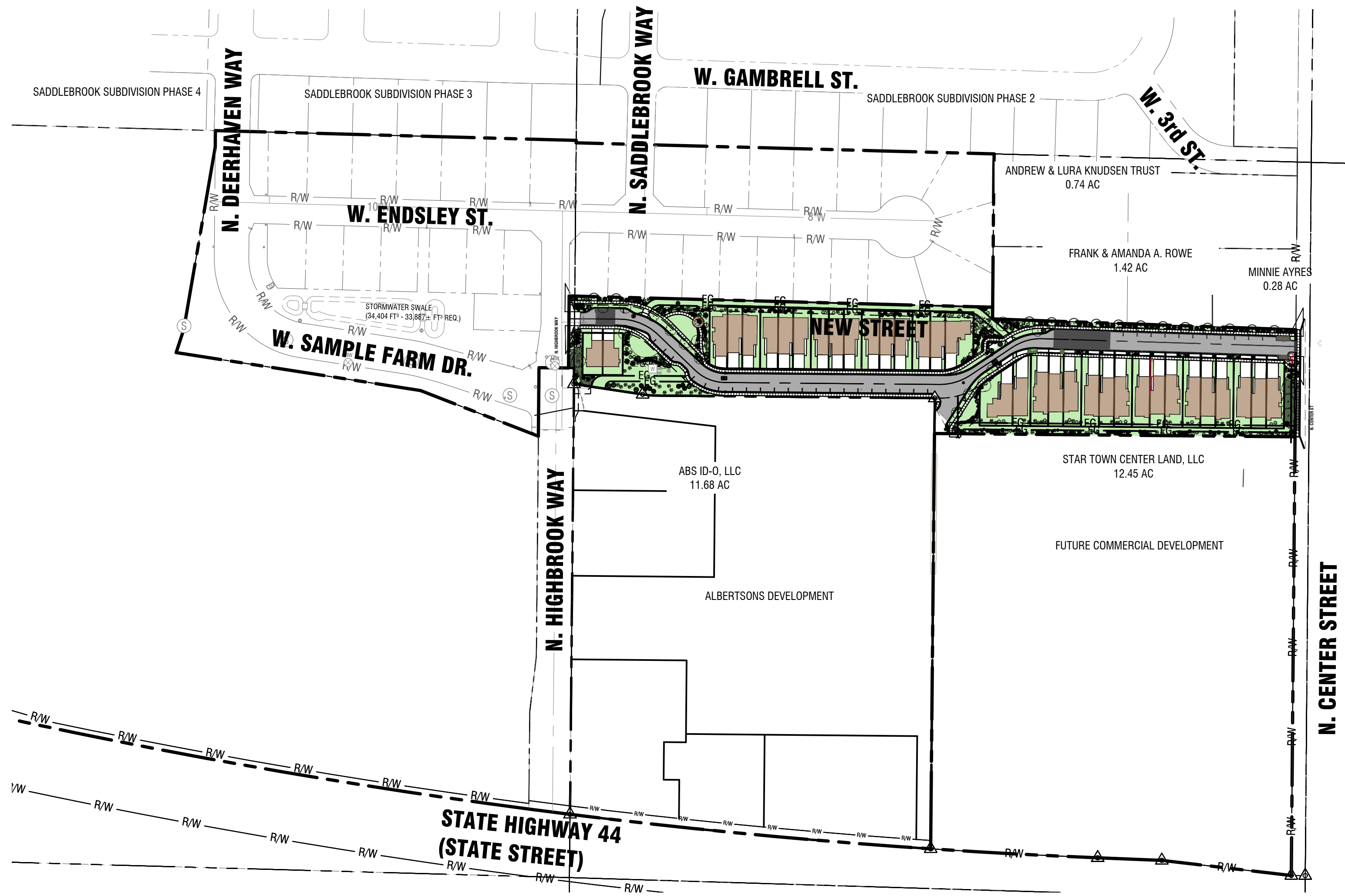
Applicant/Representative Signature

7/31/2024

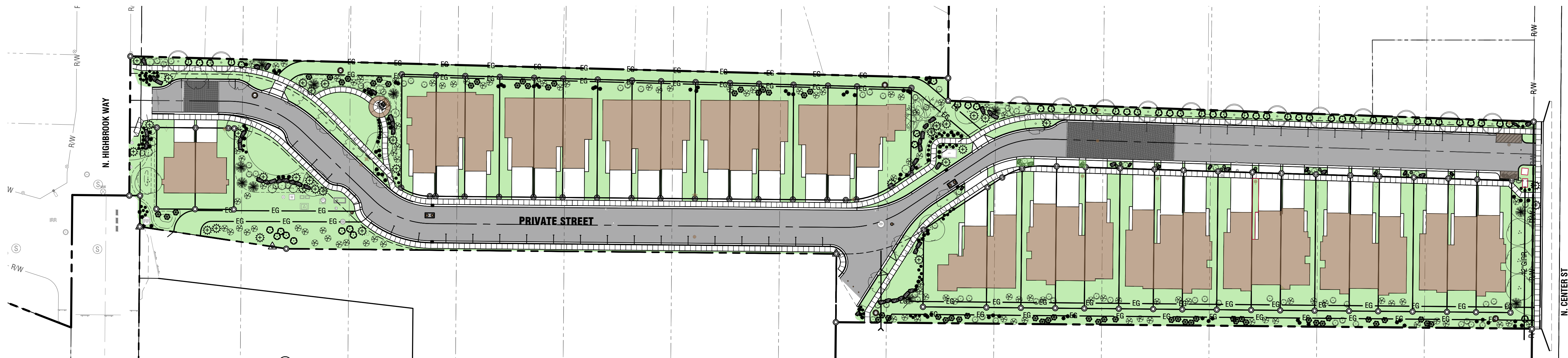
Date

Vicinity Map



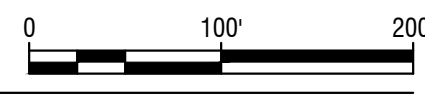


Originally Approved
Preliminary Plat
April 19, 2022



Concept Plan

HORIZONTAL SCALE: 1" = 150' (AT 22" X 34")
Dec 16, 2021



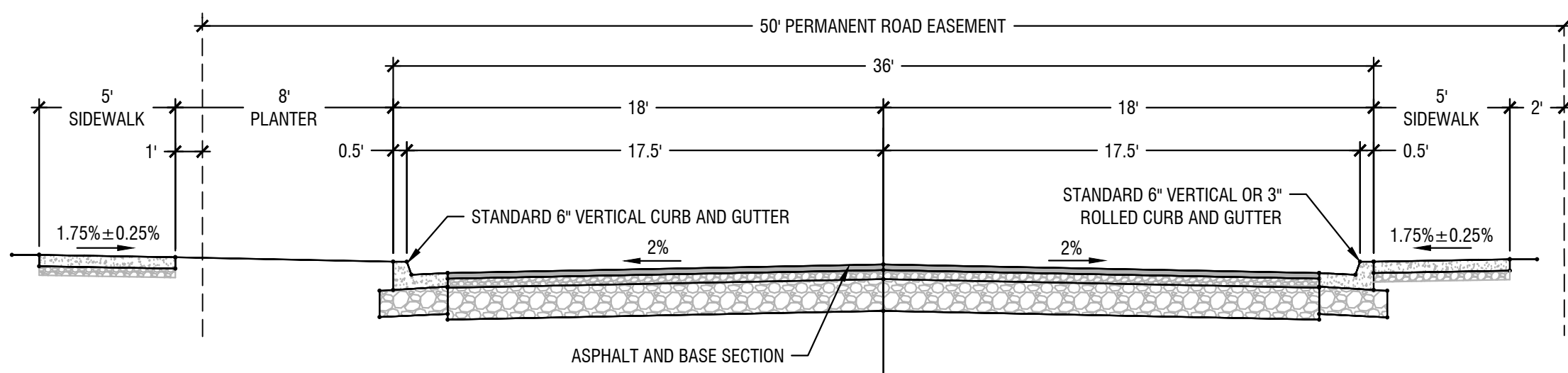
Addington Townhomes
Conceptual Site Plan

