



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shen J. Smith*

**MEETING DATE:** **April 19, 2022 – PUBLIC HEARING**

**FILE(S) #:** PP-22-02 Preliminary Plat for Addington Subdivision  
PR-22-01 Private Street

### OWNER/APPLICANT/REPRESENTATIVE

**Applicant/Representative:**

Tamara Thompson  
The Land Group, Inc.  
462 E. Shore Drive  
Eagle, Idaho 83616

**Property Owner:**

STC Development, LLC  
199 N. Capital Blvd., Ste. 300  
Boise, Idaho 83702

### REQUEST

**Request:** The Applicant is seeking approval of a Preliminary Plat and Private Street for a proposed residential subdivision consisting of 34 residential lots and 1 common lot. The property is located on the east side of N. Highbrook Way in Star, Idaho, and consists of 5.58 acres with a proposed density of 6.09 dwelling units per acre.

### PROPERTY INFORMATION

**Property Location:** The subject property is generally approximately 780 feet north of the intersection of W. State Street and N. Highbrook Way. Ada County Parcel No. R8108003014.

**Surrounding Land Use/Designations:**

	Zoning Designation	Comp Plan Designation	Land Use
<b>Existing</b>	Residential (R-7)	Compact Residential	Vacant
<b>Proposed</b>	Residential (R-7)	Compact Residential	Compact Residential

<b>North of site</b>	Residential (R-4) (R-7) / Rural Urban Transition (RUT)	Compact Residential	Single Family Residential
<b>South of site</b>	Commercial (C-2)	Central Business District	Albertsons/Agricultural
<b>East of site</b>	Residential (R-4)	Compact Residential	Single Family Residential
<b>West of site</b>	Residential (R-7)	Compact Residential	Endsley Court Subdivision

**Existing Site Characteristics:** The property is currently vacant ground.

**Irrigation/Drainage District(s):** Middleton Irrigation Association  
Middleton Mill Ditch Company  
P.O. Box 848  
Middleton, Idaho 83644

**Flood Zone:** This property is not currently located in a Flood Hazard Area.  
FEMA FIRM Panel Number: 16001C0130J & 16001C0125J  
Effective Date: 6/19/2020

**Special On-Site Features:**

- ✧ Areas of Critical Environmental Concern – No known areas.
- ✧ Evidence of Erosion – No evidence.
- ✧ Fish Habitat – No.
- ✧ Floodplain – No.
- ✧ Mature Trees – None.
- ✧ Riparian Vegetation – No.
- ✧ Steep Slopes – None.
- ✧ Stream/Creek – None.
- ✧ Unique Animal Life – No unique animal life has been identified.
- ✧ Unique Plant Life – No unique plant life has been identified.
- ✧ Unstable Soils – No known issues.
- ✧ Historical Assets – No historical assets have been observed.
- ✧ Wildlife Habitat – No known sensitive wildlife habitat observed.

<b>APPLICATION REQUIREMENTS</b>
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Pre-Application Meeting Held	October 14, 2021
Neighborhood Meeting Held	December 16, 2021
Application Submitted & Fees Paid	January 26, 2022
Application Accepted	February 28, 2022
Residents within 300' Notified	February 28, 2022
Agencies Notified	February 28, 2022
Legal Notice Published	April 3, 2022
Property Posted	April 7, 2022

## HISTORY

September 19, 2017

Council approved annexation and zoning (R-7) as part of the Sample Property Annexation, Ordinance 264.

## CODE DEFINITIONS / COMPREHENSIVE PLAN

### UNIFIED DEVELOPMENT CODE:

#### 8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:

R RESIDENTIAL DISTRICT: To provide regulations and districts for various residential neighborhoods. Gross density in a Residential (R) district shall be determined according to the numeral following the R. The numeral designates the maximum number of dwelling units per acre. In zoning designations of R-1, R-2, R-3, R-4 and R-5, housing shall be single family detached unless approved with a PUD or development agreement. Connection to municipal water and sewer facilities are required for all subdivision and lot split applications submitted after the effective date hereof in all districts exceeding one dwelling unit per acre. Wells and septic systems may be permitted for larger lots in this land use designation that are not adjacent to municipal services, as determined by the Sewer District, and if approved by the applicable Health Department. Private streets may be approved in this district for access to newly subdivided or split property. This district does allow for some non-residential uses as specified in 8-3A-3.

#### 8-3A-3: USES WITHIN ZONING DISTRICTS

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	R
Dwelling:	
Multi-Family	C
Secondary	A
Single-Family Attached	P
Single-Family Detached	P
Two-Family Duplex	P
Live/Work Multi-Use	N

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front (1)	Rear	Interior Side	Street Side
R-6 to R-11 attached housing	35'	15' to living area 20' to garage 10' if alley load	15' 4' if alley load	0' for common walls 5' at end of building	20'

Notes:

1. Interior side yard setbacks for lots with 50' or less of lot width shall be allowed 5' interior side yard setbacks for one and two-story structures.
2. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhang onto the sidewalk.

**8-4D-3: STANDARDS (PRIVATE STREETS):**

All private streets shall be designed and constructed to the following standards:

A. Design Standards:

1. Easement: The private street shall be constructed on a perpetual ingress/egress easement or a single platted lot (with access easement) that provides access to all applicable properties.
2. Connection Point: Where the point of connection of the private street is to a public street, the private street shall be approved by the transportation authority.
3. Emergency Vehicle: The private street shall provide sufficient maneuvering area for emergency vehicles as determined and approved by the Star Fire District.
4. Gates: Gates or other obstacles shall not be allowed, unless approved by Council through a Planned Unit Development or Development Agreement.

B. Construction Standards:

1. Obtain approval from the county street naming committee for a private street name(s);
2. Contact the transportation authority to install an approved street name sign that complies with the regulations of the county street naming ordinance;
3. Roadway and Storm Drainage: The private street shall be constructed in accord with the roadway and storm drainage standards of the transportation authority or as approved by the



city of Star based on plans submitted by a certified engineer.

4. Street Width: The private street shall be constructed within the easement and shall have a travel lane that meets ACHD width standards for the City of Star, or as determined by the Council and Star Fire District.

5. Sidewalks: A five foot (5') attached or detached sidewalk shall be provided on one side of the street in commercial districts. This requirement may be waived if the applicant can demonstrate that an alternative pedestrian path exists. Residential private streets may request a waiver of sidewalks to be approved by Council.

6. Fire Lanes: All drive aisles as determined by the Star Fire District to be fire lanes, shall be posted as fire lanes with no parking allowed. In addition, if a curb exists next to the drive aisle, it shall be painted red.

7. No building permit shall be issued for any structure using a private street for access to a public street until the private street has been approved.

C. The applicant or owner shall establish an on-going maintenance fund through the Owner's association with annual maintenance dues to ensure that funds are available for future repair and maintenance of all private streets. This shall be a requirement in a development agreement and/or as part of a planned unit development. A reserve account condition shall be included in the recorded CC&R's and shall be provided to the City for review. The condition of approval shall include the following:

1. Private Road Reserve Study Requirements.

- a. At least once every three years, the board shall cause to be conducted a reasonably competent and diligent visual inspection of the private road components that the association is obligated to repair, replace, restore, or maintain as part of a study of the reserve account requirements of the common interest development, if the current replacement value of the major components is equal to or greater than one-half of the gross budget of the association, excluding the association's reserve account for that period. The board shall review this study, or cause it to be reviewed, annually and shall consider and implement necessary adjustments to the board's analysis of the reserve account requirements as a result of that review.
- b. The study required by this section shall at a minimum include:
  - i. Identification of the private road components that the association is obligated to repair, replace, restore, or maintain.
  - ii. Identification of the probable remaining useful life of the components identified in paragraph (1) as of the date of the study.
  - iii. An estimate of the cost of repair, replacement, restoration, or maintenance of the components identified in paragraph (1).
  - iv. An estimate of the total annual contribution necessary to defray the cost to repair, replace, restore, or maintain the components identified

- in paragraph (1) during and at the end of their useful life, after subtracting total reserve funds as of the date of the study.
- v. A reserve funding plan that indicates how the association plans to fund the contribution identified in paragraph (4) to meet the association's obligation for the repair and replacement of all private road components.
  - c. A copy of all studies and updates shall be provided to the City, to be included in the development application record.

**8-4D-4: REQUIRED FINDINGS (PRIVATE STREETS):**

In order to approve the application, the administrator and/or Council shall find the following:

- A. The design of the private street meets the requirements of this article;
- B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity; and
- C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

**8-4E-2: COMMON OPEN SPACE AND SITE AMENITY REQUIREMENTS - STANDARDS:**

- A. Open Space and Site Amenity Requirement (see also Chapter 8 "Architectural Review"):
  - 1. The total land area of all common open space shall equal or exceed fifteen percent (15%) of the gross land area of the development. Ten percent (10%) of that area shall be usable open space.
  - 2. Each development is required to have at least one site amenity.
  - 3. One additional site amenity shall be required for each additional twenty (20) acres of development area, plus one additional amenity per 75 residential units.
  - 4. Developments with a density of less than 1 dwelling units per acre may request a reduction in total required open space and amenities to the Council. Developments with a density of less than 2 dwelling units per acre may request a 50% reduction in total required open space to the Council.
  - 5. For multi-family developments, see Section 8-5-20 for additional standards.
- B. Qualified Open Space: The following may qualify to meet the common open space requirements:
  - 1. Any open space that is active or passive in its intended use, and accessible or visible by all residents of the development, including, but not limited to:
    - a. Open grassy area of at least fifty feet by one hundred feet (50' x 100') in area;
    - b. Qualified natural areas;

c. Ponds or water features where active fishing, paddle boarding or other activities are provided (50% qualifies towards total required open space, must be accessible by all residents to qualify.) ponds must be aerated;

d. A plaza.

2. Additions to a public park or other public open space area.

3. The buffer area along collector and arterial streets may be included in required overall common open space for residential subdivisions.

4. Parkways along local residential streets with detached sidewalks that meet all the following standards may count toward the common open space requirement:

a. The parkway is a minimum of eight feet (8') in width from street curb to edge of sidewalk and includes street trees as specified otherwise herein.

b. Except for alley accessed dwelling units, the area for curb cuts to each residential lot or common driveway shall be excluded from the open space calculation. For purposes of this calculation, the curb cut area shall be a minimum area of twenty-six feet (26') by the width of the parkway.

c. Stormwater detention facilities do not qualify to meet the common area open space requirements, unless all of the following is met:

1. Must be at least fifty feet by one hundred feet (50' x 100') in area;
2. Specifically designed as a dual use facility, as determined by the administrator, to include minimal slopes, grass throughout, and guarantee of water percolation within 24 hours of storm event.
3. Is located in a development that has a second usable open space area that contains a qualified site amenity as herein defined.

5. Visual natural space, including open ditches, wetlands, slopes or other areas that may not be readily accessible to residents, and is provided with open style fencing, may qualify for up to 20% of the required open space total.

C. Qualified Site Amenities: Qualified site amenities shall include, but not be limited to, the following:

1. Clubhouse;
2. Fitness facilities, indoors or outdoors;
3. Public art;
4. Picnic area; or
5. Recreation amenities:
  - a. Swimming pool.

- b. Children's play structures.
  - c. Sports courts.
  - d. Additional open space in excess of 5% usable space.
  - e. RV parking for the use of the residents within the development.
  - f. School and/or Fire station sites if accepted by the district.
  - g. Pedestrian or bicycle circulation system amenities meeting the following requirements:
    - (1) The system is not required for sidewalks adjacent to public right of way;
    - (2) The system connects to existing or planned pedestrian or bicycle routes outside the development; and
    - (3) The system is designed and constructed in accord with standards set forth by the city of Star;
- D. Location: The common open space and site amenities shall be located on a common lot or an area with a common maintenance agreement.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Compact Residential

Suitable primarily for residential use allowing a mix of housing types such as single family, two family, and multi-family. Densities range from 5.01 units per acre to 10 units per acre.

8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

### 8.5.3 Policies Related Mostly to the Urban Residential Planning Areas:

- A. The Neighborhood Residential Land Use is to encourage urban style development densities to limit urban sprawl.
- B. Low densities within the Neighborhood Residential Land Use are to be designed within the floodplain, ridgeline developable areas, hillside developable areas and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivide in the future.

### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.

## PROJECT OVERVIEW

### PRELIMINARY PLAT & PRIVATE STREET:

The Preliminary Plat submitted contains 34 single family residential lots and 1 common area lots on 5.58 acres with a proposed density of 6.09 dwelling units per acre. The lots will have access and frontage from a proposed private street. Lots will range in size from 2,716 square feet to 5,408 square feet with the average buildable lot being 3,603 square feet. Lots will include zero-lot-lines to accommodate the proposed attached dwelling units. **The submitted preliminary plat is showing a private road with four different width dimensions. None of these widths currently meet the City of Star requirement of 36 feet from back of curb to back of curb of travel lane.** The applicant is requesting a waiver of these standards. Primary access for the development will be on Addington Lane from N. Highbrook Way. Applicant is providing an emergency access in approximately the middle of the development to the south connecting to the entrance street to Albertsons. Applicant is also proposing an emergency access at Center Street with bollards to prevent direct access. The preliminary plat indicates a small, T-type turn-around at the end of street. **Staff and the Star Fire District are concerned with the functionality of this proposed "turn-around" and recommends a revision to the preliminary plat to accommodate residents, delivery drivers, trash collection and emergency services. This can be accomplished with either an approved cul-de-sac turn around, or direct connection to Center Street. This connection would require a revision to the plat to include a public street rather than the proposed private street.**

**Staff will require one of these options as a condition of approval.** Sidewalks are proposed to be attached with a 5-foot, concrete sidewalk. Street names must be obtained by the Ada County Street Naming Committee prior to signature of the final plat. The applicant is proposing 1.18 acres (21.15%) of common open space which satisfies the Unified Development Code requirement of 15 percent. **It appears that the applicant is only proposing 12,095 square feet of usable open space which is less than 24,306 square feet (10%) required by the Unified Development Code. The applicant shall demonstrate that the required open space is provided within the development.**

The Unified Development Code, Section 8-4E-2 requires a development of this size to have a minimum of 1 site amenity. The applicant is proposing a shade structure in a pocket park with a walking path.

