



# CITY OF STAR

## LAND USE STAFF REPORT

**TO:** Mayor & Council

**FROM:** City of Star Planning Department *Shen T. Muth*

**MEETING DATE:** **August 20, 2023 – PUBLIC HEARING**  
**FILE(S) #:** AZ-24-05 – Annexation & Zoning  
DA-24-05 – Development Agreement  
CU-24-03 – Conditional Use Permit U-Haul

### OWNER/APPLICANT/REPRESENTATIVE

**Applicant:**  
Lance Humphreys  
UHC of Idaho  
8155 Chinden BLVD  
Boise, Idaho 83714

**Applicant:**  
Brett Gulash  
Hillside Architecture  
345 W. Bobwhite Ct., Ste 120  
Boise, Idaho 83706

**Owner:**  
Americo Real Estate Company  
2727 N. Central Avenue  
Phoenix, Arizona 85004

### REQUEST

**Request:** The Applicant is requesting approval of an Annexation & Zoning (Commercial C-2), a Development Agreement, and a Conditional Use Permit for a self-storage, warehouse storage and regional maintenance operation facility for UHAUL. The property is located at 7020 and 7190 W. Chinden Blvd (Hwy 20/26), Star, Idaho, Ada County and consists of 14.47 acres.

### PROPERTY INFORMATION

**Property Location:** The subject property is generally located on the north side of Chinden Blvd, between S. Star Road and Highway 16. Ada County Parcel No's S0420438501, S0420438600, S0420438613, S0420438701.

**Existing Site Characteristics:** The property has been used as single family residential with outbuildings and bare ground.

**Irrigation/Drainage District(s):** - Boise Project Board of Control  
2465 W. Overland Road  
Boise, Idaho 83705

**Flood Zone:** This property is not located in a Special Flood Hazard Area.

**Special On-Site Features:**

- ✪ Areas of Critical Environmental Concern – No known areas.
- ✪ Evidence of Erosion – No known areas.
- ✪ Fish Habitat – No known areas.
- ✪ Mature Trees – No.
- ✪ Riparian Vegetation – None.
- ✪ Steep Slopes – None.
- ✪ Stream/Creek – None.
- ✪ Unique Animal Life – No unique animal life has been identified.
- ✪ Unique Plant Life – No unique plant life has been identified.
- ✪ Unstable Soils – No known issues.
- ✪ Wildlife Habitat – No wildlife habitat has been developed or will be destroyed.
- ✪ Historical Assets – No historical assets have been observed.

**APPLICATION REQUIREMENTS**

Pre-Application Meeting Held	March 21, 2023
Neighborhood Meeting Held	May 1, 2023
Application Submitted & Fees Paid	May 21, 2024
Application Accepted	June 6, 2024
Residents within 300' Notified	July 30, 2024
Agencies Notified	June 11, 2024
Legal Notice Published	August 4, 2024
Property Posted	August 8, 2024

**HISTORY**

The city does not have any previous land use history for this parcel.

**SURROUNDING ZONING/COMPREHENSIVE PLAN MAP/LAND USE DESIGNATIONS**

	<b>Zoning Designation</b>	<b>Comp Plan Designation</b>	<b>Land Use</b>
<b>Existing</b>	Ada County Rural Transitional (RUT)	South of the River Mixed Use (MU)	Single Family Residential/Bare Ground
<b>Proposed</b>	General Commercial District (C-2)	South of the River Commercial	Storage Facility/Maintenance Shop
<b>North of site</b>	Residential (R-3-PUD-DA)	South of the River Neighborhood Residential	Inspirado Subdivision
<b>South of site</b>	Commercial (C-2) (Ada County)	City of Meridian	Vacant
<b>East of site</b>	Ada County Rural Transitional (RUT)	Commercial/Compact Residential	Single Family Residential/Bare Ground
<b>West of site</b>	Residential (R-3-PUD-DA)	South of the River Mixed Use (MU)Neighborhood Residential	Inspirado Subdivision