Star, Idaho



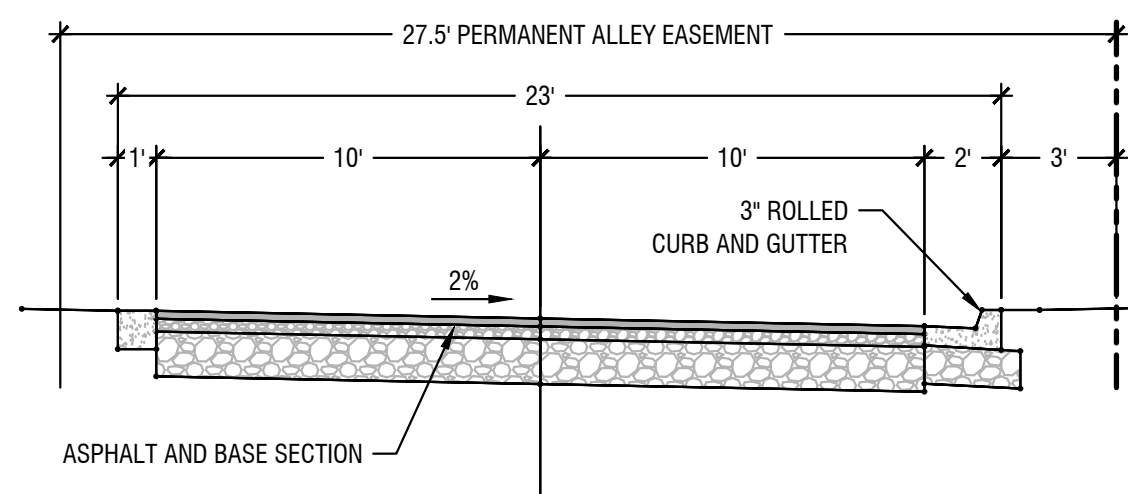
462 East Shore Drive, Suite 100
Bozeman, Idaho 83716
Ph: 208.939.4041 Fax: 208.939.4445
www.thelandgroupinc.com

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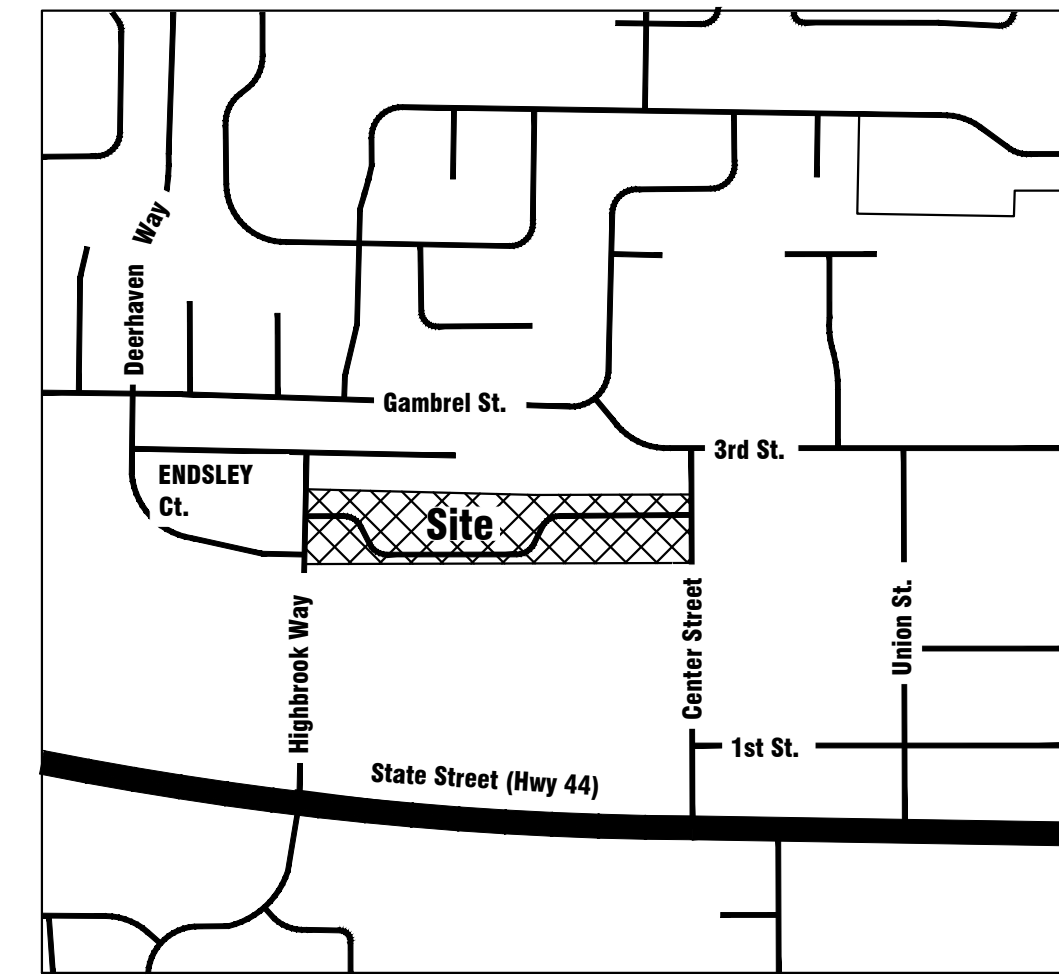
1 36/50 Private Road - Attached & Detached Sidewalks

Scale: 1" = 5'



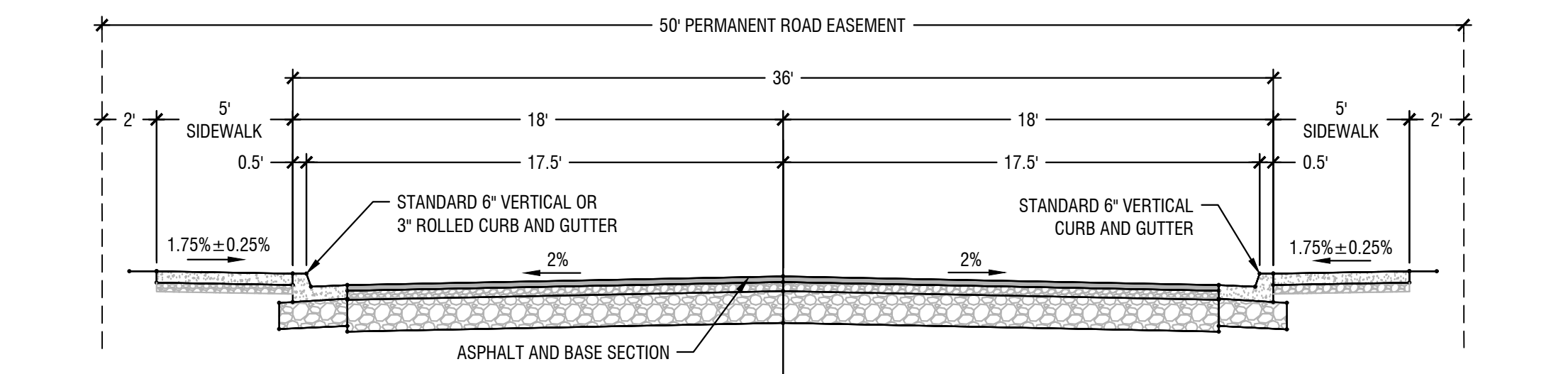
3 Private Alley

Scale: 1" = 5'