#### **ADDITIONAL DEVELOPMENT FEATURES:**

- Sidewalks  
Internal sidewalks are proposed at five-foot (5') widths and will be both attached and detached throughout the development.
- Lighting  
Streetlights shall reflect the "Dark Sky" criteria with all lighting. The same streetlight design shall continue throughout the entire development. The applicant has submitted a proposed streetlight plan. All proposed light locations satisfy City code. **Applicant has provided a streetlight plan. The applicant will need to provide a design/cut sheet for City approval. Applicant will be required to work with Staff and submit an updated cut sheet and design before signature of the final plat. Staff also suggests a streetlight be placed at the intersection of the emergency access.**
- Street Names  
**Applicant has not provided documentation from Ada County that the street name is acceptable and has been approved. This will be required at final plat.**
- Subdivision Name  
Applicant has provided a letter from Ada County that the subdivision name has been approved and reserved for this development.
- Landscaping - As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. Section 8-8C-2, J5 states that a minimum of one deciduous shade tree per four thousand (4,000) square feet of common area shall be provided. **The submitted landscape plan appears to satisfy these requirements for the open areas. The plan does not show the appropriate number**

**of required street trees. These will need to be added once driveways are designed to meet the requirement and receive occupancy permits.**

- Setbacks – The applicant is not requesting any setback waivers and will follow the approved setbacks for the R-7 zone.
- Mailbox Cluster – Applicant has provided documentation from the Star Postmaster depicting the approved location for the mailbox cluster within the development as a single location.
- Phasing – The applicant has not provided a phasing plan for the development. It is assumed that the subdivision will be built in a single phase.
- Storm Water - Will be retained on site and utilize Drain 9 and two pervious paver sections in the private road.

#### AGENCY & DEPARTMENT RESPONSES

Star City Engineer	April 12, 2022
ITD	No Response
Star Fire District	Pending
DEQ	March 11, 2022
ACHD	Pending
Intermountain Gas Company	April 1, 2022
Central District Health	March 10, 2022

#### PUBLIC RESPONSES

No public comments have been received.

#### STAFF RECOMMENDATION

**Staff recommends as a condition of approval, a revision to the preliminary plat to address the turn-around issue discussed in this report. Staff also recommends as a condition of approval, a revised landscape plan, or testimony from the applicant that demonstrates that the usable open space requirements of 10% will be met. Staff recommends that the Council review the request for waiver of the 36' street width for the entire proposed private road prior to approval.**

Based upon the information provided to staff in the applications and agency comments received to date, the proposed Preliminary Plat and Private Road, **as conditioned**, will meet the requirements, standards and intent for development as they relate to the Comprehensive Plan and Unified Development Code. The proposed density of 6.09 dwelling unit per acre is within

the range of 6-11 dwelling units per acre allowed in the Compact Residential Comprehensive Plan Future Land Use Map. Staff is supportive of proposed housing sizes and density that the (R-7) zoning designation will provide.

The Council should consider recommendations from Staff, together with the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date. A development agreement will also be brought back to the Council for review of proposed Conditions of Approval for the rezone.

## FINDINGS

The Council may **approve, conditionally approve, deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

### **PRELIMINARY PLAT FINDINGS:**

1. The plat is in compliance with the Comprehensive Plan.  
*The City must find that this Plat follows designations, spirit and intent of the Comprehensive Plan regarding residential development and meets several of the objectives of the Comprehensive Plan such as:*
  1. *Designing development projects that minimize impacts on existing adjacent properties, and*
  2. *Managing urban sprawl to protect outlying rural areas.*
2. Public Services are available or can be made available and are adequate to accommodate the proposed development.  
*The City must find that Agencies having jurisdiction on this parcel were notified of this action, and that it has not received notice that public services are not available or cannot be made available for this development.*
3. There is public financial capability of supporting services for the proposed development;  
*The City must find that they have not been notified of any deficiencies in public financial capabilities to support this development.*
4. The development will not be detrimental to the public health, safety or general welfare;  
*The City must find that it has not been presented with any facts stating this Preliminary Plat will be materially detrimental to the public health, safety and welfare. Residential uses are a permitted use.*
5. The development preserves significant natural, scenic or historic features;



*The City must find that there are no known natural, scenic, or historic features that have been identified within this Preliminary Plat.*

**PRIVATE STREET FINDINGS:**

A. The design of the private street meets the requirements of this article;

*The City must find that the proposed private streets meets the design standards in the Code.*

B. Granting approval of the private street would not cause damage, hazard, or nuisance, or other detriment to persons, property, or uses in the vicinity:

*The City must find that it has not been presented with any facts stating this private road will cause damage, hazard or nuisance, or other detriment to persons, property or uses in the vicinity.*

C. The use and location of the private street shall not conflict with the comprehensive plan and/or the regional transportation plan.

*The City must find that the use is not in conflict with the comprehensive plan and/or regional transportation plan.*

*Upon granting approval or denial of the application, the Council shall specify:*

1. The Ordinance and standards used in evaluating the application;
2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

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2. The reasons for recommending approval or denial; and
3. The actions, if any, that the applicant could take to obtain approval.

<b>CONDITIONS OF APPROVAL</b>
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1. The approved Preliminary Plat for the Addington Subdivision shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. **The applicant shall enter into a Development Agreement with the City, agreeing to proportionate share assessment by ITD regarding impacts to the State Highway System. ITD has calculated the fees to be \$TBD. These fees will be collected by the City of Star, by phase, prior to final plat signature. The development agreement shall be signed and recorded as part of the ordinance for annexation and zoning and shall contain the details of the fees to be collected.**

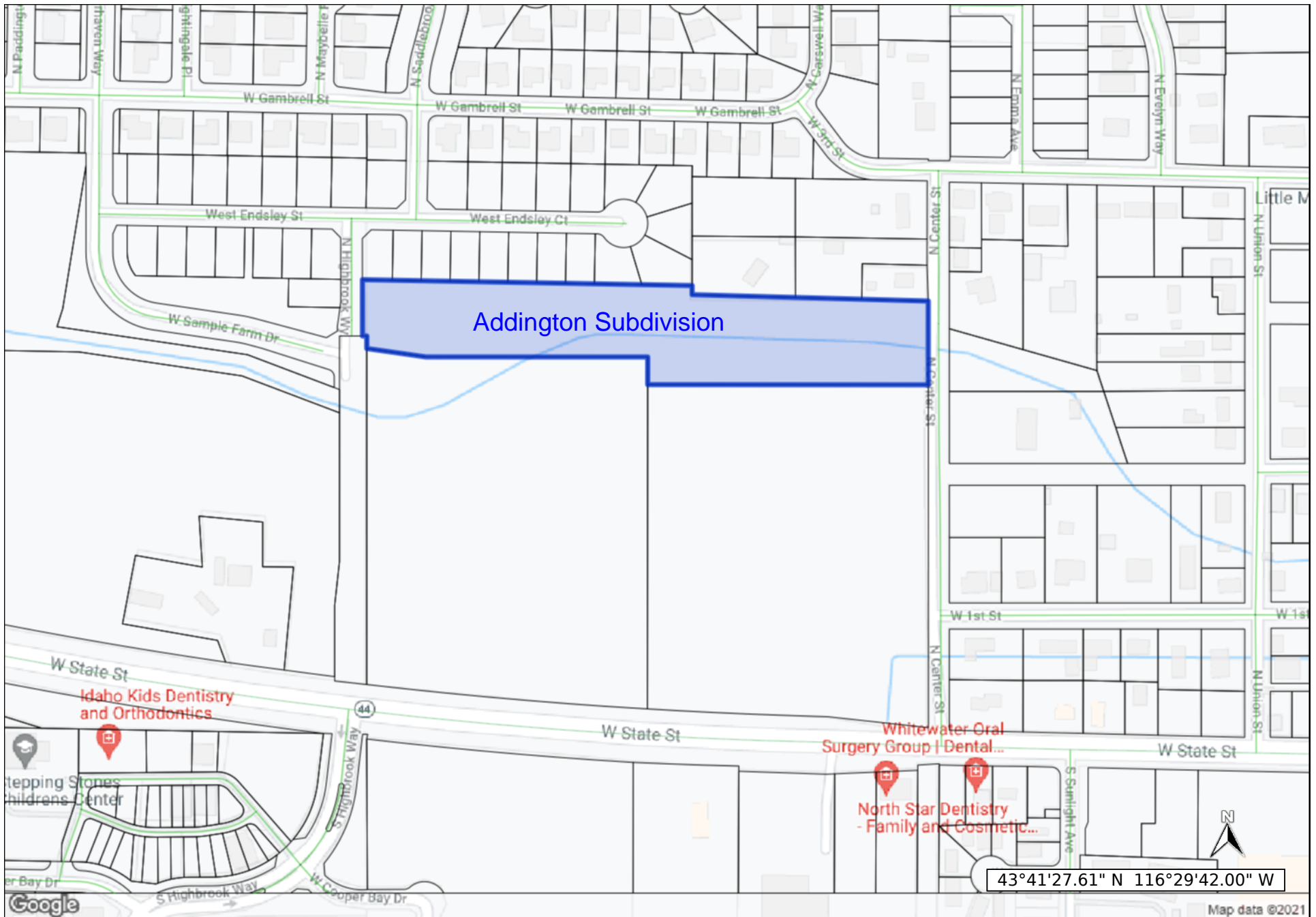
3. **Applicant shall provide a revised preliminary plat showing the private road meeting the City of Star requirements of 50 feet of easement with 36 feet, from back of curb to back of curb of travel lane, unless a waiver is approved by Council.**
4. **Applicant shall provide a revised Preliminary Plat and Landscape Plan that indicating that ten (10%) percent usable open space as required by the Unified Development Code.**
5. **Applicant shall provide a revised preliminary plat that shows either a cul-de-sac at Addington and Center Street or make Addington Lane a public road and connect to Center Street.**
6. Streetlights shall comply with the Star City Code and shall be of the same design throughout the entire subdivision. Streetlights shall be continuous throughout the subdivision and shall be maintained by the Homeowners Association. **Streetlights shall be installed and energized prior to issuing of building permits.** Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight design that meets city standards prior to Final Plat approval. Streetlights shall comply with the Star City Code regarding light trespass and "Dark Sky" initiative. Staff also suggests a streetlight be places as the emergency access.**
7. The property with the approved Preliminary Plat shall be satisfactorily weed abated, preventing a public nuisance, per Star City Code.
8. The property associated with this approved Final Plat, in addition to the property of all future phases shall be properly maintained throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily.
9. All signed Irrigation District Agreements with the Irrigation Districts shall be provided to the City of Star with each subsequent Final Plat application.
10. **Street trees shall be installed per Chapter 8, Section 8-8C-2-M(2) Street Trees. Applicant shall provide locations for the local street trees at the time of final plat. If driveway locations will not be determined until sale of the lot, Applicant agrees to not receive the Certificate of Occupancy until street trees are confirmed in place.**
11. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
12. A plat note supporting the "Right to Farm Act" as per Idaho Code Title 22, Chapter 45, shall be shown on the Final Plat.
13. A copy of the CC&R's shall be submitted to the City of Star at Final Plat.
14. A form signed by the Star Sewer & Water District shall be submitted to the City prior to the signature of the Final Plat stating that all conditions of the District have been met, including annexation into the District.
15. **Prior to signing the final plat, Applicant shall provide approval from Ada County for all street names and they should be accurately reflected on the plat.**

16. A plat note shall state that development standards for residential development shall comply with the effective building and zoning requirements at time of building permit issuance, unless amended in the Development Agreement or CUP conditions.
17. Development standards for single family residential units shall comply with effective building and zoning requirements at time of building permit issuance, or as approved through the Development Agreement or as stated herein.
18. All common areas shall be owned and maintained by the Homeowners Association.
19. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through home sales that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of construction.**
20. A sign application is required for any subdivision signs.
- 21. Owner/Developer will agree to install a 2" (High Density Polyethylene) HDPE SDR-11 roll pipe in the shared utility trench to be used for future fiber optic telecommunication cables.**
- 22. Any additional Condition of Approval as required by Staff and City Council.**

<b>COUNCIL DECISION</b>
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The Star City Council \_\_\_\_\_ File Number PP-22-02 and PR-22-01 for Addington Subdivision on \_\_\_\_\_, 2022.

# Vicinity Map





## PRELIMINARY PLAT APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: _____ Date Application Received: _____ Fee Paid: _____ Processed by: City: _____
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### Applicant Information:

**PRIMARY CONTACT IS:** Applicant \_\_\_ Owner \_\_\_ Representative \_\_\_

Applicant Name: The Land Group, Inc. - Tamara Thompson  
 Applicant Address: 462 E. Shore Dr., Eagle, ID Zip: 83616  
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

Owner Name: STC Development, LLC. - P. Eric Davis  
 Owner Address: 199 N. Capital Blvd., Suite 300, Boise, ID Zip: 83702  
 Phone: 208.331.0110 Email: davis@retailwest.com

Representative (e.g., architect, engineer, developer):  
 Contact: Tamara Thompson Firm Name: The Land Group, Inc.  
 Address: 462 E. Shore Dr., Eagle, ID Zip: 83616  
 Phone: 208.939.4041 Email: tamara@thelandgroupinc.com

### Property Information:

Subdivision Name: Addington Subdivision  
 Site Location: Approximately 1,000 feet north of State Street between Highbrook Way and Center Street.  
 Approved Zoning Designation of Site: R-7  
 Parcel Number(s): A portion of R8108003012

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	R-7	Compact Res/Central Business	Agricultural
Proposed	R-7		Residential
North of site	R-7, RUT (county), R-4	Compact Residential	Residential
South of site	C-2	Central Business District	Agricultural
East of site	R-4	Compact Residential	Residential
West of site	R-7	Compact Res/Central Business	Residential

**SITE DATA:**

Total Acreage of Site - 5.58 acres  
Breakdown of Acreage of Land in Contiguous Ownership - 5.58 acres - STC Development, LLC.  
Total Acreage of Site in Special Flood Hazard Area - \_\_\_\_\_  
Dwelling Units per Gross Acre - 6 per acre  
Minimum Lot Size - 2,716 sf  
Minimum Lot Width - 27'

Total Number of Lots - 35  
Residential - 34  
Commercial - 0  
Industrial - 0  
Common - 1

Total Number of Units - 34  
Single-family - 34  
Duplex - 0  
Multi-family - 0

Percent of Site and Total Acreage of Common Area - 49.10 % / 2.74 acres  
Percent of Common Space to be used for drainage - 0.02 acres (933 SF)  
Describe Common Space Areas (amenities, landscaping, structures, etc.) - there are three grass accent areas included totaling 3,753 square feet, a shade structure with table, pedestrian connections to Highbrook and Center street as well as to future development to the north and the Albertsons Center to the south.  
Proposed Dedicated Lots & Acreage (school, parks, etc): None.

