



CITY OF STAR

LAND USE STAFF REPORT

TO: Mayor & Council

FROM: City of Star – Planning & Zoning Department

MEETING DATE: August 6, 2024

FILE(S) #: FP-24-08, Final Plat, Oliver Estates Subdivision

REQUEST

Applicant is seeking approval of a Final Plat for Oliver Estates Subdivision Phase 1, consisting of 49 residential lots, 8 common lots and 1 limited office lot on 21.76 acres. The subject property is located on the west side of N. Can Ada Road, north of State Street (Hwy44). Canyon County Parcel Number R340000000 & R34000010A1.

APPLICANT:

Ron Peterson
Altecca Construction
503 Thornwood Way
Meridian, Idaho 83642

OWNER:

Oliver Dean Storkan Testamentary Trust
Jeffrey D. Storkan & Lisa A. Storkan
22491 & 22727 N. Can Ada Road
Star, Idaho 83669

REPRESENTATIVE:

Dan Lardie
Leavitt & Associates Engineers, Inc.
1324 1st Street South
Nampa, Idaho 83651

PROPERTY INFORMATION

| | |
|------------------------|------------------------|
| Land Use Designation - | Residential R-3-PUD-DA |
| Acres - | 21.766 acres |
| Residential Lots - | 4 |
| Common Lots - | 4 |
| Light Office Lots - | 1 |
| Commercial Lots - | 0 |

HISTORY

| | |
|-----------------|---|
| April 4, 2023, | Council tabled hearing on applications for Annexation and Zoning (AZ-22-01), Development Agreement (DA-22-01), Planned Unit Development (PUD-22-01) and Preliminary Plat (PP-22-01) for Oliver Estates Subdivision to April 18, 2023. |
| April 18, 2023, | Council approved applications for Annexation and Zoning (AZ-22-01), Development Agreement (DA-22-01), Planned Unit Development (PUD-22-01) and Preliminary Plat (PP-22-01) for Oliver Estates Subdivision. The Preliminary Plat was approved for a maximum of 92 single family residential lots and 1 commercial lot on 37.58 acres. Zoning Designation approved was residential (R-3). |

GENERAL DISCUSSION

The applicant is requesting approval of the Final Plat for Oliver Estates Subdivision consisting of 49 residential lots, 1 light office lot and 9 common lots on 21.76 acres.

The Final Plat layout generally complies with the approved Preliminary Plat.

Staff Reviewed Comments from the Preliminary Plat Approval/Findings of Fact:

PRELIMINARY PLAT:

The Preliminary Plat submitted contains 92 total single family residential lots and 11 common area lots, 2 of which are future roadway/emergency access lots. The plat designates up to 5 lots to be future office uses within the development (Lots 2 & 3, Block 1 and Lots 13, 14 & 15, Block 4). Lot 15, Block 4 is 2.39 acres and will be office use with access directly on Can Ada Road. The existing single-family dwelling and associated out buildings will remain and be utilized by the existing property owner until the office use is established. There is no time frame at this point

for the office use on this lot. The applicant has requested that the other 4 lots would have the option of being developed as either office or residential. If developed as residential, these 4 lots will be part of the total 92 residential lots approved as part of this application. With the 92 total lots, the proposed maximum residential density will not exceed a density of 2.47 dwelling units per acre. The lots will have access and frontage from public streets. Residential lots will range in size from 8,112 square feet to 15,044 square feet with the average buildable lot being 10,103 square feet.

The submitted preliminary plat is showing the local roads with a 50-foot wide right of way with paved streets measuring 36 feet from back of curb to back of curb and five-foot-wide detached sidewalks with an eight-foot-wide planter strip. Primary access for the development will be on W. Storkan Street from N. Can Ada Road. The development will also have emergency access to Stump Lane, a private road to the north of the development. The Applicant is proposing stub streets on the southwest and south of the development for future access and circulation for the area. **The proposed street access on Lot 14 & 46 of Block 1 is shown with attached sidewalks. These will need to be adjusted to mirror the rest of the development with detached sidewalks and eight-foot planter strips.**

The submitted preliminary plat shows the road improvement along Can Ada to have a 5-foot-wide sidewalk. **N. Can Ada Road is classified as a Collector and the Unified Development Code, Section 8-4A-17 requires all sidewalks along Collector roads to be detached with a 7-foot-wide sidewalk and 8-foot-wide planter strip. This will need to be changed to satisfy code requirements.**

A future roadway lot along the entire western boundary of the development is being provided per the requirements of Canyon Highway District 4 for a future public north-south street. Currently, The applicant is providing a common lot with landscaping along the eastern side of this lot.

The Applicant states that 6.02 acres (16.02%) of the development is open space with 3.99 acres (10.61%) open space being usable. This satisfies Section 8-4E-2 of the Unified Development Code.

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of three (3) site amenities. The Applicant indicates a community pool, separate restroom with changing facility and centrally located open areas that are connected by walking paths. **Details are not specific and should be provided to Council at the public hearing and a revised landscape plan will be required, calling out location and type of amenity before the final plat can be signed.**

ADDITIONAL DEVELOPMENT FEATURES:

- Sidewalks
Internal sidewalks are proposed at five-foot (5') widths and to be detached with eight-foot (8') wide planter strips.
- Lighting
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. **The City Code requires all intersections and corners within a development be illuminated by at least one (1) streetlight. The proposed location plan does not satisfy this requirement. Applicant will need to provide an updated location plan prior to signing the final plat. The Applicant has not provided a street light design or cut sheet with this application. This will be required and must be approved by Staff prior to signing the final plat.**
- Street Names
The street names designated on the preliminary plat will need to be approved by City Staff prior to acceptance of the final plat application. *The Applicant shall work with City Staff on this approval process.*
- Subdivision Name
The subdivision name designated on the preliminary plat will need to be approved by City Staff prior to acceptance of the final plat application. *The Applicant shall work with City Staff on this approval process.*
- Landscaping
As required by the Unified Development Code, Chapter 8, Section 8-8C-2- M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for open space and street trees. If street trees are to be planned by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.**
- Setbacks
The applicant is not requesting a setback waiver and will follow the setbacks for the R-3 zone identified in this report.

- Block lengths
All blocks shall meet the 750' block length requirement. **The Applicant is showing the proposed N. Oliver Ave to be longer than 750 feet. This will require waiver approval from Council or traffic calming measures.**
- Mail Clusters
Applicant has provided a letter from Mel Norton, Star Postmaster approving a location for the placement of the developments mail cluster. The letter is part of the application materials.
- Phasing
The applicant has not provided a phasing plan for the development. The City allows for developments to be phased. **The applicant shall submit a phasing plan prior to final plat application.**

PLANNED UNIT DEVELOPMENT:

Through the PUD process, the applicant proposes two land use types within the development including residential and future Light Office. The PUD will allow the proposed uses to be integrated together to provide for pathway connections, parking and landscaping, setbacks and amenities in one approval process. The proposed office uses would make up approximately 9% of the total development, if built out to its maximum potential.

Although the applicant has not provided specific non-residential uses within the application, staff is including some suggested allowances and prohibitions for the Limited Office (LO) uses.

Allowed uses (principally permitted): Artist Studio; Barbershop/Styling Salon; Financial Institutions w/out drive-through; Healthcare and Social Services; Library; Medical Clinic; Personal and Professional Services; Pharmacy; Photographic Studio; Professional Offices; Parks, Public and Private.

Uses Allowed only as Conditional Uses: Arts, Entertainment, Recreation Facility; Bakery-Retail or Manufacturing; Child Care Center (more than 12); Child Care-Preschool/Early Learning; Church or Place of Religious Worship; Drive-up Service Window only; Educational Institution, Private; Museum; Retail Store/Retail Services; Veterinarian Office; Wholesale Sales.

Prohibited Uses in this Development (not already listed as prohibited in the Code): Animal Care Facility; Bar/Tavern/Lounge/Drinking Establishment; Brewpub/Wine Tasting; Building Material, Garden Equipment and Supplies; Civic, Social or Fraternal Organizations; Conference/Convention Center; Convenience Store; Educational Institution, Public; Farmers or Saturday Market; Fireworks Stand; Flex Space; Gasoline, Fueling & Charging Station with or without Convenience

Store; Golf Course/Driving Range; Government Office; Hospital; Laboratory; Laboratory, Medical; Laundromat; Laundry and Dry Cleaning; Nursery, Garden Center and Farm Supply; Nursing or Residential Care Facility; Office Security Facility; Parking Lot/Parking Garage-Commercial; Pawnshop; Portable Classroom/Modular Building; Public Infrastructure; Public Utility major, minor and yard; Research Activities; Restaurant; Retirement Home; Swimming Pool, Commercial/Public; Vehicle Emissions Testing; Warehouse and Storage; Wireless Communication Facility.

Staff Analysis of Final Plat Submittal:

The approved preliminary plat consisted of a maximum of 92 residential lots and 1 light office lot. The plat was also approved with Block 1, Lots 2 & 3 and Block 4, Lots 13 & 14 being approved as either commercial or single-family residential. These lots are being platted as single-family residential lots with the Phase 1 Final Plat, for a total of 49 residential lots, 1 light office lot and 9 common lots. Future phases of Oliver Estates will have 43 single-family residential lots available to plat.

Lot Layout – The density of Oliver Estates a is 2.29 du/acre. The Final Plat indicates lot sizes range in size from 7,826 square feet to 13,164 square feet. The average buildable lot is 9,427 square feet. This is in line with the approved preliminary plat.

Common/Open Space and Amenities – This phase of the development will include internal pedestrian pathways. submitted

Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan notes say street/parkway trees 1 per 70 feet. Code is 1 tree per 35 feet. Notes also say common areas are 1 tree per 8,000 s.f., code is 1 tree per 4,000 s.f. The landscape plan should be updated to code, and any impacts noted on plan and approved by Staff prior to signing the mylar. Lot 9, Block 1 for example is short 2 trees according to the 1 tree per 4,000 square feet code. If street trees are to be planned by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.**

Setbacks – The applicant has not been approved for any special setbacks and the development will comply with the standard setbacks of the R-3 and LO zones as follows:

| Zoning District | Maximum Height Note Conditions | Minimum Yard Setbacks Note Conditions | | | |
|-----------------|-----------------------------------|---|------|---------------|-------------|
| | | Front (1) | Rear | Interior Side | Street Side |
| R-3 | 35' | 15' to Living Area/Side Load Garage. 20' to Garage Face | 15' | 7.5' | 20' |
| LO | 35' | 20' | 10' | 0; | 20' |

Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster.

Street Names – **The street names designated on the preliminary plat will need to be approved by City Staff prior to acceptance of the final plat application. *The Applicant shall work with City Staff on this approval process.***

Subdivision Name – **The subdivision name designated on the preliminary plat will need to be approved by City Staff prior to signing the mylar. *The Applicant shall work with City Staff on this approval process.***

Lighting - Streetlights shall reflect the “Dark Sky” criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. **The Applicant has not provided a street light design or cut sheet with this application. This will be required and must be approved by Staff prior to submittal of the final plat application.**

Fencing – Applicant is proposing a 6-foot solid tan vinyl fence around the perimeter of the development. The interior fencing, along common areas will be 6-foot wrought iron fencing. Fencing will be installed as per plans.

Sidewalks - Internal sidewalks are proposed at five-foot (5') widths and to be detached with eight-foot (8') wide planter strips.

The submitted preliminary plat shows the road improvement along Can Ada to have a 5-foot-wide sidewalk. **N. Can Ada Road is classified as a Collector and the Unified Development Code, Section 8-4A-17 requires all sidewalks along Collector roads to be detached with a**

7-foot-wide sidewalk and 8-foot-wide planter strip. This will need to be changed to satisfy code requirements. Unable to determine from this set of plans if this has been corrected.

PUBLIC NOTIFICATIONS

Notifications of this application were sent to agencies having jurisdiction on July 11, 2024.

Highway District #4
DEQ

June 5, 2024 & July 30, 2024
July 24, 2024

FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve this Final Plat, the Unified Development Code requires that Council must find the following:

A. The Plat is in conformance with the Comprehensive Plan.

The Council finds that this subdivision upon Preliminary Plat approval was in conformance with the Comprehensive Plan; no changes have been made to change this status.

B. Public services are available or can be made available and are adequate to accommodate the proposed development.

Staff finds that all public services are available and able to accommodate this development.

C. There is public financial capability of supporting services for the proposed development.

Staff knows of no financial hardship that would prevent services from being provided.

D. The development will not be detrimental to the public health, safety or general welfare; and,

Staff finds no facts to support that this subdivision phase will be detrimental to the public health, safety or general welfare.

E. The development preserves significant natural, scenic or historic features.

Staff finds that existing conditions have not substantially changed from the approved Preliminary Plat of this subdivision.

CONDITIONS OF APPROVAL

Conditions included in the Findings of Fact & Development Agreement.

- **Residential Uses** – The Property is hereby approved for a maximum of 92 residential lots. Lots 2 & 3, Block 1 and Lots 13 & 14, Block 4 of the approved Preliminary Plat have the option of being residential or non-residential. Single-Family Dwellings consistent with the building elevations illustrated in **Exhibit C** shall be constructed on all residential lots.

- **Commercial Uses**– The property is hereby approved for non-residential uses on specific lots. Lot 15, Block 4 is hereby approved as a non-residential use only. Lot 15 may remain as residential for the current residence. Lots 2 & 3, Block 1 and Lots 13 & 14, Block 4 of the approved Preliminary Plat have the option of being residential or non-residential. Uses on the non-residential lots are as follows:
 - **Allowed uses (principally permitted):** Artist Studio; Barbershop/Styling Salon; Financial Institutions w/out drive-through; Healthcare; Library; Medical Clinic; Personal and Professional Services; Pharmacy; Photographic Studio; Professional Offices; Parks, Public and Private.
 - **Uses Allowed only as Conditional Uses:** Arts, Entertainment, Recreation Facility; Bakery-Retail or Manufacturing; Child Care Center (more than 12); Child Care-Preschool/Early Learning; Church or Place of Religious Worship; Drive-up Service Window only; Educational Institution, Private; Museum; Retail Store/Retail Services; Veterinarian Office; Wholesale Sales;
 - **Prohibited Uses in this Development (not already listed as prohibited in the Code):** Animal Care Facility; Bar/Tavern/Lounge/Drinking Establishment; Brewpub/Wine Tasting; Building Material, Garden Equipment and Supplies; Civic, Social or Fraternal Organizations; Conference/Convention Center; Convenience Store; Educational Institution, Public; Farmers or Saturday Market; Fireworks Stand; Flex Space; Gasoline, Fueling & Charging Station with or without Convenience Store; Golf Course/Driving Range; Government Office; Hospital; Laboratory; Laboratory, Medical; Laundromat; Laundry and Dry Cleaning; Nursery, Garden Center and Farm Supply; Nursing or Residential Care Facility; Office Security Facility; Parking Lot/Parking Garage-Commercial; Pawnshop; Portable Classroom/Modular Building; Public Infrastructure; Public Utility major, minor and yard; Research Activities; Restaurant; Retirement Home; Swimming Pool, Commercial/Public; Vehicle Emissions Testing; Warehouse and Storage; Wireless Communication Facility.

Additional Requirements:

- Sidewalk adjacent to Can Ada Road shall be detached with a 7-foot-wide sidewalk and 8-foot-wide planter strip.
- Lots 4-8, 23-28 and 48-50, Block 1 of the approved Preliminary Plat shall be limited to single-story homes.
- The Right to Farm Act shall be included as a note on the final plat.
- Any pond amenities with standing water shall provide life safety rings and aeration.
- Applicant shall work with CHD4 to provide potential center left turn lane on Can Ada Road. CHD4 shall provide a letter to the City regarding the lane.
- The Applicant shall work with the southern neighbor (Hatfield) to come up with a reasonable plan for fencing and the irrigation pipe along the southern boundary of the subdivision.
- The Applicant shall provide internal split-rail fencing adjacent to common areas within the development.
- The Applicant shall be responsible for mitigation fees for the future signal light as Can Ada Road and W. State Street as determined by CHD4.
- The subdivision shall be responsible for maintaining historic drainage on the property and as it relates to adjacent properties.
- The Council has approved non-residential uses per Staff recommended uses (omitting Social Services as an allowed use).
- Where necessary, livestock rated fencing shall be used along the perimeter of the development adjacent to existing agricultural uses.
- Any pond amenities with standing water shall provide life safety rings and aeration.
- Applicant shall work with CHD4 to provide potential center left turn lane on Can Ada Road. CHD4 shall provide a letter to the City regarding the lane.
- The Applicant shall be responsible for mitigation fees for the future signal light as Can Ada Road and W. State Street as determined by CHD4. This fee shall be paid to the City prior to signature of the final plat.
- The subdivision shall be responsible for maintaining historic drainage on the property and as it relates to adjacent properties.
- Historic drainage shall be maintained at all times on the property and for adjacent properties.

Additional Conditions of Approval

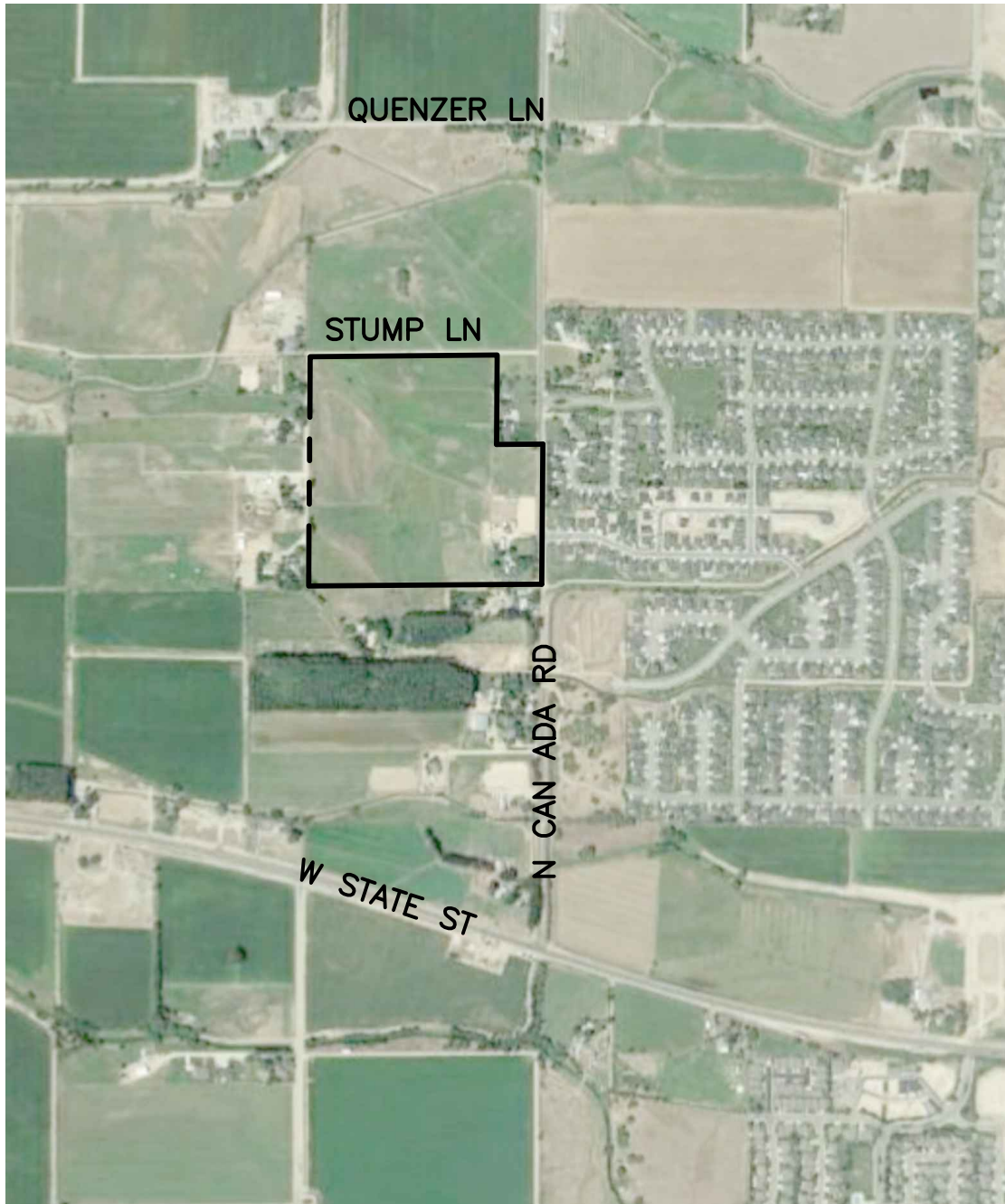
1. The approved Final Plat for Oliver Estates Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **Per the Development Agreement and prior to signing the final plat, developer is to pay the traffic mitigation fee required by the Idaho Transportation Department. The developer will pay the city \$1,000 per buildable lot within each phase prior to signature on the final plat for the applicable phase, capped at \$92,000. Phase 1 is due \$49,000 (49 residential lots x \$1000) to be paid before signing the final plat.**
3. **Lot 9, Block 1 will need 2 more shade trees, to be verified prior to signing the final plat.**
4. **Street names shall be approved by the City of Star and Canyon County and reflected accurately on the final plat prior to signing the mylar.**
5. **The Applicant shall provide a cut sheet/design for streetlights to be approved by City Staff prior to submittal of the final plat application.**
6. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan notes say street/parkway trees 1 per 70 feet. Code is 1 tree per 35 feet. Notes also say common areas are 1 tree per 8,000 s.f., code is 1 tree per 4,000 s.f. The landscape plan should be updated to code, and any impacts noted on plan and approved by Staff prior to signing the mylar. Lot 9, Block 1 for example is short 2 trees according to the 1 tree per 4,000 square feet code. If street trees are to be planned by the builder, the Certificate of Occupancy may be withheld pending confirmation that the correct number and species of tree(s) have been planted.**
7. All public streets shall have a minimum street width of 36' and shall be constructed to ACHD standards.
8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be satisfactorily weed abated at all times, preventing a public nuisance, per Star City Code Chapter 3, Section 3-1-1 through 3-1-7.
9. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. Failure to comply with the above may result in a stop work order being issued until the violations are remedied, and/or revocation of preliminary plat/final plat approvals.

10. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. The approved Preliminary Plat shall comply with the City of Star Unified Development Code regarding landscaping, both internal buffers and frontages. (See Section 8-4 B Landscaping Requirements)
13. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
14. **Streetlight** design shall follow Code with requirements for light trespass and "Dark Skies" lighting. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed prior to issuing any building permits and may require shielding after installation to prevent any light trespass, as required.**
15. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance.
16. Requested surety shall be required at 150% of the total estimated installed cost, as approved by the City Engineer or Administrator. The term of approval shall not exceed 180 days. (See Section 8-1 C-1 of the Unified Development Code for a list of eligible items.)
17. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met.
18. A separate sign application is required for any subdivision sign.
19. As built plans for pressurized irrigation systems shall be submitted to the City of Star **prior to signature of the final plat.**
20. Applicant shall provide the City with two (2) full size and two (1) 11"x17" copy of the signed recorded final plat with all signatures, prior to any building permits being issued.
21. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
22. The mylar/final plat shall be signed by the owner, Surveyor, Central District Health, ACHD and City Engineer, prior to being delivered to the City of Star for City Clerk's signature.
23. All common areas shall be maintained by the Homeowners Association.
24. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
25. A copy of the recorded CC&R's shall be submitted to the City of Star prior to any building permits being issued.

26. **Prior to signature of the final plat**, a signed Irrigation District Agreement with the Irrigation Districts shall be provided to the City of Star. This requirement shall be with each subsequent Final Plat application.
27. Any additional Condition of Approval as required by Staff and City Council.

| |
|-------------------------|
| COUNCIL DECISION |
|-------------------------|

The Star City Council _____ File # FP-24-08 Oliver Estates Subdivision, Phase 1 Final Plat, on _____, 2024.



T:\SUBDIVISIONS\Oliver Estates - SD1001001\Drawings\Oliver Estates Preliminary Plat-3

| | | |
|--|---|-----------------------------|
| Title: VICINITY MAP | | |
| Owner: ALTECCA CONSTRUCTION 503 S. THORNWOOD WAY MERIDIAN, IDAHO 83642 (208) 502-0758 | Project: OLIVER ESTATES SUBDIVISION | Scale: 1" = 1000' |
| Job Number: SD100.001 | Designed by: PDL | Drawn by: PDL |
| | Checked by: NJP | |



LEAVITT & ASSOCIATES
ENGINEERS, INC.
STRUCTURAL * CIVIL
SURVEYING

1324 FIRST STREET SOUTH, NAMPA, IDAHO 83651
PHONE (208)463-0333/463-7670 FAX (208)463-9040



**LEAVITT
ENGINEERING**

Structural / Civil / Materials Handling / Planners / Surveyors

June 17, 2024

City of Star
Planning and Zoning Department
10769 W. State Street
Star, Idaho 83666

RE: Oliver Estates Subdivision, Final Plat

Dear Planning and Zoning Commissioners,

We are requesting approval of the final plat for Oliver Estates Subdivision No. 1. Oliver Estates Subdivision has been designed to be in substantial conformance of the approved Preliminary Plat and Planned Unit Development approved April 18, 2023.

Oliver Estates Subdivision NO. 1 consists of approximately 21.76 acres divided into 60 lots, 49 residential lots, 1 existing lot (future L-O) and 8 common lots yielding a density of 2.29 units/acre. The 8 common lots total 4.05 acres or approximately 18.6% open space with 2.4% to be used for drainage. Amenities provided for in this phase of the subdivision are internal pedestrian pathways. Setbacks approved with the preliminary plat are: Front 20', 15' to living area; Rear 15'; Interior Side 7.5'; Street Side 20'. Residential lot sizes range from the smallest lot of 7,826 sf (0.17ac) to the largest lot of 13,164 sf (0.30ac). The average residential lot size is 9,427sf (0.22 ac).

Oliver Estates Subdivision NO. 1 will take access off of N. CanAda Road. Sewer and water service will be provided by Star Sewer and Water District via a temporary sewer lift station and extensions of the water main within N. CanAda Road. Pressure irrigation will be supplied by Middleton Mill Irrigation District via a pump station constructed within phase 1 to be owned and maintained by the home owner's association.

We respectfully request the approval of the final plat of Oliver Estates Subdivision No. 1.