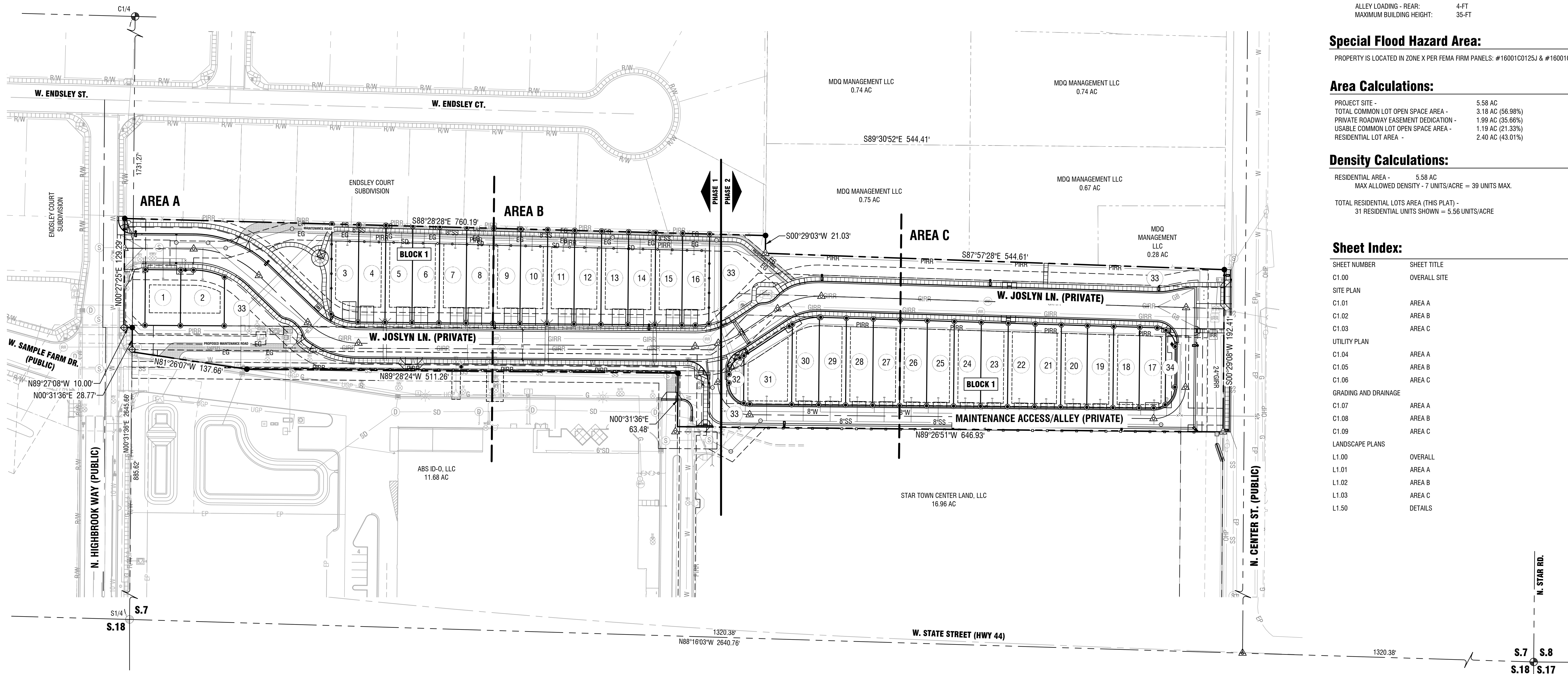
Vicinity Map
NOT TO SCALE

Proposed Modification Preliminary Plat



2 36/50 Private Road - Attached Sidewalks

Scale: 1" = 5'



Overall Site

Horizontal Scale: 1" = 60'

Owner / Developer:

STC DEVELOPMENT, LLC
ERIC DAVIS
199 N. CAPITOL BLVD., SUITE 300
BOISE, ID. 83702
PH: 208.331.0110

Project Engineer / Surveyor / Landscape:

THE LAND GROUP, INC.
ENGINEER: ERIC CROWIN, PE
SURVEYOR: MIKE FEMENIA, PLS
LANDSCAPE ARCHITECT: JAMES LEO, PLA
462 E. SHORE DR., SUITE 100
EAGLE, ID. 83616
PH: 208.939.4041

Irrigation & Drainage Company:

DRAINAGE DISTRICT NO. 2
ALLEN FUNKHAUSER
1101 W RIVER ST, SUITE 110
BOISE, IDAHO 83702
PH: 208.571.3804

MIDDLETON MILL DITCH COMPANY
MIDDLETON IRRIGATION ASSOCIATION, INC.
FLAKE DITCH COMPANY
P.O. BOX 848
MIDDLETON, ID 83644
PH: 208.585.3207

Star Sewer & Water District:

HANK DAY
10831 W. STATE STREET
STAR, ID 83669
PH: 208.286.7388

Planning Notes:

CURRENT ZONING: R7
PROPOSED ZONING: R7
DIMENSIONAL STANDARDS (AT THE TIME OF ORIGINAL PRELIMINARY PLAT APPROVAL):
MINIMUM STREET FRONTAGE: 35-FT. (REQUESTING COUNCIL WAIVER 31-FT)
FRONT SETBACK: 15-FT TO LIVING, 20-FT TO GARAGE
REAR SETBACK: 15-FT
INTERIOR SIDE SETBACK: 0-FT FOR COMMON WALLS, 5-FT AT END OF BUILDING
STREET SIDE SETBACK: 20-FT (LOCAL)
ALLEY LOADING - FRONT: 10-FT TO LIVING SPACE
ALLEY LOADING - REAR: 4-FT
MAXIMUM BUILDING HEIGHT: 35-FT

Special Flood Hazard Area:

PROPERTY IS LOCATED IN ZONE X PER FEMA FIRM PANELS: #16001C0125J & #16001C0130J.

Area Calculations:

PROJECT SITE - 5.58 AC
TOTAL COMMON LOT OPEN SPACE AREA - 3.18 AC (56.98%)
PRIVATE ROADWAY EASEMENT DEDICATION - 1.99 AC (35.66%)
USABLE COMMON LOT OPEN SPACE AREA - 1.19 AC (21.33%)
RESIDENTIAL LOT AREA - 2.40 AC (43.01%)

Density Calculations:

RESIDENTIAL AREA - 5.58 AC
MAX ALLOWED DENSITY - 7 UNITS/ACRE = 39 UNITS MAX.
TOTAL RESIDENTIAL LOTS AREA (THIS PLAT) - 31 RESIDENTIAL UNITS SHOWN = 5.56 UNITS/ACRE

Sheet Index:

SHEET NUMBER	SHEET TITLE
C1.00	OVERALL SITE
SITE PLAN	
C1.01	AREA A
C1.02	AREA B
C1.03	AREA C
UTILITY PLAN	
C1.04	AREA A
C1.05	AREA B
C1.06	AREA C
GRADING AND DRAINAGE	
C1.07	AREA A
C1.08	AREA B
C1.09	AREA C
LANDSCAPE PLANS	
L1.00	OVERALL
L1.01	AREA A
L1.02	AREA B
L1.03	AREA C
L1.50	DETAILS



Addington Townhomes Sub. - Amended Preliminary Plat
STC Development
 NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
 STAR, IDAHO

Revisions

No.	Description
1.	



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Overall Site

C1.00

Sheet Notes:

- SEE L-SERIES SHEETS FOR LANDSCAPE PLANS AND SHEETS C1.04-C1.06 FOR PRESSURE IRRIGATION PLANS.
- A MINIMUM 20' WIDE EASEMENT SHALL BE GRANTED TO STAR SEWER & WATER DISTRICT FOR ALL MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
- ALL PEDESTRIAN CROSSINGS WILL HAVE A TACTILE WARNING SURFACE (TWS) FOR PEDESTRIAN ACCESS PER ACHD SUPPLEMENT TO THE ISPPW SD-712.
- BUILDING FOOTPRINTS ARE PRELIMINARY AND SUBJECT TO CHANGE.

Legend:

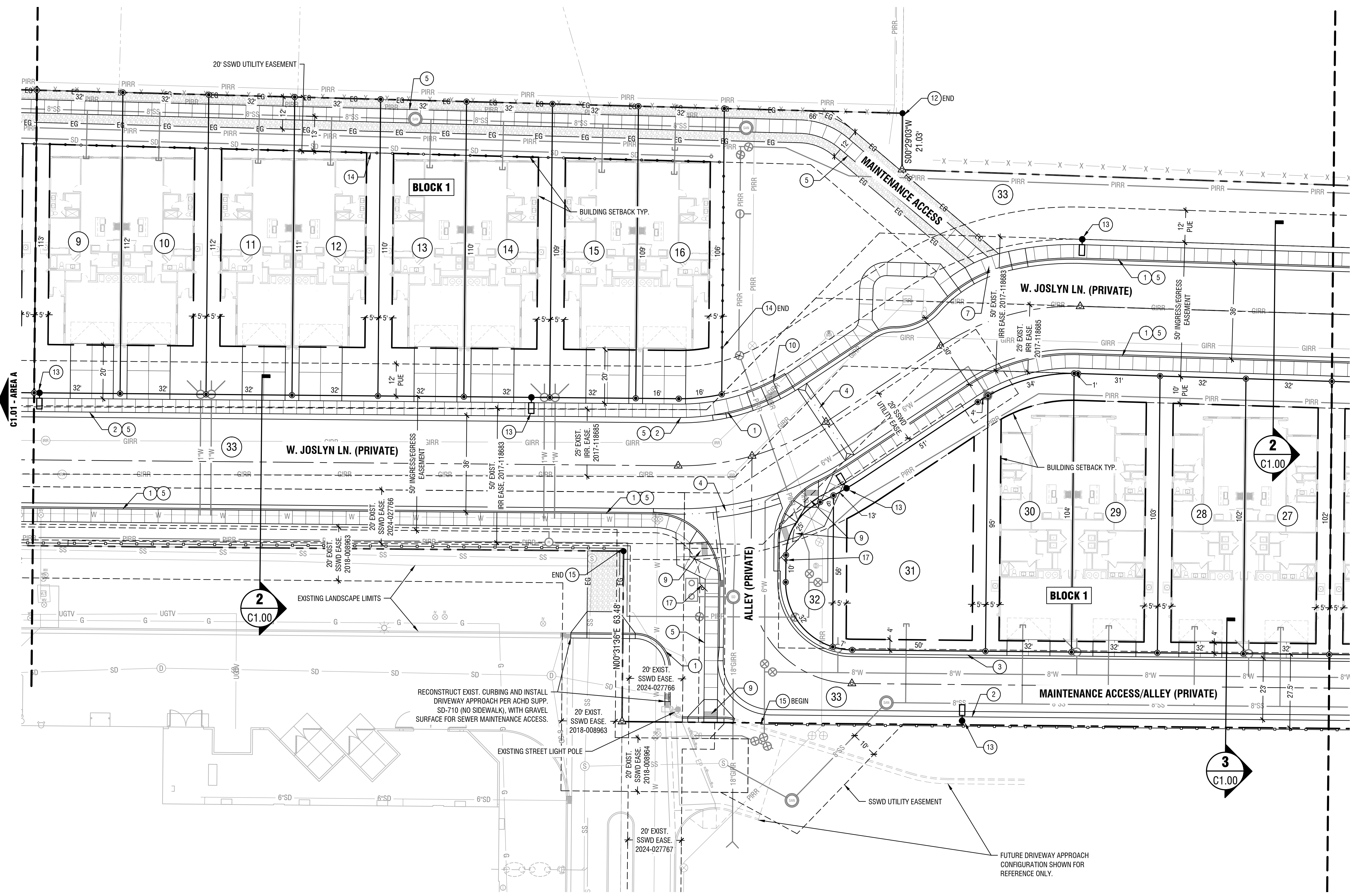
- BOUNDARY LINE
- LOT LINE
- ROADWAY CENTERLINE
- BUILDING SETBACK
- EASEMENT LINE
- LOT NUMBER
- 6" VERTICAL CURB & GUTTER
- 3" ROLLED CURB & GUTTER
- 12" WIDE RIBBON CURB
- 5' WIDE SIDEWALK
- FOUND 5/8" SURVEY MONUMENT
- FOUND COPPER DISC MONUMENT
- CALCULATED POINT (NOTHING SET OR FOUND)
- LOT CORNER MONUMENT (NOTHING SET OR FOUND)