Public Streets - None Private Streets - Addington Lane (submitted)  
Describe Pedestrian Walkways (location, width, material) - 5' sidewalks along both sides of the Private Street and additional 5' sidewalks to the shade structure and open gravel pathways at the rear of units  
Describe Bike Paths (location, width, material) - there are no dedicated bike paths, but ample width provided in street to provide a share type (street shared with vehicles) for bike use.

**FLOOD ZONE DATA: (This Info Must Be Filled Out Completely Prior to Acceptance):**

Total Acreage of Site in Special Flood Hazard Area - 0 - Site in Zone X

- a. A note must be provided on the final plat documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plat in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: #16001C0125J & #16001C0130J  
FIRM effective date(s): mm/dd/year 06/19/2020  
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: Zone X  
Base Flood Elevation(s): AE     .0 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

d. Please see link for help with FEMA information <https://msc.fema.gov/portal/search>.

e. All maps will delineate flood plain lines.

**PUBLIC SERVICES** (Describe what services are available and agency providing service):

Potable Water - Star Sewer & Water District  
 Irrigation Water- Middleton Irrigation Association (Flake Lateral)  
 Sanitary Sewer- Star Sewer & Water District  
 Fire Protection - Star Joint Fire Protection District  
 Schools - West Ada School District  
 Roads - ACHD

**SPECIAL ON-SITE FEATURES** (Yes or No – If yes explain in your narrative):

Areas of Critical Environmental Concern - None Floodplain - None  
 Evidence of Erosion - None Fish Habitat - None  
 Historical Assets - None Mature Trees - None  
 Riparian Vegetation - None Steep Slopes - None  
 Stream/Creek - None Unstable Soils - None  
 Unique Animal Life - None Unique Plant Life - None

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Annexation, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Preliminary Plat Application	
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
✓	Narrative explaining the project. (must be signed by applicant)	
✓	Legal description of the property (word.doc and pdf version with engineer's seal)	
✓	Recorded warranty deed for the subject property	
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	Approval of the proposed subdivision name from Ada County Surveyor's office.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf. format of vicinity map showing the location of the subject property	
✓	One (1) full-size copy and one (1) 11" X 17" copy of the Preliminary Plat	
✓	Electronic copy in pdf. format of Preliminary Plat	
✓	One (1) full-size copy and one (1) 11" X 17" copy of the landscape plan	
✓	Electronic copy in pdf. format of landscape plan	
✓	Electronic copy in pdf. format of preliminary site grading & drainage plans	
N/A	Phasing plan shall be included in the application if the project is to be phased.	



✓	Letter of authorization from the local Post Office approving mailbox delivery to subdivision including location(s) of mailbox clusters. Locations shall be indicated on Preliminary Plat.	
✓	List of name(s) and addresses of all canal or irrigation ditches within or contiguous to the proposed development. (shown on sheet C1.00)	
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	
	Site report of the highest seasonal groundwater elevation prepared by a registered soils scientist. (If requested by City Engineer)	
N/A	Special Flood Information – Must be included on Preliminary Plat and Application form.	
✓	One (1) 8½" X 11" copy and electronic copy in pdf format of streetlight <b>design</b> and <b>location</b> information. Streetlights shall meet all City "Dark Sky" requirements.	
✓	Written confirmation that a traffic impact study is not required and/or has been submitted for review to Ada County Highway District/Canyon Highway District No. 4/Idaho Transportation Department (if applicable).	
✓	One (1) copy of the Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat, landscape plan, preliminary site grading & drainage plans, irrigation district information, streetlight design & location, confirmation of a traffic impact study <u>shall be submitted in original pdf format (no scans for preliminary plat, landscape plans or grading and drainage plans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit a colored version of the preliminary plat and/or landscape plan for presentation purposes prior to City Council.</u>	
	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval. Please contact SSWD for details.	

**FEE REQUIREMENT:**

**\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.**

\_\_\_\_\_  
Applicant/Representative Signature

\_\_\_\_\_  
Date





THE LAND GROUP, INC.

January 26, 2022

Shawn Nickel  
Planning Director and Zoning Administrator  
City of Star – Planning and Zoning Department  
10769 W. State Street  
Star, ID 83669

RE: Preliminary Plat Applications – Addington Townhomes Residential Subdivision

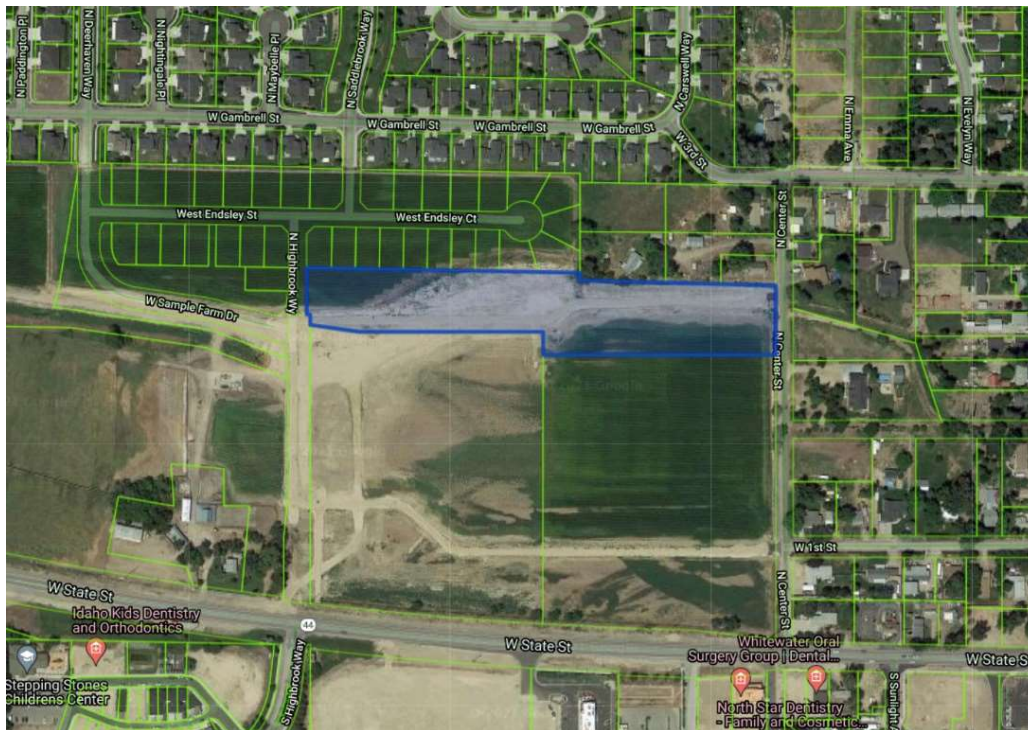
Dear Mr. Nickel:

Attached to this letter is the preliminary plat application for the Addington Townhomes Residential Subdivision. This application includes of parcel R8108003014 (5.58 acres total area).

The 5.58-acre site (blue area below) is generally located on the southeast corner of N. Deerhaven Way and the new W. Sample Farm Drive. The property is currently zoned R-7 in the City of Star. No structures exist on the property, and it is currently utilized vacant land.

The site is bound on the south by the Albertsons development and future commercial; existing residential to the north, including the newly developed Endsley Court Residential Subdivision; and public right of ways to the east and west.

Preliminary Plat Area:



The preliminary plat, which is consistent with the concept plat submitted to the City with the annexation and rezone applications, includes 34 single family lots, one common lot, and one lot of approximately 1.57 acres for a perpetual easement for the Private Street (Addington Lane). This subdivision is proposed as a single-family development with a density of 6.09 units per acre. The Preliminary plat is designed for 10 buildings to be divided into three lots and two buildings divided into two lots for private sale. Access to the subdivision is from N. Highbrook Way.

The location of the Private Street is mostly located within the Drain 9 and Flake lateral easements which precludes the street from being a public street. Discussions have been made with ACHD and they are in agreement for the Private Street. The connection to Center Street will be for emergency vehicles only.

Utilities are available to support the project, and preliminary utility design is included with this submittal. For irrigation of the common areas and lots we propose to utilize surface water right shares supplemented by a well to supply the needed water for the system. The layout is shown on the attached drawings; the existing pump system is a private system owned and maintained by the Homeowners Association and Addington will be added (previously designed and built for this area) in conjunction with the previous Endsley Court development. The Homeowners Association of this development will be responsible for all exterior maintenance including the landscape and irrigation.

A traffic impact study (TIS) was previously conducted and submitted to ACHD and ITD. Comments from ACHD and ITD have been incorporated into the design of the Private Street. The Private Street, which will be completed with this project, will include the connection to N. Highbrook Way extending 1365 feet east to Center Street with a barricaded access for emergency vehicle only access at Center Street and the Albertsons and future commercial development to the south.

Storm water will be retained on site utilizing two connections to the Drain 9 piped system (at predevelopment historical rates) and two pervious paver sections in the Private Street for the balance of the stormwater. Layout and preliminary calculations are included with this application.

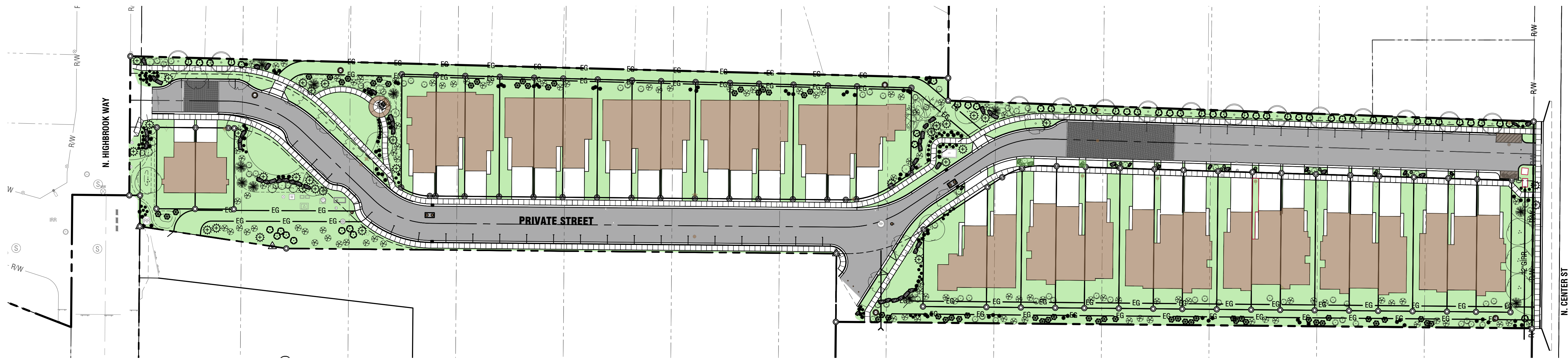
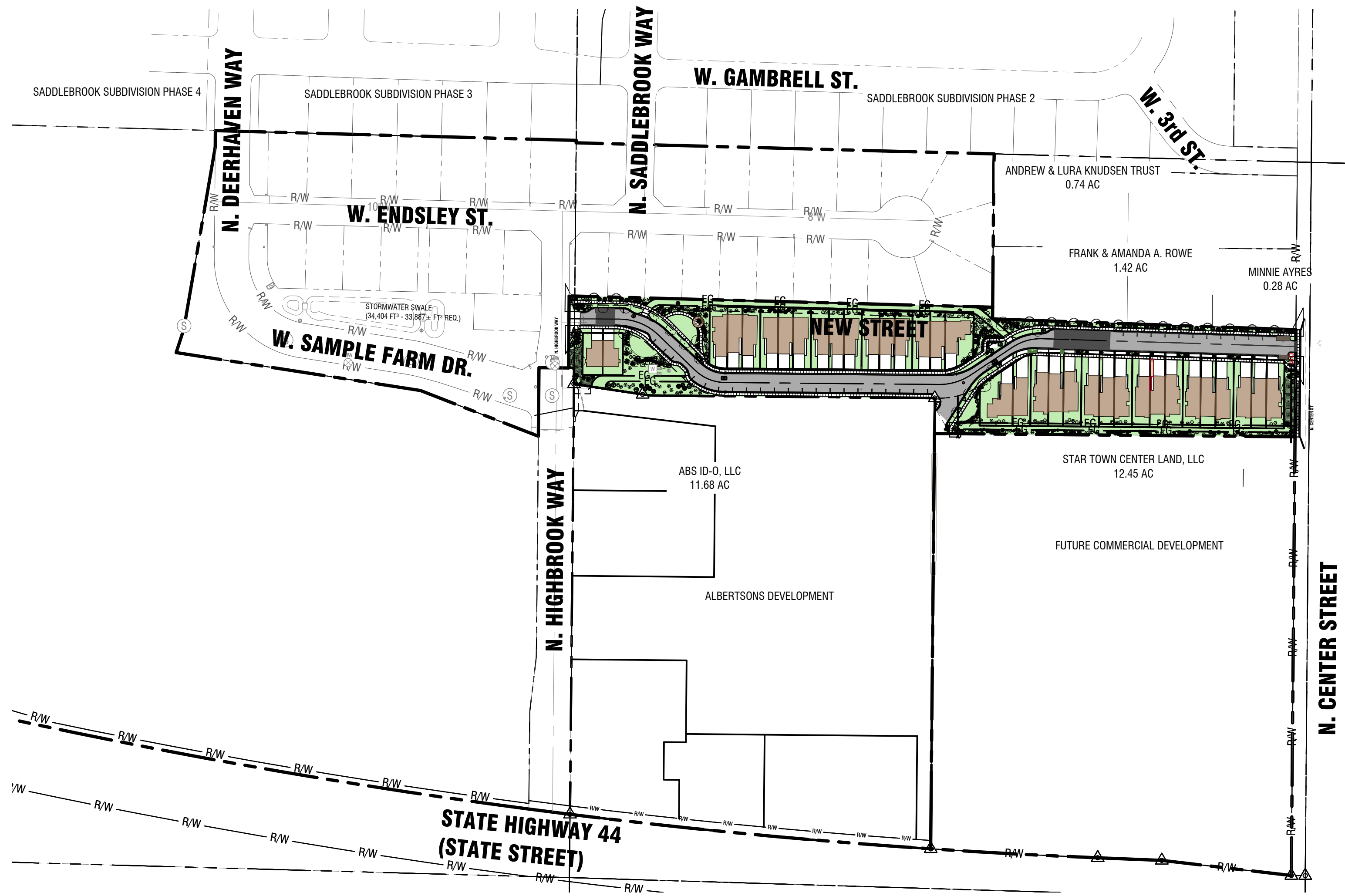
Thank you in advance for your consideration and support. We look forward to working with the City to plan a quality project of which we can all be proud.