**ZONING ORDINANCE STANDARDS / COMPREHENSIVE PLAN**

**UNIFIED DEVELOPMENT CODE:**

**8-1B-1: ANNEXATION AND ZONING; REZONE:**

B. Standards:

1. The subject property shall meet the minimum dimensional standards and/or density standards\_of the proper district.
2. The city shall require a development agreement in conjunction with the annexation and zoning, or rezone, pursuant to Idaho Code section 67-6511A, which may include a concept plan. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through execution of a development agreement. A development agreement, building elevations, including front and rear (when backing up to a collector or arterial street), and concept plan shall be required for any annexation or rezone to a commercial, mixed-use or residential zone or use, or land which includes steep slope (land over 25%) or floodway. An application for annexation or rezone

shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority, or a letter from the transportation authority waiving said study is received by the administrator. A hearing date before the Council shall not be scheduled until any required traffic impact study has been approved and the transportation authority has issued a staff report on the development application. The administrator may waive these requirements in certain circumstances.

3. The termination of a development agreement shall result in the reversal of the official zoning map amendment approval and applicable development approval for any undeveloped portion of property subject to the development agreement. The undeveloped property subject to the development agreement shall be rezoned to the district classification as designated by the development agreement. When no designation is provided, the property shall revert to its original zoning or, if the original designation no longer exists, to the closest current equivalent zoning as determined by the current Comprehensive Plan Land Use Map designation.

4. An amendment or termination of a previously recorded development agreement shall be recorded in the office of the county recorder by the clerk.

5. An approved development agreement must be executed within ninety (90) days of the meeting at which the development agreement is approved by the city council. A one-time administrative extension of maximum thirty (30) days may be granted by the zoning administrator. Additional extensions may be approved by majority vote of the city council. Failure to execute the development agreement within the required timeframe will result in the denial of all related applications.

C. Required Findings: The council shall review the application at the public hearing. In order to grant an annexation and zoning or rezone, the council shall make the following findings:

1. The map amendment complies with the applicable provisions of the comprehensive plan;
2. The map amendment complies with the regulations outlined for the proposed district;
3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and
4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city.
5. The annexation (as applicable) is in the best interest of city.

### **8-3A-1: ZONING DISTRICTS AND PURPOSE ESTABLISHED:**

The following zoning districts are hereby established for the interpretation of this title, the

zoning districts have been formulated to realize the general purposes as set forth in this title. In addition, the specific purpose of each zoning district shall be as follows:

(C-2) GENERAL COMMERCIAL\_DISTRICT: To provide for the establishment of areas for commercial uses allowed in other commercial zones and commercial uses which are more intensive than those permitted in other commercial zones, and typically located adjacent to arterial roadways and not immediately adjacent to residential, including the establishment of areas for travel related services such as hotels, motels, service stations, drive-in restaurants, offices, limited warehousing, commercial services and retail sales.

DA DEVELOPMENT AGREEMENT: This designation, following any zoning designation noted on the official zoning map of the city (i.e., C-2-DA), indicates that the zoning was approved by the city with a development agreement, with specific conditions of zoning.

**8-3A-3: USES WITHIN ZONING DISTRICTS**

The following table lists principal permitted (P), accessory uses (A), conditional (C), or prohibited (N) uses.

ZONING DISTRICT USES	C-1	C-2	MU
Storage facility, outdoor (Commercial) 1	C	C	C
Storage facility, self-service (Commercial) 1	C	C	C

**Notes:**

**1. Indicates uses that are subject to specific use standards in accord with chapter 5 of this title.**

**8-3A-4: ZONING DISTRICT DIMENSIONAL STANDARDS:**

Zoning District	Maximum Height Note Conditions	Minimum Yard Setbacks Note Conditions			
		Front <sup>(1)</sup>	Rear	Interior Side	Street Side
C-2	35'/60' <sup>5</sup>	20'	5'	0' <sup>4</sup>	20'

Notes:

1. Front yard setback shall be measured from the face of the garage to the face of the sidewalk, allowing for 20' of parking on the driveway without overhanging onto the sidewalk.

2. Zero-Lot-Line, reduced street side yard setbacks and reduced front and rear setback waivers may be requested through the Development Agreement process. All other side yard setback requests for detached structures shall not be granted waivers, unless approved by Council as part of a Planned Unit Development.
3. All setbacks in the CBD, C-1, C-2, LO, LI, PS, RC and M-U zone shall maintain a minimum 15' when adjacent to a residential use or zone. A waiver may be requested if the adjacent property has the potential to redevelop as a non-residential use in the future.
4. As approved by the Fire District.
5. 35' height requirement unless a height exception is approved by Council through the Conditional Use Permit or Planned Unit Development Process.