Kind Regards,

Dan Lardie

Engineering the World / Licensed in all 50 States

1324 1st Street So., Nampa, ID 83651
208.463.0333 Fax: 208.463.9040
leavittengineers.com



FINAL PLAT APPLICATION

***All information must be filled out to be processed.

| |
|---|
| FILE NO.: <u>FP-24-08</u> |
| Date Application Received: <u>06-10-24</u> Fee Paid: <u>\$2990.00</u> |
| Processed by: City: <u>Barbara Norgrove</u> |

Applicant Information:

PRIMARY CONTACT IS: Applicant Owner Representative

Applicant Name: Ron Petereson (Altecca Construction)
Applicant Address: 503 Thornwood Way, Meridian, Idaho Zip: 83642
Phone: 208-502-0758 Email: ron@altecca.com

Owner Name: Oliver Dean Storkan Testamentary Trust, Jeffrey D. Storkan and Lisa A. Storkan
Owner Address: 22491 and 22727 N Can Ada Road, Star, Idaho Zip: 83669
Phone: _____ Email: _____

Representative (e.g., architect, engineer, developer):
Contact: Dan Lardie Firm Name: Leavitt & Associates Engineers, Inc
Address: 1324 1st Street South, Nampa, Idaho Zip: 83651
Phone: 208-463-0333 Email: dl@leavittengineers.com

Property Information:

Subdivision Name: Oliver Estates Phase: 1

Parcel Number(s): 340000000 & 34000010A1

Approved Zoning: R-3-PUD Units per acre: 2.29 Units/acre

Total acreage of phase: 21.76 Total number of lots: 60

Residential: 49 Commercial: 1 L-O (existing) Industrial: 0

Common lots: 8 Total acreage of common lots: 4.05 Percentage: 18.6%

Percent of common space to be used for drainage: 2.4% Acres: 0.53 ac

Special Flood Hazard Area: total acreage 0 number of homes 0

Changes from approved preliminary plat pertaining to this phase:

| | Preliminary Plat | Final Plat |
|-----------------------------|-------------------|--------------|
| Number of Residential Lots: | <u>49</u> | <u>49</u> |
| Number of Common Lots: | <u>8</u> | <u>8</u> |
| Number of Commercial Lots: | <u>1-L-O</u> | <u>1-L-O</u> |
| Roads: | <u>Stump Lane</u> | |

Amenities: Pedestrian pathway _____

Flood Zone Data: (This Info Must Be Filled Out Completely Prior to Acceptance): _____

Subdivision Name: Oliver Estates Phase: 1

Special Flood Hazard Area: total acreage 0 number of homes 0

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxC, 160xxxxxE, etc.: 16027c0259G
 FIRM effective date(s): mm/dd/year 06/07/2019
 Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X
 Base Flood Elevation(s): AE .0 ft., etc.: _____
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

Application Requirements: _____

(Applications are required to contain one copy of the following unless otherwise noted.)

| Applicant (✓) | Description | Staff (✓) |
|------------------|--|--------------|
| | Completed and signed copy of Final Plat Application | BN |
| | Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments. | BN |
| | Electronic copy of letter of intent and statement of compliance (or substantial compliance) with the approved Preliminary Plat and Conditions of Approval. The letter of intent shall include the following: <ul style="list-style-type: none"> • Gross density of the phase of the Final Plat submitted • Lot range and average lot size of phase • Description of approved open space being provided in the submitted phase including percentage of overall open space, number and type of approved amenities • List any specific approved building setbacks previously approved by Council. | BN |
| | Electronic copy of legal description of the property (word.doc and pdf version with engineer's seal and closure sheet) | BN |
| | Electronic copy of current recorded warranty deed for the subject property | BN |
| | If the signature on this application is not the owner of the property, an original notarized statement (affidavit of legal interest) from the owner stating the applicant and/or representative is authorized to submit this application. | |
| | Electronic copy of subdivision name approval from Ada County Surveyor's office. | |
| | Copy of the "final" street name evaluation/approval or proof of submittal request from Ada County Street Naming | |
| | Electronic copy of vicinity map showing the location of the subject property | |
| | One (1) 24" X 36" paper copy of the Final Plat & Electronic Copy** | |
| | One (1) 11" X 17" paper copy of the Final Plat | |
| | Electronic copy of the Final landscape plan** | |

| | | |
|--|--|--|
| | One (1) 11" X 17" copy of the Final landscape plan | |
| | Electronic copy of site grading & drainage plans** | |
| | Electronic copy of originally approved Preliminary Plat** | |
| | Electronic copy of a Plat with all phases marked with changes, if applicable** | |
| | Electronic copy of final engineering construction drawings, stamped and signed by a registered engineer** | |
| | Storm drainage calculations must be submitted for <u>private</u> streets/drives and parking areas within subdivisions** | |
| | Electronic copy of streetlight design and location information | |
| | Special Flood Information – Must be included on Preliminary/Final Plat and Application form. | |
| | Electronic copy of all easement agreements submitted to the irrigation companies | |
| | Electronic copy of the proposed Covenants, Conditions, & Restrictions (CC&R's) | |
| | One (1) copy of Electronic versions of submitted applications, including signed Final Plat Application, legal description, recorded warranty deed, vicinity map, final plat, landscape plan, site grading & drainage plans, copy of original Preliminary Plat, plat with phases marked, engineering construction drawings, storm drainage calculations, streetlight design and location, and signed irrigation agreements, CC&R's <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type.</u> | |
| | <p>Upon Recording of Final Plat, the applicant shall submit the following to the Planning Department prior to building permit issuance:</p> <ul style="list-style-type: none"> • One (1) 11" X 17" and (1) 18" X 24" recorded copy of Final Plat • Electronic copy of final, approved construction drawings • Electronic copy of as-built irrigation plans • Electronic copy of recorded CC&R's • Proof of required Construction Sign installation at entrance to development (as conditioned in Preliminary Plat approval) – Picture of installed sign • Electronic copies shall be submitted in pdf format on a thumb drive with the files named with project name and plan type. **Original pdf's are required for all plans – No Scanned PDF's please. | |
| | **NOTE: No building permits will be issued until property is annexed into the Star Sewer & Water District and all sewer hookup fees are paid. | |

FEE REQUIREMENT:

*** I have read and understand the above requirements. I further understand fees are due at the time of filing. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.*


 Applicant/Representative Signature

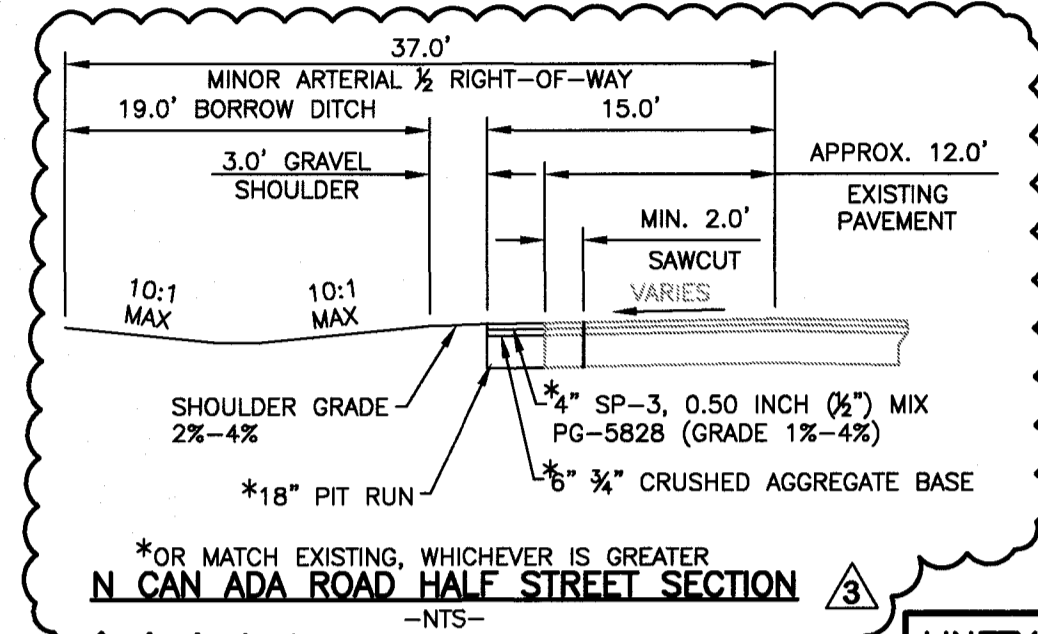
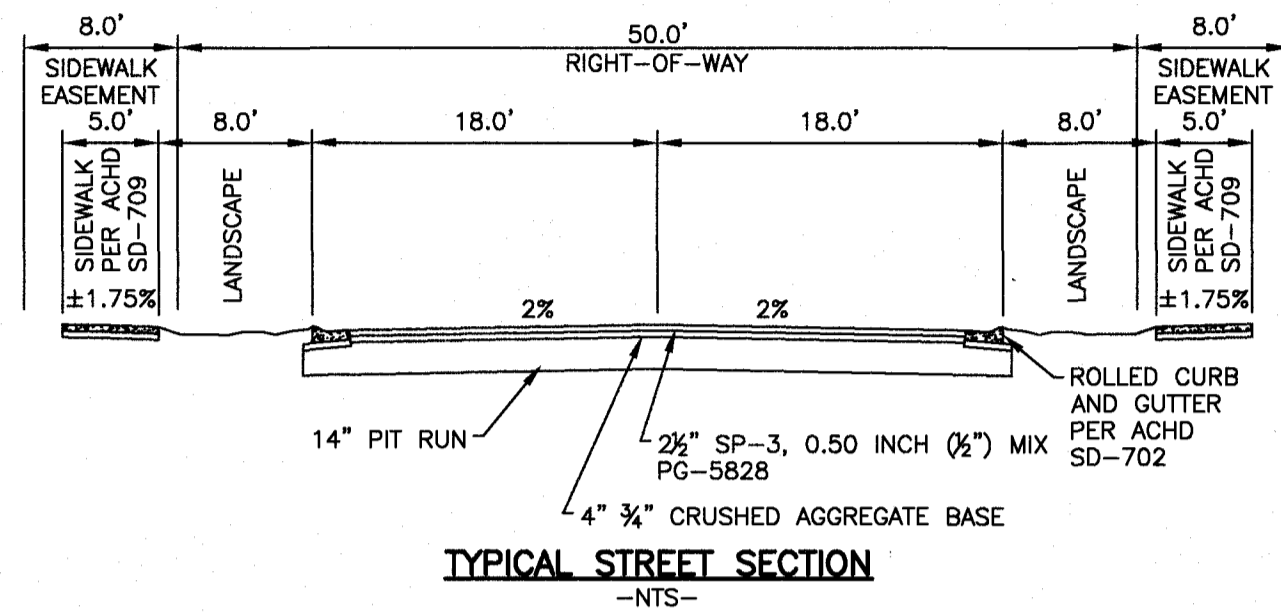
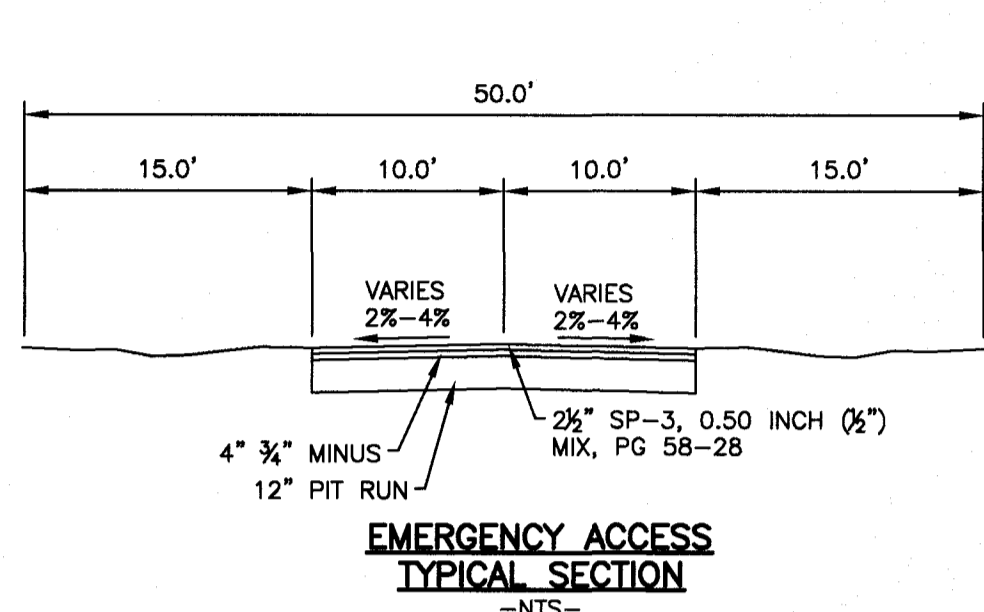
June 04 2024
 Date

OLIVER ESTATES SUBDIVISION (PLANNED UNIT DEVELOPMENT) PRELIMINARY PLAT

T.4N, R.2W, SEC. 12, BOISE MERIDIAN STAR, CANYON COUNTY, IDAHO

NOTES:

1. CURRENT ZONING IS COUNTY, AGRICULTURAL.
2. PROPOSED ZONING IS R-3 PUD.
3. SANITARY SEWER LIFT STATION WILL BE INSTALLED NEAR THE NORTHEAST CORNER OF THE PROPERTY AND WILL INTERCONNECT WITH CENTRAL SEWER BY STAR SEWER AND WATER IN THE FUTURE.
4. THE WATER SYSTEM WILL INTERCONNECT WITH THE CENTRAL WATER MAIN BY STAR SEWER AND WATER IN N CAN ADA RD.
5. ALL LOTS WITHIN THIS SUBDIVISION SHALL BE SERVED WITH A NEW PRESSURE IRRIGATION STRUCTURE.
6. ALL LOTS HAVE A 5 FOOT UTILITY EASEMENT ON THE SIDES, A 10 FOOT UTILITY EASEMENT ON REAR LOT LINES, AND A 10 FOOT UTILITY EASEMENT IN THE FRONT.
7. LOTS 1, 9, 13, 15, 30, AND 47 BLOCK 1, LOT 5 BLOCK 2, LOT 5 BLOCK 3, AND LOT 16 BLOCK 4 WILL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA).
8. LOTS 14 AND 46 BLOCK 1 ARE DESIGNATED AS FUTURE RIGHT-OF-WAY LOTS.
9. ALL STORM DRAINAGE FACILITIES SHALL BE OWNED AND MAINTAINED BY THE HOA.
10. LOTS 4-8, 23-28, AND 48-50 BLOCK 1 SHALL BE RESTRICTED TO SINGLE STORY HOMES.
11. LOTS 2-3 BLOCK 1 AND 13-14 BLOCK 4 SHALL BE ZONED L-O.
12. LOT 15 BLOCK 4 SHALL BE DESIGNATED AS A FUTURE L-O ZONING.
13. PROPERTY IS NOT LOCATED IN A FLOODPLAIN PER FIRM MAP 16027C0259G DATED JUNE 7, 2019.
14. THE HOMEOWNERS ASSOCIATION OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ANY AND ALL AMENITIES (LAWNS, SIDEWALKS, LANDSCAPING, ETC) APPROVED BY THE DISTRICT TO BE WITHIN THE PUBLIC RIGHT OF WAY.
15. THE HOMEOWNERS ASSOCIATION, UNDERLYING PROPERTY OWNER OR ADJACENT PROPERTY OWNER IS RESPONSIBLE FOR ALL STORM DRAINAGE FACILITIES OUTSIDE THE PUBLIC RIGHT OF WAY, INCLUDING ALL ROUTINE AND HEAVY MAINTENANCE.
16. LOCATION OF UTILITIES PLACED WITHIN CAN ADA ROAD AND REPAIRS REQUIRED SHALL BE COORDINATED WITH ACID AND CANYON HIGHWAY DISTRICT 4.



DEVELOPMENT DATA

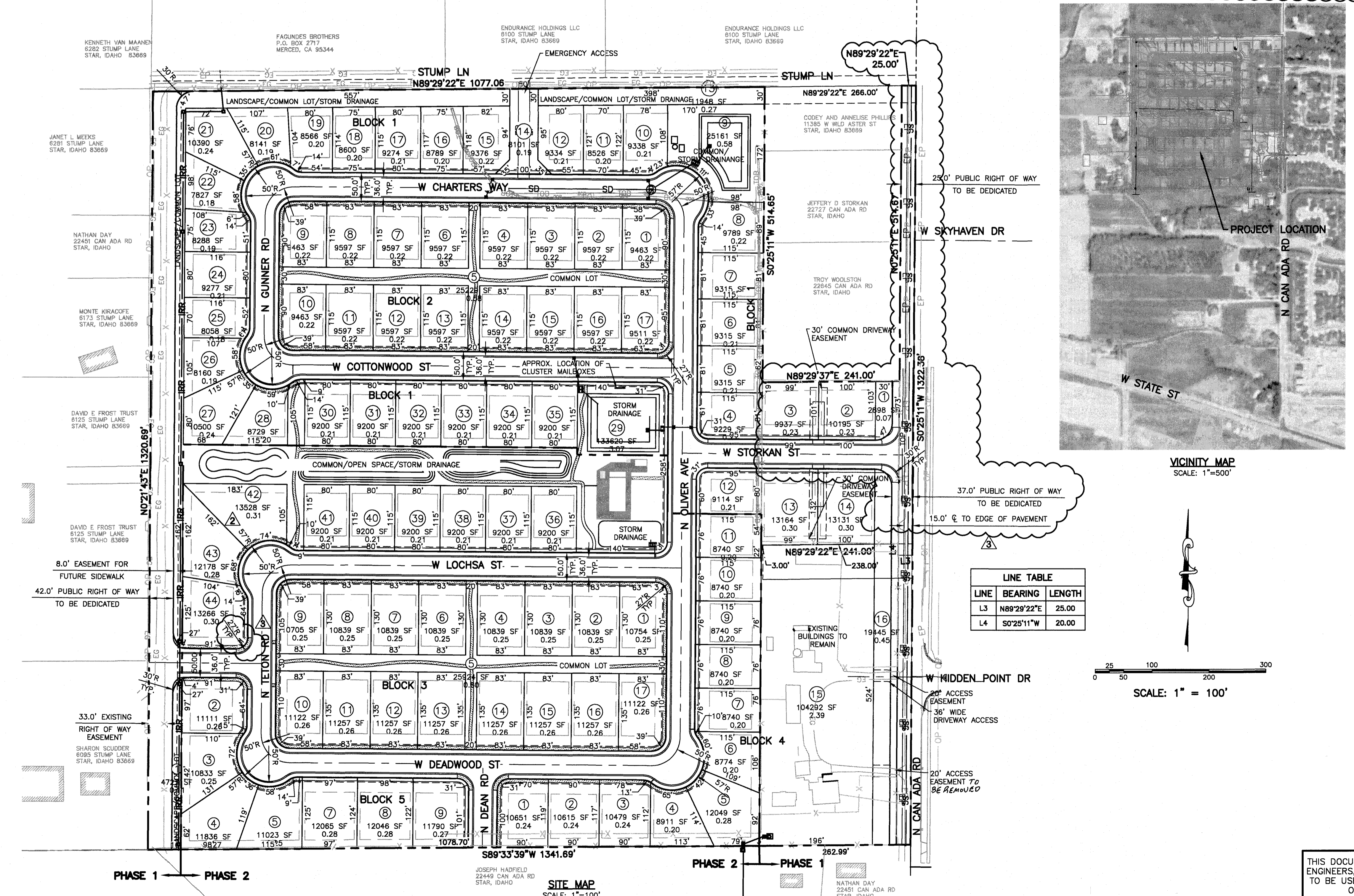
ANNEXATION: REQUIRED
 PROPOSED ZONING: R-3 PUD
 CURRENT ZONING: AG (AGRICULTURAL, CANYON COUNTY)
 TOTAL AREA: 37.58 AC
 TOTAL LOTS: 104
 RESIDENTIAL LOTS: 92
 LIMITED OFFICE (L-0): 1 (EXISTING DWELLING LOT)
 EXISTING DWELLING: 1 (FUTURE L-0)
 RIGHT OF WAY AREA: 6.41 AC
 MINIMUM LOT SIZE: 8,112 SQFT.
 GROSS DENSITY DWELLINGS/ACRE: 2.47 DU/AC (93DU/37.58AC)
 NET DENSITY DWELLINGS/ACRE: 3.69/AC (93DU/25.15AC)
 AVERAGE BUILDABLE LOT AREA: 10,103 SQFT.
 REQUIRED OPEN SPACE: 245,535 SQFT. = 5.637AC (15.00%)
 OPEN SPACE SHOWN: 262,195 SQFT. = 6.019AC (16.02%)
 REQUIRED QUALIFIED OPEN SPACE: 163,690 SQFT. = 3.757AC (10.00%)
 QUALIFIED OPEN SPACE SHOWN: 173,695 SQFT. = 3.987AC (10.61%)

LEAVITT & ASSOCIATES ENGINEERS, INC.

STRUCTURAL * CIVIL SURVEYING

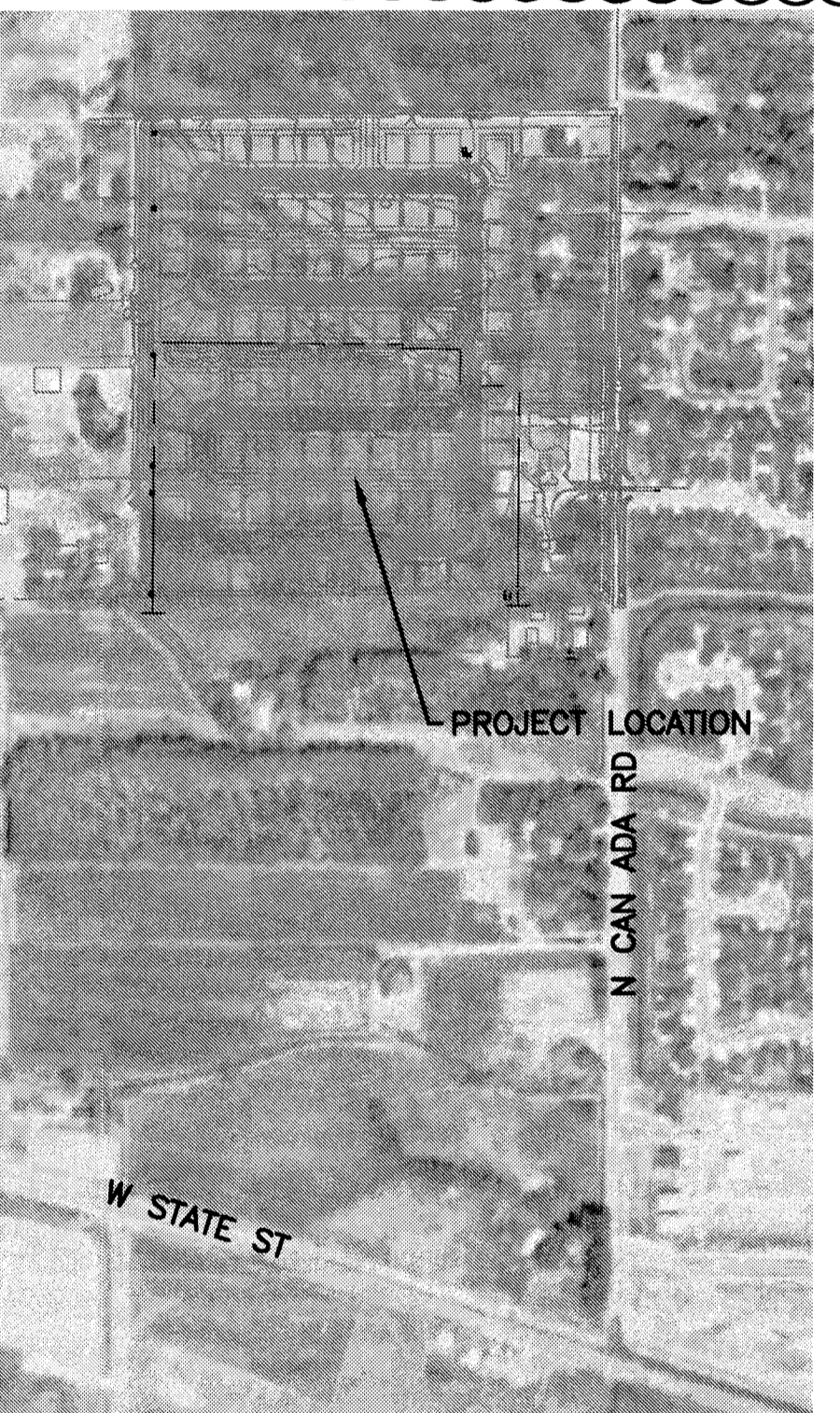
1924 EAST STREET SOUTH, Nampa, Idaho 83851
 PHONE (208) 463-9900 FAX (208) 463-9940
 EMAIL NP@LEAVITTEENGINEERS.COM

Checked by: [Signature]
 Date: 2/28/2024
 Original: [Signature]
 An original document is on file at the office of Leavitt & Associates Engineers, Inc.



LINE TABLE

| LINE | BEARING | LENGTH |
|------|-------------|--------|
| L3 | N89°29'22"E | 25.00' |
| L4 | S0°25'11"W | 20.00' |



| LINETYPES: | SYMBOLS: |
|------------|-----------------------------|
| [Symbol] | EXISTING CURB & GUTTER |
| [Symbol] | CONSTRUCT CURB & GUTTER |
| [Symbol] | EXISTING SANITARY SEWER |
| [Symbol] | INSTALL SANITARY SEWER MAIN |
| [Symbol] | INSTALL SEWER SERVICE |
| [Symbol] | EXISTING STORM DRAIN |
| [Symbol] | INSTALL STORM DRAIN MAIN |
| [Symbol] | EXISTING WATER MAIN |
| [Symbol] | INSTALL WATER MAIN |
| [Symbol] | APPROXIMATE JOINT TRENCH |
| [Symbol] | EXISTING PRESSURE IRR. |
| [Symbol] | INSTALL PRESSURE IRR. MAIN |
| [Symbol] | EXISTING GRAVITY IRRIGATION |
| [Symbol] | INSTALL GRAVITY IRR. MAIN |
| [Symbol] | LOT LINE |
| [Symbol] | BOUNDARY/PHASE LINE |
| [Symbol] | CENTER LINE |
| [Symbol] | EASEMENT LINE |
| [Symbol] | EXISTING CONTOUR |
| [Symbol] | 2547 |
| [Symbol] | 2550 |
| [Symbol] | EXISTING EDGE OF PAVEMENT |
| [Symbol] | EXISTING OVERHEAD POWER |
| [Symbol] | EXISTING FIBER OPTICS |
| [Symbol] | EXISTING TELEPHONE |
| [Symbol] | G |
| [Symbol] | UP |
| [Symbol] | TOB |
| [Symbol] | TOP |
| [Symbol] | TOE |
| [Symbol] | EP |
| [Symbol] | EG |
| [Symbol] | SC |
| [Symbol] | SWALE FLOW LINE |

OLIVER ESTATES SUBDIVISION PRELIMINARY PLAT

Checked by: [Signature]
 Date: 01/07/22
 Original: [Signature]
 An original document is on file at the office of Leavitt & Associates Engineers, Inc.