Sincerely,



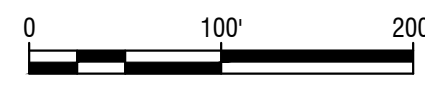
Tamara Thompson  
Director of Client Services





**Concept Plan**

HORIZONTAL SCALE: 1" = 150' (AT 22" X 34")  
 Dec 16, 2021



**Addington Townhomes**  
**Conceptual Site Plan**

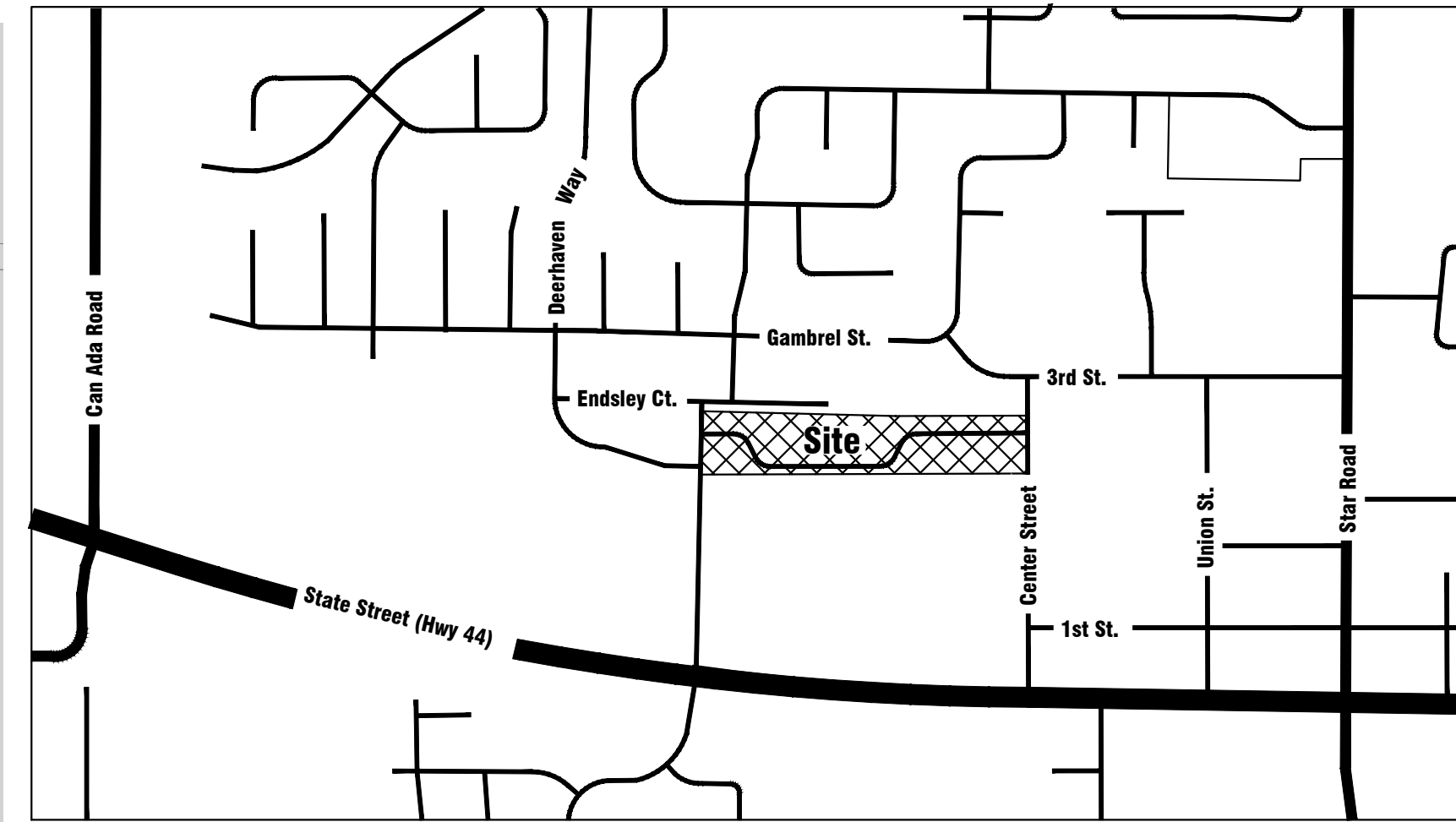
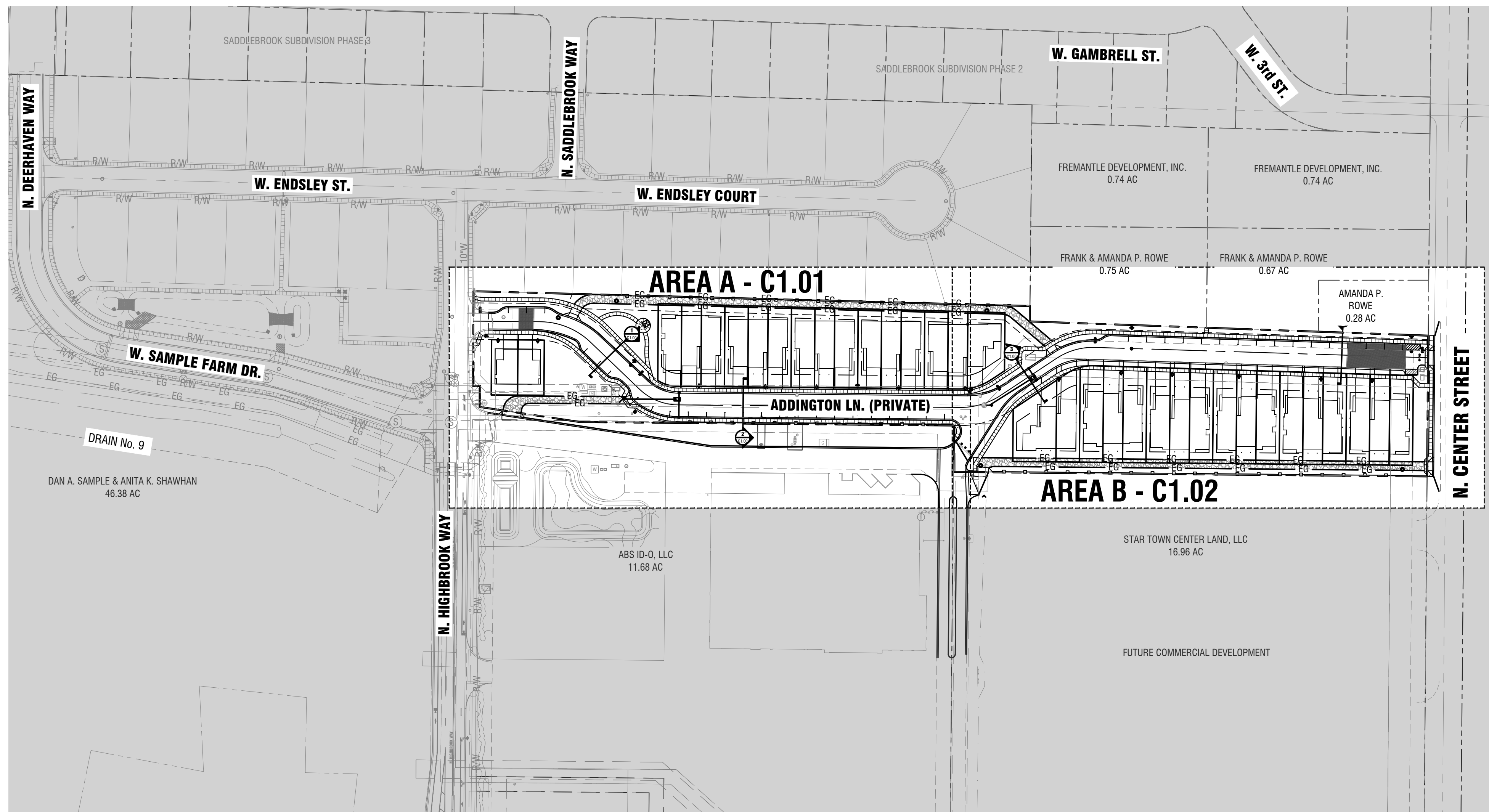
Star, Idaho



462 East Shore Drive, Suite 100  
 Eagle, Idaho 83616  
 Ph. 208.939.4041 Fax 208.939.4445  
 www.thelandgroupinc.com

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**Vicinity Map**  
NOT TO SCALE

**Owner / Developer:**

STC DEVELOPMENT, LLC  
ERIC DAVIS  
199 N. CAPITOL BLVD., SUITE 300  
BOISE, ID. 83702  
PH: 208.331.0110

**Project Engineer / Surveyor / Landscape:**

THE LAND GROUP, INC.  
ENGINEER: JASON DENSMER, P.E.  
SURVEYOR: MIKE FEMENIA, P.L.S.  
LANDSCAPE ARCHITECT: DOUG RUSSELL, L.A.  
462 E. SHORE DR., SUITE 100  
EAGLE, ID 83616  
PH: 208.939.4041

**Irrigation & Drainage Company Contacts:**

DRAINAGE DISTRICT #2 ALLEN FUNKHAUSER 455 SOUTH 3RD STREET BOISE, IDAHO 83702 PH: 208.571.3804	MIDDLETON IRRIGATION ASSOCIATION, INC. MIDDLETON MILL DITCH CO. P.O. BOX 848 MIDDLETON, ID 83644 PH: 208.585.3207
--	---

**Star Sewer & Water District Contact:**

HANK DAY  
11184 W. STATE STREET  
STAR, ID 83669  
PH: 208.631.8588

**Planning Notes:**

CURRENT ZONING:	R-7
PROPOSED ZONING:	R-7
DIMENSIONAL STANDARDS:	
MINIMUM STREET FRONTAGE:	35-FT
FRONT SETBACK:	15-FT TO LIVING AREA, 20-FT TO GARAGE
REAR SETBACK:	15-FT
INTERIOR SIDE SETBACK:	0-FT FOR COMMON WALLS, 5-FT AT END OF BUILDING
STREET SIDE SETBACK:	20-FT (LOCAL)
MAXIMUM BUILDING HEIGHT:	35-FT

**Area Calculations:**

TOTAL SINGLE FAMILY AREA -	5.58 AC
COMMON OPEN SPACE AREA -	1.18 AC (21.15%)
TOTAL RES. LOT AREA -	2.84 AC
PERMANENT ROADWAY EASEMENT DEDICATION -	1.57 AC

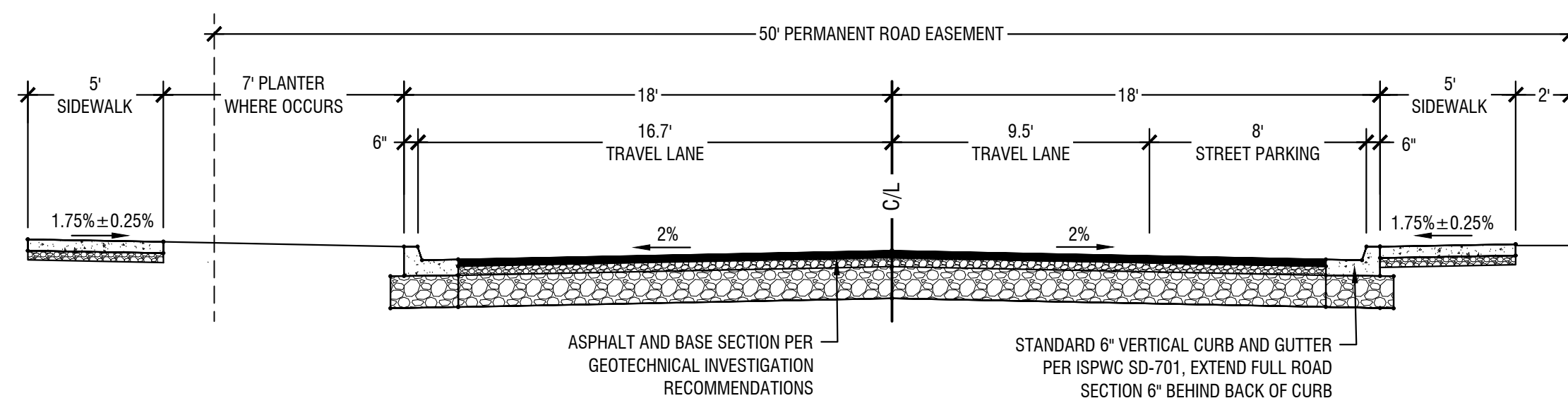
**Density Calculations:**

TOTAL RESIDENTIAL ZONE AREA -	5.58 AC
MAX ALLOWED DENSITY - 7 UNITS/ACRE =	39 UNITS MAX.
TOTAL SINGLE FAMILY AREA (THIS PLAT) -	5.58 AC
34 RESIDENTIAL UNITS SHOWN =	6.09 UNITS/ACRE

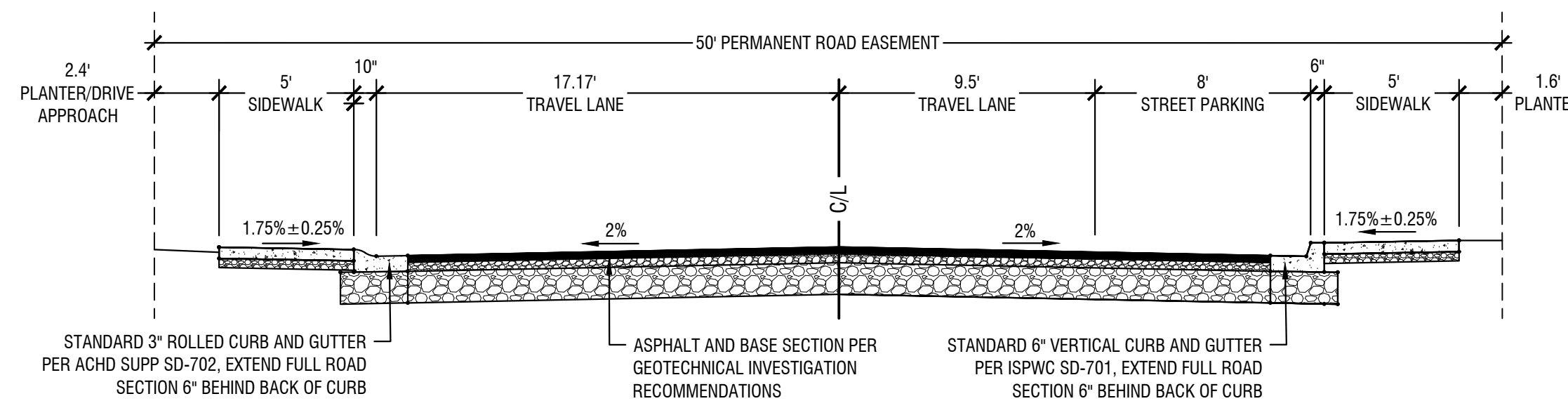
**Sheet Index:**

C1.00	OVERALL SITE PLAN
C1.01	RESIDENTIAL SITE PLAN - AREA 1
C1.02	RESIDENTIAL SITE PLAN - AREA 2
C2.00	OVERALL GRADING & DRAINAGE
C2.01	AREA A - GRADING & DRAINAGE
C2.02	AREA B - GRADING & DRAINAGE
C3.00	UTILITY PLAN
L1.00	LANDSCAPE PLAN
L1.01	AREA A - LANDSCAPE PLAN
L1.02	AREA B - LANDSCAPE PLAN
L1.50	LANDSCAPE DETAILS