Material Legend:

- DECORATIVE GRAVEL FINISH SURFACE.

Keynotes:

- 6" VERTICAL CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPPW SD-701.
- 3" ROLLED CURB & GUTTER PER ACHD SUPPLEMENT TO THE ISPPW SD-702.
- 12"x8" RIBBON CURB SIMILAR TO ACHD SUPPLEMENT TO THE ISPPW SD-703.
- VALLEY GUTTER PER ACHD SUPPLEMENT TO THE ISPPW SD-708.
- 5' SIDEWALK PER ACHD SUPPLEMENT TO THE ISPPW SD-709.
- DRIVEWAY WITH SIDEWALK AROUND APPROACH PER ACHD SUPPLEMENT TO THE ISPPW SD-710A.
- DRIVEWAY APPROACH WITH RAMPED SIDEWALK PER ACHD SUPPLEMENT TO THE ISPPW SD-710B.
- DRIVEWAY APPROACH WITH DETACHED SIDEWALK PER ACHD SUPPLEMENT TO THE ISPPW SD-710C.
- PEDESTRIAN RAMP TYPE "A" PER THE ISPPW SD-712A.
- PEDESTRIAN RAMP TYPE "G" MID-BLOCK PER ACHD SUPPLEMENT TO THE ISPPW SD-712G.
- REMOVABLE BOLLARDS FOR EMERGENCY ACCESS AND IRRIGATION DISTRICT ACCESS.
- SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 1/C1.01.
- STREET LIGHT PER CITY OF STAR STANDARDS.
- 4" WROUGHT IRON FENCE TO BE INSTALLED WITH HOUSE CONSTRUCTION.
- 9' TALL SCREEN FENCE PER DETAIL 1/C1.01.
- GATED ACCESS FOR SEWER MAINTENANCE.
- INSTALL "NO PARKING" SIGN. ALL SIGNS SHALL BE INSTALLED AT 45° ANGLE RELATIVE TO TRAVEL LANE.
- 8'x8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- WIDEN EXISTING APPROACH AS DIMENSIONED. RECONSTRUCT PEDESTRIAN RAMP, SIDEWALK AND VALLEY GUTTER. PROVIDE 2" MINIMUM PAVEMENT SAW-CUT AND REPAIR.
- USPS MAILBOX CLUSTER LOCATION.



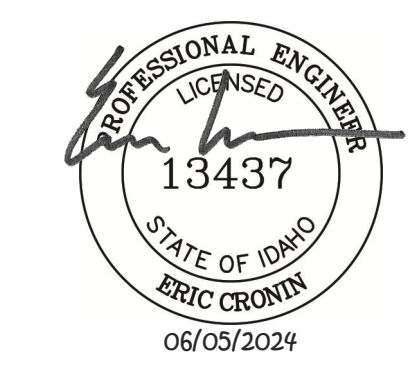
Site Plan - Area B
Horizontal Scale: 1" = 20'

Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.
STAR, IDAHO

Revisions

1.	
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Site Plan
Area B

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Sheet Notes:

- THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW ONE METHOD BY WHICH NECESSARY WATER, SEWER, AND PRESSURE IRRIGATION SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE.
- PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY AGENCIES HAVING JURISDICTION.
- SEE L-SERIES FOR LANDSCAPE PLANS.
- A MINIMUM 20' WIDE EASEMENT SHALL BE GRANTED TO STAR WATER & SEWER DISTRICT FOR ALL WATER & SEWER MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
- AN EXISTING PRESSURE IRRIGATION PUMP STATION WAS CONSTRUCTED WITH ENDSELEY COURT SUBDIVISION. PRIMARY SURFACE WATER SOURCE IS PROVIDED BY THE FLAKE LATERAL. SECONDARY GROUND SOURCE IS PROVIDED BY AN EXISTING WELL PERMITTED BY IDWR. THIS PUMP STATION WILL SERVE ADDINGTON TOWNHOMES SUBDIVISION AND THE REMAINDER OF STAR TOWN CENTER LAND, LLC PROPERTY. EACH DEVELOPMENT WILL BE PROVIDED ITS OWN MAINLINE CONNECTION TO ALLOW EACH PROPERTY TO BE ISOLATED FROM EACH OTHER.
- REFER TO SHEETS C1.05-C1.07 FOR GRADING AND DRAINAGE INFORMATION.

Water Keynotes:

- WATER SAMPLING STATION.
- FIRE HYDRANT ASSEMBLY.
- WATER METER WITH SINGLE RESIDENTIAL WATER SERVICE.
- WATER METER WITH DOUBLE RESIDENTIAL WATER SERVICE.
- RELOCATED FIRE HYDRANT EASTERLY AT TERMINATION OF MAIN EXTENSION.

Sewer Keynotes:

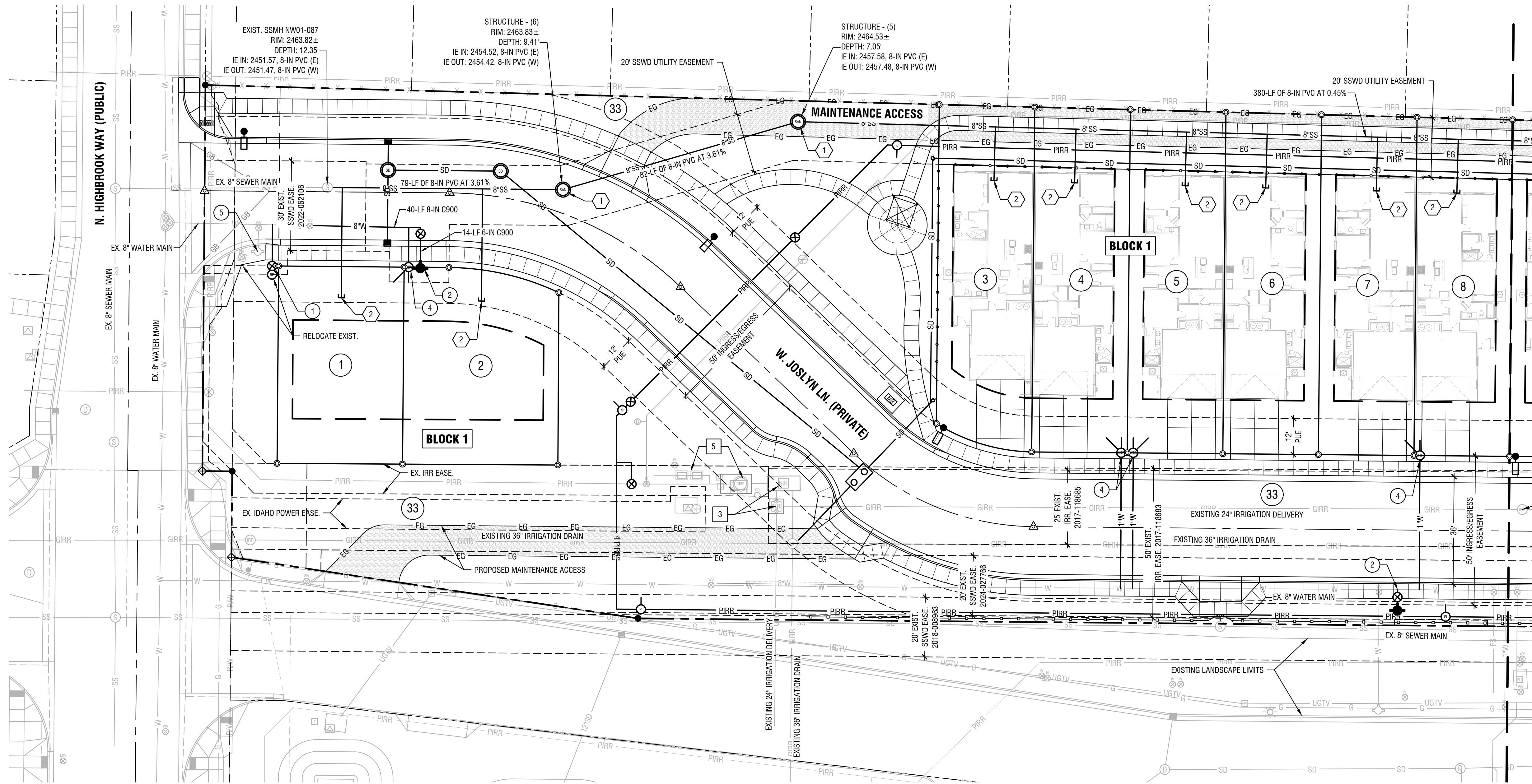
- 48" SANITARY SEWER MANHOLE.
- 4" SERVICE LINE.
- INV.-IN FOR THE SOUTHERN SEWER PIPE WILL BE A BLOCK-OUT FOR FUTURE CONNECTION. ACTUAL DIRECTION WILL BE DETERMINED PRIOR TO CONSTRUCTION.

Gravity Irrigation Keynotes:

- GRAVITY IRRIGATION FIELD WASTE WATER EXTENSION.
- GRAVITY IRRIGATION STRUCTURE.
- EXISTING GRAVITY IRRIGATION STRUCTURE.
- PROPOSED FLAKE LATERAL EXTENSION.
- EXISTING PRESSURE IRRIGATION PUMP STATION & WELL.

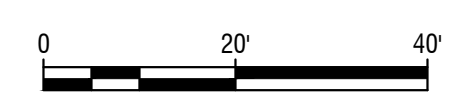
Utility Legend:

	SEWER MAIN AND MANHOLE
	WATER MAIN AND VALVE (SIZE AS NOTED)
	STORM DRAIN PIPE (SIZE TO BE DETERMINED)
	GRAVITY IRRIGATION PIPE (SIZE AS NOTED)
	PRESSURE IRRIGATION PIPE (SIZE TO BE DETERMINED), VALVE AND SERVICE
	STREET LIGHT
	FIRE HYDRANT
	EXISTING SEWER MAIN WITH MANHOLE
	EXISTING WATER MAIN AND VALVE
	EXISTING STORM DRAIN PIPE AND MANHOLE
	EXISTING GRAVITY IRRIGATION PIPE
	EXISTING NATURAL GAS MAIN
	EXISTING UNDERGROUND TELECOMMUNICATIONS
	EXISTING PRESSURE IRRIGATION MAIN, VALVE AND SERVICE
	EXISTING OVERHEAD POWER LINE & POLE

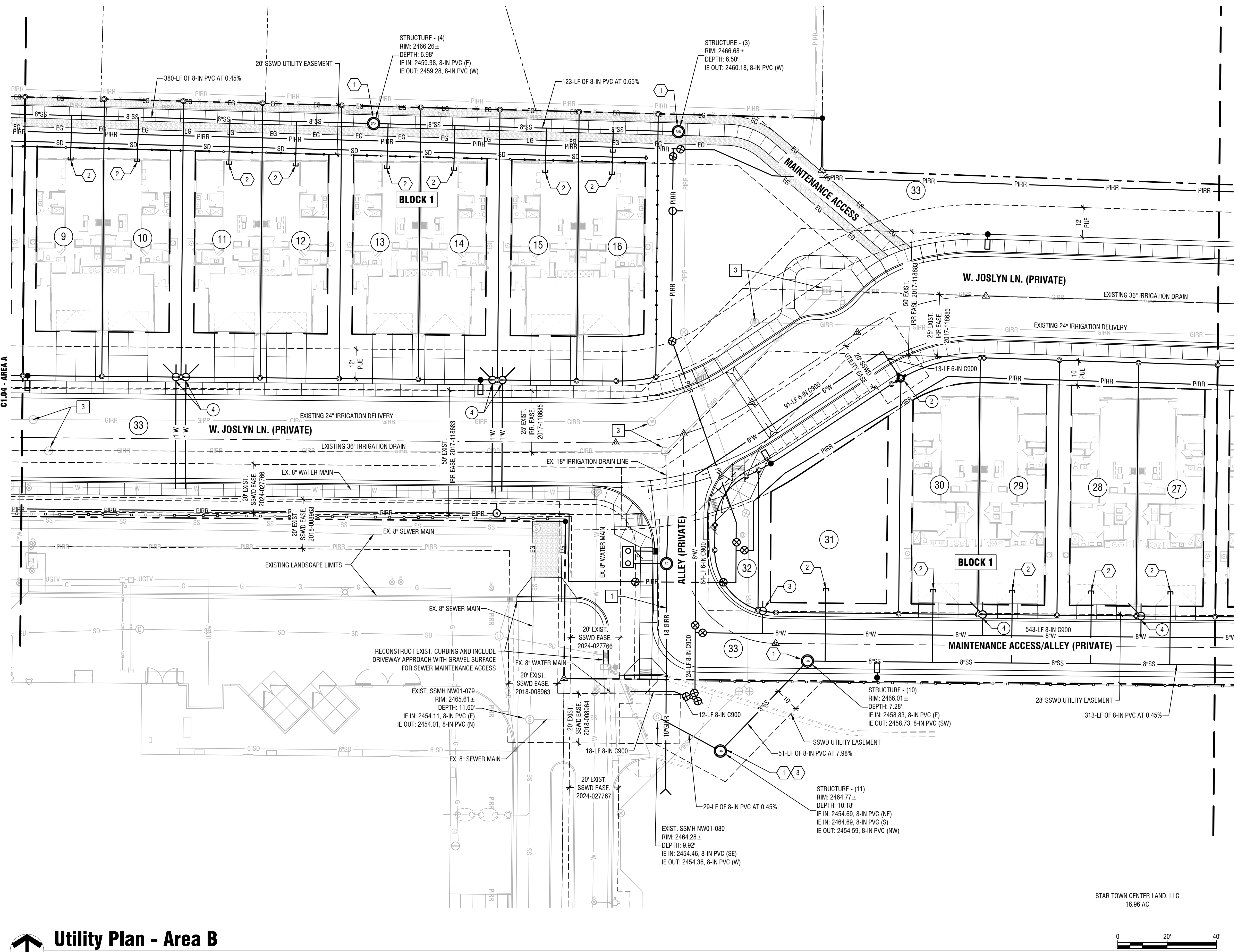


Utility Plan - Area A

Horizontal Scale: 1" = 20'



DATE PLOTTED: 05/05/2024 10:48:11 AM
PLOTTER: HP DesignJet T1300e
SCALE: 1" = 20'
SHEET: C1.04



Sheet Notes:

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3. SEE L-SERIES FOR LANDSCAPE PLANS.
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6. REFER TO SHEETS C1.05-C1.07 FOR GRADING AND DRAINAGE INFORMATION.

Water Keynotes:

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2. FIRE HYDRANT ASSEMBLY.
3. WATER METER WITH SINGLE RESIDENTIAL WATER SERVICE.
4. WATER METER WITH DOUBLE RESIDENTIAL WATER SERVICE.
5. RELOCATED FIRE HYDRANT EASTERLY AT TERMINATION OF MAIN EXTENSION.

Sewer Keynotes:

1. 48" SANITARY SEWER MANHOLE.
2. 4" SERVICE LINE.
3. INV.-IN FOR THE SOUTHERN SEWER PIPE WILL BE A BLOCK-OUT FOR FUTURE CONNECTION. ACTUAL DIRECTION WILL BE DETERMINED PRIOR TO CONSTRUCTION.