OLIVER ESTATES SUBDIVISION STAR, IDAHO

OWNER/DEVELOPER:
 ALTECCA CONSTRUCTION WAY
 503 S. THORNWOOD WAY
 MERIDIAN, ID 83642
 PHONE (208) 502-0758
 DUANE@ALTECCA.COM

ABBREVIATIONS:

| | | | |
|------|--------------------------------|------|------------------------------|
| BRG | BEARING | NF | NEAR FACE |
| CL | CENTER LINE | OP | OVERHEAD POWER |
| CLR | CLEAR | OPP | OPPOSITE |
| EG | EDGE OF GRAVEL | P/L | PROPERTY LINE |
| EL | ELEVATION | PC | POINT OF CURVE |
| EP | EDGE OF PAVEMENT | PI | PRESSURE IRRIGATION |
| FF | FINISHED FLOOR | PT | POINT OF TANGENT |
| FL | FLOW LINE | S | SANITARY SEWER |
| FS | FINISHED SURFACE | SD | STORM DRAIN |
| G.B. | GRADE BREAK | STA. | STATION |
| IRR | GRAVITY IRRIGATION | TBC | TOP BACK CURB |
| INV. | INVERT | TEL | TELEPHONE UTILITY |
| LT | LEFT | TYP. | TYPICAL |
| ME | MATCH EXISTING | W | WATER |
| MJ | MECHANICAL JOINT | | |
| BVCS | BEGIN VERTICAL CURVE STATION | EVCS | END VERTICAL CURVE STATION |
| BVCE | BEGIN VERTICAL CURVE ELEVATION | EVCE | END VERTICAL CURVE ELEVATION |

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

| REV. | DATE | DESCRIPTION | BY |
|------|----------|-------------------------------------|-----|
| 1 | 03/20/24 | REV. PER CHD4 COMM. DATED 1/17/2023 | DL |
| 2 | 10/03/23 | REV. PER CHD4 COMM. DATED 2/21/2023 | DL |
| 3 | 04/05/22 | UPDATED DENSITY AND AMENITIES | DL |
| 4 | 01/11/22 | ISSUED FOR APPROVAL | NJP |

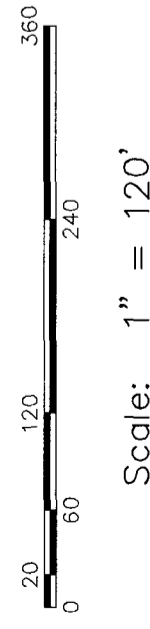
Scale: 1"=100'

Sheet Number: 1

T:\SUBDIVISIONS\Oliver Estates - SD1001001\Drawings\Oliver Estates Preliminary Plat-3

Plat Showing Oliver Estates Subdivision No. 1

Situated in the Southeast Quarter of the Northeast Quarter of
Section 12, Township 4 North, Range 2 West, Boise Meridian,
City of Star, Canyon County, Idaho.
2024

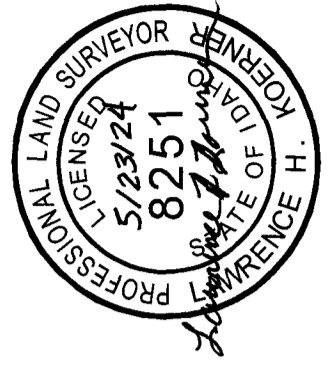


Legend

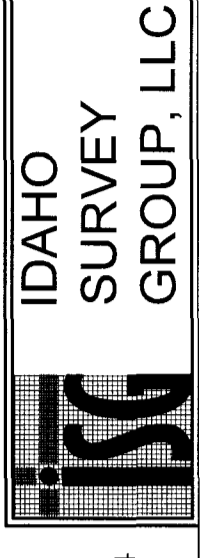
- Found 1/2" Iron Pin, "PLS 5291", Reset with Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG PLS 8251"
- Found 5/8" Iron Pin, as Noted
- Found Aluminum Cap Monument
- Set 1/2" x 24" Iron Pin with Plastic Cap, "ISG PLS 8251"
- Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG PLS 8251"
- Set 1/2" x 24" Iron Pin with Plastic Cap, "ISG ESMT PLS 8251"
- ① Lot Number
- W.C. Witness Corner
- C37 Easement Dimension

- Subdivision Boundary Line
- Lot/Parcel Line of Record
- Tie Line
- Right-of-Way Line
- Lot Line
- Section Line
- Centerline
- Easement Line (See Note 2)
- Access Easement Line (See Note 3)
- Sewer Lift Station Easement Area (See Note 14)
- Storm Drain Easement Area (See Note 14)
- Sewer and Water Easement Area (See Note 15)

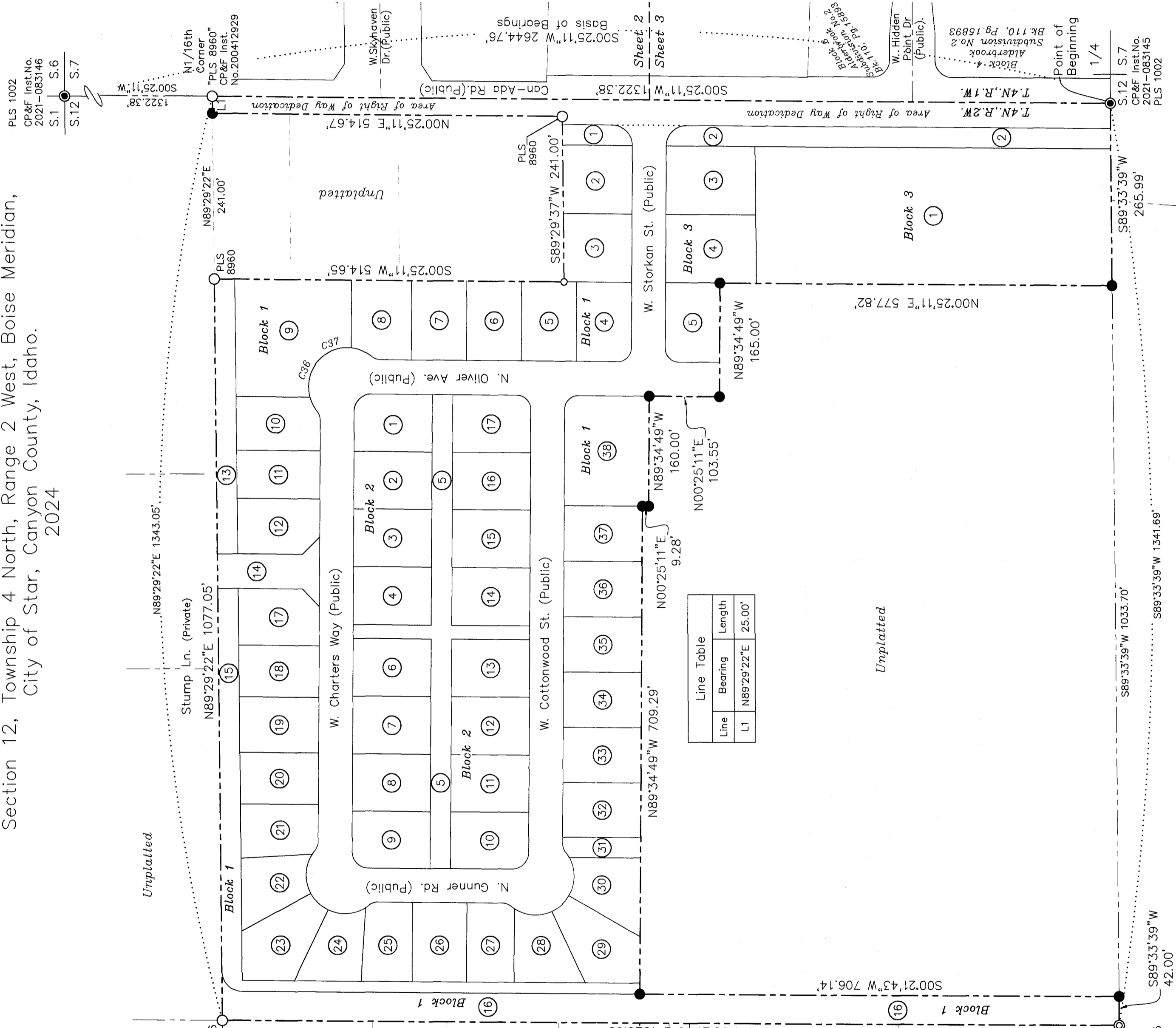
Reference Documents:
Deed Inst. No.'s: PRD 2019-034160, PRD 2019-021018, QCD 2007049782, QCD 2007049783, QCD 9830528, QCD 9830527, WD 2007003591, WD 9317958, WD 9306832, WD 9218131, & WD 746712.
Easement Inst. No.'s: 2020-010023, JUMA 9016016, & 9310914, ROS No.'s: 568 (Add), 9901677, 9906387, 200433774, 2004144595, 2007049781, 2007041520, 200550837, & 9522639.
Subdivisions: Tucana Sky Subdivision, Silkwood Subdivision, & Alderbrook Subdivision No. 2.
Surveyor's Narrative:
The purpose of this survey is to subdivide the property shown hereon. This survey is a retracement of ROSs 9906387, 2004144595, 2007041520, & 2007049781. The monuments were found to be in substantial conformance with those surveys. The source of the Bearing is Record of Survey 2004144595, S0025'11"W between the section corner and the quarter-section corner. The bearing system is not a projection, it is based on a one-step transformation of WGS84 to fit the Basis shown above. The convergence angle at the northeast section corner is +0'00'22".



See Sheet 3 for Curve Tables. Book Page



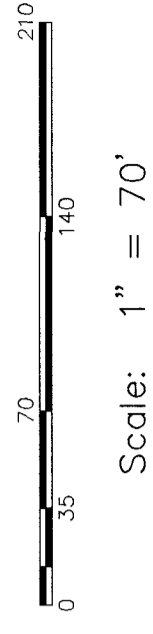
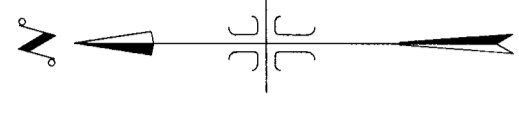
Job No. 21-304
Sheet 1 of 5



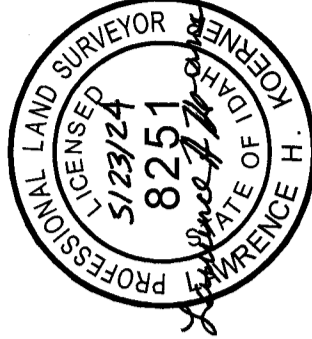
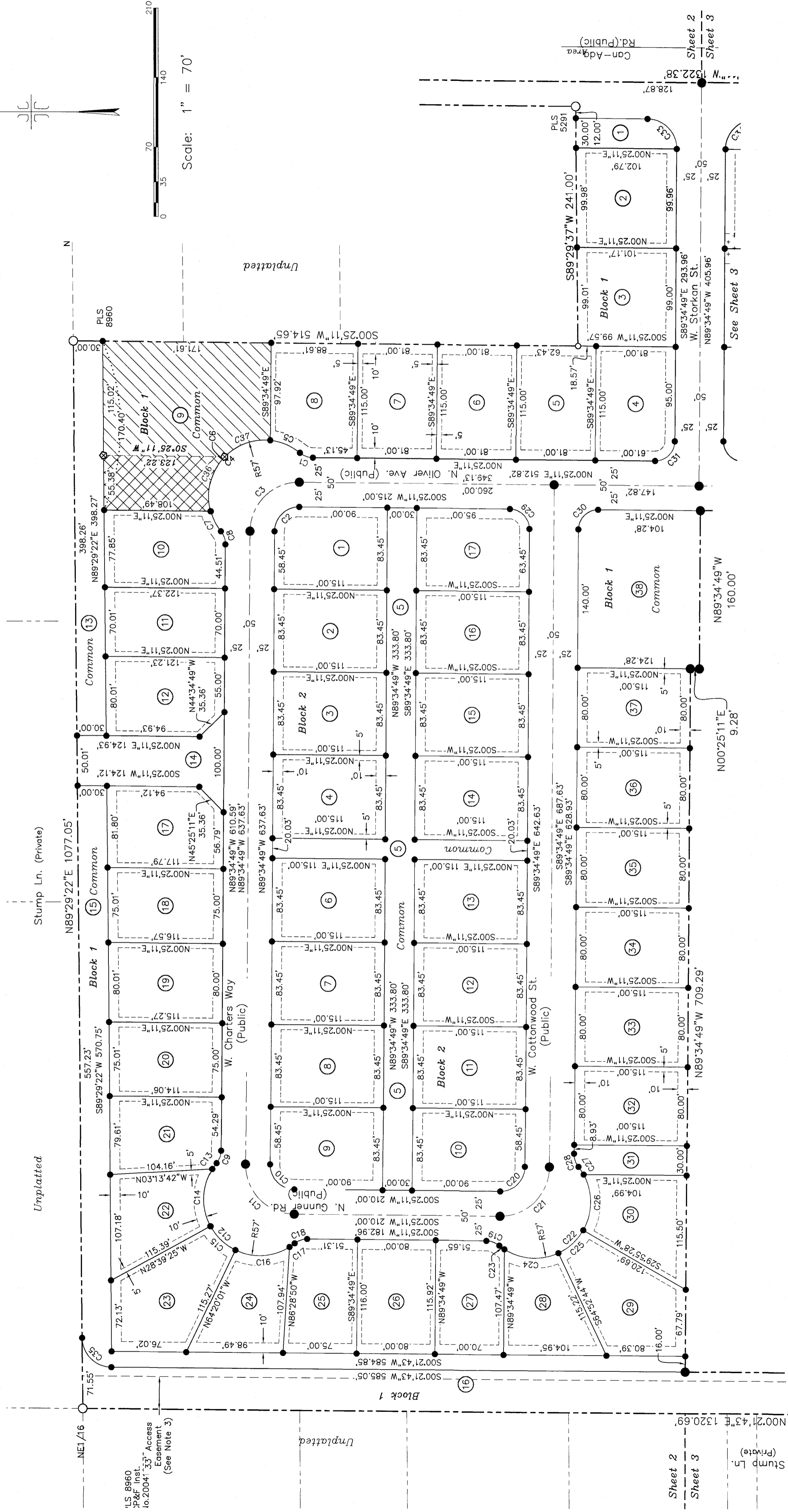
| Line Table | | |
|------------|-------------|--------|
| Line | Bearing | Length |
| L1 | N89°29'22"E | 25.00' |

- Notes:**
- Any Resubdivision of this Plat shall Comply with the Applicable Zoning Regulations in effect at the time of Resubdivision.
 - A Ten (10) foot wide Public Utilities, Lot Drainage and Pressure Irrigation, Easement is hereby designated along the front and the rear lot lines, and five (5) foot wide along each side of interior lot lines, unless otherwise noted.
 - Subject to an Existing Access Easement Instrument No's 791226, 746712, and Joint Use Maintenance Agreement 9016016.
 - Lots 1, 9, 13, 14, 15, 16, 31, & 38 of Block 1, Lot 5 of Block 2, and Lot 2 of Block 3 are Common Lots and are Subject to a Blanket Public Utilities, Lot Drainage and Pressure Irrigation Easement, and will be Owned and Maintained by the Home Owners Association (HOA).
 - Lots 13, 14, 15, and 16 of Block 1 are Reserved for future Roadway Right of Way.
 - All Storm Drainage Facilities Outside of Public Right-of-Ways shall be Owned and Maintained by the Home Owners Association (HOA), unless such Responsibility is Assumed by an Irrigation/Drainage District.
 - Irrigation water will be provided by Middleton Irrigation Association, Inc., via the Flake Ditch Company, Ltd., in Compliance with the Idaho Code Section 31-3805(1)(b). All Lots within this Subdivision will be entitled to Water Rights and will be Obligated for Assessments from the Middleton Irrigation Association, Inc. and Flake Ditch Company, Ltd.
 - This development recognizes Idaho Code, Title 22, Chapter 45 Right to Farm Act, Section 22-4503, which states "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation, facility or expansion was not nuisance the time it began or was constructed. The provisions of this section shall not apply when nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."
 - Minimum Building Setbacks shall be in Accordance with the City of Star Applicable Zoning and Subdivision Regulations at the time of Issuance of Individual Building Permits or as Specifically Approved or Required, or as shown on this Plat.
 - The Development Standards for Residential Development shall Comply with the Effective Building and Zoning Requirements at time of Building Permit Issuance, unless Amended in the Development Agreement or CUP Conditions.
 - No Easement Created hereon shall Preclude the Construction and Maintenance of hard-surfaced Driveways, Landscaping, Parking or other such non-permanent Improvements.
 - All Easements are Parallel (or Concentric) to the Lines (or arcs) that they are Dimensioned from, unless otherwise Noted.
 - A Portion of Lot 9, Block 1 is Subject to a Storm Drainage Easement being Dedicated with this Plat.
 - A Portion of Lot 9, Block 1 is Subject to a Sewer Water Easement being Dedicated with this Plat as Shown hereon.

Oliver Estates Subdivision No. 1

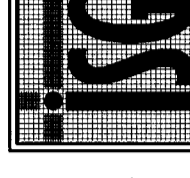


Scale: 1" = 70'



See Sheet 1 for Legend & Notes.
See Sheet 3 for Curve Tables.

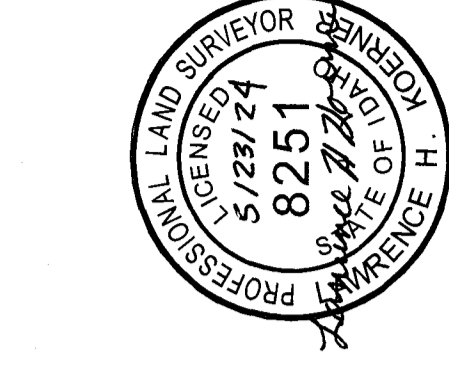
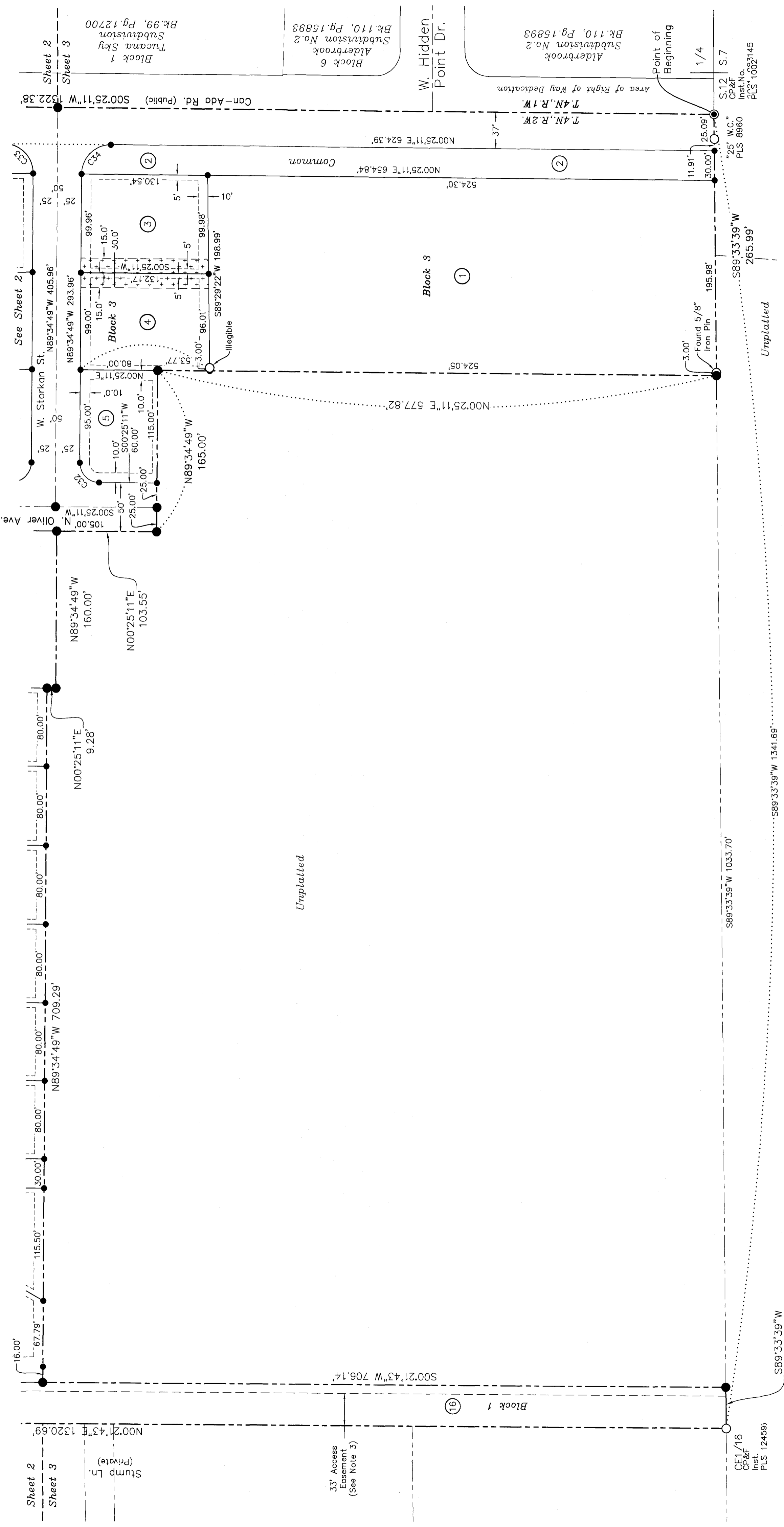
Book _____ Page _____



IDAHO SURVEY GROUP, LLC
9955 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Job No. 21-304
Sheet 2 of 5

Oliver Estates Subdivision No. 1



Curve Table

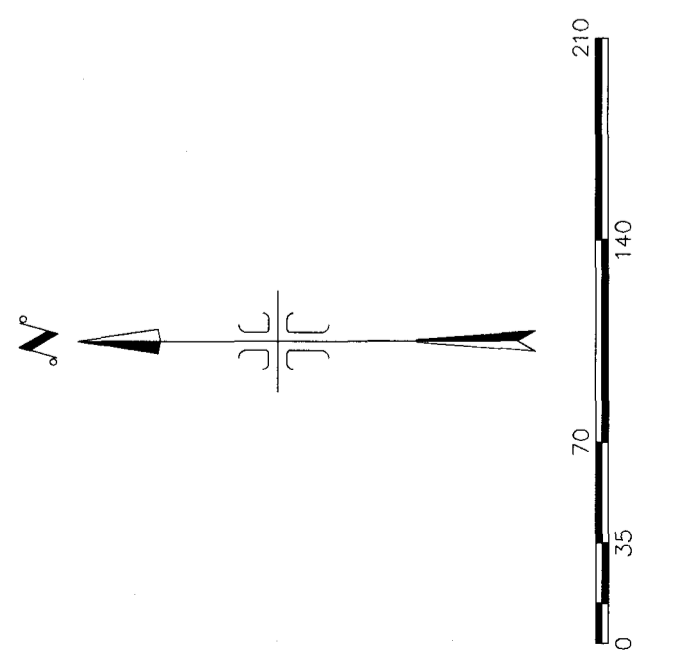
| Curve | Length | Radius | Delta | Chord Bearing | Chord Length |
|-------|--------|--------|-----------|---------------|--------------|
| C27 | 9.51' | 57.00' | 9°33'47" | N56°13'59"E | 9.50' |
| C28 | 14.28' | 21.00' | 38°58'05" | S70°56'08"W | 14.01' |
| C29 | 31.42' | 20.00' | 90°00'00" | N45°25'11"E | 28.28' |
| C30 | 31.42' | 20.00' | 90°00'00" | N44°34'49"W | 28.28' |
| C31 | 31.42' | 20.00' | 90°00'00" | S44°34'49"E | 28.28' |
| C32 | 31.42' | 20.00' | 90°00'00" | S45°25'11"W | 28.28' |
| C33 | 47.12' | 30.00' | 90°00'00" | N45°25'11"E | 42.43' |
| C34 | 47.12' | 30.00' | 90°00'00" | N44°34'49"W | 42.43' |
| C35 | 46.67' | 30.00' | 89°07'39" | S44°55'32"W | 42.10' |
| C36 | 59.78' | 57.00' | 60°05'23" | N75°33'23"W | 57.08' |
| C37 | 51.27' | 57.00' | 51°32'03" | N19°44'40"W | 49.56' |

Curve Table

| Curve | Length | Radius | Delta | Chord Bearing | Chord Length |
|-------|---------|--------|------------|---------------|--------------|
| C14 | 60.53' | 57.00' | 60°50'51" | N88°14'00"W | 57.73' |
| C15 | 35.49' | 57.00' | 35°40'36" | S43°30'17"W | 34.92' |
| C16 | 57.71' | 57.00' | 58°00'28" | S03°20'15"E | 55.28' |
| C17 | 6.44' | 57.00' | 6°28'10" | S35°34'34"E | 6.43' |
| C18 | 13.69' | 20.00' | 39°13'50" | N19°11'44"W | 13.43' |
| C19 | 14.28' | 21.00' | 38°58'05" | N19°54'14"E | 14.01' |
| C20 | 39.27' | 25.00' | 90°00'00" | S44°34'49"E | 35.36' |
| C21 | 78.54' | 50.00' | 90°00'00" | S44°34'49"E | 70.71' |
| C22 | 167.07' | 57.00' | 167°56'11" | N44°34'49"W | 113.37' |
| C23 | 6.35' | 57.00' | 6°22'48" | S36°11'52"W | 6.34' |
| C24 | 57.83' | 57.00' | 58°07'45" | S03°56'36"W | 55.38' |
| C25 | 34.77' | 57.00' | 34°57'16" | S42°35'54"E | 34.24' |
| C26 | 58.61' | 57.00' | 58°54'35" | S69°31'50"E | 56.06' |