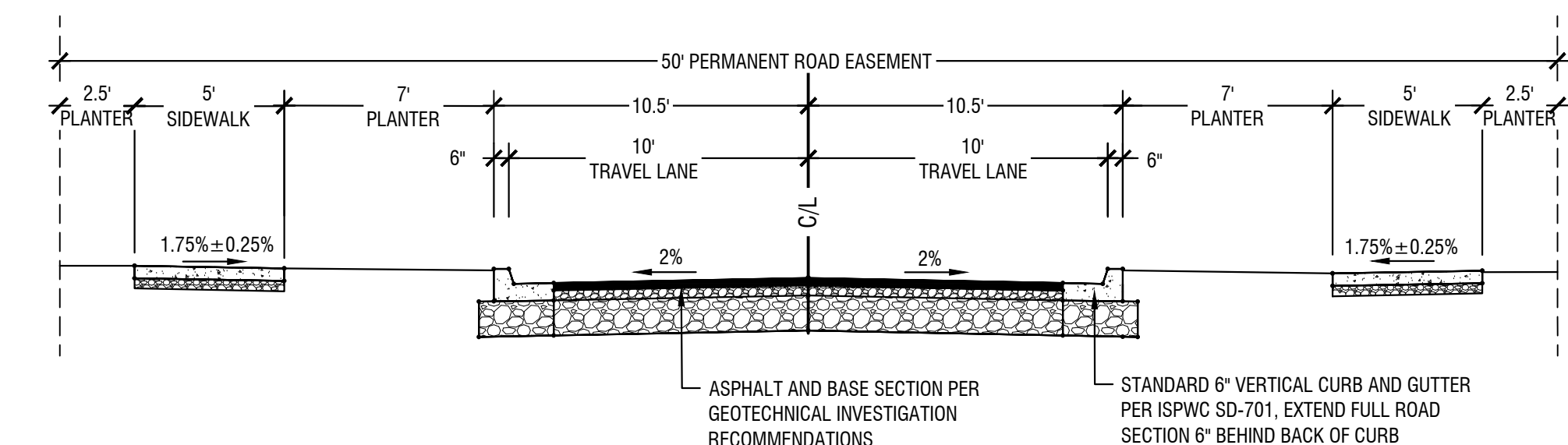
**Overall Site Plan**  
Horizontal Scale: 1" = 100'



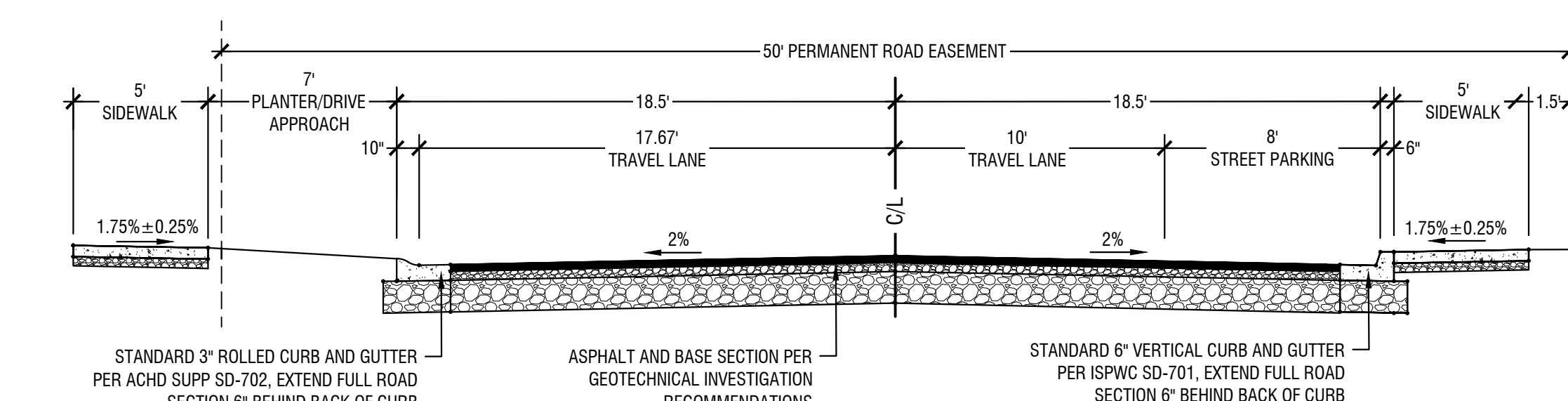
**1 Private Road**  
Scale: 1" = 5'



**2 Private Road**  
Scale: 1" = 5'



**3 Private Road**  
Scale: 1" = 5'



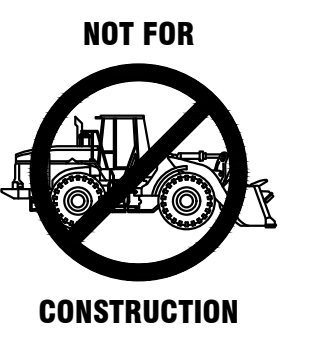
**4 Private Road**  
Scale: 1" = 5'

**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.

Revisions

1.	
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Project No.: 121064  
Date of Issuance: 12/13/2021  
Project Milestone: Preliminary Plat

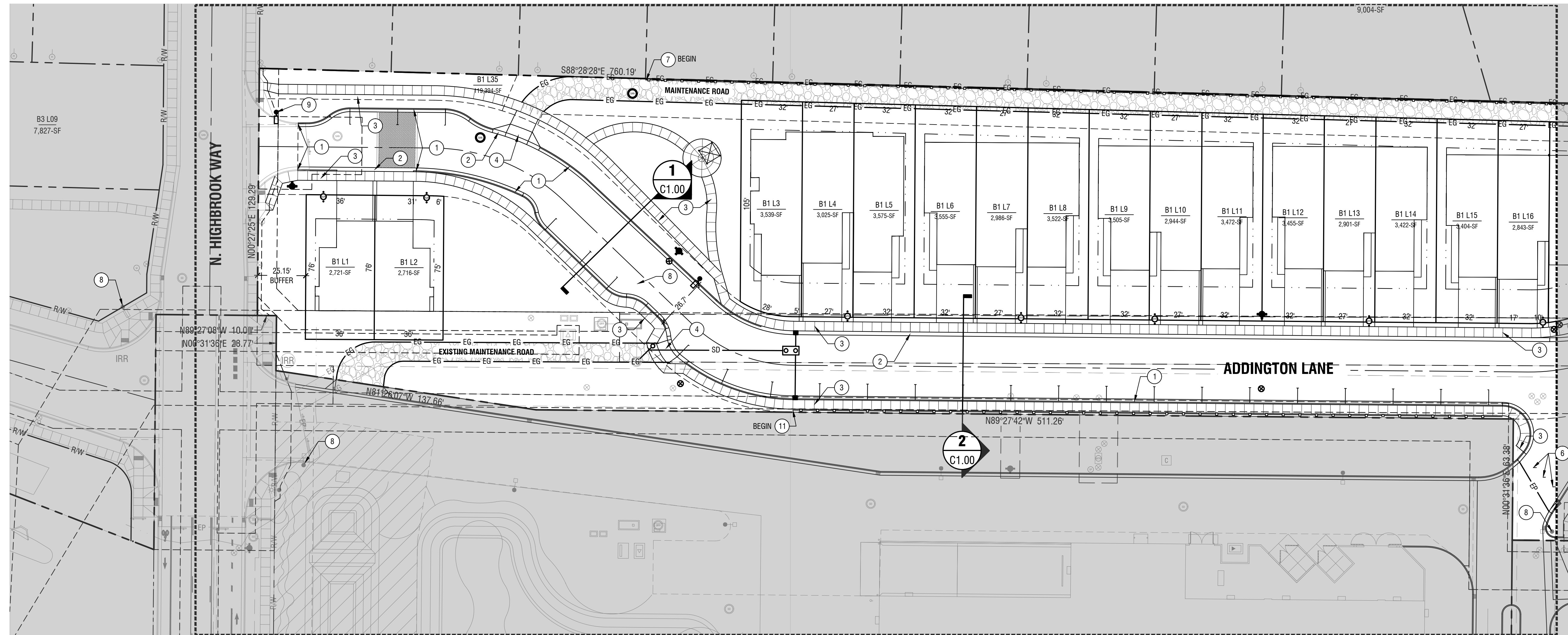
**Civil PP Plan  
Overall Site Plan**

**C1.00**

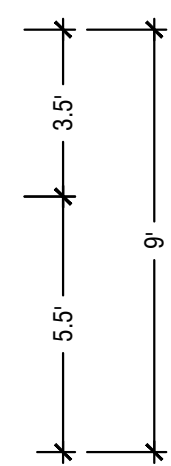
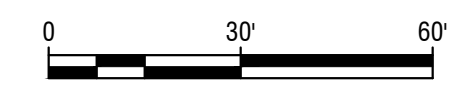
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 Plot Time: 12/13/2021 10:58:11 AM

# ADDINGTON TOWNHOMES SUBDIVISION STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho



**Civil PP Plan-Site Plan - Area 1**  
Horizontal Scale: 1" = 30'



**1 Screen Fence Detail**  
Scale: NTS

**Sheet Notes:**

- SEE L-SERIES SHEETS FOR LANDSCAPE PLANS.
- A 20' WIDE EASEMENT SHALL BE GRANTED TO STAR SEWER & WATER DISTRICT FOR ALL MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.

**Line Legend:**

	BOUNDARY LINE
	ROADWAY CENTERLINE
	PARCEL LINE/ RIGHT-OF-WAY LINE
	B1 L01 BLOCK & PARCEL NUMBER
	ATTACHED SIDEWALK WITH 6" VERTICAL CURB & GUTTER
	ATTACHED SIDEWALK WITH 3" ROLLED CURB & GUTTER

**Material Legend:**

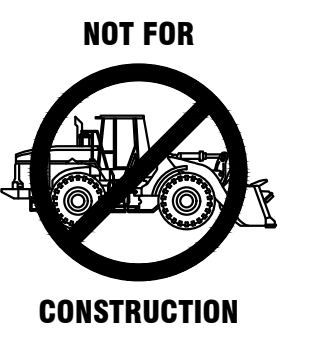
	DECORATIVE GRAVEL FINISH SURFACE.
--	-----------------------------------

**Keynotes:**

- NEW 6" VERTICAL CURB & GUTTER PER ISPCW SD-701.
- NEW 3" ROLLED CURB & GUTTER PER ISPCW SD-703.
- NEW 5' SIDEWALK PER ISPCW SD-709.
- NEW DRIVEWAY APPROACH PER ISPCW SD-710.
- NEW DRIVEWAY APPROACH PER ACHD SUPPLEMENT TO THE ISPCW SD-710C.
- NEW REMOVABLE BOLLARDS FOR EMERGENCY ACCESS.
- NEW SCREEN EXTENSION FENCE ON PROJECT SIDE OF EXISTING FENCE. SEE DETAIL 1 SHEET C1.01.
- EXISTING STREET LIGHT.
- NEW STREET LIGHT PER CITY OF STAR STANDARDS ( US ARCHITECTURAL, DSS SERIES LUMINAIRE).
- NEW VINYL FENCE WITH SCREEN EXTENSION PER DETAIL 1 SHEET C1.01.
- NEW 6" VINYL FENCE TO MATCH ENDLSLEY COURT FENCE.

Revisions

1.	
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Project No.: 121064  
Date of Issuance: 12/13/2021  
Project Milestone: Preliminary Plat

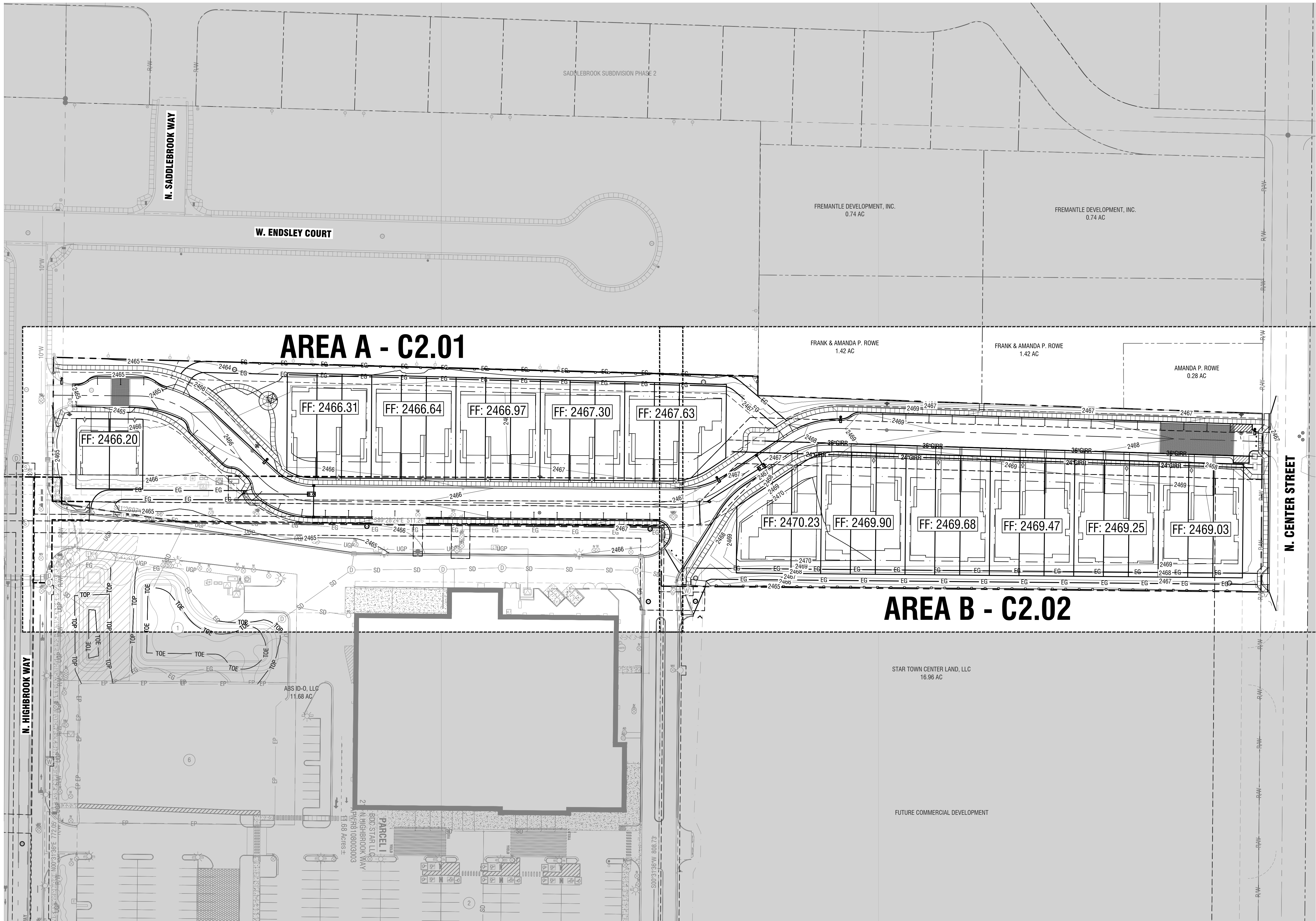
**Civil PP Plan  
Site Plan - Area 1**

**C1.01**

PLAN NUMBER: 20210123PP Civil PP Plan-Site Plan - Area 1  
 DATE: 12/13/2021  
 PROJECT MILESTONE: Preliminary Plat