#### **8-1B-4: CONDITIONAL USES:**

A. Purpose: The purpose of this section is to establish procedures that allow for a particular use on a specific property subject to specific terms and conditions of approval.

B. Applicability: The provisions of this section apply to all uses identified as conditional use within this title. In addition to other processes permitted by city and state code, exceptions or waivers of standards, other than use, may be permitted through issuance of a conditional use permit, development agreement or PUD, upon approval by Council.

C. Process:

1. The applicant shall complete a pre-application conference with the administrator prior to submittal of an application for a conditional use.
2. A neighborhood meeting shall be held by the applicant pursuant to Section 8-1A-6C of this title.
3. An application and appropriate application fees shall be submitted to the City on forms provided by the city.
4. Prior to issuing the conditional use permit, the administrator may require additional information, including studies, concerning the social, economic, fiscal or environmental effects of the proposed conditional use. Traffic studies may be required by the transportation authority prior to acceptance of an application.

D. Standards: In approving any conditional use, the city council may prescribe appropriate conditions, bonds and safeguards in conformity with this title that:

1. Minimize adverse impact of the use on other property.
2. Control the sequence and timing of the use.
3. Control the duration of the use.

4. Assure that the use and the property in which the use is located is maintained properly.
  5. Designate the location and nature of the use and the property development.
  6. Require the provision for on site or off-site public facilities or services.
  7. Require more restrictive standards than those generally required in this title.
  8. Require mitigation of adverse impacts of the proposed development upon service delivery by any political subdivision, including school districts, that provides services within the city.
- E. Findings: The council shall base its determination on the conditional use permit request upon the following:
1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.
  2. That the proposed use shall meet the intent of the Star comprehensive plan and be in compliance with the requirements of this title.
  3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity.
  4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.
  5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.
  6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.
  7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
  8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance as determined by the City.

**COMPREHENSIVE PLAN:**

8.2.3 Land Use Map Designations:

Commercial

Suitable primarily for the development of a wide range of commercial activities including offices, retail, and service establishments. Rezoning to this designation should not be allowed unless adequate ingress/egress to major transportation corridors are assured. Light industrial uses may be considered at the discretion of the City Council without amending this plan.

### 8.3 Goal:

Encourage the development of a diverse community that provides a mix of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible, an assortment of amenities within walking distance of residential development.

### 8.4 Objectives:

- Implement the Land Use Map and associated policies as the official guide for development.
- Manage urban sprawl in order to minimize costs of urban services and to protect rural areas.
- Encourage land uses that are in harmony with existing resources, scenic areas, natural wildlife areas, and surrounding land uses.

### 8.5.6 Policies Related Mostly to the Commercial Planning Areas:

- A. Assist in the provision of coordinated, efficient, and cost-effective public facilities and utility services, carefully managing both residential and non-residential development and design, and proactively reinforcing downtown Star's role as the urban core while protecting existing property rights.
- B. Encourage commercial facilities to locate on transportation corridors.
- C. Locate neighborhood services within walking distance to residential development.
- D. Discourage the development of strip commercial areas.
- E. Maintain and develop convenient access and opportunities for shopping and employment activities.
- F. Commercial areas of five acres or less should be encouraged in residential land use designations with appropriate zoning to allow for commercial services for residential neighborhoods and to limit trip lengths. Such commercial areas should be submitted



for approvals with a Conditional Use Permit or Development Agreement to assure that conditions are placed on the use to provide for compatibility with existing or planned residential uses. These areas should be oriented with the front on a collector or arterial street.

- G. Allow for some light industrial uses within the Commercial areas at the sole discretion of the City Council.

#### 8.5.9 Additional Land Use Component Policies:

- Encourage flexibility in site design and innovative land uses.
- Encourage landscaping to enhance the appearance of subdivisions, structures, and parking areas.
- Require more open space and trees in subdivisions.
- Work with Ada County Highway District (ACHD), Canyon Highway District #4 (CHD4), and Idaho Department of Transportation (ITD) for better coordination of roadway and access needs.
- Support well-planned, pedestrian-friendly developments.
- Dark sky provision should be adopted within the code to assure down style lighting in all developments and Star should consider joining the International Dark Sky Association.
- The City should utilize the 2018 Treasure Valley Tree Selection Guide when requiring trees within developments.