Curve Table

| Curve | Length | Radius | Delta | Chord Bearing | Chord Length |
|-------|---------|--------|------------|---------------|--------------|
| C1 | 14.28' | 21.00' | 38°58'05" | S19°54'14"W | 14.01' |
| C2 | 39.27' | 25.00' | 90°00'00" | N44°34'49"W | 35.36' |
| C3 | 78.54' | 50.00' | 90°00'00" | N44°34'49"W | 70.71' |
| C4 | 167.07' | 57.00' | 167°56'11" | S44°34'49"E | 113.37' |
| C5 | 33.19' | 57.00' | 33°21'55" | N22°42'19"E | 32.73' |
| C6 | 111.05' | 57.00' | 111°37'26" | N49°47'21"W | 94.30' |
| C7 | 22.83' | 57.00' | 22°56'50" | S62°55'31"W | 22.68' |
| C8 | 14.28' | 21.00' | 38°58'05" | N70°56'08"E | 14.01' |
| C9 | 13.69' | 20.00' | 39°13'50" | S69°57'54"E | 13.43' |
| C10 | 39.27' | 25.00' | 90°00'00" | S45°25'11"W | 35.36' |
| C11 | 78.54' | 50.00' | 90°00'00" | S45°25'11"W | 70.71' |
| C12 | 167.59' | 57.00' | 168°27'41" | N45°25'11"E | 113.42' |
| C13 | 7.42' | 57.00' | 7°27'36" | N54°04'46"W | 7.42' |



See Sheet 1 for Legend & Notes.
Book Page

I:\Stump Lane_Brd\Topo_21-304.dwg, Plot_1-18--24.dwg 5/23/2024 12:49:31 PM

Oliver Estates Subdivision No. 1

Certificate of Owners

Know all men by these presents that Jeffrey D. Storkan and Lisa A. Storkan (husband and wife), and the Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992, are the owners of the property described as follows:

The following Describes a Parcel of Land being a Portion of the Southeast 1/4 of the Northeast 1/4 of Section 12, Township 4 North, Range 2 West, Boise Meridian, City of Star, Canyon County, Idaho, and being more Particularly Described as follows:

BEGINNING at the Southeast Corner of the Southeast 1/4 of the Northeast 1/4 (East 1/4 Corner) of Section 12, Township 4 North, Range 2 West, Boise Meridian; From which, the Northeast Corner of said Section 12 bears, North 00°25'11" East, 2644.76 feet;

Thence along the Southerly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section, South 89°33'39" West, 265.99 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence leaving said Southerly Boundary Line, North 00°25'11" East, 577.82 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence, North 89°34'49" West, 165.00 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence North 00°25'11" East, 103.55 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence, North 89°34'49" West, 160.00 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence, North 00°25'11" East, 9.28 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence, North 89°34'49" West, 709.29 feet to a set 5/8" Iron Pin 15G PLS 8251";

Thence, South 00°21'43" West, 706.14 feet to a set 5/8" Iron Pin 15G PLS 8251" on the Southerly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section;

Thence along said Southerly Boundary Line, South 89°33'39" West, 42.00 feet Southwest Corner of the Southeast 1/4 of the Northeast 1/4 of said Section (Center-East 1/16th Corner) being Marked by a found 5/8" Iron Pin PLS 12459;

Thence leaving said Southerly Boundary Line, and along the Westerly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section, North 00°21'43" East, 1320.69 feet to the Northwest Corner of the Southeast 1/4 of the Northeast 1/4 (North-East 1/16th Corner) being Monument with a Found 5/8" Iron Pin PLS 8960;

Thence leaving said Westerly Boundary Line, and along the Northerly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section, North 89°29'22" East, 1077.05 feet to a found 5/8" Iron Pin PLS 8960;

Thence leaving said Northerly Boundary Line, and along a Line being 266.00 feet Westerly of and Parallel with the Easterly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section 12, South 00°25'11" West, 514.65 feet to a found 1/2" Iron Pin PLS 5291"; Replaced with a set 5/8" Iron Pin 15G PLS 8251";

Thence leaving said Parallel Line, North 89°29'37" East, 241.00 feet to a found 5/8" Iron Pin PLS 8960;

Thence along a Line being 25.00 feet Westerly of and Parallel with the Easterly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section 12, North 00°25'11" East, 514.67 feet to a set 5/8" Iron Pin 15G PLS 8251" on the Northerly Boundary Line of the Southeast 1/4 of the Northeast 1/4 of said Section 12;

Thence leaving said Parallel Line, and along said Northerly Boundary Line, North 89°29'22" East, 25.00 feet to the North 1/16th Corner of said Section 12 which is being Monumented with a Found 5/8" Iron Pin PLS 8960";

Thence leaving said Northerly Boundary Line, and along the Easterly Boundary Line of the Southeast 1/4 Northeast 1/4 of said Section, South 00°25'11" West, 1322.38 feet to the POINT OF BEGINNING;

The above described parcel of land contains 21.76 acres, more or less.

It is the intention of the undersigned to hereby include the above described property in this plat and to dedicate to the public, the public streets as shown on this plat. The easements indicated on said plat are not dedicated to the public. However, the right to use said easements is perpetually reserved for public utilities and for such other uses as designated hereon, no permanent structure other than for such utility purposes or such other uses are to be erected within the limits of said easements. All lots in this plat will be eligible to receive water service from the City of Star, and the City of Star has agreed in writing to serve all the lots in this subdivision.

In witness whereof, we have hereunto set our hands:

Jeffrey D. Storkan, individually and as a Co-Trustee of The Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992

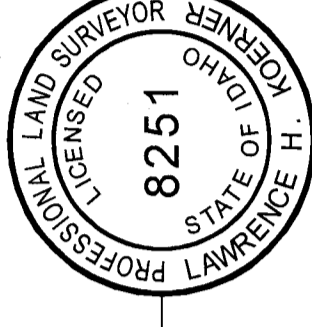
Carol A. Storkan, as a Co-Trustee of The Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992

Lisa A. Storkan

Jill Ann Charters, as a Co-Trustee of The Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992

Certificate of Surveyor

I, Lawrence H. Koerner, do hereby certify that I am a Professional Land Surveyor licensed by the State of Idaho, and that this plat as described in the "Certificate of Owners" was drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho Code relating to plats and surveys.



Lawrence H. Koerner
Lawrence H. Koerner
P.L.S. No. 8251
5/23/24

Acknowledgment

State of _____ } S.S.
County of _____

This record was acknowledged before me on this _____ day of _____, 2024, by Jeffrey D. Storkan individually and as a Co-Trustee of The Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992.

Notary Public, State of _____
My commission expires: _____

Acknowledgment

State of _____ } S.S.
County of _____

This record was acknowledged before me on this _____ day of _____, 2024, by Lisa A. Storkan.

Notary Public, State of _____
My commission expires: _____

Acknowledgment

State of _____ } S.S.
County of _____

This record was acknowledged before me on this _____ day of _____, 2024, by Carol A. Storkan as a Co-Trustee of The Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992.

Notary Public, State of _____
My commission expires: _____

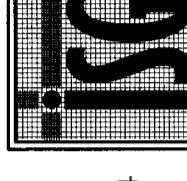
Acknowledgment

State of _____ } S.S.
County of _____

This record was acknowledged before me on this _____ day of _____, 2024, by Jill Ann Charters as a Co-Trustee of The Oliver Dean Storkan Testamentary Trust u/i/d March 31, 1992.

Notary Public, State of _____
My commission expires: _____

Book _____ Page _____



IDAHO SURVEY GROUP, LLC

9965 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Job No. 21-304
Sheet 4 of 5

Oliver Estates Subdivision No. 1

Approval of Southwest District Health Department

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on a review by a qualified licensed professional engineer (QLPE) representing City of Star public works, and the QLPE approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water extensions or sewer extensions were constructed. Building construction can be allowed with appropriate building permits if drinking water extensions or sewer extensions have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities, then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

Southwest District Health _____ Date _____

Approval of Canyon Highway District No. 4

Canyon Highway District No. 4 does hereby accept this plat, and the dedicated public streets, highways and rights-of-way as are depicted on this plat, in accordance with the provisions of Idaho Code Sections 50-1312, 50-1313, and 50-1330 and pursuant to its authority as set forth in the public agency coordination agreement Canyon Highway District No. 4 and the City of Star dated June 6, 2007. Private streets depicted on this plat are not maintained or under the jurisdiction of the highway district. There is no legal obligation or assurances that the private streets will be accepted as public streets in the future.

Chairman _____ Date _____

Approval of City Engineer

I, the undersigned, City Engineer in and for the City of Star, Canyon County, Idaho, hereby approve this plat.

City of Star Engineer _____ Date _____

Approval of City Council

I, the undersigned, Clerk in and for the City of Star, Canyon County, Idaho do hereby certify that at a meeting of the City Council held on the _____ day of _____, 20____, this plat was duly accepted and approved.

City Clerk, Star, Idaho _____

Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor for Canyon County, Idaho, do hereby certify that I have examined this plat and that it complies with the requirements of Idaho State Code, relating to plats and surveys.

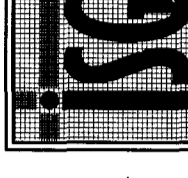
Canyon County Surveyor _____ Date _____

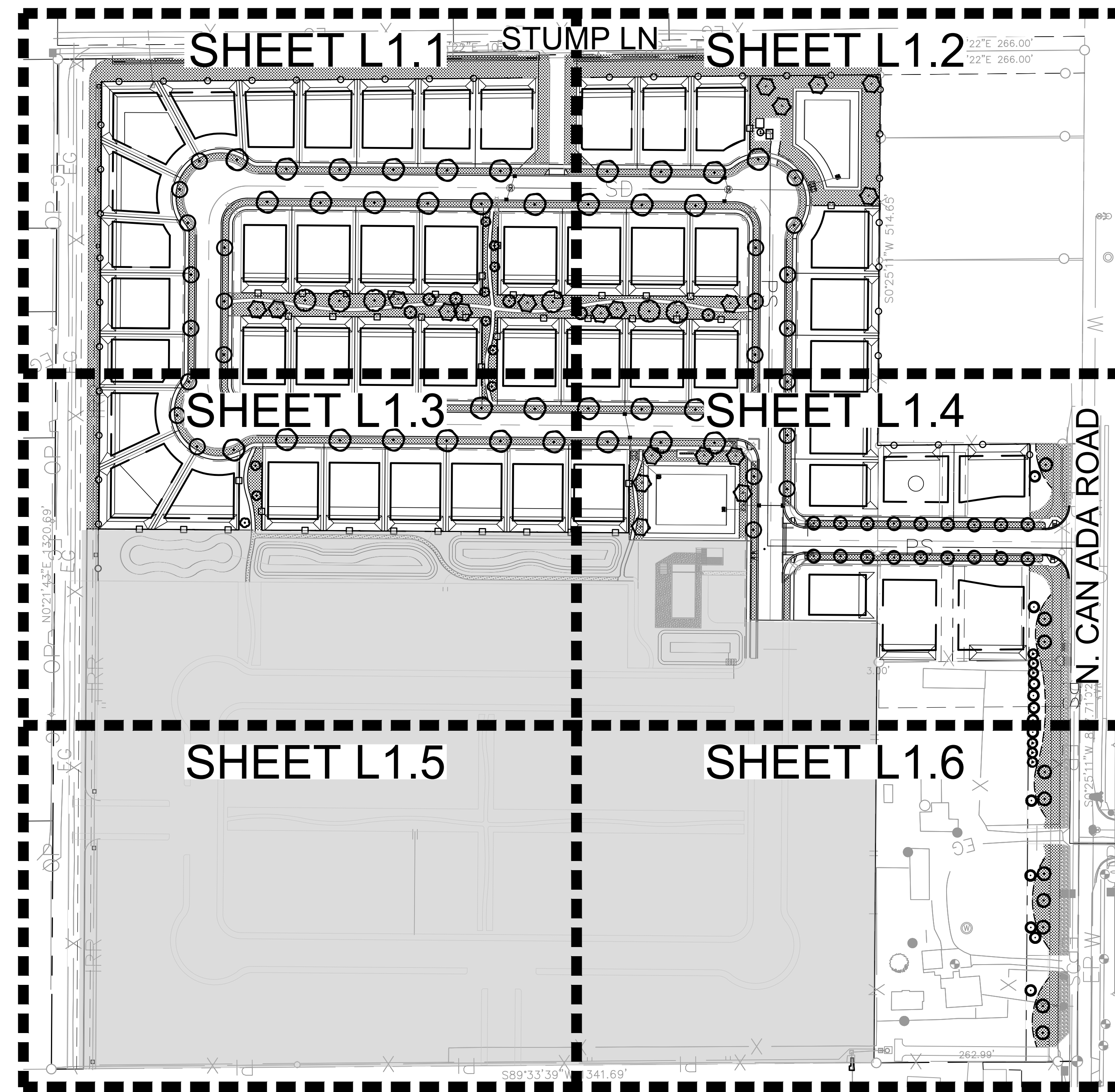
Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Canyon, State of Idaho, per the requirements of Idaho Code, Section 50-1308 do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

Canyon County Treasurer _____ Date _____

County Recorder's Certificate





OVERALL LANDSCAPE PLAN
 SCALE: 1" = 100'-0"

OLIVER ESTATES SUBDIVISION
 A PARCEL OF LAND; 22491 CAN ADA RD
 LOCATED IN
 SECTION 12, T. 4N., R. 2W.,
 STAR, CANYON COUNTY IDAHO
 APRIL 2023



VICINITY MAP
 SCALE: NTS

SITE DEVELOPMENT FEATURES

1. ANNEXATION: REQUIRED
2. PROPOSED ZONING: R-3 PUD
3. CURRENT ZONING: AG (AGRICULTURAL, CANYON COUNTY)
4. TOTAL AREA.....37.58 AC
5. TOTAL LOTS.....104
6. BUILDABLE LOTS.....88
7. EXISTING HOMES.....1
8. RIGHT OF WAY AREA.....6.41 AC
9. MINIMUM LOT SIZE.....8,112 SQFT.
10. GROSS LOTS PER ACRE.....2.37/AC
11. NET LOTS PER ACRE.....3.86/AC
12. AVERAGE BUILDABLE LOT AREA.....10,103 SQFT.
13. REQUIRED OPEN SPACE.....245,535 SQFT. (15.00%)
14. OPEN SPACE SHOWN.....262,195 SQFT. (16.02%)
15. REQUIRED QUALIFIED OPEN SPACE.....163,690 SQFT. (10.00%)
16. QUALIFIED OPEN SPACE SHOWN.....173,695 SQFT. (10.61%)

LANDSCAPING INFORMATION

1. ROADWAY LANDSCAPE BUFFERS: MUNICIPAL REQUIREMENT
 - 1.1. N. CAN ADA ROAD:
 REQUIRED: 30' STREET BUFFER
 STREET BUFFER LENGTH = 727' FT
 STREET TREES REQUIREMENT: 1 TREE/25 FT OF BUFFER LENGTH
 TOTAL REQUIRED = 29
 TOTAL PROPOSED = 35
2. PATHWAY TREES: MUNICIPAL REQUIREMENT
 REQUIRED: 1 TREE/100 FT. COMMON AREA PATHWAY PROVIDED
 TOTAL REQUIRED = 30
 TOTAL PROPOSED = 68
3. BUILDING LOT TREES: 92
 PROPOSED: 1 STREET TREE/LOT; BY LOT OWNER/BUILDER.
 TOTAL PROPOSED = 92
4. COMMON AREA TREES:
 PROPOSED: 1 TREE/8,000 SQFT OF COMMON/OPEN SPACE
 TOTAL PROPOSED = 207
 TOTAL COMMON/OPEN SPACE TREES = 85
 TOTAL STREET/PARKWAY TREES = 122 (1 TREE/70 FT)
5. NO MITIGATION NECESSARY - COORDINATE WITH THE CITY FORESTER IN THE FIELD BEFORE ANY EXISTING TREES ARE DAMAGED OR REMOVED.
6. AMENITIES PROVIDED:
 POOL AND FACILITY
 PATHWAY CONNECTIONS

SEE SHEETS:
 L1.1-L1.6 FOR DETAILED LANDSCAPE PLANS
 L2.0 FOR LANDSCAPE NOTES AND DETAILS.
 L2.1 FOR SPECIFIC AREA ENLARGEMENTS.

SOUTH BECK & BAIRD
 South Landscape Architecture P.C.
 Dba South Beck & Baird Landscape Architecture P.C.

2002 S. Vista Ave
 Boise, ID 83705
 208.342.2999
 info@sbbgo.com
 www.sbbgo.com

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

LEAVITT & ASSOCIATES ENGINEERS, INC.
 STRUCTURAL * CIVIL SURVEYING

1324 FIRST STREET SOUTH Nampa, IDAHO 83651
 PHONE (208)463-0333/463-7670 FAX (208)463-9040
 EMAIL NP@LEAVITTEENGINEERS.COM

Original sealed by:
 Date original:
 An original document is on file at the office of Leavitt & Associates Engineers, Inc.

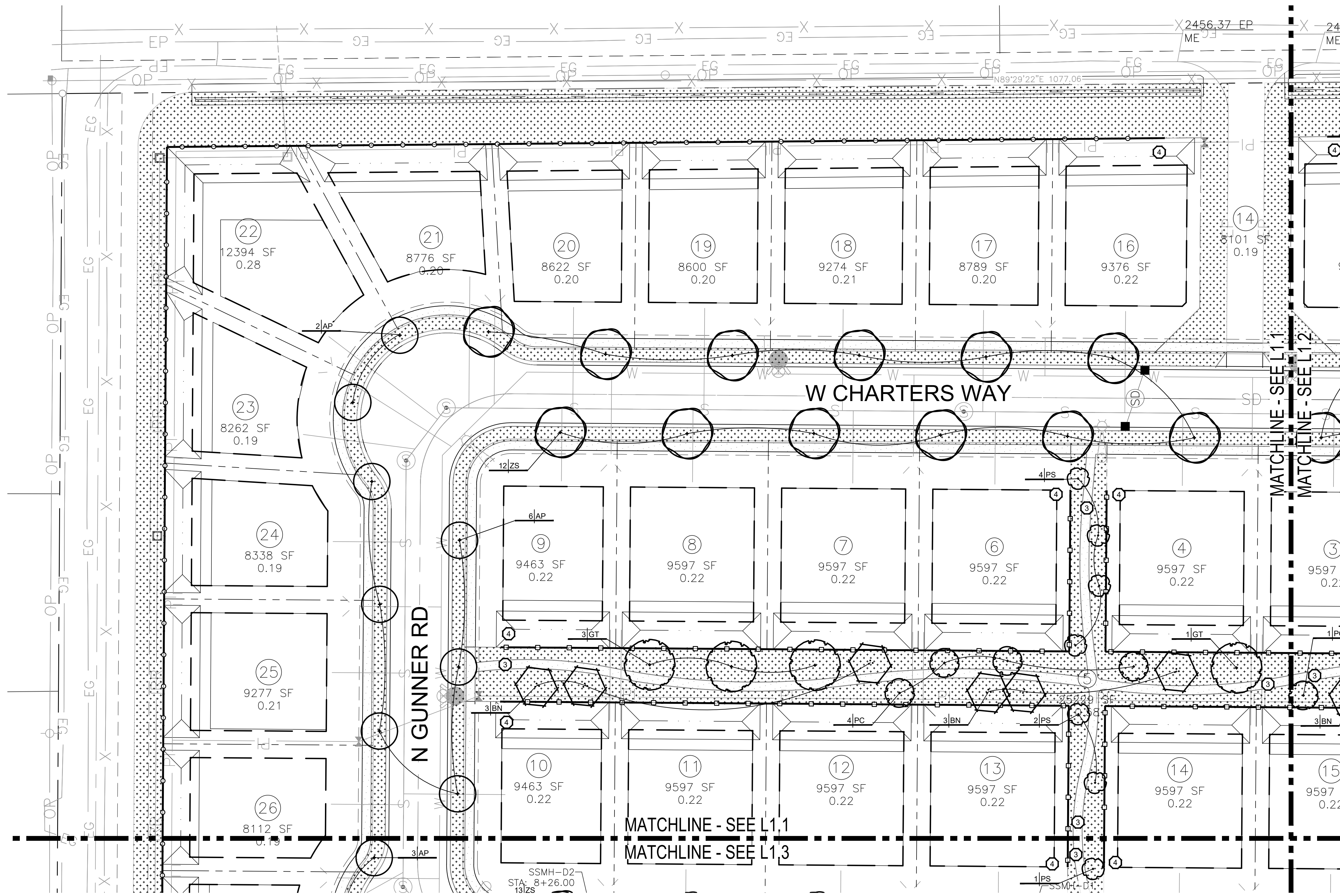
OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

Job Number: SBB22-104
 Checked By: JGM
 Drawn By: JRB
 Delivery Date: 4/18/2023

OLIVER ESTATES SUBDIVISION STAR, IDAHO

OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
 503 S. THORNWOOD WAY
 MERIDIAN, ID 83642
 PHONE (208) 502-0758
 DUANE@ALTECCA.COM

| No. | DATE | BY | DESCRIPTION | REVISIONS |
|----------|------|----|----------------------------|-----------|
| 05/09/24 | SBB | BY | DESIGN REVIEW MODIFICATION | |



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- CUT EDGE, SEE DETAIL 3/L2.0
- 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 7/L2.0
- 6" WROUGHT IRON FENCE, SEE DETAIL 6/L2.0
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 8/L2.0
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

| KEY | BOTANICAL NAME COMMON NAME | PLANTING SIZE | MATURE SIZE | CLASS |
|---|--|-------------------|--------------------|----------|
| DECIDUOUS TREES SEE DETAIL 2/L2.0 | | | | |
| AP | Acer platanoides 'Columnarbroad' Parkway Maple | 2" B&B | 40' hgt. 25' w | CLASS II |
| AL | Amelanchier laevis 'JFS-Arb' Spring Flurry Serviceberry | 2" B&B | 28' hgt. 20' w | CLASS I |
| BN | Betula nigra River Birch | 2" B&B multi-stem | 40' hgt. 30' w | CLASS II |
| GT | Gleditsia triacanthos 'inermis' 'Skyline' Skyline Honeylocust | 2" B&B | 45' hgt. 35' w | CLASS II |
| PC | Prunus cerasifera 'Thundercloud' Thundercloud Plum | 2" B&B | 20' hgt. 20' w | CLASS I |
| PS | Prunus sargentii 'JFS-KW58' Pink Flair Cherry | 2" B&B | 25' hgt. 15' w | CLASS I |
| QR | Quercus robur x alba Streetspire Oak | 2" B&B | 45' hgt. 15' w | CLASS II |
| ZS | Zelkova serrata 'Halka' Halka Zelkova | 2" B&B | 45' hgt. 35' w | CLASS II |
| CONIFEROUS TREES SEE DETAIL 1/L2.0 | | | | |
| PB | Picea pungens 'Bacheri' Bacheri Spruce | 6" B&B | 15' hgt. 8' w | CONIF. |
| PF | Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine | 6" B&B | 30' hgt. 15' w | CONIF. |
| CD | Cedrus deodara 'Aurea' Golden Deodar Cedar | 8'-10" B&B | 35' hgt. 20' w | CONIF. |
| GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.0 | | | | |
| ○ | Coreopsis verticillata 'TNCORSG' Sunstar Gold Coreopsis | 1 Gal. | 2' hgt. x 2' wide | |
| ● | Calamagrostis x. acutiflora 'Overdam' Dwarf Feather Grass | 1 Gal. | 3' hgt. x 2' wide | |
| ○ | Hemerocallis x 'Stella De Oro' Stella De Oro Daylily | 1 Gal. | 18" hgt. x 2' wide | |
| ○ | Sedum spectabile 'Black Beauty' Black Beauty Sedum | 1 Gal. | 2' hgt. x 2' wide | |
| ○ | Penstemon x mexicali 'P008S' Red Rocks Penstemon | 1 Gal. | 2' hgt. x 3' wide | |
| ○ | Phlox subulata 'Candy Stripe' Candy Stripe Creeping Phlox | 1 Gal. | 6" hgt. x 3' wide | |
| SHRUBS SEE DETAIL 5/L2.0 | | | | |
| ○ | Buxus x 'Green Velvet' Green Velvet Boxwood | 5 Gal. | 4' hgt. x 4' wide | |
| ○ | Berberis thunbergii 'Helmond Pillar' Helmond Pillar Barberry | 2 Gal. | 3' hgt. x 2' wide | |
| ○ | Cornus alba 'Baillhali' Ivory Halo Dogwood | 5 Gal. | 6' hgt. x 6' wide | |
| ○ | Picea pungens 'Globoza' Dwarf Globe Blue Spruce | 5 Gal. | 4' hgt. x 6' wide | |
| ○ | Physocarpus opulifolius 'Seaward' Summer Wine Ninebark | 2 Gal. | 5' hgt. x 6' wide | |
| ○ | Rosa x 'Noasplash' Pink Splash Groundcover Rose | 2 Gal. | 2' hgt. x 4' wide | |
| ○ | Spiraea japonica 'Goldmound' Goldmound Spirea | 2 Gal. | 3' hgt. 4' wide | |
| ○ | Viburnum plicatum tomentosum 'Mariesii' Doublefile Viburnum | 5 Gal. | 6' hgt. 10' wide | |

CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② OPEN LAWN SPACE
- ③ 5'-0" WIDE CONCRETE PATHWAY
- ④ START FENCE LINE AT BUILDING SETBACK PER OWNER/BUILDER.