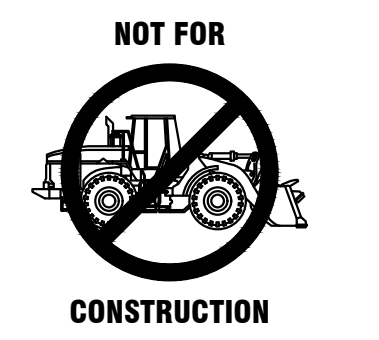


**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions

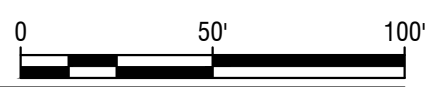
1.	



Project No.: 121064  
Date of Issuance: 12.13.2021  
Project Milestone: Preliminary Plat

**Civil PP Plan  
Overall Grading &  
Drainage**

**C2.00**



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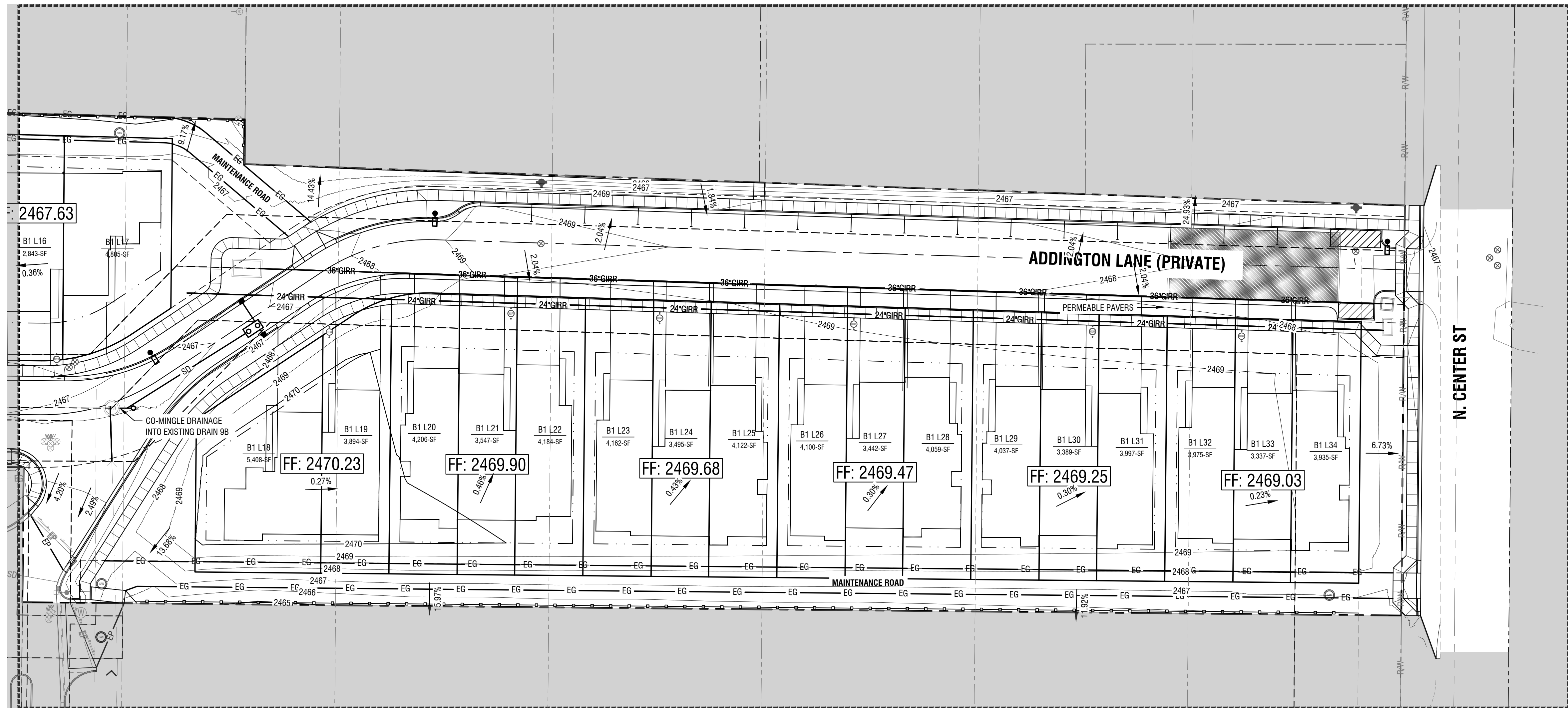






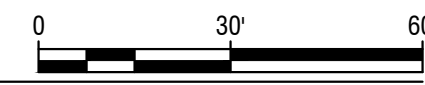
**Sheet Notes:**

1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW THE METHOD BY WHICH NECESSARY STORM WATER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY THE AGENCIES HAVING JURISDICTION (AHJ).
2. WITH APPROVAL FROM DRAINAGE DISTRICT No. 2, STORM WATER MAY BE DELIVERED TO THE DRAIN No. 9 AT PREDEVELOPMENT FLOW RATES UPON BEING PRETREATED. ALL OTHER STORM WATER WILL BE CONVEYED, TREATED AND RETAINED ON-SITE IN ACCORDANCE WITH STANDARDS SET FORTH BY THE AHJ. SUCH SYSTEMS MAY INCLUDE BUT ARE NOT LIMITED TO VEGETATED SWALES, RETENTION BASINS, PERMEABLE PAVER SYSTEMS, AND SEEPAGE BEDS.
3. STORM WATER FROM PUBLIC ROADWAYS AND ABUTTING LOTS WILL BE RETAINED WITHIN THE EASEMENT GRANTED FROM THE AHJ. STORM WATER FROM PRIVATE ROADWAYS AND ASSOCIATED LOTS WILL BE RETAINED ON-SITE.



**Civil PP Plan-Grading & Drainage - Area 2**

Horizontal Scale: 1" = 30'

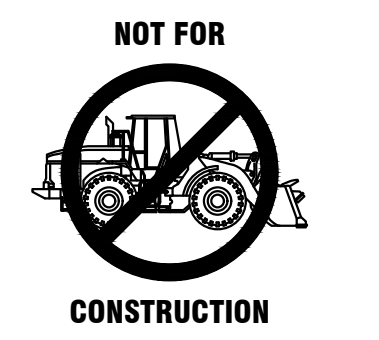


**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions

1.	
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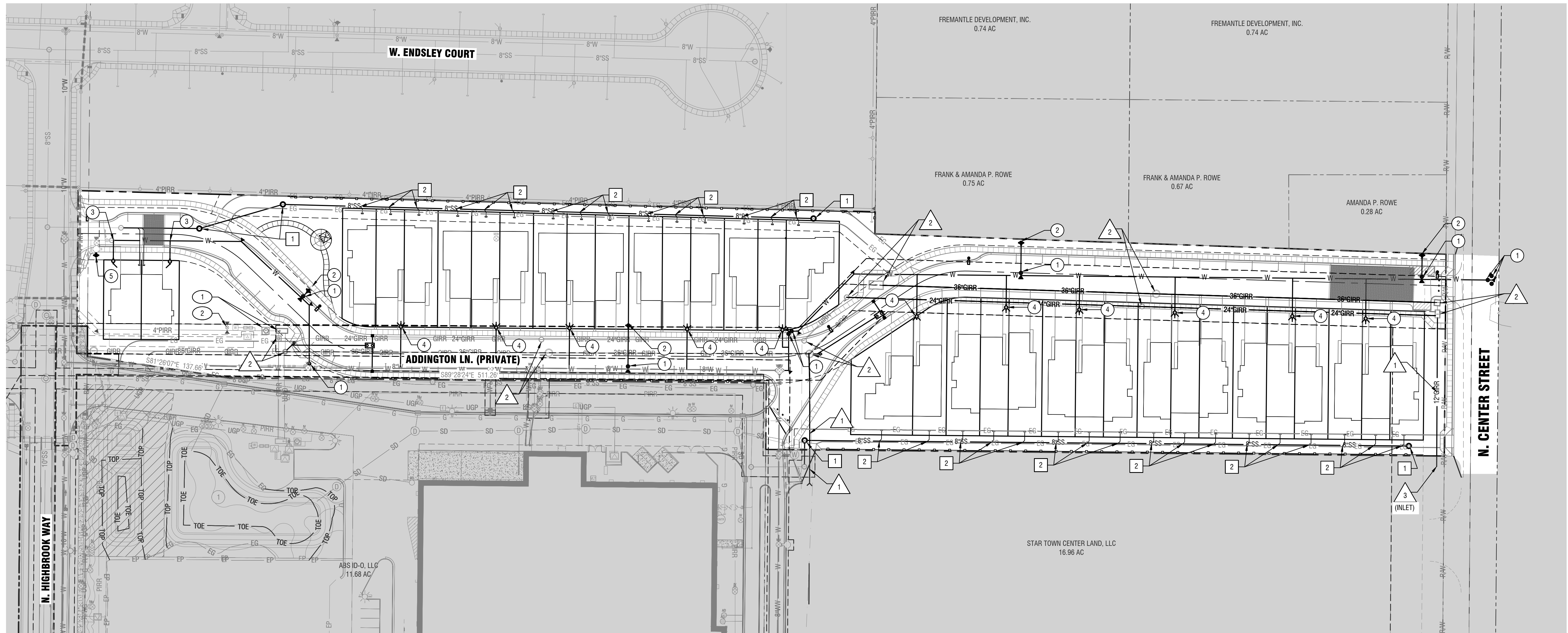


Project No.: 121064  
Date of Issuance: 12/13/2021  
Project Milestone: Preliminary Plat

**Civil PP Plan  
Grading & Drainage -  
Area 2**

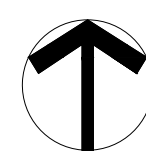
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User: jg  
Date: 12/13/2021 12:58 PM



# ADDINGTON TOWNHOMES SUBDIVISION STC Development

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho



## Civil PP Plan-Utility Plan

Horizontal Scale: 1" = 50'



### Water Keynotes:

1. NEW WATER VALVE.
2. NEW FIRE HYDRANT.
3. NEW WATER METER WITH SINGLE RESIDENTIAL WATER SERVICE.
4. NEW WATER METER WITH TRIPLE RESIDENTIAL WATER SERVICE.
5. RELOCATED FIRE HYDRANT.

### Sewer Keynotes:

1. NEW 48" SANITARY SEWER MANHOLE.
2. NEW 4" SEWER SERVICE.

### Gravity Irrigation Keynotes:

1. NEW UNDERGROUND GRAVITY IRRIGATION PIPE.
2. EXISTING GRAVITY IRRIGATION STRUCTURE.
3. NEW GRAVITY IRRIGATION STRUCTURE.

### Pressurized Irrigation Keynotes:

1. EXISTING PUMP STATION.
2. EXISTING STUB TO PRESSURIZED IRRIGATION SYSTEM.

### Sheet Notes:

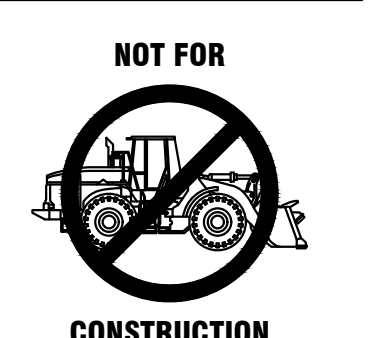
1. THE PROPOSED IMPROVEMENTS AS SHOWN ARE CONCEPTUAL IN NATURE. THEY ARE INTENDED TO SHOW ONE METHOD BY WHICH NECESSARY WATER AND SEWER SYSTEMS CAN BE CONSTRUCTED TO SERVE THE PROPOSED DEVELOPMENT AND IS SUBJECT TO CHANGE.
2. PRIOR TO CONSTRUCTION, DETAILED ENGINEERING PLANS WILL BE PREPARED FOR REVIEW AND APPROVAL BY AGENCIES HAVING JURISDICTION.
3. SEE L-SERIES FOR LANDSCAPE PLANS.
4. A 20' WIDE EASEMENT SHALL BE GRANTED TO STAR WATER & SEWER DISTRICT FOR ALL WATER AND WATER & SEWER MAINS OUTSIDE THE PUBLIC RIGHTS OF WAY.
5. SITE STORM DRAINAGE WILL UTILIZE HISTORICAL DRAINAGE INTO DRAIN #9a AS WELL AS THE ONSITE CONTAINMENT AND PERCOLATION BY PERVIOUS PAVER SYSTEM IN THE NEW STREET.

### Utility Legend:

8"SS	PROPOSED SEWER MAIN
6"W	EXISTING WATER MAIN
SD	PROPOSED STORM DRAIN (SIZE TO BE DETERMINED)
12"GIRR	PROPOSED GRAVITY IRRIGATION

### Revisions

1.	