Gravity Irrigation Keynotes:

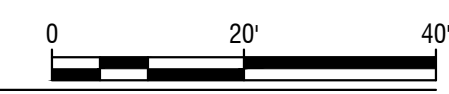
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2. GRAVITY IRRIGATION STRUCTURE.
3. EXISTING GRAVITY IRRIGATION STRUCTURE.
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	EXISTING UNDERGROUND TELECOMMUNICATIONS
	EXISTING PRESSURE IRRIGATION MAIN, VALVE AND SERVICE
	EXISTING OVERHEAD POWER LINE & POLE

Utility Plan - Area B

Horizontal Scale: 1" = 20'



Revisions

1.	
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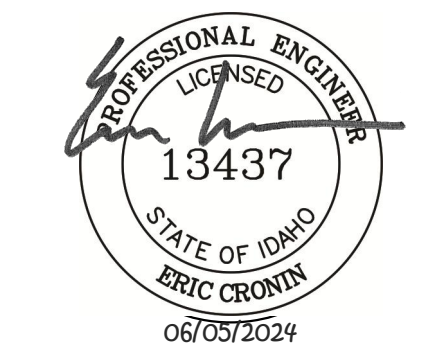


Project No.: 121064
 Date of Issuance: 05.05.2024
 Project Milestone: Amended Preliminary Plat

Utility Plan Area B

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Revisions	DATE	BY
1.		



Project No.: 121064
 Date of Issuance: 05.05.2024
 Project Milestone: Amended Preliminary Plat

Utility Plan
Area C

Sheet Notes:

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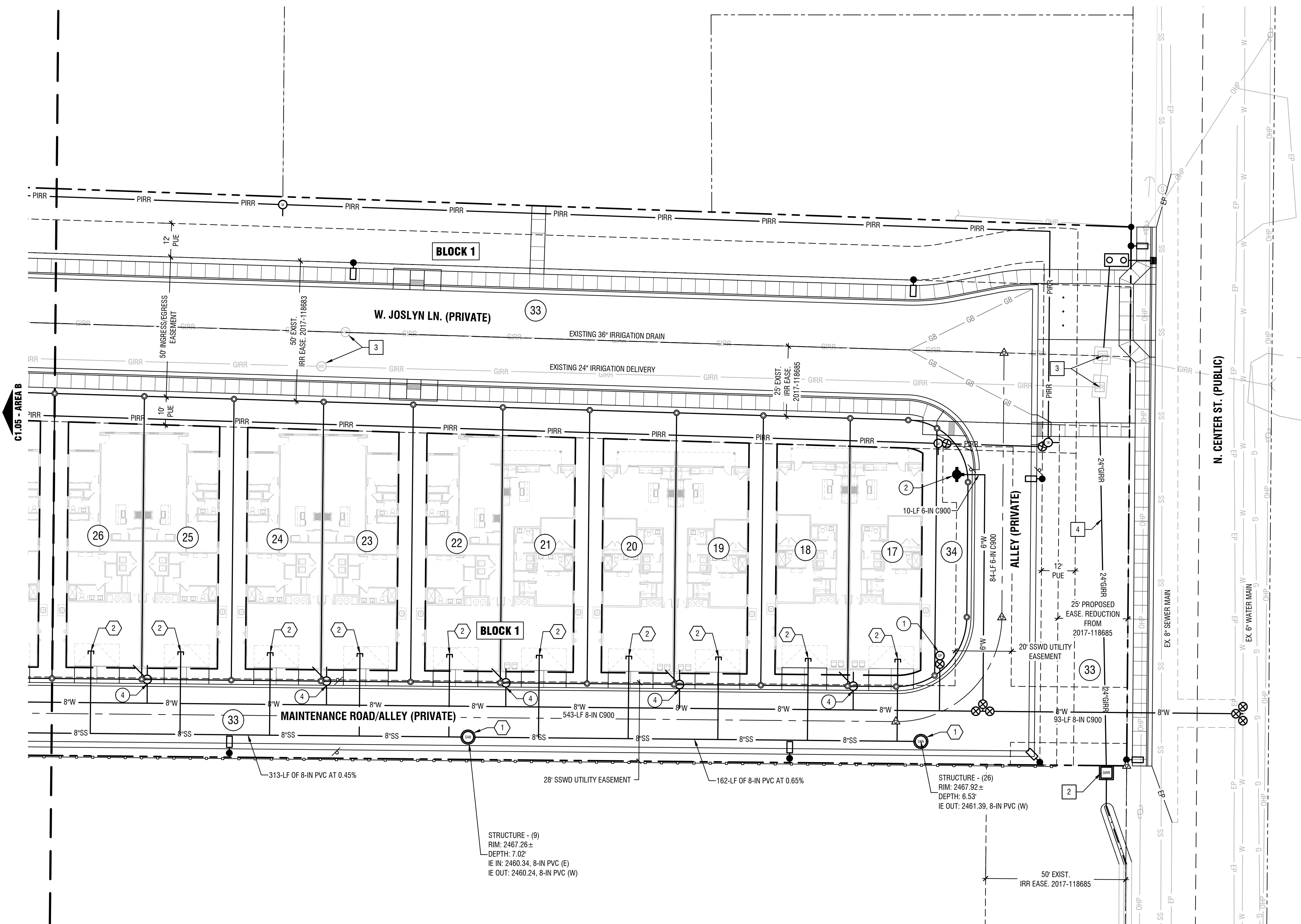
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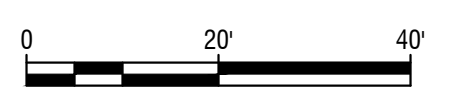
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	EXISTING PRESSURE IRRIGATION MAIN, VALVE AND SERVICE
	EXISTING OVERHEAD POWER LINE & POLE



Utility Plan - Area C
 Horizontal Scale: 1" = 20'



ALL INFORMATION IS BASED ON RECORD PLATS AND FIELD SURVEY. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT SITE AND HAS FOUND NO DISCREPANCIES. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE PROJECT SITE AND HAS FOUND NO DISCREPANCIES.

Sheet Notes:

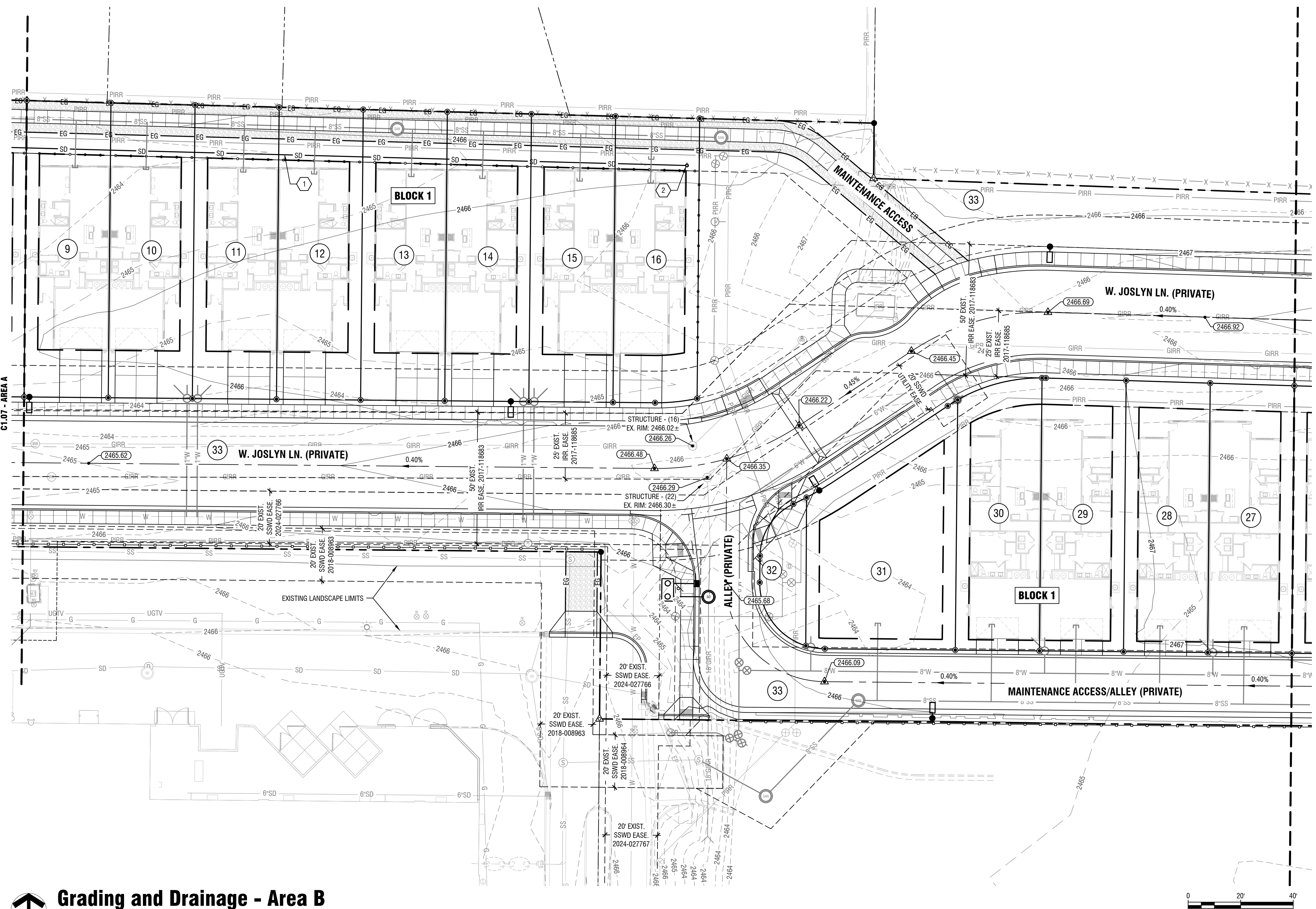
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2. SITE STORM WATER WILL BE PRETREATED WITH SAND & GREASE TRAP AND DISCHARGED TO THE DRAIN 9A. A LICENCE AGREEMENT WILL BE ENTERED INTO WITH DRAINAGE DISTRICT NO. 2.
3. REFER TO SHEETS C1.04-1.06 FOR ADDITIONAL UTILITY INFORMATION.
4. SPOT ELEVATIONS INDICATED ARE PROPOSED FINISH GRADE.