LEAVITT & ASSOCIATES ENGINEERS, INC.
STRUCTURAL * CIVIL SURVEYING
 1324 FIRST STREET SOUTH NAPER, IDAHO 83651
 PHONE (208)463-0333/463-7670 FAX (208)463-9040
 EMAIL NP@LEAVITTEENGINEERS.COM

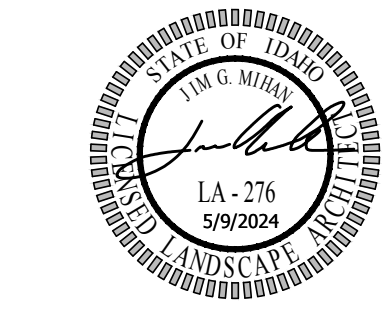
OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
 503 S. THORNWOOD WAY
 MERIDIAN, ID 83642
 PHONE (208) 502-0758
 DUANE@ALTECCA.COM

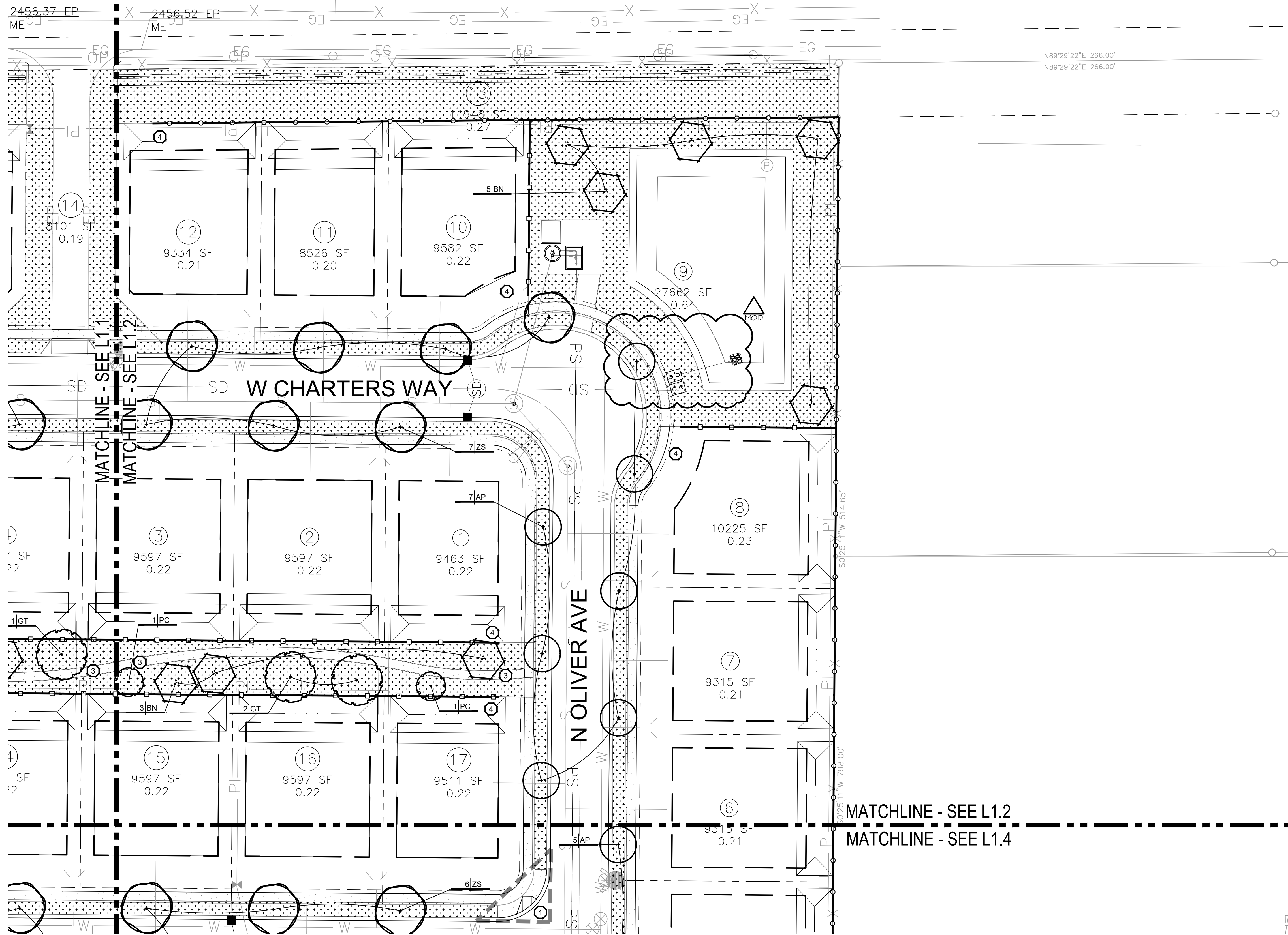
DESIGN REVIEW MODIFICATION DESCRIPTION REVISIONS

| No. | DATE | BY |
|----------|------|----|
| 05/09/24 | SBB | |

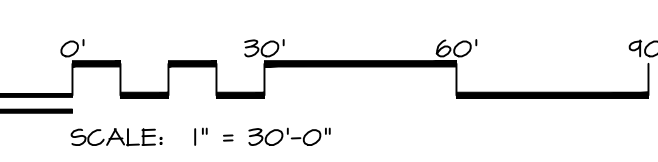
SOUTH BECK & BAIRD
 South Landscape Architecture P.C.
 Dba South Beck & Baird Landscape Architecture P.C.
 2002 S. Vista Ave
 Boise, ID 83705
 208.342.2999
 info@sbbgo.com
 www.sbbgo.com



THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.



LANDSCAPE PLAN



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 3/L2.0
- NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 8/L2.0
- 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 7/L2.0
- 6" WROUGHT IRON FENCE, SEE DETAIL 6/L2.0
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

| KEY | BOTANICAL NAME COMMON NAME | PLANTING SIZE | MATURE SIZE | CLASS |
|---|--|---------------|--------------------|----------|
| DECIDUOUS TREES SEE DETAIL 2/L2.0 | | | | |
| AP | Acer platanoides 'Columnarbroad' Parkway Maple | 2" B&B | 40' hgt. 25' w | CLASS II |
| AL | Amelanchier laevis 'JFS-Arb' Spring Flurry Serviceberry | 2" B&B | 28' hgt. 20' w | CLASS I |
| BN | Betula nigra River Birch | 2" B&B | 40' hgt. 30' w | CLASS II |
| GT | Gleditsia triacanthos 'inermis' 'Skyline' Skyline Honeylocust | 2" B&B | 45' hgt. 35' w | CLASS II |
| PC | Prunus cerasifera 'Thundercloud' Thundercloud Plum | 2" B&B | 20' hgt. 20' w | CLASS I |
| PS | Prunus sargentii 'JFS-KW58' Pink Flair Cherry | 2" B&B | 25' hgt. 15' w | CLASS I |
| QR | Quercus robur x alba Streetspire Oak | 2" B&B | 45' hgt. 15' w | CLASS II |
| ZS | Zelkova serrata 'Halka' Halka Zelkova | 2" B&B | 45' hgt. 35' w | CLASS II |
| CONIFEROUS TREES SEE DETAIL 1/L2.0 | | | | |
| PB | Picea pungens 'Bacheri' Bacheri Spruce | 6" B&B | 15' hgt. 8' w | CONIF. |
| PF | Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine | 6" B&B | 30' hgt. 15' w | CONIF. |
| CD | Cedrus deodara 'Aurea' Golden Deodar Cedar | 8'-10" B&B | 35' hgt. 20' w | CONIF. |
| GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.0 | | | | |
| o | Coreopsis verticillata 'TNCORSG' Sunstar Gold Coreopsis | 1 Gal. | 2' hgt. x 2' wide | |
| o | Calamagrostis x. acutiflora 'Overdam' Dwarf Feather Grass | 1 Gal. | 3' hgt. x 2' wide | |
| o | Hemerocallis x 'Stella De Oro' Stella De Oro Daylily | 1 Gal. | 18" hgt. x 2' wide | |
| o | Sedum spectabile 'Black Beauty' Black Beauty Sedum | 1 Gal. | 2' hgt. x 2' wide | |
| o | Penstemon x mexicali 'P008S' Red Rocks Penstemon | 1 Gal. | 2' hgt. x 3' wide | |
| o | Phlox subulata 'Candy Stripe' Candy Stripe Creeping Phlox | 1 Gal. | 6" hgt. x 3' wide | |
| SHRUBS SEE DETAIL 5/L2.0 | | | | |
| o | Buxus x 'Green Velvet' Green Velvet Boxwood | 5 Gal. | 4' hgt. x 4' wide | |
| o | Berberis thunbergii 'Helmond Pillar' Helmond Pillar Barberry | 2 Gal. | 3' hgt. x 2' wide | |
| o | Cornus alba 'Baillhali' Ivory Halo Dogwood | 5 Gal. | 6' hgt. x 6' wide | |
| o | Picea pungens 'Globoasa' Dwarf Globe Blue Spruce | 5 Gal. | 4' hgt. x 6' wide | |
| o | Physocarpus opulifolius 'Seaward' Summer Wine Ninebark | 2 Gal. | 5' hgt. x 6' wide | |
| o | Rosa x 'Noasplash' Pink Splash Groundcover Rose | 2 Gal. | 2' hgt. x 4' wide | |
| o | Spiraea japonica 'Goldmound' Goldmound Spirea | 2 Gal. | 3' hgt. 4' wide | |
| o | Viburnum plicatum tomentosum 'Mariesii' Doublefile Viburnum | 5 Gal. | 6' hgt. 10' wide | |

CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② OPEN LAWN SPACE
- ③ 5'-0" WIDE CONCRETE PATHWAY
- ④ START FENCE LINE AT BUILDING SETBACK PER OWNER/BUILDER.

LEAVITT & ASSOCIATES ENGINEERS, INC.
STRUCTURAL * CIVIL SURVEYING
 1324 FIRST STREET SOUTH Nampa, IDAHO 83851
 PHONE (208)463-0333/463-7670 FAX (208)463-9040
 EMAIL NP@LEAVITTEENGINEERS.COM

Original sealed by: [Signature]
 Date: [Date]

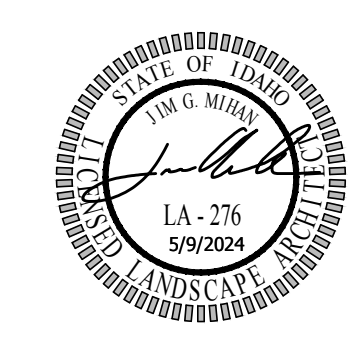
OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

Job Number: JGM SBB22-104
 Checked By: JRB
 Drawn By: JRB
 Delivery Date: 4/18/2023

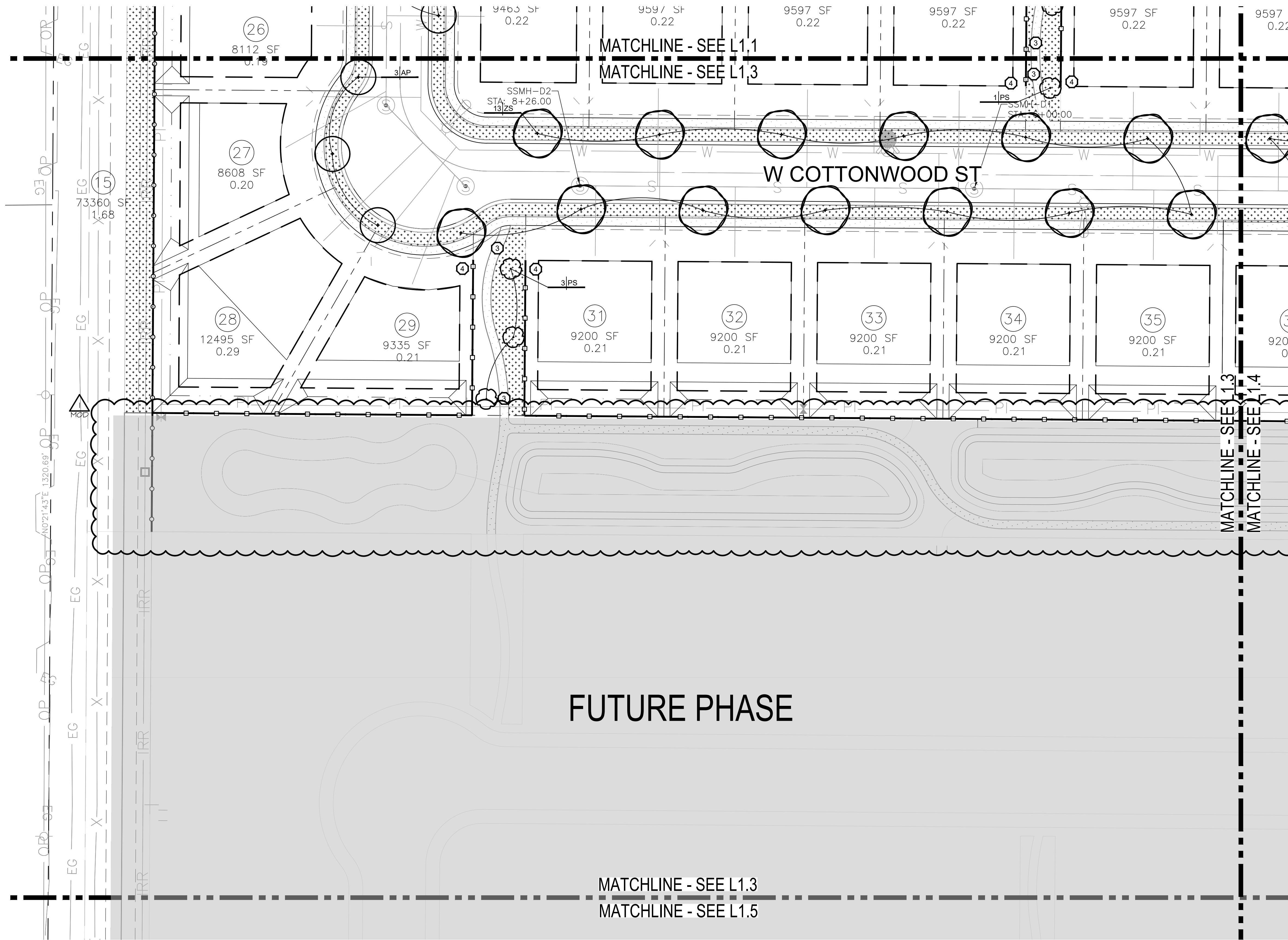
OLIVER ESTATES SUBDIVISION STAR, IDAHO
 OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
 503 S. THORNWOOD WAY
 MERIDIAN, ID 83642
 PHONE (208) 502-0758
 DUANE@ALTECCA.COM

| No. | DATE | BY | DESCRIPTION |
|----------|------|----|----------------------------|
| 05/09/24 | SBB | | DESIGN REVIEW MODIFICATION |
| | | | REVISIONS |

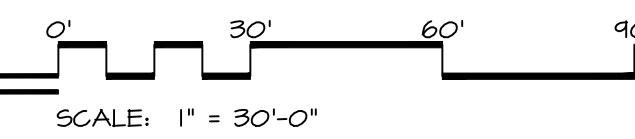
SOUTH BECK & BAIRD
 South Landscape Architecture P.C.
 Dba South Beck & Baird Landscape Architecture P.C.
 2002 S. Vista Ave
 Boise, ID 83705
 208.342.2999
 info@sbbgo.com
 www.sbbgo.com



THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.



LANDSCAPE PLAN



LANDSCAPE LEGEND

| | | | |
|--|---|--|--|
| | PLANTS TO BE INSTALLED | | RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED |
| | CUT EDGE, SEE DETAIL 3/L2.0 | | NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 8/L2.0 |
| | 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 7/L2.0 | | QUANTITY PLANT IDENTIFICATION KEY |
| | 6" WROUGHT IRON FENCE, SEE DETAIL 6/L2.0 | | |

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

| KEY | BOTANICAL NAME COMMON NAME | PLANTING SIZE | MATURE SIZE | CLASS |
|---|--|---------------|--------------------|----------|
| DECIDUOUS TREES SEE DETAIL 2/L2.0 | | | | |
| AP | Acer platanoides 'Columnarbroad' Parkway Maple | 2" B&B | 40' hgt. 25' w | CLASS II |
| AL | Amelanchier laevis 'JFS-Arb' Spring Flurry Serviceberry | 2" B&B | 28' hgt. 20' w | CLASS I |
| BN | Betula nigra River Birch | 2" B&B | 40' hgt. 30' w | CLASS II |
| GT | Gleditsia triacanthos 'inermis' 'Skyline' Skyline Honeylocust | 2" B&B | 45' hgt. 35' w | CLASS II |
| PC | Prunus cerasifera 'Thundercloud' Thundercloud Plum | 2" B&B | 20' hgt. 20' w | CLASS I |
| PS | Prunus sargentii 'JFS-KW58' Pink Flair Cherry | 2" B&B | 25' hgt. 15' w | CLASS I |
| QR | Quercus robur x alba Streetspire Oak | 2" B&B | 45' hgt. 15' w | CLASS II |
| ZS | Zelkova serrata 'Halka' Halka Zelkova | 2" B&B | 45' hgt. 35' w | CLASS II |
| CONIFEROUS TREES SEE DETAIL 1/L2.0 | | | | |
| PB | Picea pungens 'Bacheri' Bacheri Spruce | 6" B&B | 15' hgt. 8' w | CONIF. |
| PF | Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine | 6" B&B | 30' hgt. 15' w | CONIF. |
| CD | Cedrus deodara 'Aurea' Golden Deodar Cedar | 8"-10" B&B | 35' hgt. 20' w | CONIF. |
| GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.0 | | | | |
| ○ | Coreopsis verticillata 'TNCORSG' Sunstar Gold Coreopsis | 1 Gal. | 2' hgt. x 2' wide | |
| ● | Calamagrostis x. acutiflora 'Overdam' Dwarf Feather Grass | 1 Gal. | 3' hgt. x 2' wide | |
| ○ | Hemerocallis x 'Stella De Oro' Stella De Oro Daylily | 1 Gal. | 18" hgt. x 2' wide | |
| ○ | Sedum spectabile 'Black Beauty' Black Beauty Sedum | 1 Gal. | 2' hgt. x 2' wide | |
| ○ | Penstemon x mexicali 'P008S' Red Rocks Penstemon | 1 Gal. | 2' hgt. x 3' wide | |
| ○ | Phlox subulata 'Candy Stripe' Candy Stripe Creeping Phlox | 1 Gal. | 6" hgt. x 3' wide | |
| SHRUBS SEE DETAIL 5/L2.0 | | | | |
| ○ | Buxus x 'Green Velvet' Green Velvet Boxwood | 5 Gal. | 4' hgt. x 4' wide | |
| ○ | Berberis thunbergii 'Helmond Pillar' Helmond Pillar Barberry | 2 Gal. | 3' hgt. x 2' wide | |
| ○ | Cornus alba 'Baillhali' Ivory Halo Dogwood | 5 Gal. | 6' hgt. x 6' wide | |
| ○ | Picea pungens 'Globosa' Dwarf Globe Blue Spruce | 5 Gal. | 4' hgt. x 6' wide | |
| ○ | Physocarpus opulifolius 'Seaward' Summer Wine Ninebark | 2 Gal. | 5' hgt. x 6' wide | |
| ○ | Rosa x 'Noasplash' Pink Splash Groundcover Rose | 2 Gal. | 2' hgt. x 4' wide | |
| ○ | Spiraea japonica 'Goldmound' Goldmound Spirea | 2 Gal. | 3' hgt. 4' wide | |
| ○ | Viburnum plicatum tomentosum 'Mariesii' Doublefile Viburnum | 5 Gal. | 6' hgt. 10' wide | |

CALLOUT LEGEND

- 40' VISION TRIANGLE
- OPEN LAWN SPACE
- 5'-0" WIDE CONCRETE PATHWAY
- START FENCE LINE AT BUILDING SETBACK PER OWNER/BUILDER.

LEAVITT & ASSOCIATES ENGINEERS, INC.
STRUCTURAL * CIVIL SURVEYING

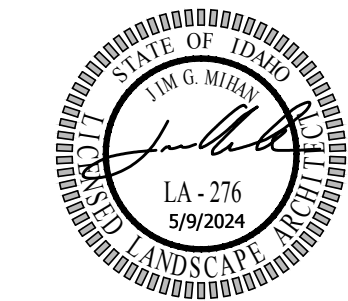
1324 FIRST STREET SOUTH NAMPA, IDAHO 83651
PHONE (208)463-0333/463-7670 FAX (208)463-9040
EMAIL NP@LEAVITTEENGINEERS.COM

OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

Original checked by: JRB
Redesign original: JRB
Job Number: JGM SBB22-104
Delivery Date: 4/18/2023

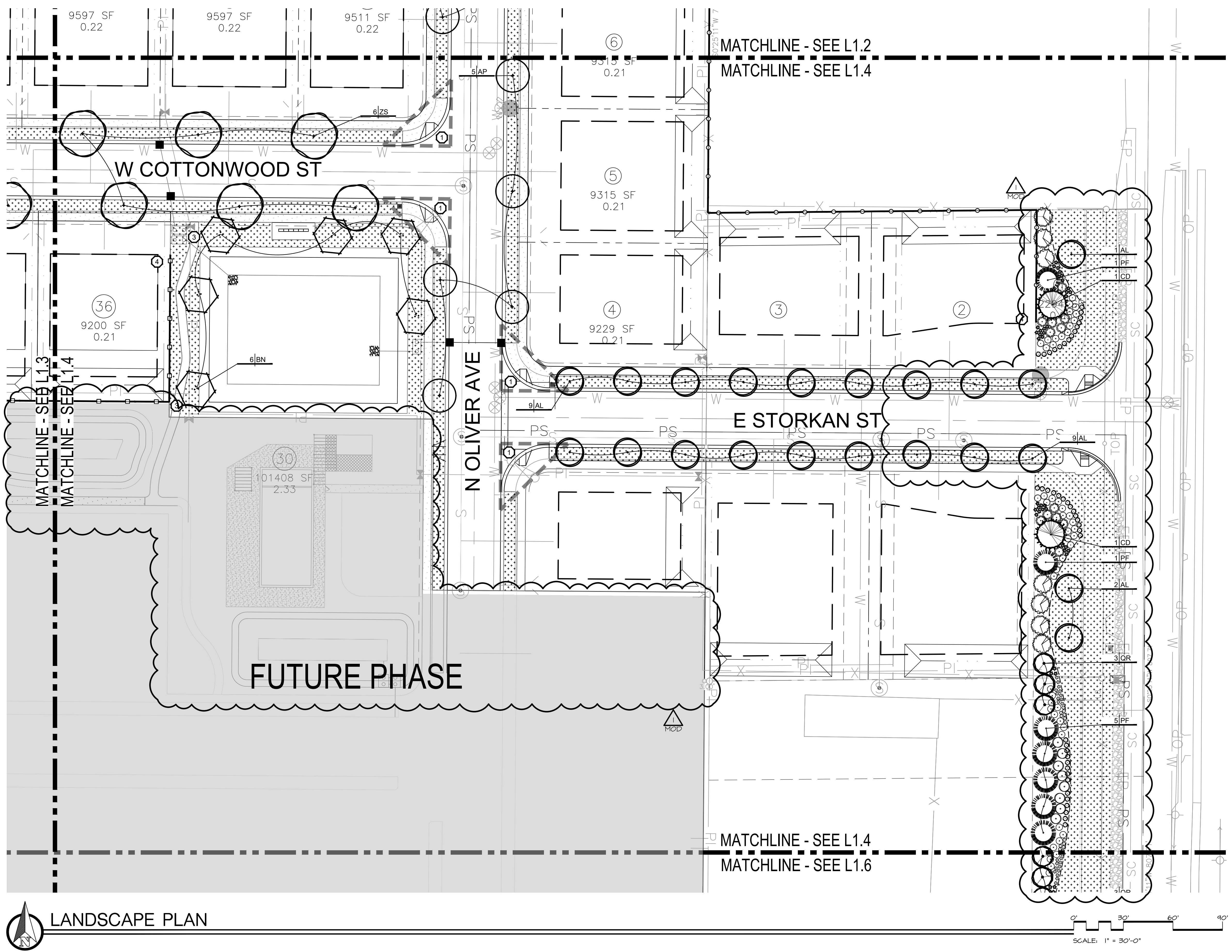
OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
503 S. THORNWOOD WAY
MERIDIAN, ID 83642
PHONE (208) 502-0758
DUANE@ALTECCA.COM

| No. | DATE | BY | DESCRIPTION |
|-----------|----------|-----|----------------------------|
| 1 | 05/09/24 | SBB | DESIGN REVIEW MODIFICATION |
| REVISIONS | | | |



SOUTH BECK & BAIRD
South Landscape Architecture P.C.
2002 S. Vista Ave
Boise, ID 83705
208.342.2999
info@sbbgo.com
www.sbbgo.com

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.