Project No.: 121064  
Date of Issuance: 12/16/2021  
Project Milestone: Preliminary Plat

Civil PP Plan  
Utility Plan

# C3.00

PLAN NUMBER: C300121064.dwg  
DATE PLOTTED: 12/16/2021 10:52:03 AM  
PLOTTER: HP DesignJet T1100e



**Landscape Requirements:**

AS IDENTIFIED IN THE STAR, IDAHO CITY ORDINANCE:

**LANDSCAPE BUFFERS ALONG STREETS (8-48-7)**

ONE (1) TREE PER THIRTY-FIVE (35) LINEAR FEET WITH SHRUBS, LAWN, OR OTHER VEGETATIVE GROUND COVER.

STREET	TREES REQUIRED	TREES PROVIDED
N. HIGHBROOK WAY (LESS DRIVE/EASEMENTS)	2 TREES (84 L.F. / 35)	1 SHADE TREE 4 ORNAMENTAL TREES*
N. CENTER ST (LESS DRIVE/EASEMENTS) *TREE PLANTINGS PROHIBITED WITHIN IRRIGATION EASEMENT.	3 TREES (122 L.F. / 35)	0* SHADE TREES

\*COLUMNAR SWEETGUM SUBSTITUTED FOR REQUIRED SHADE TREE AT 2:1 USING ORNAMENTAL TREE SUBSTITUTION ALLOWANCE FROM MUNICIPAL CODE.

**QUALIFIED OPEN SPACE (8-4F-3)**

TOTAL LAND AREA OF ALL COMMON OPEN SPACE SHALL EQUAL OR EXCEED FIVE PERCENT (5%) OF THE GROSS LAND AREA OF DEVELOPMENT. COMMON OPEN SPACE AREAS SHALL INCLUDE (AT A MINIMUM) ONE DECIDUOUS SHADE TREE PER EIGHT THOUSAND (8,000) SQUARE FEET AND LAWN, EITHER SEED OR SOD. (8-4F-3E)

REQUIRED S.F.	PROVIDED S.F.	REQUIRED TREES	PROVIDED TREES
12,089.45 S.F. (5% x 241789 S.F.)	12,095 S.F.	2 TREES (120089 / 8000)	>27 TREES

**Automatic Underground Irrigation Notes:**

- A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
- B. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN).
- D. ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:  
E.A. PRECISE INDIVIDUAL STATION TIMING  
E.B. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES  
E.C. AT LEAST ONE PROGRAM FOR EACH HYDROZONE  
E.D. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF  
E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
- G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
- H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
- I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

**Landscape Plan Notes:**

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
- B. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
- C. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS.
- D. CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR.
- E. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- F. ALL NON-TURF PLANTERS SHALL RECEIVE 3" LAYER OF DECORATIVE BARK MULCH.
- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
- H. PLANT QUANTITIES IDENTIFIED ON THE PLAN AREA APPROXIMATE. CONTRACTOR SHALL VERIFY.

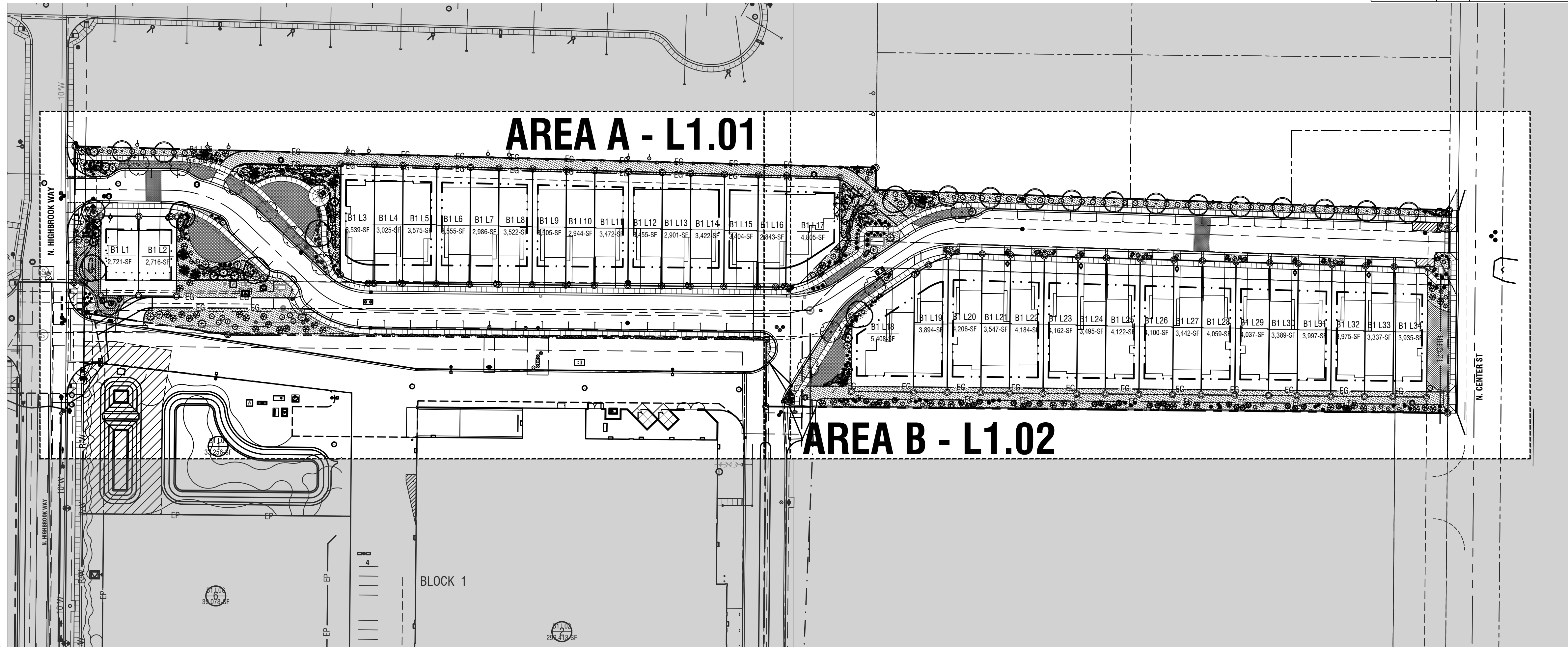
**Preliminary Plat Landscape Notes:**

- 1. NO SLOPES GREAT THAN 20% SLOPE EXIST OR ARE PROPOSED ON THIS SITE.
- 2. REFER TO PLAN SHEETS FOR SIGHT TRIANGLES PER STAR ORDINANCE.
- 3. FENCING BY OWNER, BUILDER OR DEVELOPER.
- 4. ANY TREES PLANTED WITHIN A PARKWAY STRIP SHALL BE CENTERED IN PARKWAY STRIP PER ACHD TREE PLANTING POLICY.
- 5. THERE ARE NOT EXISTING TREES ON SITE THAT REQUIRE MITIGATION PER STAR ORDINANCE.

**Street Tree Notes:**

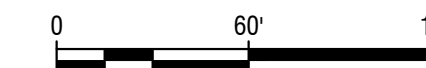
- 1. TREES SHALL NOT BE PLANTED WITHIN A MINIMUM 5' OF ANY CITY WATER SERVICE.
- 2. ANY TREES PLANTED WITHIN A CLEAR VISION TRIANGLE SHALL BE PRUNED TO A MINIMUM OF EIGHT FEET (8') ABOVE THE GROUND OR SIDEWALK SURFACE AND 14 FEET (14') ABOVE ADJACENT STREET SURFACE. THE MAXIMUM HEIGHT OF ANY VEGETATIVE GROUNDCOVER AT MATURITY WITHIN THE CLEAR VISION TRIANGLE SHALL BE THREE FEET (3') FROM THE LOWEST ADJACENT STREET.
- 3. ROOTBARRIERS SHALL BE INSTALLED AT CURBS AND SIDEWALKS AT STREET TREES WHERE THE PARKWAY STRIP IS LESS THAN 8' WIDE.

PLANT SCHEDULE						
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	AN	ACER TRUNCATUM 'NORWEGIAN SUNSET' NORWEGIAN SUNSET MAPLE	2" CAL.	B&B	14	CLASS II; 35' H X 25' W
	FR	FRAXINUS PENNSYLVANICA 'RUGBY' TM PRAIRIE SPIRE ASH	2" CAL.	B&B	10	CLASS II; 40' H X 20' W
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM EMERALD CITY TULIP TREE	2" CAL.	B&B	6	CLASS III; 55' H X 25' W
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' COLUMNAR SWEET GUM	2" CAL.	B&B	13	CLASS II; 50' H X 8' W
	PO	PINUS NIGRA 'OREGON GREEN' OREGON GREEN PINE	6' HT.	B&B	8	18' H X 12' W
	QM	QUERCUS MACROCARPA BURR OAK	2" CAL.	B&B	1	50' H X 40' W
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	AL	ARONIA MELANOCARPA 'UCONNAM165' TM LOW SCAPE MOUND BLACK CHOKEBERRY	3 GAL	POT	39	
	CS	CORNUS ALBA 'SIBIRICA' REDBARK DOGWOOD	2 GAL	POT	42	9' H X 5' W
	HB	HELICTOTRICHON SEMPERVIRENS 'BLUE OATS' BLUE OAT GRASS	2 GAL	POT	102	2' H X 3' W
	HX	HEMEROCALLIS X 'PARDON ME' PARDON ME DAYLILY	1 GAL	POT	74	2' H X 2' W
	PH	PINUS SYLVESTRIS 'HILLSIDE CREEPER' HILLSIDE CREEPER SCOTCH PINE	2 GAL	POT	30	2' H 6' W
	PM	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE	2 GAL	POT	15	3' H X 3' W
	PP2	PRUNUS BESSEYI 'P0111S' TM PAWNEE BUTTES SAND CHERRY	3 GAL	POT	57	
	RT	RHUS TYPHINA 'BALTIGER' TIGER EYE STAGHORN SUMAC	5 GAL	POT	61	6W X 6H



**Landscape Plan-Overall**

Horizontal Scale: 1" = 60'



**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions  
1.



Project No.: 121064  
Date of Issuance: 12.27.2021  
Project Milestone: Preliminary Plat

**Landscape Plan Overall**

**L1.00**

**Landscape Plan Notes:**

- A. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE CONTRACTOR'S RESPONSIBILITY.
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- G. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
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**Material Legend:**

	TURF SOD.		4"-DEPTH BLACK & TAN ROCK MULCH.
	NON-MOWN FESCUE SEED MIX.		LARGE LANDSCAPE BOULDERS, 4'-6" DIA. TYP PER DETAIL 4/L1.50.
	CONCEPTUAL LANDSCAPE BERM, 1' CONTOURS.		

**Keynotes:**

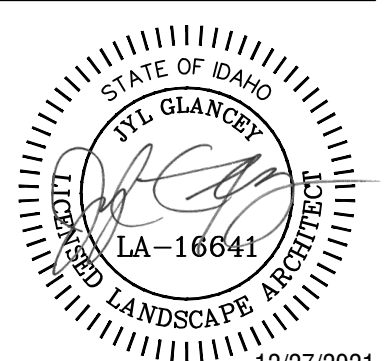
- 1. PLANTER CUT EDGE PER DETAIL 1/L1.50.
- 2. CLEAR VISION TRIANGLE. ALL IMPROVEMENTS WITH VISION TRIANGLE SHALL CONFORM TO CITY CODE.
- 3. MAINTENANCE ROAD FOR GRAVITY IRRIGATION OR PUBLIC UTILITY, REFER TO UTILITY PLAN OR MORE INFORMATION.
- 4. 8' X 8' SHADE STRUCTURE AT PLAZA WITH TABLE.
- 5. PROPOSED 6" SOLID FENCE SHALL COMPLY WITH STAR ORDINANCE.
  - 5.1. MODIFY PROPOSED FENCE AS REQUIRED TO MAINTAIN FIRE HYDRANT OFFSETS.
- 6. EXISTING 6" SOLID FENCE TO BE INSTALLED WITH ADJACENT PROJECT DEVELOPMENT.
- 7. LANDSCAPE IMPROVEMENTS TO BE INSTALLED BY ADJACENT DEVELOPMENT, RETAIN & PROTECT.

**ADDINGTON TOWNHOMES SUBDIVISION  
STC Development**

NORTH OF HWY 44 BETWEEN N. HIGHBROOK WAY AND N. CENTER ST.  
Star, Idaho

Revisions

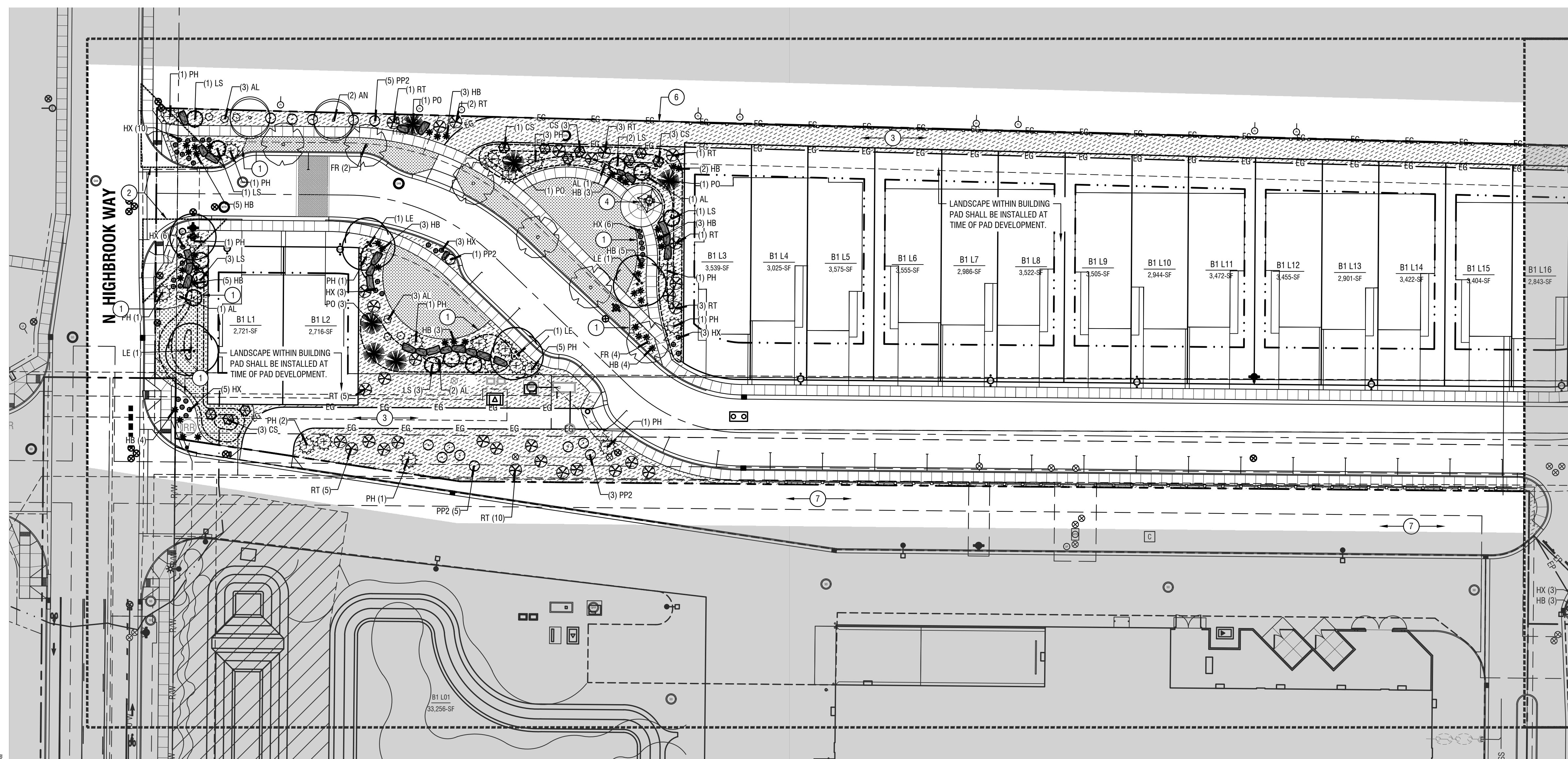
1.	