#### 18.4 Implementation Policies:

E. Development Agreements allow the city to enter into a contract with a developer upon rezoning. The Development Agreement may provide the city and the developer with certain assurances regarding the proposed development upon rezoning.

#### 21.1 – South of the River Planning Area

Refer to the South of the River Area Document

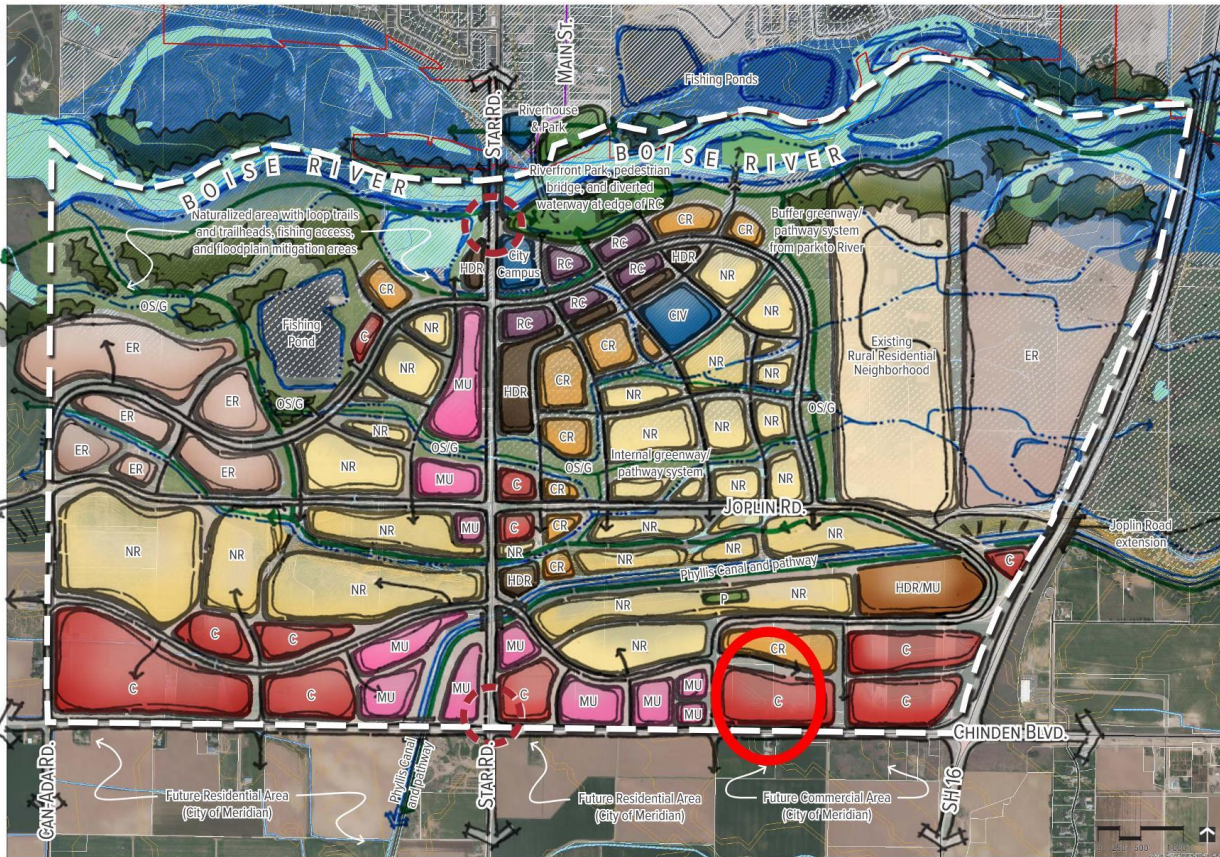
# Illustrative Vision Plan – South of the River Planning Area Document

## ILLUSTRATIVE VISION PLAN

The Illustrative Vision Plan highlights a visionary concept depicting the possible distribution of land uses, connectivity between neighborhoods and to arterials, and the level of amenities expected in regard to natural areas and open space, pathways and parks. The Vision Plan is illustrative in nature, and defines only one possible development option.