LANDSCAPE LEGEND

| | | | |
|--|---|--|--|
| | PLANTS TO BE INSTALLED | | RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED |
| | CUT EDGE, SEE DETAIL 3/L2.0 | | NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 8/L2.0 |
| | 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 7/L2.0 | | QUANTITY PLANT IDENTIFICATION KEY |
| | 6" WROUGHT IRON FENCE, SEE DETAIL 6/L2.0 | | |

PLANT SCHEDULE

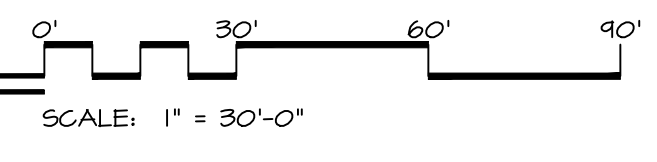
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

| KEY | BOTANICAL NAME COMMON NAME | PLANTING SIZE | MATURE SIZE | CLASS |
|---|--|---------------|--------------------|----------|
| DECIDUOUS TREES SEE DETAIL 2/L2.0 | | | | |
| AP | Acer platanoides 'Columnarbroad' Parkway Maple | 2" B&B | 40' hgt. 25' w | CLASS II |
| AL | Amelanchier laevis 'JFS-Arb' Spring Flurry Serviceberry | 2" B&B | 28' hgt. 20' w | CLASS I |
| BN | Betula nigra River Birch | 2" B&B | 40' hgt. 30' w | CLASS II |
| GT | Gleditsia triacanthos 'inermis' 'Skyline' Skyline Honeylocust | 2" B&B | 45' hgt. 35' w | CLASS II |
| PC | Prunus cerasifera 'Thundercloud' Thundercloud Plum | 2" B&B | 20' hgt. 20' w | CLASS I |
| PS | Prunus sargentii 'JFS-KW58' Pink Flair Cherry | 2" B&B | 25' hgt. 15' w | CLASS I |
| QR | Quercus robur x alba Streetspire Oak | 2" B&B | 45' hgt. 15' w | CLASS II |
| ZS | Zelkova serrata 'Halka' Halka Zelkova | 2" B&B | 45' hgt. 35' w | CLASS II |
| CONIFEROUS TREES SEE DETAIL 1/L2.0 | | | | |
| PB | Picea pungens 'Bacheri' Bacheri Spruce | 6" B&B | 15' hgt. 8' w | CONIF. |
| PF | Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine | 6" B&B | 30' hgt. 15' w | CONIF. |
| CD | Cedrus deodara 'Aurea' Golden Deodar Cedar | 8'-10" B&B | 35' hgt. 20' w | CONIF. |
| GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.0 | | | | |
| o | Coreopsis verticillata 'NCORSG Sunstar Gold Coreopsis | 1 Gal. | 2' hgt. x 2' wide | |
| o | Calamagrostis x. acutiflora 'Overdam' Dwarf Feather Grass | 1 Gal. | 3' hgt. x 2' wide | |
| o | Hemerocallis x 'Stella De Oro' Stella De Oro Daylily | 1 Gal. | 18" hgt. x 2' wide | |
| o | Sedum spectabile 'Black Beauty' Black Beauty Sedum | 1 Gal. | 2' hgt. x 2' wide | |
| o | Penstemon x mexicali 'P008S' Red Rocks Penstemon | 1 Gal. | 2' hgt. x 3' wide | |
| o | Phlox subulata 'Candy Stripe' Candy Stripe Creeping Phlox | 1 Gal. | 6" hgt. x 3' wide | |
| SHRUBS SEE DETAIL 5/L2.0 | | | | |
| o | Buxus x 'Green Velvet' Green Velvet Boxwood | 5 Gal. | 4' hgt. x 4' wide | |
| o | Berberis thunbergii 'Helmond Pillar' Helmond Pillar Barberry | 2 Gal. | 3' hgt. x 2' wide | |
| o | Cornus alba 'Baillhali' Ivory Halo Dogwood | 5 Gal. | 6' hgt. x 6' wide | |
| o | Picea pungens 'Globoosa' Dwarf Globe Blue Spruce | 5 Gal. | 4' hgt. x 6' wide | |
| o | Physocarpus opulifolius 'Seaward' Summer Wine Ninebark | 2 Gal. | 5' hgt. x 6' wide | |
| o | Rosa x 'Noasplash' Pink Splash Groundcover Rose | 2 Gal. | 2' hgt. x 4' wide | |
| o | Spiraea japonica 'Goldmound' Goldmound Spirea | 2 Gal. | 3' hgt. 4' wide | |
| o | Viburnum plicatum tomentosum 'Mariesii' Doublefile Viburnum | 5 Gal. | 6' hgt. 10' wide | |

CALLOUT LEGEND

| | |
|--|---|
| | 40' VISION TRIANGLE |
| | OPEN LAWN SPACE |
| | 5'-0" WIDE CONCRETE PATHWAY |
| | START FENCE LINE AT BUILDING SETBACK PER OWNER/BUILDER. |

LANDSCAPE PLAN



LEAVITT & ASSOCIATES ENGINEERS, INC.
STRUCTURAL * CIVIL SURVEYING
1324 FIRST STREET SOUTH Nampa, IDAHO 83851
PHONE (208)463-0333/463-7670 FAX (208)463-9040
EMAIL NP@LEAVITTEENGINEERS.COM

OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

Original Designer: JRB
Original Designer: JRB
Job Number: SBB22-104
Delivery Date: 4/18/2023
Checked By: JGM
Drawn By: JRB

OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
503 S. THORNWOOD WAY
MERIDIAN, ID 83642
PHONE (208) 502-0758
DUANE@ALTECCA.COM

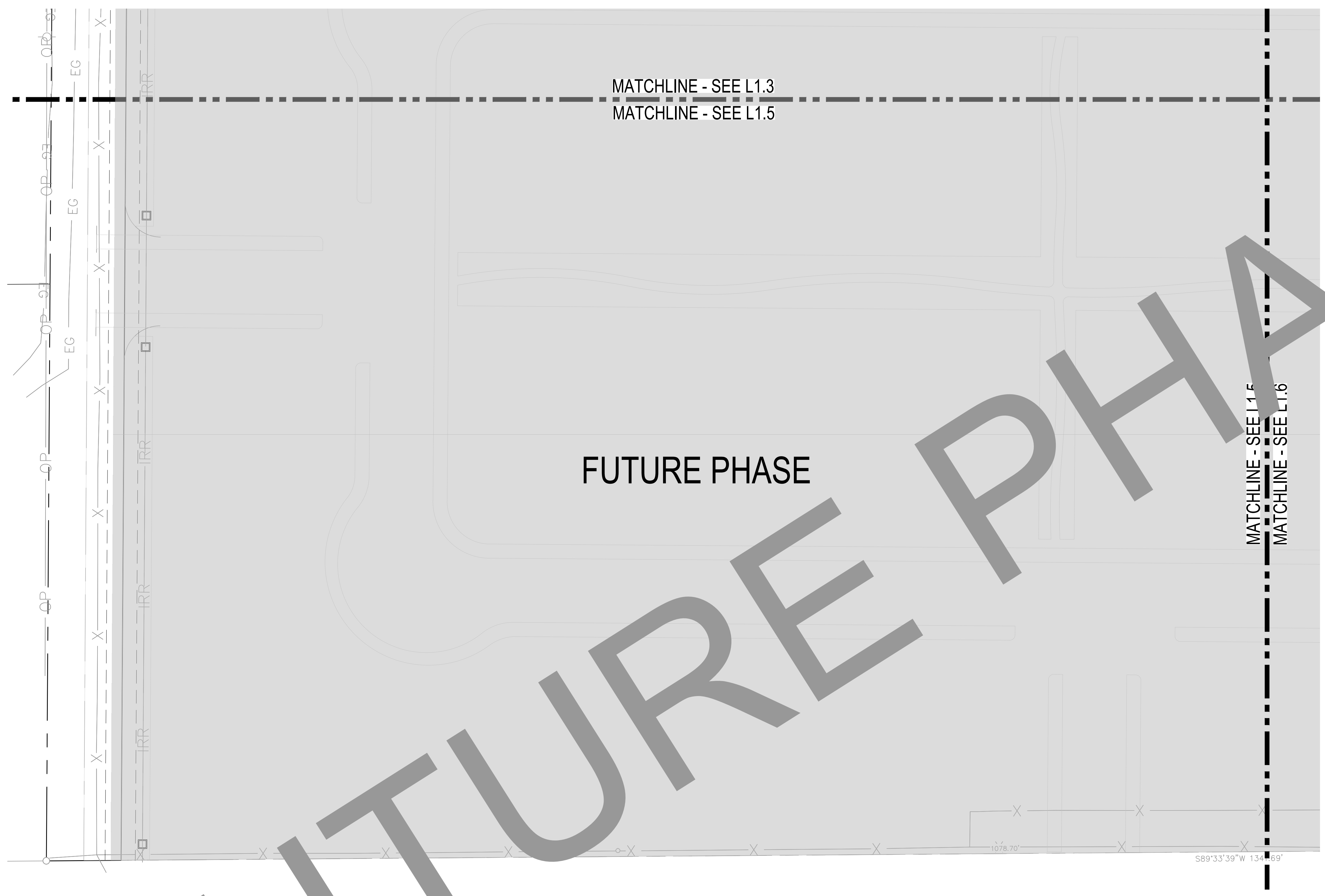
| No. | DATE | BY | DESIGN REVIEW MODIFICATION DESCRIPTION | REVISIONS |
|-----|----------|-----|--|-----------|
| 1 | 05/09/24 | SBB | | |

SOUTH BECK & BAIRD
South Landscape Architecture P.C.
Db South Beck & Baird Landscape Architecture P.C.

2002 S. Vista Ave
Boise, ID 83705
208.342.2999
info@sbbgo.com
www.sbbgo.com

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

SCALE: 1"=30'
Sheet Number: L1.4



LANDSCAPE LEGEND

| | | | |
|--|-----------------------------------|--|--|
| | PLANTS TO BE INSTALLED | | RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED |
| | CUT EDGE, SEE DETAIL 3/L2.0 | | NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 8/L2.0 |
| | 6" SOLID TURF, SEE DETAIL 7/L2.0 | | QUANTITY IDENTIFICATION KEY |
| | 6" WROUGH TURF, SEE DETAIL 8/L2.0 | | |

PLANT SCHEDULE

NOTE: All plants are to be installed at 100% Maturity

| KEY | BOTANICAL | PLANTING | PLANT SIZE | CLASS |
|-----|----------------------------------|----------|-------------------|----------|
| | | | SEE DETAIL 2/L2.0 | |
| | Platanoides 'Columnna' | 2" B&B | 40' hgt. 25' w | CLASS II |
| | Parkway Maple | | | |
| AL | Amelanchier laevis 'JFS-2' | 2" B&B | 28' hgt. 20' w | CLASS I |
| | Spring Flurry Serviceberry | | | |
| BN | Petula nigra | 2" B&B | 40' hgt. 30' w | CLASS II |
| | River Birch | | | |
| GT | Quercus 'Skyline' | 2" B&B | 45' hgt. 35' w | CLASS II |
| | Black Oak | | | |
| PC | Prunus cerasifera 'Thundercloud' | 2" B&B | 20' hgt. 20' w | CLASS I |
| | Thundercloud Plum | | | |
| | Prunus sargentii 'JFS-KW58' | 2" B&B | 25' hgt. 15' w | CLASS I |
| | Pink Flair Cherry | | | |
| QR | Quercus robur x alba | 2" B&B | 45' hgt. 15' w | CLASS II |
| | Streetspire Oak | | | |
| ZS | Zelkova serrata 'Halka' | 2" B&B | 45' hgt. 35' w | CLASS II |
| | Halka Zelkova | | | |

CONIFEROUS TREES

SEE DETAIL 1/L2.0

| | | | | |
|----|---------------------------------------|------------|----------------|--------|
| PB | Picea pungens 'Bacheri' | 6' B&B | 15' hgt. 8' w | CONIF. |
| | Bacheri Spruce | | | |
| PF | Pinus flexilis 'Vanderwolf's Pyramid' | 6' B&B | 30' hgt. 15' w | CONIF. |
| | Vanderwolf's Limber Pine | | | |
| CD | Cedrus deodara 'Aurea' | 8'-10' B&B | 35' hgt. 20' w | CONIF. |
| | Golden Deodar Cedar | | | |

GROUND COVERS/ GRASSES/ PERENNIALS

SEE DETAIL 4/L2.0

| | | | |
|--|---------------------------------------|--------|--------------------|
| | Coreopsis verticillata 'TNCORSG' | 1 Gal. | 2' hgt. x 2' wide |
| | Sunstar Gold Coreopsis | | |
| | Calamagrostis x. acutiflora 'Overdam' | 1 Gal. | 3' hgt. x 2' wide |
| | Dwarf Feather Grass | | |
| | Hemerocallis x 'Stella De Oro' | 1 Gal. | 18" hgt. x 2' wide |
| | Stella De Oro Daylily | | |
| | Sedum spectabile 'Black Beauty' | 1 Gal. | 2' hgt. x 2' wide |
| | Black Beauty Sedum | | |
| | Penstemon x mexicali 'P008S' | 1 Gal. | 2' hgt. x 3' wide |
| | Red Rocks Penstemon | | |
| | Phlox subulata 'Candy Stripe' | 1 Gal. | 6" hgt. x 3' wide |
| | Candy Stripe Creeping Phlox | | |

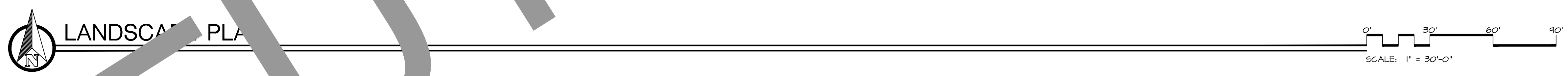
SHRUBS

SEE DETAIL 5/L2.0

| | | | |
|--|---|--------|-------------------|
| | Buxus x 'Green Velvet' | 5 Gal. | 4' hgt. x 4' wide |
| | Green Velvet Boxwood | | |
| | Berberis thunbergii 'Helmond Pillar' | 2 Gal. | 3' hgt. x 2' wide |
| | Helmond Pillar Barberry | | |
| | Cornus alba 'Bailhalo' | 5 Gal. | 6' hgt. x 6' wide |
| | Ivory Halo Dogwood | | |
| | Picea pungens 'Globosa' | 5 Gal. | 4' hgt. x 6' wide |
| | Dwarf Globe Blue Spruce | | |
| | Physocarpus opulifolius 'Seaward' | 2 Gal. | 5' hgt. x 6' wide |
| | Summer Wine Ninebark | | |
| | Rosa x 'Noasplash' | 2 Gal. | 2' hgt. x 4' wide |
| | Pink Splash Groundcover Rose | | |
| | Spiraea japonica 'Goldmound' | 2 Gal. | 3' hgt. 4' wide |
| | Goldmound Spirea | | |
| | Viburnum plicatum tomentosum 'Mariesii' | 5 Gal. | 6' hgt. 10' wide |
| | Doublefile Viburnum | | |

CALLOUT LEGEND

- 40' VISION TRIANGLE
- OPEN LAWN SPACE
- 5'-0" WIDE CONCRETE PATHWAY
- START FENCE LINE AT BUILDING SETBACK PER OWNER/BUILDER.



FUTURE PHASE

LEAVITT & ASSOCIATES ENGINEERS, INC.
 STRUCTURAL * CIVIL SURVEYING

1324 FIRST STREET SOUTH Nampa, IDAHO 83651
 PHONE (208)463-0333/463-7670 FAX (208)463-9040
 EMAIL NP@LEAVITTEENGINEERS.COM

Original sealed by: [Signature]
 Date: [Date]

OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

Job Number: JGM SBB22-104
 Checked By: JRB
 Drawn By: JRB
 Delivery Date: 4/18/2023

OLIVER ESTATES SUBDIVISION STAR, IDAHO

OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
 503 S. THORNWOOD WAY
 MERIDIAN, ID 83642
 PHONE (208) 502-0758
 DUANE@ALTECCA.COM

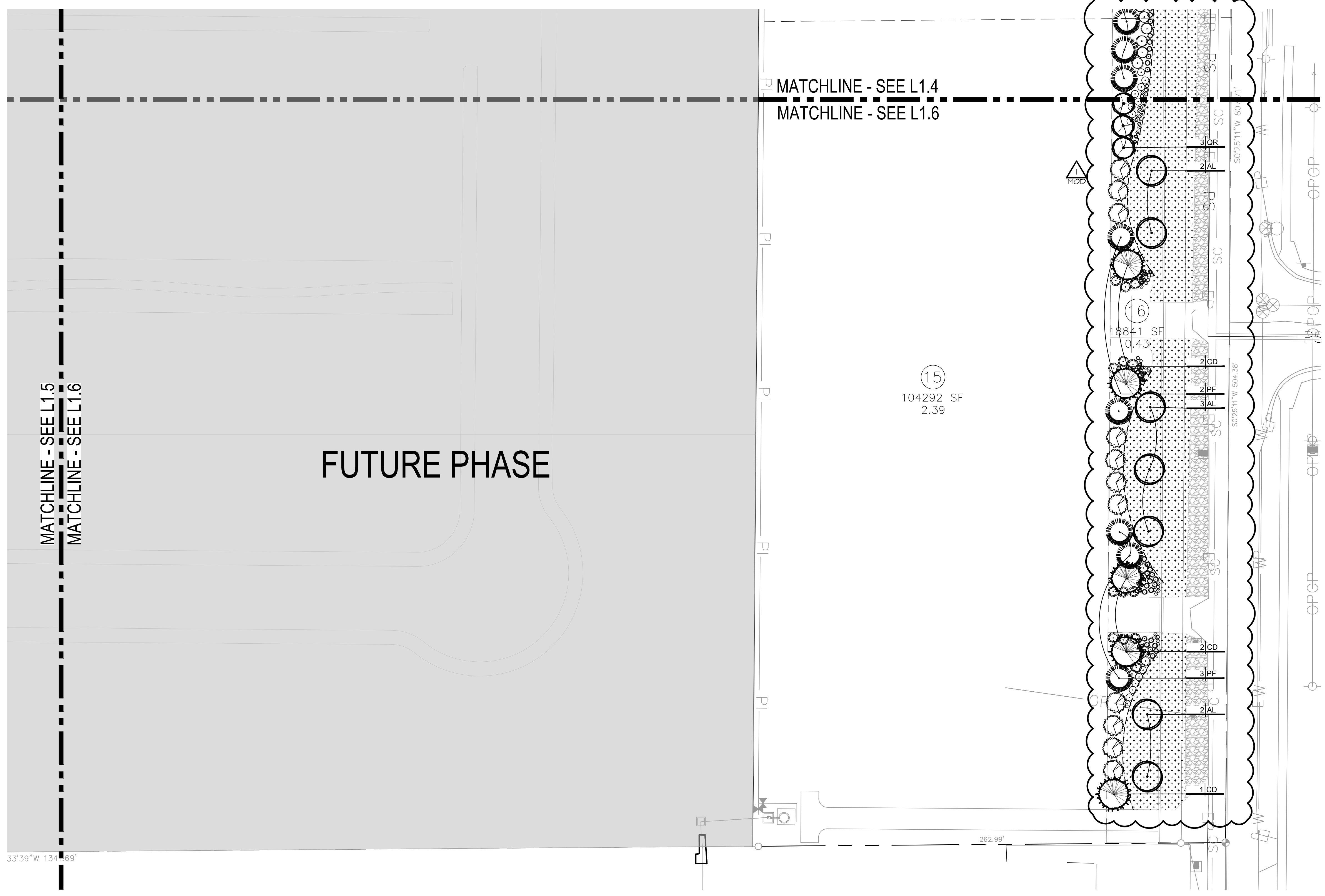
| No. | DATE | BY | DESIGN REVIEW MODIFICATION DESCRIPTION | REVISIONS |
|----------|------|----|--|-----------|
| 05/09/24 | SBB | | | |

SOUTH BECK & BAIRD
 South Landscape Architecture P.C.
 Dba South Beck & Baird Landscape Architecture P.C.

2002 S. Vista Ave
 Boise, ID 83705
 208.342.2999
 info@sbbgo.com
 www.sbbgo.com



THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

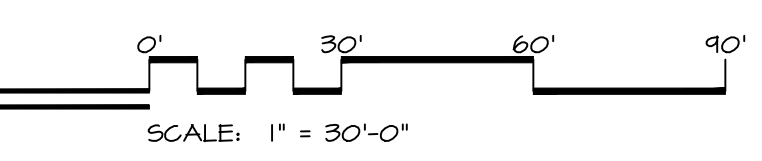


MATCHLINE - SEE L1.5
MATCHLINE - SEE L1.6

MATCHLINE - SEE L1.4
MATCHLINE - SEE L1.6

FUTURE PHASE

15
104292 SF
2.39



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 3/L2.0
- NATIVE BASALT BOULDERS, 3'-4' DIAMETER, SEE DETAIL 8/L2.0
- 6" SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 7/L2.0
- 6" WROUGHT IRON FENCE, SEE DETAIL 6/L2.0
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

| KEY | BOTANICAL NAME COMMON NAME | PLANTING SIZE | MATURE SIZE | CLASS |
|---|--|---------------|--------------------|----------|
| DECIDUOUS TREES SEE DETAIL 2/L2.0 | | | | |
| AP | Acer platanoides 'Columnarbroad' Parkway Maple | 2" B&B | 40' hgt. 25' w | CLASS II |
| AL | Amelanchier laevis 'JFS-Arb' Spring Flurry Serviceberry | 2" B&B | 28' hgt. 20' w | CLASS I |
| BN | Betula nigra River Birch | 2" B&B | 40' hgt. 30' w | CLASS II |
| GT | Gleditsia triacanthos 'inermis' 'Skyline' Skyline Honeylocust | 2" B&B | 45' hgt. 35' w | CLASS II |
| PC | Prunus cerasifera 'Thundercloud' Thundercloud Plum | 2" B&B | 20' hgt. 20' w | CLASS I |
| PS | Prunus sargentii 'JFS-KW58' Pink Flair Cherry | 2" B&B | 25' hgt. 15' w | CLASS I |
| QR | Quercus robur x alba Streetspire Oak | 2" B&B | 45' hgt. 15' w | CLASS II |
| ZS | Zelkova serrata 'Halka' Halka Zelkova | 2" B&B | 45' hgt. 35' w | CLASS II |
| CONIFEROUS TREES SEE DETAIL 1/L2.0 | | | | |
| PB | Picea pungens 'Bacheri' Bacheri Spruce | 6" B&B | 15' hgt. 8' w | CONIF. |
| PF | Pinus flexilis 'Vanderwolf's Pyramid' Vanderwolf's Limber Pine | 6" B&B | 30' hgt. 15' w | CONIF. |
| CD | Cedrus deodara 'Aurea' Golden Deodar Cedar | 8'-10" B&B | 35' hgt. 20' w | CONIF. |
| GROUND COVERS/ GRASSES/ PERENNIALS SEE DETAIL 4/L2.0 | | | | |
| | Coreopsis verticillata 'TNCORSG' Sunstar Gold Coreopsis | 1 Gal. | 2' hgt. x 2' wide | |
| | Calamagrostis x. acutiflora 'Overdam' Dwarf Feather Grass | 1 Gal. | 3' hgt. x 2' wide | |
| | Hemerocallis x 'Stella De Oro' Stella De Oro Daylily | 1 Gal. | 18" hgt. x 2' wide | |
| | Sedum spectabile 'Black Beauty' Black Beauty Sedum | 1 Gal. | 2' hgt. x 2' wide | |
| | Penstemon x mexicali 'P008S' Red Rocks Penstemon | 1 Gal. | 2' hgt. x 3' wide | |
| | Phlox subulata 'Candy Stripe' Candy Stripe Creeping Phlox | 1 Gal. | 6" hgt. x 3' wide | |
| SHRUBS SEE DETAIL 5/L2.0 | | | | |
| | Buxus x 'Green Velvet' Green Velvet Boxwood | 5 Gal. | 4' hgt. x 4' wide | |
| | Berberis thunbergii 'Helmond Pillar' Helmond Pillar Barberry | 2 Gal. | 3' hgt. x 2' wide | |
| | Cornus alba 'Bailhalo' Ivory Halo Dogwood | 5 Gal. | 6' hgt. x 6' wide | |
| | Picea pungens 'Globosa' Dwarf Globe Blue Spruce | 5 Gal. | 4' hgt. x 6' wide | |
| | Physocarpus opulifolius 'Seaward' Summer Wine Ninebark | 2 Gal. | 5' hgt. x 6' wide | |
| | Rosa x 'Noasplash' Pink Splash Groundcover Rose | 2 Gal. | 2' hgt. x 4' wide | |
| | Spiraea japonica 'Goldmound' Goldmound Spirea | 2 Gal. | 3' hgt. 4' wide | |
| | Viburnum plicatum tomentosum 'Mariesii' Doublefile Viburnum | 5 Gal. | 6' hgt. 10' wide | |

CALLOUT LEGEND

- 1 40' VISION TRIANGLE
- 2 OPEN LAWN SPACE
- 3 5'-0" WIDE CONCRETE PATHWAY
- 4 START FENCE LINE AT BUILDING SETBACK PER OWNER/BUILDER.