Storm Drain Keynotes:

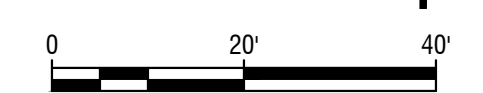
1. ROOF DRAIN CONVEYANCE TILE. BUILDING CONTRACTOR TO MAKE CONNECTION AT THE TIME OF HOUSE CONSTRUCTION.
2. STORM DRAIN CLEAN-OUT.

Storm Drain Legend:

- SD — SD — STORM DRAIN PIPE (SIZE TO BE DETERMINED)
- CATCH BASIN INLET PER ACHD SUPP. SD-601
- SAND AND GREASE TRAP
- STORM DRAIN MANHOLE



Grading and Drainage - Area B
Horizontal Scale: 1" = 20'

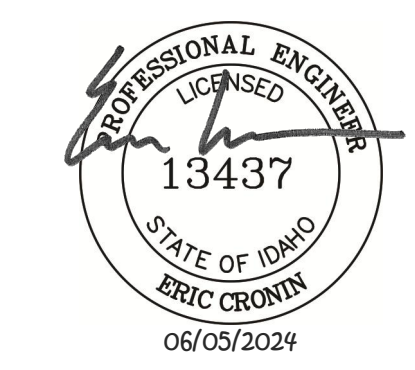


Addington Townhomes Sub. - Amended Preliminary Plat
STC Development

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Revisions

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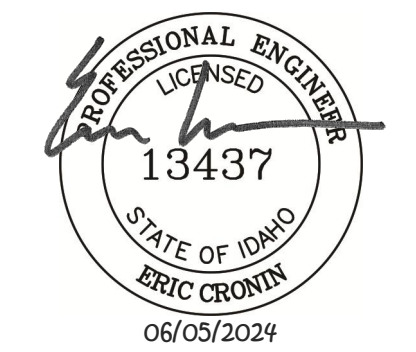


Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat
Grading and Drainage Area B

DATE PLOTTED: 05/05/2024 10:45:11 AM
DRAWN BY: JACOBSON, JAMES
CHECKED BY: JACOBSON, JAMES
DATE: 05/05/2024 10:45:11 AM

Revisions

1.	



Project No.: 121064
Date of Issuance: 05.05.2024
Project Milestone: Amended Preliminary Plat

Grading and Drainage Area C

C1.09

Sheet Notes:

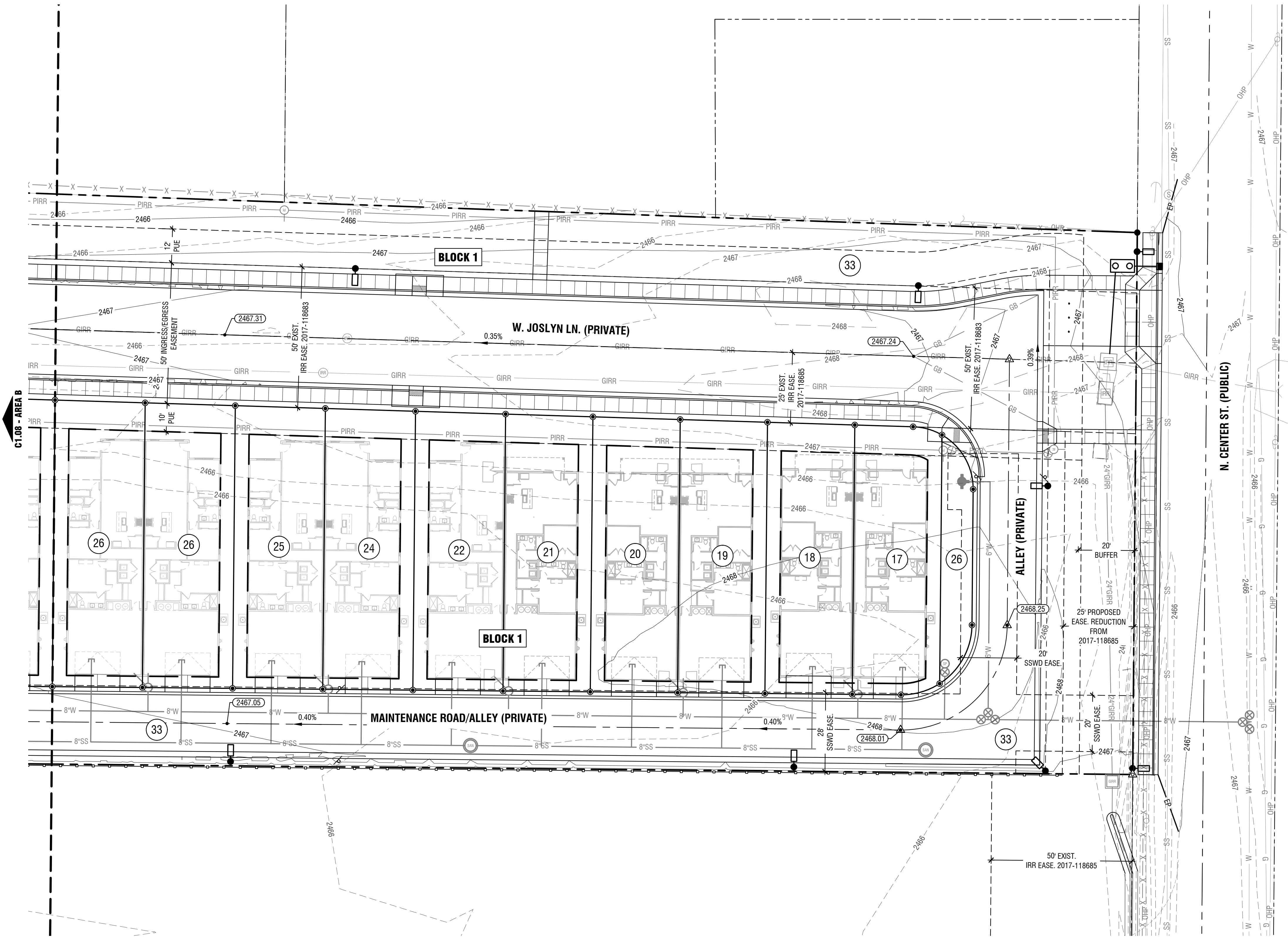
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3. REFER TO SHEETS C1.04-1.06 FOR ADDITIONAL UTILITY INFORMATION.
4. SPOT ELEVATIONS INDICATED ARE PROPOSED FINISH GRADE.

Storm Drain Keynotes:

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- STORM DRAIN MANHOLE



Grading and Drainage - Area C
Horizontal Scale: 1" = 20'

DATE PLOTTED: 05/05/2024 10:45:11 AM
DRAWN BY: JACOB
CHECKED BY: JACOB
DATE: 05/05/2024

Landscape Requirements:

AS IDENTIFIED IN THE STAR, IDAHO CITY ORDINANCE:

LANDSCAPE BUFFERS ALONG STREETS (8-8D-2-M)
 ONE (1) TREE PER THIRTY-FIVE (35) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATIVE GROUND COVER.