- Map Legend:**
- RR: Rural Residential
  - ER: Estate Residential
  - NR: Neighborhood Residential
  - CR: Compact Residential
  - HDR: High-Density Residential
  - RC: Riverfront Center "Main Street"
  - MU: Mixed-Use
  - HDR/MU: High-Density Residential/ Mixed-Use
  - C: Commercial
  - P: Parks
  - CIV: Civic (School, City Facility)
  - OS/G: Open Space/ Greenway
  - Gateway

*Note: The Illustrative Vision Plan is conceptual in nature and distribution of land uses, road alignments, and park and school locations may change as development occurs.*



## PROJECT OVERVIEW

### ANNEXATION & REZONE:

The annexation and zoning request to General Commercial District (C-2) on the applicant's property will allow for the development of the property in a manner that will be consistent with the current Comprehensive Plan South of the River Plan. Sewer and Water will be provided by the Star Sewer and Water District and is available at the northwest corner of the property. Annexation into the Sewer and Water District will be required.

### CONDITIONAL USE PERMIT:

The applicant is requesting approval of a Conditional Use Permit for a multiple use commercial use campus consisting of several buildings and covered vehicle storage spaces. Building #1 will

be a three-story, climate-controlled building that will house individual storage units and contain a showroom and retail space that will offer rental trucks and trailers as well as various supplies/materials. This building is approximately 101,291 square feet in size and will be available to the public.

Building #2 will be single-story, approximately 24,442 square feet and will be used as a warehouse storage for U-Boxes. This building will not be open to the general public. Building #3 will be one story, approximately 42,988 square feet and built to house the maintenance and regional operations business. This building will not be open to the public.

The site will also have 81 covered RV parking spaces located between buildings 1 and 3. These covered spaces will be encircled by three self-storage building that will contain individual 100 square foot storage units. The building to the west of the covered spaces will be approximately 1,123 square feet and to the south of the RV parking will be two buildings, one is approximately 2,146 square feet and the second is approximately 2,040 square feet.

Primary site access will come from Highway 20/26 via a future stop light and collector road that was approved as part of the Inspirado Development. This site is also providing an access road to the adjacent eastern property for future circulation. This access road meets the intent of the street circulation plan that is part of the South of the River Vision Plan. The site has approximately 600 feet of frontage along W. Chinden BLVD. This requires a minimum 40-foot buffer, as W. Chinden is classified as a principal arterial, and appropriate landscaping, per code. The proposed landscape plan appears to satisfy these requirements. As required by the Unified Development Code, Chapter 8, Section 8-8C-2-M (2) Street Trees; A minimum of one street tree shall be planted for every thirty-five (35) linear feet of street frontage. The applicant shall use "Treasure Valley Tree Selection Guide", as adopted by the Unified Development Code. The submitted landscape plan appears to satisfy these requirements.

The applicant has provided exterior elevations and color renderings with this packet. The buildings will need to go through the Design Review process as part of a Zoning Certificate, separate from this application.

The applicant has not asked for any setback waivers and the site plan is compliant with the required Commercial setbacks.

The developer is building the collector road from W. Chinden BLVD north that will allow access to this site. Streetlights will be required along this collector road and will be done by U-Haul unless completed by the Inspirado developer. The Applicant has not provided any specification on site or building lights. The Applicant shall work with Staff on site lighting plan and obtaining approval on site/building lights.

**DEVELOPMENT AGREEMENT:**

Through the Development Agreement process, the applicant is proposing to work with the City and neighboring property owners to provide further insurances that the development will be built as presented and/or modified by the Council through the review process. Items that should be considered by the applicant and Council include the following:

- Access to Site
- Landscaping
- Specifically requested Conditional Use Approvals
- Emergency Access
- Traffic Signal

**AGENCY RESPONSES**

Star Fire District	July 29, 2024
ACHD	Pending
City Engineer	July 23, 2024

**PUBLIC RESPONSES**

No public responses have been submitted.

**STAFF ANALYSIS & RECOMMENDATIONS**

Based upon the information provided to staff in the applications and agency comments received to date, staff finds that the proposed annexation, development agreement and conditional use permit meets the requirements, standards and intent for development as they relate to the Unified Development Code and Comprehensive Plan.