LEAVITT & ASSOCIATES ENGINEERS, INC.
STRUCTURAL * CIVIL SURVEYING
1324 FIRST STREET SOUTH Nampa, IDAHO 83651
PHONE (208)463-0333/463-7670 FAX (208)463-9040
EMAIL NP@LEAVITTEENGINEERS.COM

Original sealed by: [Signature]
Date: [Date]

OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN

Job Number: SBB22-104
Checked By: JGM
Drawn By: JRB
Delivery Date: 4/18/2023

OLIVER ESTATES SUBDIVISION STAR, IDAHO

OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
503 S. THORNWOOD WAY
MERIDIAN, ID 83642
PHONE (208) 502-0758
DUANE@ALTECCA.COM

| No. | DATE | BY | DESCRIPTION |
|-----------|----------|-----|----------------------------|
| 1 | 05/09/24 | SBB | DESIGN REVIEW MODIFICATION |
| REVISIONS | | | |

SOUTH BECK & BAIRD
South Landscape Architecture P.C.
2002 S. Vista Ave
Boise, ID 83705
208.342.2999
info@sbbgo.com
www.sbbgo.com

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

LANDSCAPE SPECIFICATIONS

- SEE CIVIL ENGINEERING PLANS FOR ALL SITE CLEARING AND ROUGH GRADE WORK. FINISH GRADE 1" OF DESIGN GRADE. COORDINATE ALL LANDSCAPE WORK WITH CIVIL DRAWINGS. SEE ARCHITECTURAL SITE PLAN FOR ALL SITE ELEMENTS NOT SHOWN ON LANDSCAPE PLAN.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- CONTRACTOR SHALL REPORT TO OWNER'S REPRESENTATIVE ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK. COORDINATE WORK SCHEDULE AND OBSERVATIONS PRIOR TO CONSTRUCTION STARTUP.
- BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN DRAWINGS AND SITE TO OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z60.11 - "AMERICAN STANDARD FOR NURSERY STOCK". ACCEPTANCE OF PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE. PLANT MATERIAL SHALL BE PROVIDED BY LICENSED NURSERY OR WHOLESALE GROWER. NO BARE ROOT STOCK ALLOWED. SEE DETAILS FOR FURTHER PLANTING REQUIREMENTS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- PLANT ALL TREES AND SHRUBS PER DETAILS. USE APPROVED PLANTING SOIL AS SPECIFIED IN PLANTING SOIL NOTES OR APPROVED EQUAL. USE WHEN BACK FILLING TREE AND SHRUB PITS.
- WATER PLANTS THOROUGHLY AFTER PLANTING.
- REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND TYPE AT NO COST TO OWNER. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN CERTIFIED BY OWNER'S REPRESENTATIVE. PLANTS NOT IN A HEALTHY GROWING CONDITION AFTER ONE (1) YEAR SHALL BE REPLACED AT NO COST TO OWNER EXCEPT FOR LOSS DUE TO CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR. INSPECTION AND ACCEPTANCE TO BE DONE BY OWNER'S REPRESENTATIVE.
- LIMIT SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBGRADES: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - SPREAD PLANTING SOIL TO A COMPACTED DEPTH OF 12 INCHES IN TURF AREAS AND 18 INCHES AT SHRUB BED AREAS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
 - SPREAD PLANTING SOIL OVER LOOSENED SUBGRADE.
 - REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF SOD OR SEED. UNCHANGED SUBGRADES: IF TURF OR SHRUBS ARE TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY EXCAVATING, GRADING, OR SURFACE-SOIL STRIPPING OPERATIONS, PREPARE SURFACE SOIL AS FOLLOWS:
 - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
 - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE. APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING PLANTING SOIL NOTES AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
 - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF FINISH GRADING; RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- DO NOT SOW IMMEDIATELY FOLLOWING RAIN, OR WHEN GROUND IS TOO DRY. TEMPERATURE SHALL BE BETWEEN 55 F AND 95 F FOR A 24 HOUR PERIOD. WIND SHALL BE LESS THAN 5 MPH.
- MAINTAIN ALL LANDSCAPING FOR 30 DAYS AFTER COMPLETION OF LANDSCAPING OR UNTIL SUBSTANTIAL COMPLETION, WHICHEVER IS LATER. THIS WILL INCLUDE WATERING, MOWING, AND REPLACING LAWN THAT IS NOT IN A HEALTHY GROWING STATE.
- BEGIN PLANTING ONLY AFTER INSTALLATION AND ACCEPTANCE OF THE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM AND ACCEPTANCE OF FINISH GRADING BY OWNER'S REPRESENTATIVE.
- THE FOLLOWING LANDSCAPE INSPECTIONS SHALL BE MADE BY THE OWNER'S REPRESENTATIVE AFTER AT LEAST 48 HOURS NOTICE HAS BEEN GIVEN BY THE CONTRACTOR:
 - AFTER GRADING HAS BEEN COMPLETED AND BEFORE IRRIGATION HAS BEEN INSTALLED.
 - AFTER INSTALLING THE IRRIGATION MAINLINE.
 - AFTER IRRIGATION HAS BEEN COMPLETED AND BEFORE PLANTING HAS BEEN INSTALLED.
 - AFTER COMPLETION OF THE INSTALLATION OF ALL PLANT MATERIALS.
 - AFTER ALL WORK HAS BEEN COMPLETED (SUBSTANTIAL COMPLETION).
- ALL PLANTING BED AREAS SHALL BE COVERED IN A MINIMUM OF 3" DEPTH OF 1" MINUS CRUSHED AND WASHED BLACK AND TAN BASALT LANDSCAPE MULCH OVER DEWITT PRO 5 WEED FABRIC. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT SAMPLE OF MULCH MATERIAL FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- AGRIFORM TABLETS(20-10-5) ARE TO BE ADDED TO THE PLANTED MATERIALS IN THE FOLLOWING QUANTITIES: 1 PER 1 GALLON SHRUB, 2 PER 2 OR 3 GALLON SHRUB, 3 PER 5 GALLON SHRUB, AND 6 PER TREE. DISTRIBUTE EQUALLY IN ROOT ZONE OF EACH PLANT.
- AFTER PLANTING, APPLY PRE-EMERGENT(ELANCO, XL, RONSTAR, SURFLAN, OR APPROVED EQUAL) PRIOR TO APPLICATION OF MULCH.
- UPON COMPLETION OF PLANTING OPERATION, CLEAR SITE OF DEBRIS, SUPERFLUOUS MATERIALS AND EQUIPMENT, ALL OF WHICH SHALL BE ENTIRELY REMOVED FROM PREMISES. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OR IRRIGATION ACTIVITIES AND PROPERLY DISPOSE OF OFF SITE.
- PROVIDE WRITTEN INSTRUCTIONS ON MAINTENANCE REQUIREMENTS TO OWNER.
- MAINTAIN TREES BY PRUNING, CULTIVATION AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR VERTICAL POSITIONS AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES FREE OF INSECTS AND DISEASE.
- ALL PLANTING AREAS TO BE SEPARATED FROM ALL LAWN AREAS WITH APPROVED LANDSCAPE EDGING PER PLANS - SEE DETAIL.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

RIGHT OF WAY LANDSCAPE NOTES

- COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- ANY PERENNIAL TREES OR PLANTS THAT WILL EXTEND ROOTS DEEPER THAN 18" SHALL BE PROHIBITED OVER UNDERGROUND SEEPAGE BEDS, INFILTRATION FACILITIES OR PIPING SYSTEMS.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET LOCAL JURISDICTIONAL STANDARDS.

PLANTING SOIL NOTES

- TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL MINIMUM. FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
- TOPSOIL SOURCE: REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM.
 - STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 1/2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
- REPRESENTATIVE SAMPLES OF PLANTING SOILS SHALL BE TESTED FOR ACIDITY, FERTILITY, ORGANIC MATTER AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY. SUBMIT TOPSOIL ANALYSIS TEST RESULTS FROM TESTING LABORATORY WITH RECOMMENDATIONS FOR IT TO MEET REQUIREMENTS TO THE LANDSCAPE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET.
- AT A MINIMUM, PREPARE SOIL IN ALL AREAS BY SPREADING A 15-15-15 FERTILIZER AT 7.5 POUNDS PER 1000 SQUARE FEET OF SURFACE AREA AND AN MANURE COMPOST (OR APPROVED EQUAL) AT 3 CUBIC YARDS PER 1000 SQUARE FEET OF SURFACE AREA OVER FINISH GRADE AND ROTO-TILL INTO TOP 6" OF SOIL. FOLLOW ALL IMPROVEMENT RECOMMENDATIONS OF SOIL TEST RESULTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, ORGANIC MATTER, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH. 5.5 TO 7.6.
- NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
- PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
- ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

GENERAL NOTES

- CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITIES WITH OWNER AND UTILITY COMPANIES. PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK HOUND ALL PLANTING AREAS PRIOR TO PLANTING, TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) AND EXTRANEIOUS MATERIAL OR DEBRIS.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL, SUBSTITUTIONS FROM OWNER'S REPRESENTATIVE PRIOR TO ORDERING OR INSTALLATION. FAILURE TO COMPLY WILL REQUIRE THE REMOVAL OF MATERIALS AT NO COST TO THE OWNER AND REPLACED WITH APPROVED MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT BEST MANAGEMENT PRACTICES TO STABILIZE ALL SLOPES 3:1 OR GREATER AND PREVENT EROSION OR MOVEMENT OF SOIL FROM SLOPES.
- ALL ROCK MATERIALS TO BE OBTAINED FROM LOCAL SOURCE OR APPROVED EQUAL.

WEED ABATEMENT

- ALL AREAS TO BE PLANTED OR HYDROSEEDDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH 'ROUND-UP' (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF 'ROUND-UP' TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.
- COORDINATE WITH CIVIL FOR ALL WEED ABATEMENT REQUIREMENTS

DISCLAIMER:

THIS DRAWING HAS BEEN PREPARED BASED UPON INFORMATION PROVIDED, IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, SOUTH BECK AND BAIRD, PC. CANNOT ASSURE ITS ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATE INTO IT AS A RESULT. SOUTH BECK AND BAIRD, PC. ASSUMES NO LIABILITY FOR ANY MISINFORMATION.

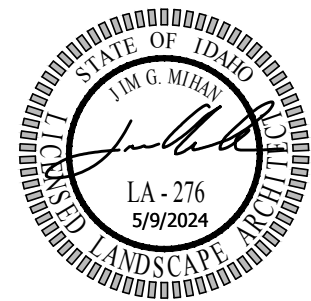
LEAVITT & ASSOCIATES ENGINEERS, INC.
STRUCTURAL * CIVIL SURVEYING
 1324 FIRST STREET SOUTH, NAMPA, IDAHO 83651
 PHONE (208)463-0333/463-7670 FAX (208)463-9040
 EMAIL NP@LEAVITTEENGINEERS.COM

Original sealed by: _____
 Date signed: _____
 An original document is on file at the office of Leavitt & Associates Engineers, Inc.

OLIVER ESTATES SUB. NO. 1 OVERALL LANDSCAPE PLAN
 Job Number: JGM
 SBB22-104
 Checked By: JRB
 Drawn By: JRB
 Delivery Date: 4/18/2023

OLIVER ESTATES SUBDIVISION STAR, IDAHO
 OWNER/DEVELOPER:
ALTECCA CONSTRUCTION
 503 S. THORNWOOD WAY
 MERIDIAN, ID 83642
 PHONE (208) 502-0758
 DUANE@ALTECCA.COM

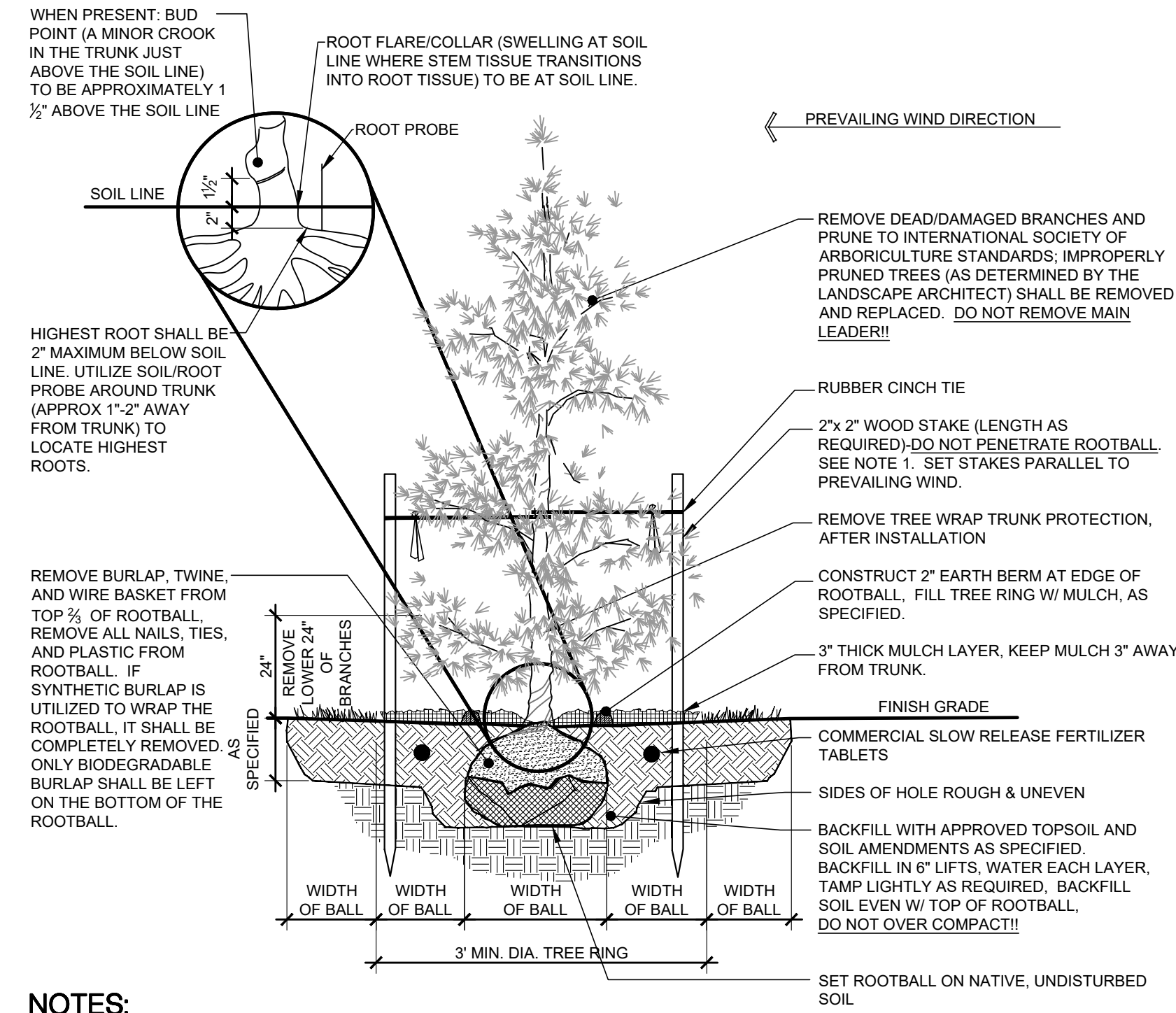
| | | | |
|----------|------|----|----------------------------|
| No. | DATE | BY | DESCRIPTION |
| 05/09/24 | SBB | | DESIGN REVIEW MODIFICATION |
| | | | REVISIONS |



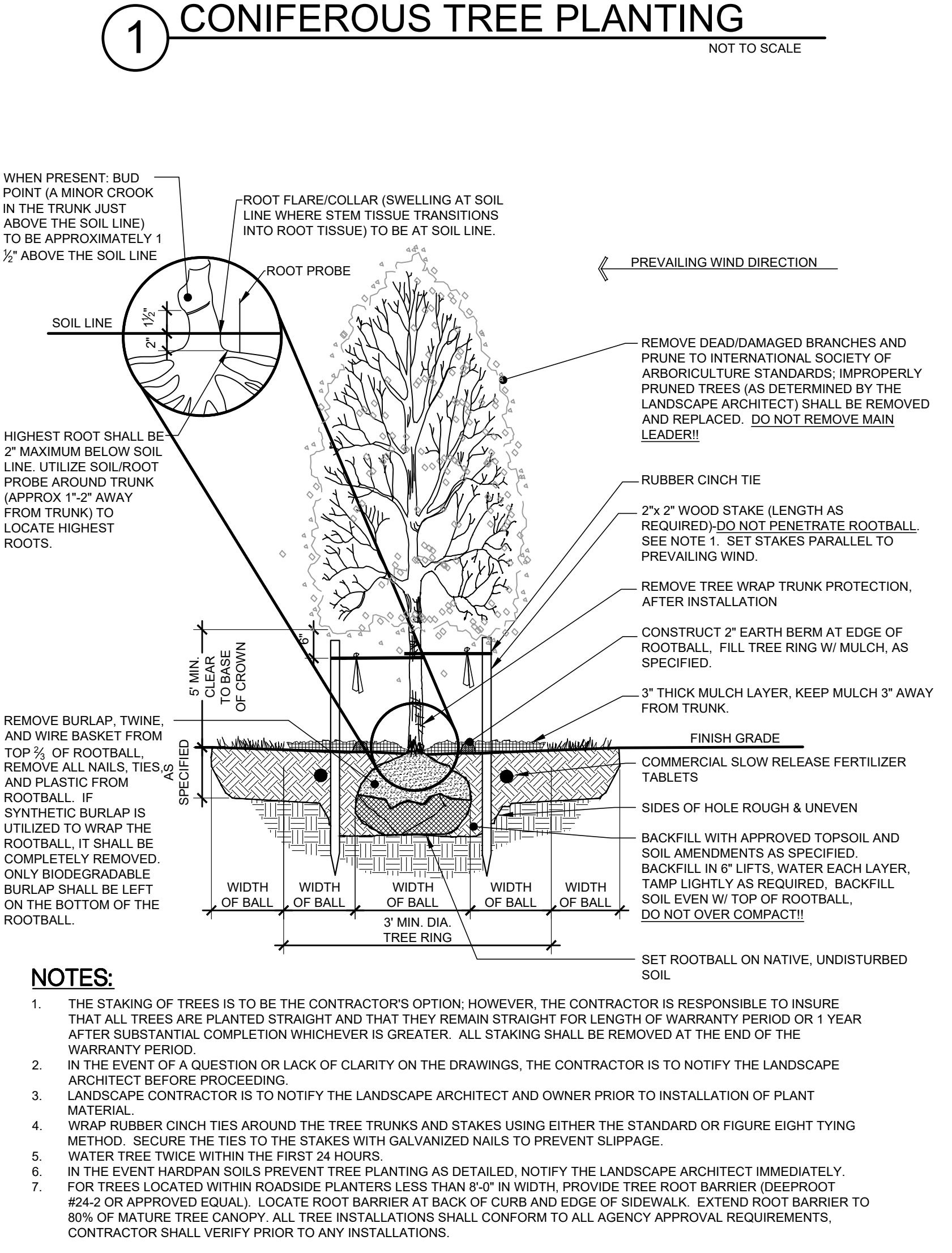
SOUTH BECK & BAIRD
 South Landscape Architecture P.C.
 Dba South Beck & Baird Landscape Architecture P.C.
 2002 S. Vista Ave
 Boise, ID 83705
 208.342.2999
 info@sbbgo.com
 www.sbbgo.com

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

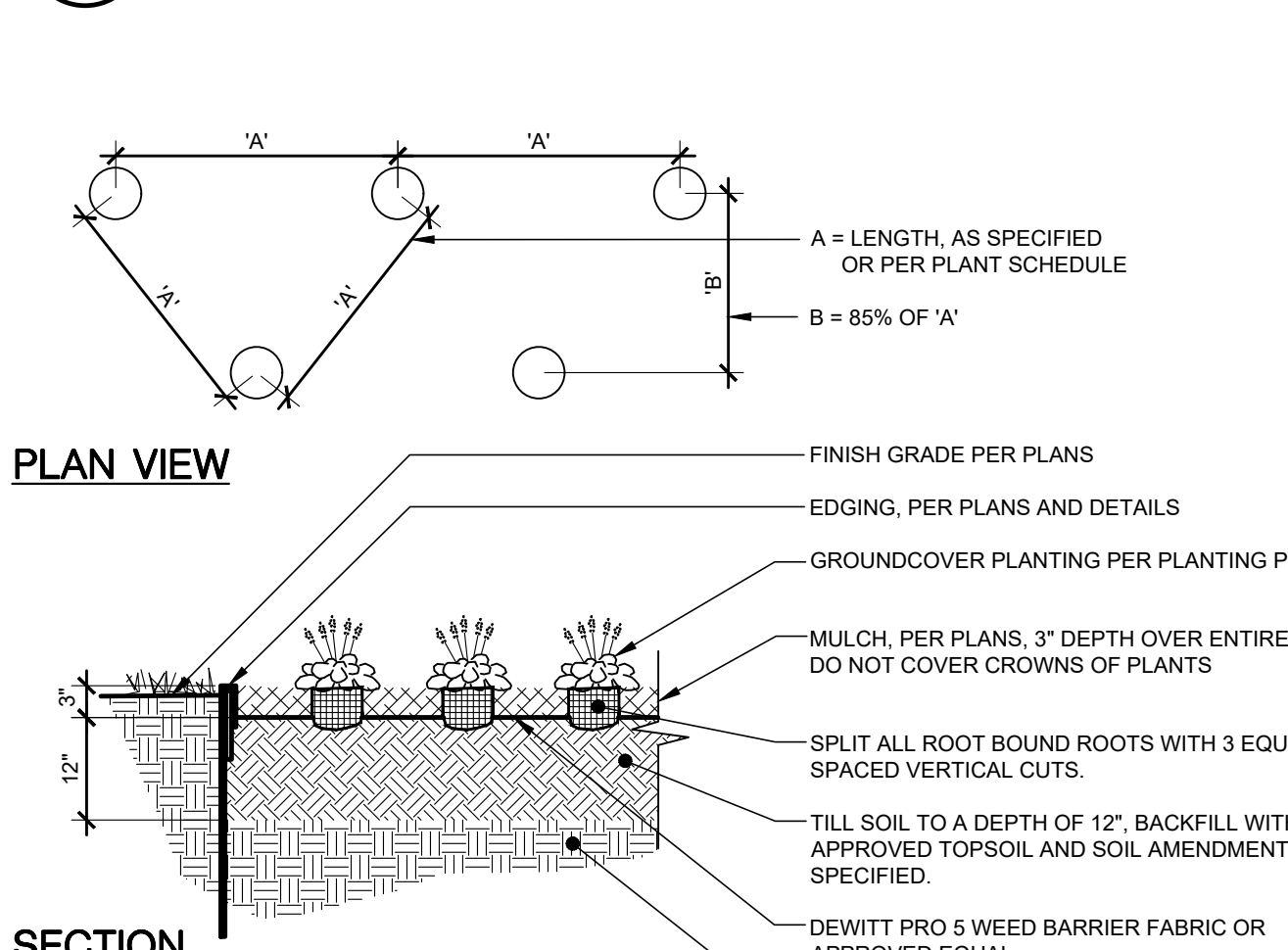
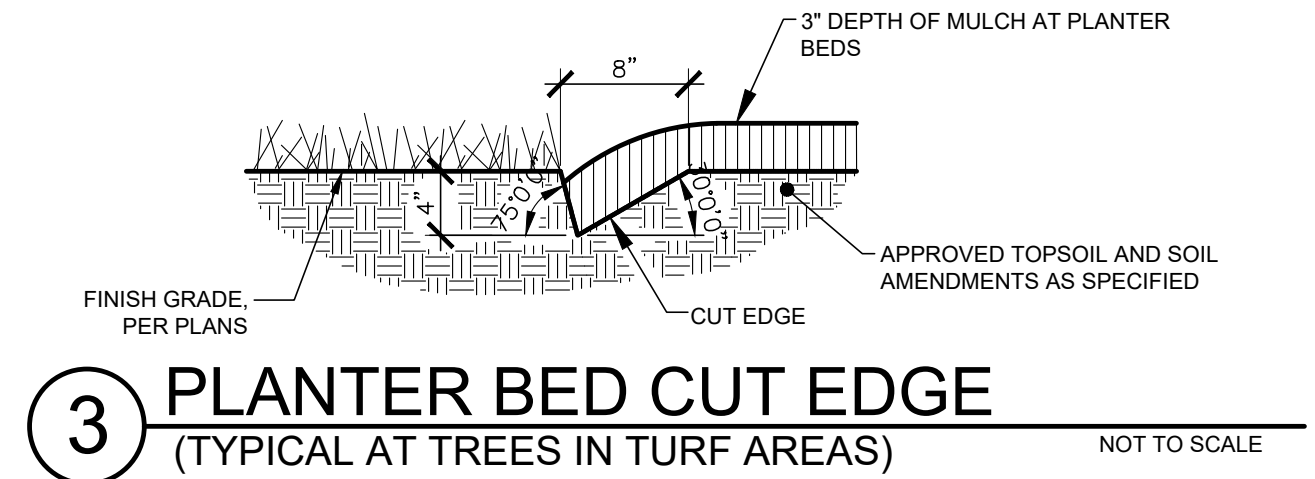
SCALE: NTS
 Sheet Number: L2.0