STREET	TREES REQUIRED	TREES PROVIDED
N. HIGHBROOK WAY (LESS DRIVE/EASEMENTS)	3 TREES (120 L.F. / 35)	1 SHADE TREE 4 ORNAMENTAL TREES*
N. CENTER ST (LESS DRIVE/EASEMENTS)	5 TREES (172 L.F. / 35)	3 SHADE TREES 4 ORNAMENTAL TREES*

*COLUMNAR SWEETGUM SUBSTITUTED FOR REQUIRED SHADE TREE AT 2:1 USING ORNAMENTAL TREE SUBSTITUTION ALLOWANCE FROM MUNICIPAL CODE.

QUALIFIED OPEN SPACE (8-4E-2)
 TOTAL LAND AREA OF ALL COMMON OPEN SPACE SHALL EQUAL OR EXCEED FIFTEEN PERCENT (15%) OF THE GROSS LAND AREA OF DEVELOPMENT. A MINIMUM OF 10% OF THE TOTAL GROSS ACREAGE OF THE DEVELOPMENT SHALL BE FOR USEABLE AREA OPENSACE. OPENSACE SHALL BE DESIGNATED AS A TOTAL OF 15% MINIMUM FOR RESIDENTIAL DEVELOPMENTS IN ALL ZONES WITH DENSITIES OF R-2 OR GREATER.

REQUIRED S.F.	PROVIDED S.F.
36,459.72 S.F. (15% x 243065 S.F.)	51,836.4 S.F. (21.33%)

NEW RESIDENTIAL SUBDIVISION COMMON AREA LANDSCAPES SHALL BE COMPRISED OF THE FOLLOWING: LAWN, EITHER SEED OR SOD, A MINIMUM OF ONE DECIDUOUS SHADE TREE PER FOUR THOUSAND (4,000) SQUARE FEET. (8-8D-2-J-5)

PROVIDED S.F.	REQUIRED TREES	PROVIDED TREES
51,836.4 S.F.	13 TREES (51836.4 / 4000)	42 TREES*

*A MIX OF DECIDUOUS SHADE AND CONIFEROUS TREES HAVE BEEN PROVIDED IN THE COMMON LOTS AND THROUGHOUT THE SITE.

Automatic Underground Irrigation Notes:

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT NON-MOW FESCUE AREAS, 6" AT SOD LAWN AREAS.
- D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
- E. ELECTRONIC WATER DISTRIBUTION/ TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - E.A. PRECISE INDIVIDUAL STATION TIMING
 - E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

Landscape Plan Notes:

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 4" LAYER OF DECORATIVE MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

Preliminary Plat Landscape Notes:

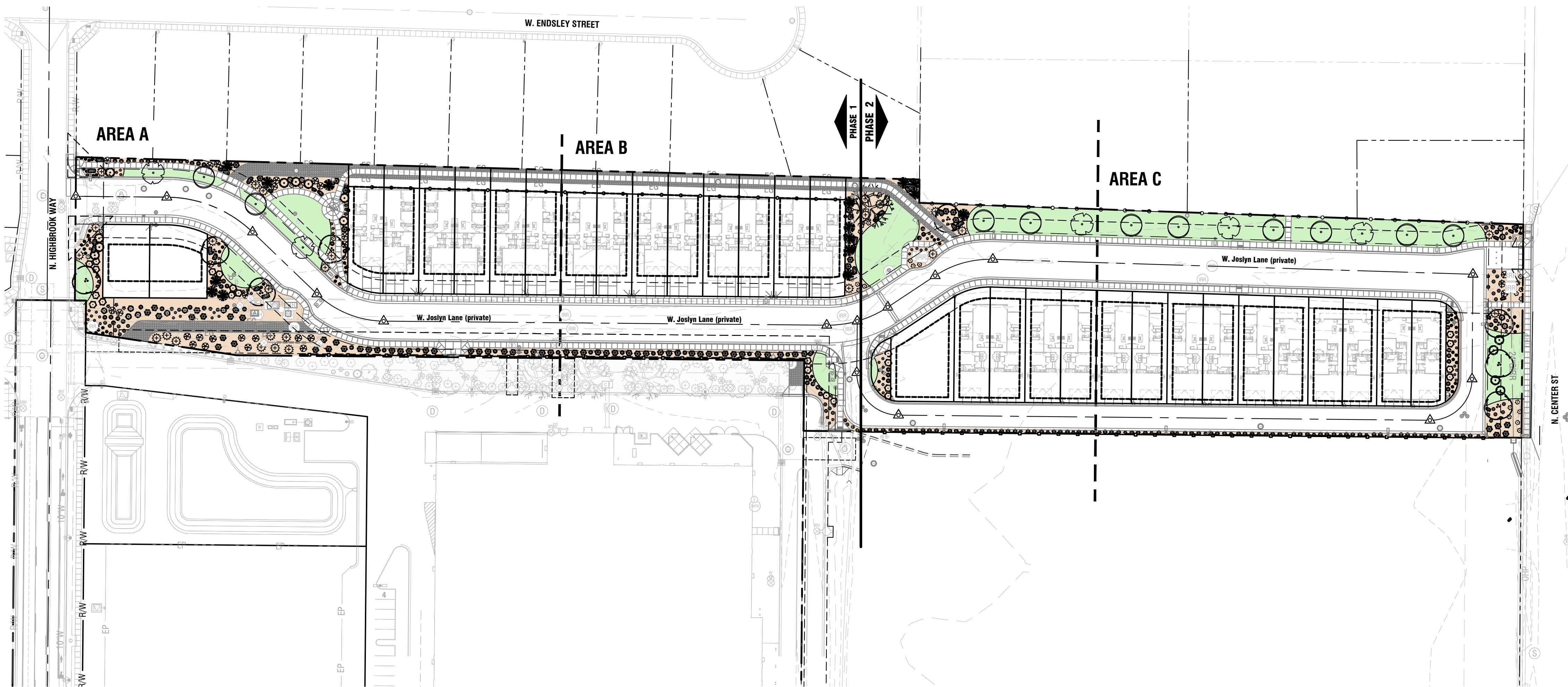
1. NO SLOPES GREATER THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
3. FENCING BY OWNER, BUILDER, OR DEVELOPER.
4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP.
5. NO TREES EXIST ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

Street Tree Notes:

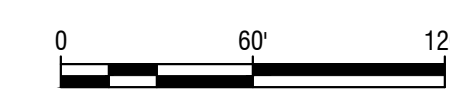
1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY SSWD WATER SERVICE.
2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	REMARKS
TREES					
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	CLASS II; MATURITY: 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM / PRAIRIE SPIRE ASH	2" CAL.	B&B	CLASS II; MATURITY: 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE	2" CAL.	B&B	CLASS III; MATURITY: 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	2" CAL.	B&B	CLASS II; MATURITY: 50' H X 8' W
	PD	PINUS NIGRA 'OREGON GREEN' / OREGON GREEN PINE	6' HT.	B&B	CONIFEROUS; MATURITY: 18' H X 12' W
	QM	QUERCUS MACROCARPA / BURR OAK	2" CAL.	B&B	CLASS III; MATURITY: 50' H X 40' W
SHRUBS					
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM / LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL		MATURITY: 1.5' H X 3.5' W
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL		MATURITY: 2.5' H X 2.5' W
	CA	CORNUS ALBA 'BAILHALD' TM / IVORY HALO DOGWOOD	5 GAL		MATURITY: 5' H X 5' W
	CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL		MATURITY: 4' H X 3' W
	CS	CORNUS ALBA 'SIBIRICA' / REDBARK DOGWOOD	5 GAL		MATURITY: 9' H X 5' W
	EU	EUONYMUS JAPONICUS 'GREENSPIRE' / GREENSPIRE UPRIGHT EUONYMUS	2 GAL		MATURITY: 6' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' / PARDON ME DAYLILY	1 GAL		MATURITY: 2' H X 2' W
	JS	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL		MATURITY: 15H X 3W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' / HILLSIDE CREEPER SCOTCH PINE	2 GAL		MATURITY: 2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	2 GAL		MATURITY: 3' H X 3' W
	PS2	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMER WINE® NINEBARK	5 GAL		MATURITY: 5H X 5W
	RT	RHUS TYPHINA 'BAILTIGER' / TIGER EYE STAGHORN SUMAC	5 GAL		MATURITY: 6W X 6H



Landscape Plan - Overall
 Horizontal Scale: 1" = 60'



Revisions

1.	

06/05/2024
 Project No.: 121064
 Date of Issuance: 05/05/2024
 Project Milestone: Amended Preliminary Plat

Landscape Plan Overall

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 Date Plotted: Wednesday, June 13, 2024 8:12:19 AM