Project No.: 121064  
Date of Issuance: 12/27/2021  
Project Milestone: Preliminary Plat

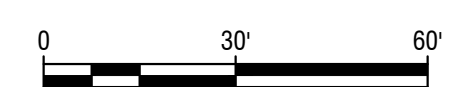
**Landscape Plan  
Area A**

**L1.01**



**Landscape Plan-Area A**

Horizontal Scale: 1" = 30'



P:\121064 - 12/27/2021\121064.dwg  
 12/27/2021 10:58:00 AM  
 TYP: TYP  
 12/27/2021 10:58:00 AM  
 12/27/2021 10:58:00 AM







January 6, 2022

Roger Collins  
The Land Group  
462 E Shore Dr, STE 100  
Eagle, Id 83616

Subject: Delivery Method Approval

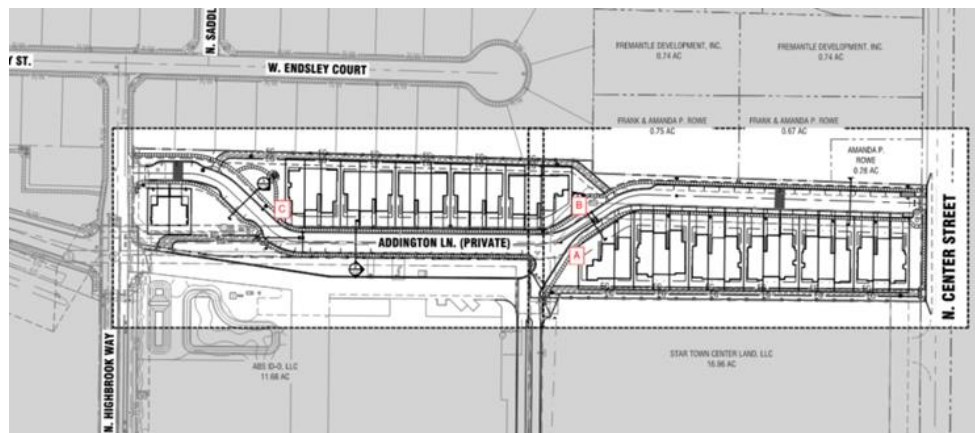
Roger,

Thank you for contacting the Postal Service to established delivery to the Addington Subdivision on the east side of N Highbrook Way. Per your request I am authorizing the developer to place cluster box units at point C on the attached map to provide enough CBUs for the entirety of the development in all of its phases. The location will be on Block 5 Lot 1c.

**Please keep in mind when ordering your cluster boxes from the manufacturer we request that you ask them to number the boxes consecutively. As an example we would want the boxes to be labeled 1-165 as opposed to multiple units repeatedly numbered 1-16. We also request that the Parcel Lockers on the units also be numbered consecutively, so if there are 11 CBU units needed for the development, and there were two parcel lockers per unit, then the parcel lockers would be numbered 1 through 22. If the CBUs are not numbered correctly, we may refuse to deliver until the numbering has been corrected.**

Thank you for your assistance.

Mel Norton  
Postmaster, Star



Mel Norton  
Postmaster  
10780 W State St  
Star ID 83669-9998  
Phone: 208-286-7304

City of Star

P.O. Box 130  
Star, Idaho 83669  
208-286-7247  
Fax 208-286-7569

[www.staridaho.org](http://www.staridaho.org)



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsén  
Kevan Wheelock  
David Hershey

12 April 2022

Tamara Thompson  
The Land Group  
462 E. Shore Dr.  
Eagle, ID 83616

**Re: Addington Subdivision – Preliminary Plat Application**

Dear Ms. Thompson

The City of Star Engineering Department has reviewed the Preliminary Plat for the Addington Subdivision dated December 13, 2021. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and question based on our review.

1. Please update note 4 on 3.00, it reads "all water and water & sewer main".
2. Preliminary plat shall be stamped and signed by a professional engineer or land surveyor licensed in the State of Idaho
3. Please show proposed location of irrigation mainline, including connection to existing Endsley Court Subdivision.
4. An all-weather surface shall be constructed over the sewer lines run outside the private road as shown on the drawings.
5. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final plat. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
6. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.



7. The project is proposing offsite stormwater disposal to drain ditches. Therefore, plan approvals and license agreements from the affected irrigation ditch companies will be required.
8. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
9. Finish grades at subdivision boundaries shall match existing finish grades. Runoff shall be maintained on subdivision property unless otherwise approved.
10. Easements for sewer/water facilities will be required where placed outside of public right of way.
11. This subdivision will need to be annexed into the Star Sewer and Water District to provide water and sewer to the site.

We recommend that the conditions 1 through 3 listed above be addressed prior to approval of the Preliminary Plat. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above-referenced Preliminary Plat does not relieve the Registered Professional Land Surveyor or the Registered Professional Engineer of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.  
City Engineer

Enclosures



**STATE OF IDAHO**  
DEPARTMENT OF  
ENVIRONMENTAL QUALITY

1445 N Orchard Street, Boise, ID 83706  
(208) 373-0550

Brad Little, Governor  
Jess Byrne, Director

March 11, 2022

By e-mail: [snickel@staridaho.org](mailto:snickel@staridaho.org)

City of Star  
P.O. Box 130  
Star, ID 83669

Subject: Addington Subdivision, PP-22-02/PR-22-01

Dear Mr. Nickel:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

**1. AIR QUALITY**

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

## **2. WASTEWATER AND RECYCLED WATER**

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

## **3. DRINKING WATER**

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.

- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

#### **4. SURFACE WATER**

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Construction General Permit from DEQ may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

## 5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Rebecca Blankenau, Waste & Remediation Manager, at (208) 373-0550.

## 6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.

Response to Request for Comment

March 11, 2022

Page 5

- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,

A handwritten signature in black ink that reads "Aaron Scheff". The signature is written in a cursive, flowing style.

Aaron Scheff  
Regional Administrator  
DEQ-Boise Regional Office

EDMS#: 2022AEK43



**Ada County Transmittal**  
**Division of Community and Environmental Health**

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Meridian
- Kuna
- Star

Rezone # \_\_\_\_\_

Conditional Use # \_\_\_\_\_

Preliminary / Final / Short Plat PP-22-02

Addington

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water
  - bedrock from original grade
  - waste flow characteristics
  - other \_\_\_\_\_
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
  - central sewage
  - interim sewage
  - individual sewage
  - community sewage system
  - central water
  - individual water
  - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage
  - sewage dry lines
  - community sewage system
  - central water
  - community water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
  - food establishment
  - beverage establishment
  - swimming pools or spas
  - grocery store
  - child care center
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDH.
- 14. \_\_\_\_\_

Reviewed By: [Signature]  
 Date: 3/10/22



2921 Caldwell Blvd. • Nampa, ID 83651

April 1, 2022

City of Star  
Attn: Shawn L. Nickel  
PO Box 130  
Star, ID 83669

Application Name: **Addington Subdivision**  
File #'s PP-22-02 Preliminary Plat  
PR-22-01 Private Street

Dear Mr. Nickel:

On behalf of Intermountain Gas Company, thank you for the opportunity to make comment on the above referenced Application.

Based on our review of the materials presented, the project lacks clear definition of Public Utility Easements (PUE). In order for Intermountain as well as other utilities to install infrastructure, clearly defined PUE's should be included within the private and public ROW's and any other lot lines for which the developer desires utility service.

Extensions of our natural gas mains and services will be provided and installed in accordance Section C of Intermountain's General Service Provisions on file with the Idaho Public Utilities Commission.

If you have any questions, or need further clarification, please don't hesitate to contact me.

Sincerely,

*Kerry Schmidt*

Intermountain Gas Company  
Energy Services Rep., Sr.  
Ph. 208-468-6722





# MIDDLETON STAR FIRE DISTRICTS

Fire District Headquarters  
11665 W. State St., Suite B  
Star, Idaho 83669

Tel. No.: (208) 286-7772  
Web: [www.midstarfire.org](http://www.midstarfire.org)  
Email: [permits@starfirerescue.org](mailto:permits@starfirerescue.org)

DATE: April 11, 2022  
TO: City of Star Planning & Zoning  
City of Star Council  
FROM: Victor Islas, Deputy Chief  
SUBJECT: Fire District Review  
PROJECT NAME: Addington Subdivision (PP22-022, PR-22-01)

## Fire District Summary Report:

1. **Overview** This development can be serviced by the Star Fire Protection District. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
2. **Fire Response Time:** This development will be served by the Star Fire Protection District Station 51, located at 11665 W. State St., Star, Idaho 83669. Station 51 is 0.4 miles with a travel time of 1 minutes under ideal driving conditions to the purposed entrance off of N. Highbrook Way.
3. **Accessibility:** Roadway Access, Traffic, Radio Coverage
  - a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
  - b. Access road design shall be designed and constructed to allow for evacuation simultaneously with emergency response operations.
  - c. All access roads in this development shall remain clear and unobstructed during construction of the development. Additional parking restrictions may be required as to always maintain access for emergency vehicles. Hydrants shall always remain unobstructed per city code.
  - d. The fire district requires that Autoturn models be submitted for review. Autoturn models should be reflect the utilization of a 36' long fire engine and a 50' long ladder truck.
  - e. Traffic calming devices will require approval by the Fire District
  - f. An unobstructed vertical clearance of no less than 13 feet 6 inches shall be always maintained.
  - g. Turnaround shall be required at the end of the Addington Lane.
    - i. It is recommended that the road be public and access to the development be from N. Way Highbrook and N. Center Street.
  - h. Signs – Fire Lane signs as specified in IFC seccion D103.6 shall be posted on one side of the fire apparatus access roads more than 26 feet wide and less than 32 feet wide.





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- i. Emergency Access shall have be unobstructed at all times. The access shall be protected from unauthorized vehicles using MaxiForce Collapsible Bollards. The access shall also be marked with signs on both end of the access point reading "Emergency and Authorized Vehicles ONLY"



- j. The applicant shall work with Ada County, City of Star and Star Fire Protection District to provide an address identification plan and signage which meets the requirements set forth by each agency. Addressing shall be placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1
- k. All residential, commercial, and industrial buildings within the City shall have approved address numbers, building numbers, or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. When required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response.
- l. Address numbers shall have a minimum stroke width of one-half inch (0.5"), and of a color contrasting with the background. The required height of each address number shall be calculated by the distance of the addressed building from the road, as follows:

Less than one hundred feet (100')	6"
one hundred feet to one hundred fifty feet (100 - 150')	8"
one hundred fifty-one feet to two hundred feet (151 - 200')	10"
two hundred one feet to two hundred fifty-one feet (201 - 251')	12"

- m. Upon commencement of initial construction of a new structure, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.





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4. **Water Supply:** Water supply requirements will be followed as described in Appendix B of the 2018 International Fire Code unless agreed upon by the Fire District.
  - a. Fire Flow: One- and two-family dwellings not exceeding 3,600 square feet require a fire-flow of 1,000 gallons per minute for a duration of 1 hours to service the entire project. One- and two-family dwellings in excess of 3,600 square feet require a minimum fire flow as specified in Appendix B of the International Fire Code
  - b. Automatic Fire Sprinklers will be required as per IBC and IFC for all R2 Occupancies containing more than two dwelling units.
    - i. Contractor to submit sprinkler plans to State Fire Marshal's Office & AHJ for review, approval and permitting.
  - c. Water Supply: Hydrants to be placed no less then 100ft from the Riser Room FDC.
  - d. Water Supply: Life Safety water lines to be separate from domestic water lines.
  - e. Water Supply: Acceptance of the water supply for fire protection will be by the Fire District and water quality by Star Sewer & Water for bacteria testing.
  - f. Water Supply: Final Approval of the fire hydrant locations shall be by the Star Fire Protection District or their designee in accordance with International Fire Code Section (IFC) 508.5.4 as follows:
    - i. Fire hydrants shall have a Storz LDH connection in place of the 4 ½" outlet. The Storz connection may be integrated into the hydrant, or an approved adapter may be used on the 4 1/2" outlet.
    - ii. Fire hydrants shall have the Storz outlet face the main street or parking lot drive aisle.
    - iii. Fire hydrants shall be placed on corners when spacing permits.
    - iv. Fire hydrants shall not have any vertical obstructions to outlets within 10'.
    - v. Fire hydrants shall be placed 18" above finished grade to the center of the Storz outlet.
    - vi. Fire hydrants shall be provided to meet the requirements of Star Sewer & Water Standards.
    - vii. Show all proposed or existing hydrants for all new construction or additions to existing buildings within 1,000 feet of the project.
    - viii. Fire hydrant relocations to be approved by the Fire District & Star Sewer and Water.
5. **Inspections:** Final inspection by the Fire District of the above listed including hydrant flow must be completed before building permits are issued
6. **Additional Comments:**
  - a. Side Setback as per City Code. Any modification to setback will require review and approval by the Fire District.
  - b. Streetlights shall be turned on once residential building begins, Lighting is essential in assisting first responders with identifying entrances safely while responding to calls for service.