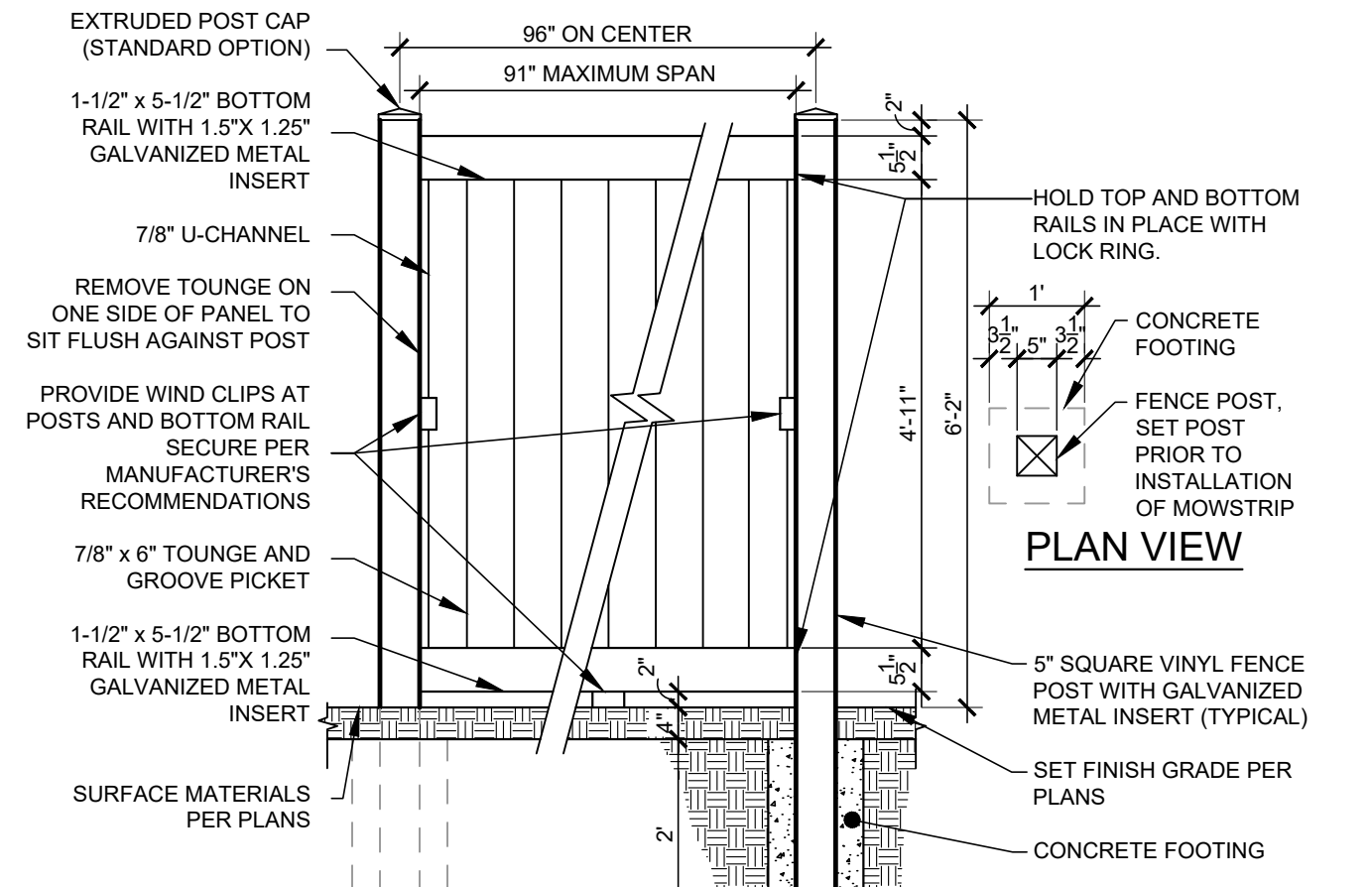
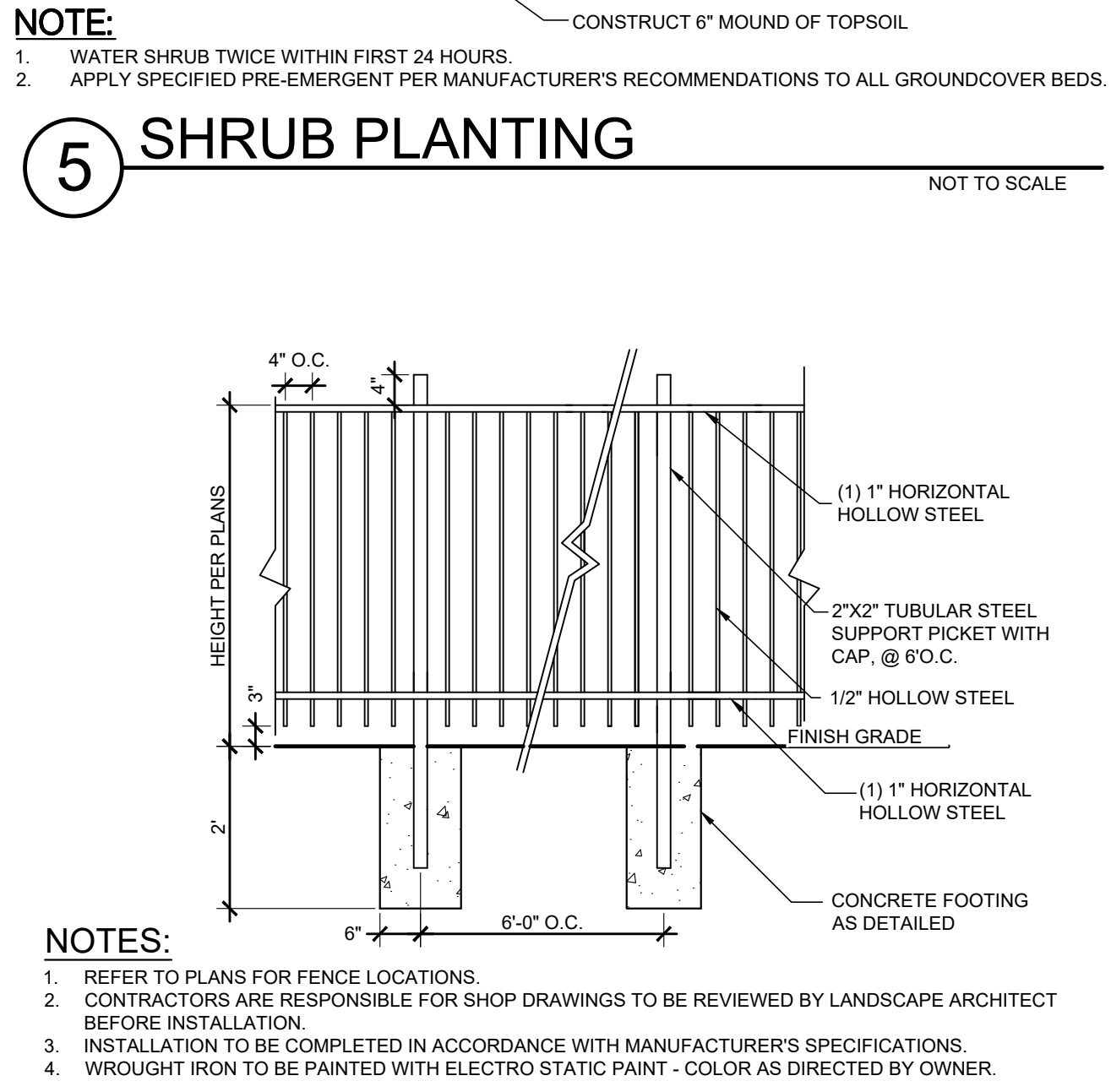
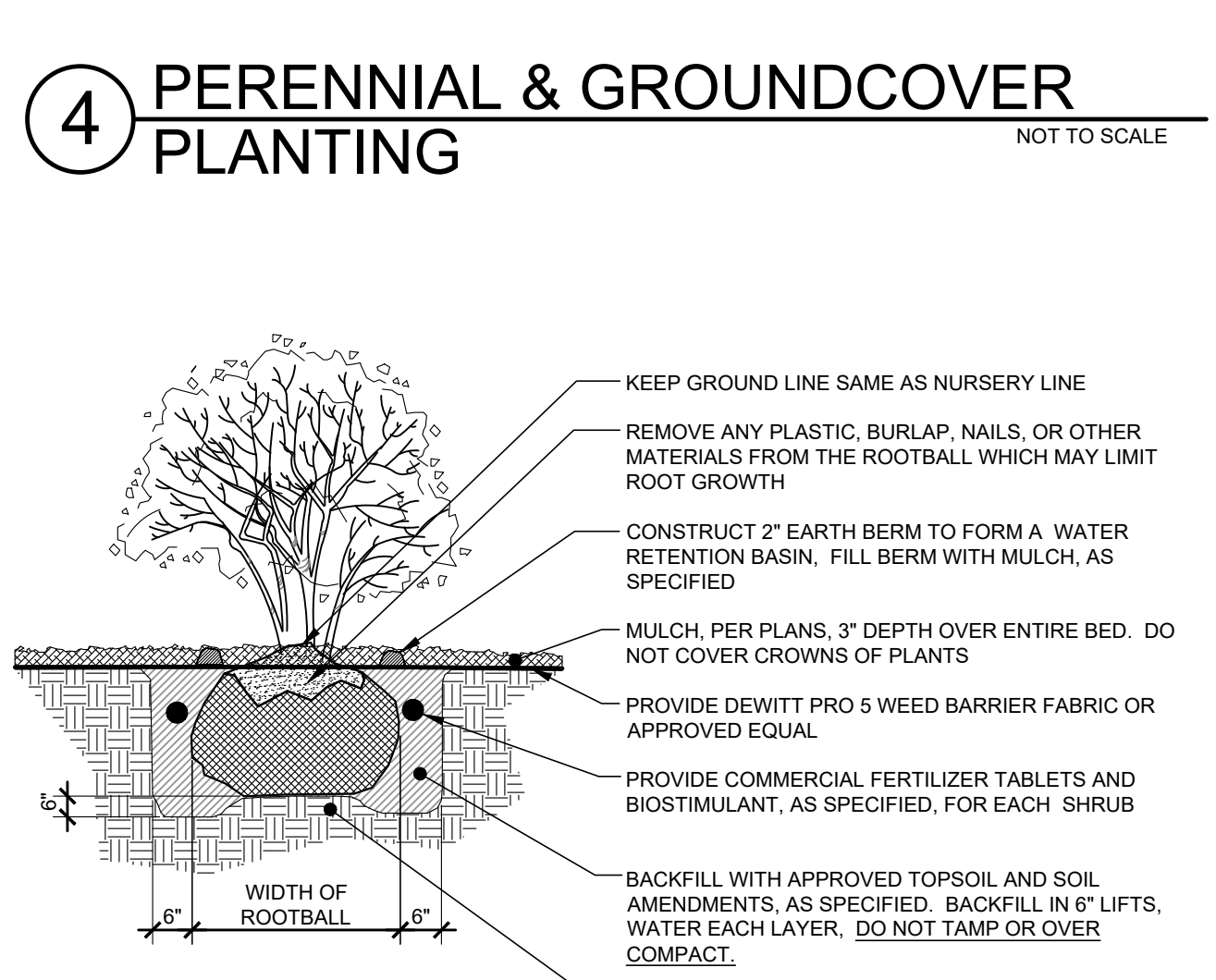
- NOTES:**
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION, HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 2. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 3. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 4. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 5. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



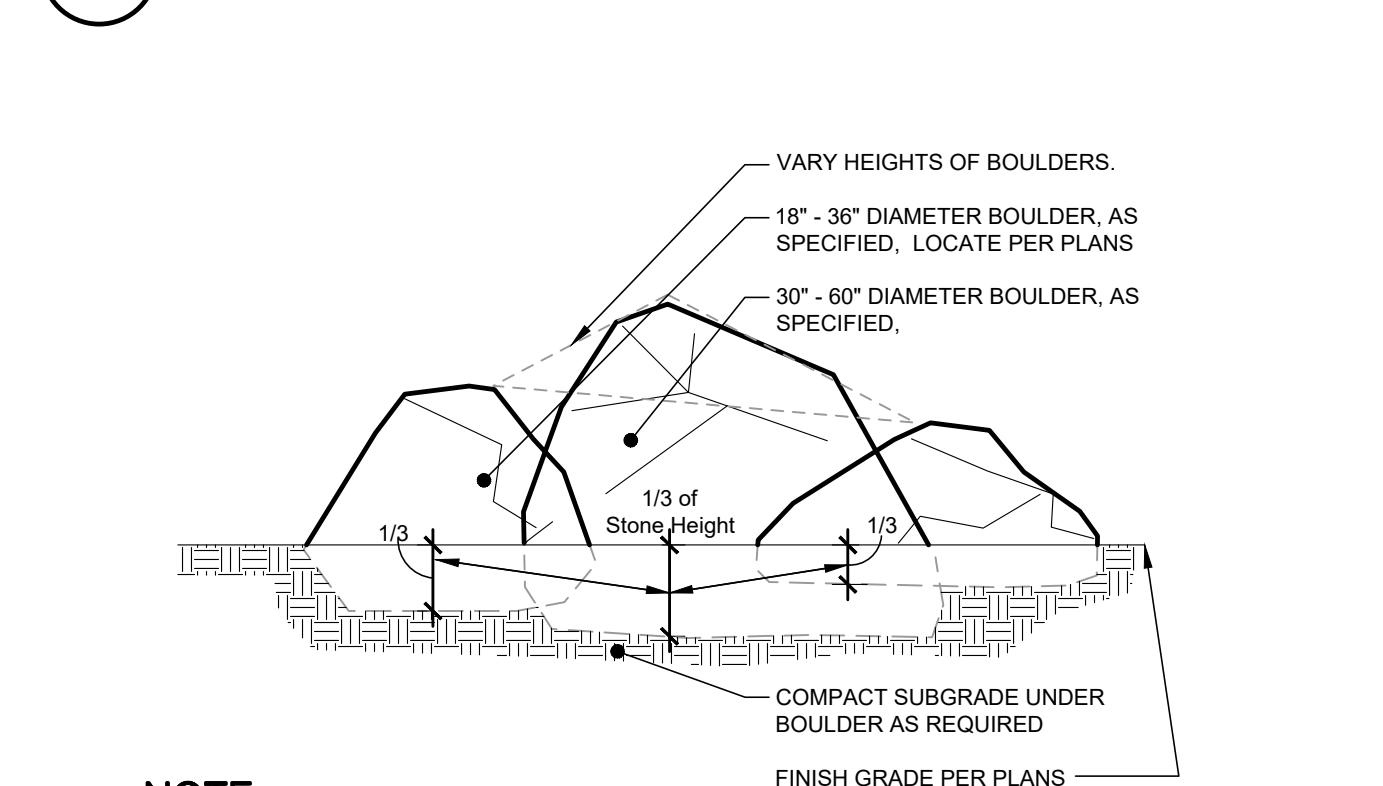
- NOTES:**
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION, HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
 2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
 3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
 4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
 6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
 7. FOR TREES LOCATED WITHIN ROADSIDE PLANTERS LESS THAN 8'-0" IN WIDTH, PROVIDE TREE ROOT BARRIER (DEEPROOF #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS, CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.



- NOTES:**
1. ALL GROUND COVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
 2. APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUND COVER BEDS.



- NOTES:**
1. REFER TO LAYOUT PLAN FOR MOW STRIP LOCATIONS.
 2. SCORE JOINTS @ 10' O.C. OR AT EACH POST.
 3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



- NOTES:**
1. REFER TO PLANS FOR FENCE LOCATIONS.
 2. CONTRACTORS ARE RESPONSIBLE FOR SHOP DRAWINGS TO BE REVIEWED BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.
 3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. WROUGHT IRON TO BE PAINTED WITH ELECTRO STATIC PAINT - COLOR AS DIRECTED BY OWNER.

| No. | DATE | BY | DESCRIPTION | REVISIONS |
|----------|------|----|----------------------------|-----------|
| 05/09/24 | SBB | | DESIGN REVIEW MODIFICATION | |

SOUTH BECK & BAIRD
South Landscape Architecture P.C.
Dba South Beck & Baird Landscape Architecture P.C.

2002 S. Vista Ave
Boise, ID 83705
208.342.2999
info@sbggo.com
www.sbggo.com

LA - 276
5/9/2024

THIS DOCUMENT IS THE PROPERTY OF LEAVITT & ASSOCIATES ENGINEERS, INC AND THE DESIGN AND IDEAS WITHIN ARE NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT OF LEAVITT & ASSOCIATES ENGINEERS, INC.

1445 N. Orchard St.
Boise ID 83706 • (208) 373-0550



Brad Little, Governor
Jess Byrne, Director

July 24, 2024

Shawn L. Nickel
Planning Director and Zoning Administrator
Star City Hall
P.O. Box 130
Star, Idaho 83669
snickel@staridaho.org

Subject: Oliver Estates Final Plat Phase 1
Files No. FP-24-08

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at:
<https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.

- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of stormwater or authorized non-storm water associated with the primary industrial activity and co-located industrial activity.

For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.

- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator

c:

2021AEK



HIGHWAY DISTRICT No.4
15435 HIGHWAY 44
CALDWELL, IDAHO 83607

TELEPHONE 208.454.8135
FAX 208.454.2008

June 5, 2024

Leavitt and Associates Engineering
1324 First Street South
Nampa, ID 83651
Attention: Jimmy Church, P.E.

Star City Hall
10769 West State Street
Star, ID 83669
Attention: Shawn Nickel

**RE: Oliver Estates Subdivision
Improvement Drawings—Submittal 1**

Highway District No. 4 (HD4) has reviewed the first submittal of Oliver Estates Subdivision dated 9/20/23 and final plat dated 5/23/24. Please know, ACHD maintains Can-Ada Road. Any work on Can-Ada Road requires a utility permit from ACHD. This includes but no limited to pressure sewer install, water install, saw cut of pavement for frontage improvements and gravity irrigation connection at Stump/Can-Ada. Please see below the following comments:

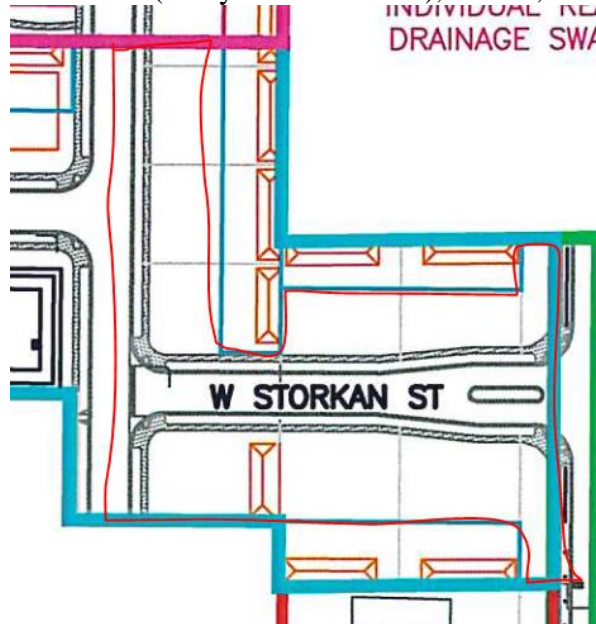
Final Plat

1. L1, Line table missing. Please add dimension
2. 1"=70' scale is cumbersome. Consider different scale
3. Revise Notes:
 - a. Common Lot Block 1 Lot 16= ROW
 - b. Block 1 lots 13-15 are not ROW
4. Width of Lot 16 Block 1 should be 42'. Lack of dimensioning is challenging given scale. Common lot adjacent to this right-of-way has an 8' sidewalk easement.
5. Add sheet showing details of Can-Ada road at north ROW limits
6. Add common driveway easement Block 1 Lots 2 & 3 and Block 3 lots 3 & 4.
7. Update references from Canyon Highway District No. 4 (CHD4) to Highway District No. 4 (HD4)
8. Add on certificate of owner's page, "The public streets and rights-of-ways shown on this plat are dedicated to the public forever."
9. Revise note 6 to match, "The Homeowners Association, underlying property owner or adjacent property owner is responsible for all storm drainage facilities outside the public right-of-way, including all routine and heavy maintenance."
10. Add note, "The Homeowners Association or adjacent property owner is responsible for maintaining sidewalk within the right-of-way and outside of the right-of-way including any and all amenities (lawns, landscaping, etc.) approved by the District to be within the public right-of-way. "
11. Add note, "Except for Lot 1 Block 3, no direct access to adjacent collectors and arterial roadways is allowed."
12. Show access easement for Lot 1 Block 3 across common lot.
13. Appears a PI station is located on Lot 1 Block 3. Should consider an access easement across common lot for that PI station and if need be easement for others to cross onto the property to maintain the PI station.
14. Extend easements across frontage of common lots 9, 14, 38 for sidewalk and PUDI

15. Block 1 lots 9 & 38. These are drainage ponds. Please show accordingly. Review Lot 9 location of sewer lift station and drainage pond
16. Setback of 70' applies from the east section line of Section 12. Setback also applies from the quarter-section line at the south boundary of the NE ¼--applicant can apply for waiver for this location.
17. Add note, "2' wide sidewalk easement is reserved adjacent to Can-Ada Road ROW. Except along Can-Ada Road, an eight (8) foot wide sidewalk easement is hereby reserved adjacent to residential lot lines common to a public right-of-way, and adjacent to Block 1 Lot 16."

Improvement Drawings

1. Landscape island at entry was removed from approved preliminary plat. Is this island desired? If desired, please coordinate with final plat.
2. What is intention related to landscaping of common lots adjacent to roads and landscape strip between curb and sidewalk?
 - a. Please provide landscape plan
3. Please add existing conditions and demo sheet to better depict changes.
4. Provide confirmation from irrigation district, star sewer and water, and Star City improvements are acceptable prior to HD4 plan acceptance.
5. Drainage calcs page 16 pipe sizing. Please review % of flow aka tributary area. For example at inlet 1, tributary area is 2 acres (see red line below) or 33% of total tributary area. Given $C=0.62$, $i=2.2$ in/hr (100 yr @ $T_c=20$ min), $a=2$ ac, volume= 2.73 CFS



6. Please also apply findings into drawing.
7. ADS not accepted for storm drainage. Can use C-900 under roads and sidewalk. From S&G Traps to pond could consider gravity sewer pipe.
8. Please make sure to include all sheets (sheet 1.1 master utility index was missing)
9. Pedestrian curb ramp width=5'

Sheet 1

1. Show two section/quarter corners
2. Confirm NAD 83

Sheet 2

1. Add note, "Plant mix paving shall be class 3 with a nominal maximum aggregate size of ½". PG 64-28 (Performance Grade Asphalt Binder) shall be used. A minimum of 0.5% Anti-Stripping additive is specified."
2. General note 5 applies to Can-Ada Road only. Please reference Can-Ada Road in the note.
3. Change all references in all sheets from Canyon Highway District No. 4 (CHD4) to Highway District No.4 (HD4).
4. For interior roads provide pavement design using TI 7 and you can consider using max R-value of 33 for subgrade.
5. Please match Can-Ada Road improvements to ACHD improvements east side of road. 17' from CL, 3' gravel shoulder, drainage. Sidewalk by cash deposit. Back of sidewalk at ROW. Require 2' s/w easement to remain flat in common lot adjacent to Can-Ada.
6. Specify Max aggregate size of "6" pit run" in call outs.
7. Is there drainage retention planned for Stump Lane North/South?

Sheet 3

1. Where does Phase 2 drainage go? Uses pond #2?
2. Label sand and grease traps in plan view

Sheet 4

1. Review pipe type. By note Middleton Mill requires RCP, plans show PVC.
2. Add dimension line from road centerline to edge of pipe.
 - a. Show road centerline
 - b. Show section line
3. What is easement for the irrigation line?
4. Pump station access will need an easement across common lot. Furthermore, likely need easement for personnel to maintain said station.

Sheet 5

1. Confirm existing pipe condition with ACHD at crossing of Can-Ada Road. Remove and replace per ACHD direction.
2. Show irrigation easement on final plat and in improvement drawings
3. Irrigation pipe @ B2 and B3 to be C900 or class 3 RCP.
4. Please show proposed road elevation at the B2/B3 crossing
5. Plans called for 42' ROW dedication and 8' sidewalk easement. Irrigation ditch appears in the way. Thoughts on shifting pipe east and use an easement so building lot size not reduced?
6. Remove fence in Stump North/South
7. Top of Box B6 and B7 appears to be below ground

Sheet 6

1. Frontage improvements match ACHD (east side of Can-Ada), 17' of pavement measured from CL, 3' gravel shoulder. Sidewalk via cash deposit. Do please provide 2' easement adjacent to Can-Ada Road ROW for sidewalk easement.
 - a. ACHD dedicated ROW from section line but made improvements measured from centerline. In the event ACHD does not shift road 4' east to align on section line at future rebuild provide 2' easement in common lot will gain an additional 2' of space to develop said road.
2. Frontage improvements only apply from sta 8+56.84-10+31.25. Include pavement taper north of 10+31.25 and south of 8+56.84
3. Include type 3 barricade south of 8+56.84
4. Curb for Storkan and driveway approach is still required
5. Which line is ROW?
6. Please call out all radii at TBC
7. Remove ped ramps that direct peds to cross Can-Ada. No ped crossing at this location
8. In road profile can you show profile of road at saw cut and profile of road at EP?
9. Please show in plan view existing centerline and section line.

Sheet 7

1. Review 25 mph rate of curvature for stopping sight distance of sag and crest curves in AASHTO and apply to all sheets.
2. Ped x-ing across Oliver does not have a ramp to receive ped. Please add ramp.
3. Show grades% of ped x-ing of Oliver
4. KN 21= c-900
 - a. SD pipes under roads and sidewalks shall be c-900. Leaving S&G traps into pond can use gravity sewer pipe.
5. Please show storm drainage pipe in road profile. All sheets
6. No mail delivery allowed along Can-Ada Road. Use cluster box within subdivision. No mail delivery along Storkan

Sheet 8

1. Please reference concrete sidewalk approach standard drawing from ISPWC for emergency access approach or given rolled curb are there other options?
2. Is there a plan view of Stump Lane swale construction or just cross section? Please add plan view as well.
3. KN 7 applies for Stump N/S as well
4. Review 18" pipe vertical scale
5. SDMH has two 12" inverts in. Consider clarifying this in profile view notation
6. SD pipes under roads and sidewalks shall be c-900. Leaving S&G traps into pond can use gravity sewer pipe.
7. Review lot numbers, some missing
8. See Sheet 5 comments regarding irrigation
9. Add vertical curve at 15+97.53

Sheet 9

1. Review ped x-ing grades. Appears at 9% for ped ramp located on north side of road

Sheet 10

1. Plan view of sewer lines are wiped-out. Please remove wipe out or text box with white fill as it covers the sewer line linetype.

Sheet 13

1. Water profile not included. Please reaffirm General Water note 3 regarding 4' of cover

Sheet 14

1. Provide water valve @ Oliver crossing

Sheet 17

1. Can pressure sewer be located at edge of shoulder widening?
 - a. Location should allow install without closing the SB lane.
2. Show existing and proposed road surface in profile. Perhaps this is shown but callouts and linetype did not show.
3. Provide 4' cover measured from top of pavement

Sheet 18

1. Please provide 2' of 2% or flatter slope behind sidewalk. Unable to confirm slope from this point. Please know, max 3:1 applies. Please depict this information for staff confirmation.

Sheet 19

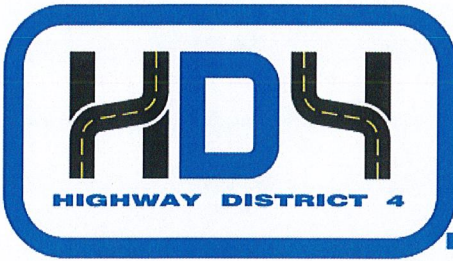
1. Show striping of Can-Ada road
2. Include type 3 barricade south of 8+56.84
3. Type 3 barricade at stub road, "Roadway to be extended in the future"
4. Add street names to all inside corners
5. Striping of fog line that was saw cut.

If you have any questions please call.

Regards,



Lenny Riccio, P.E.
Assistant Engineer
Transportation Planner



**HIGHWAY DISTRICT No.4
15435 HIGHWAY 44
CALDWELL, IDAHO 83607**

**TELEPHONE 208.454.8135
FAX 208.454.2008**

July 30, 2024

City of Star Planning & Zoning Commission & City Council
PO Box 130
Star, Idaho 83669
Attention: Shawn Nickel, Administrator

**RE: Oliver Estates Subdivision Phase No. 1
FP-24-08 Final Plat**

Highway District No. 4 (HD4) has received a request to consider and comment on the above referenced development application within the City of Star, Idaho. HD4 offers the following comments in this matter:

Jurisdiction

By agreement with the City (Canyon 4/Star Public Agency Coordination Agreement, June 6th, 2007), HD4 acts as the supervisory authority for all public roads within the City limits that also lie within Canyon County (except those highways under the jurisdiction of Idaho Transportation Department). This supervisory authority includes highway planning, the establishment of design and use standards, access controls, review and approval of plats and development plans, and other operations and management duties assigned to highway districts under Idaho Code. For consistency within the city, HD4 has adopted the ACHD Policy Manual Sections 3000 – 3005, 7200 – 7211, and the associated exhibits for use within Star city limits.

Final Plat

1. HD4 requires construction and approval of all public roadway and drainage improvements for subdivision developments prior to approval of the final plat. Bonding for these improvements is not available under current HD4 development policy. As of the date of this letter, construction plans for the development are not yet approved, and no construction of public road improvements to serve the development has begun.
2. CHD4 has provided comments to the applicant and/or their representatives on the final plat and improvement drawings submitted for review (attached for reference). It is expected that modifications to the final plat and improvement plans will be made prior to plan approval and construction of roadway improvements.
3. Upon satisfactory completion of roadway and drainage improvements to serve the development, HD4 will consider approval of the final plat, and provide notice to the City of any action by the HD4 Board.

Please feel free to contact me with any questions on this matter.

Respectfully,

Chris Hopper, P.E.
District Engineer

File: Star_Can Ada Rd- Oliver Estates Subdivision