The Council should consider the entire record and testimony presented at their scheduled public hearing prior to rendering its decision on the matter. Should the Council vote to approve the applications, either as presented or with added or revised conditions of approval, Council shall direct staff to draft findings of fact and conclusions of law for the Council to consider at a future date.

## FINDINGS

The Council may **approve**, **conditionally approve**, **deny** or **table** this request. In order to approve these applications, the Unified Development Code requires that Council must find the following:

### ANNEXATION & ZONING FINDINGS:

1. The map amendment complies with the applicable provisions of the Comprehensive Plan.

*The purpose of the Star Comprehensive Plan is to promote the health, safety, and general welfare of the people of the City of Star and its Impact Area. Some of the prime objectives of the Comprehensive Plan include:*

- ✓ *Protection of property rights.*
- ✓ *Adequate public facilities and services are provided to the people at reasonable cost.*
- ✓ *Ensure the local economy is protected.*
- ✓ *Encourage urban and urban-type development and overcrowding of land.*
- ✓ *Ensure development is commensurate with the physical characteristics of the land.*

*The goal of the Comprehensive Plan for Land Use is to encourage the development of a diverse community that provides a mixture of land uses, housing types, and a variety of employment options, social and recreational opportunities, and where possible provides an assortment of amenities within walking distance of a residential development. The Council must find compliance with the Comprehensive Plan.*

2. The map amendment complies with the regulations outlined for the proposed district, specifically, the purposes statement.

*The Council must find that the proposal complies with the proposed district and purpose statement. The purpose of the Estate Residential District is to provide for development suitable primarily for residential use. Densities in this land use area are to range from 1 unit per acre to 3 units per acre. Densities not exceeding 1 to 2 units per acre are to be encouraged in areas of the floodplain, ridgeline developable areas, hillside developable areas, and where new residential lots are proposed adjacent to existing residential lots of one acre and larger where those existing larger lots are not likely to be subdivided in the future. Clustering is encouraged to preserve open space.*

3. The map amendment shall not be materially detrimental to the public health, safety, and welfare; and

*The Council must find that there is no indication from the material submitted by any political agency stating that this annexation and zoning of this property will be materially detrimental to the public health, safety or welfare.*

4. The map amendment shall not result in an adverse impact upon the delivery of services by any political subdivision providing public services within the city including, but not limited to, school districts.

*The Council must find that it has not been presented with any information from agencies having jurisdiction that public services will be adversely impacted other than traffic, which will continue to be impacted as the City grows.*

5. The annexation is in the best interest of the city.

*The Council must find that this annexation is reasonably necessary for the orderly development of the City.*

### **CONDITIONAL USE PERMIT FINDINGS:**

1. That the site is large enough to accommodate the proposed use and meet all the dimensional and development regulations in the district in which the use is located.

*The Council must find that the site of the proposed use would be large enough to accommodate the proposed use or meet all of the dimensional and development regulations in the district in which the use would be located.*

2. That the proposed use will be harmonious with the Star comprehensive plan and in accord with the requirements of this title.

*The Council must find that the proposed use request is harmonious with the Star Comprehensive Plan and is in accord with the requirements of this Title. The proposed development should meet the intent or purpose of the Mixed-Use District.*

3. That the design, construction, operation and maintenance will be compatible with other uses in the general neighborhood and with the existing or intended character of the general vicinity and that such use will not adversely change the essential character of the same area.

*The Council must find that the operation of the proposed use would be compatible with the other uses in the general area.*

4. That the proposed use, if it complies with all conditions of the approval imposed, will not adversely affect other property in the vicinity.

*The Council must find that the proposed use, with imposed conditions of approval, would not adversely affect other property in the vicinity.*

5. That the proposed use will be served adequately by essential public facilities and services such as highways, streets, schools, parks, police and fire protection, drainage structures, refuse disposal, water, and sewer.

*The Council must find that the proposed use be adequately served by essential public facilities and services.*

6. That the proposed use will not create excessive additional costs for public facilities and services and will not be detrimental to the economic welfare of the community.

*The Council must find that the proposed use would not create excessive additional costs for public facilities and would not be detrimental to the economic welfare of the community.*

7. That the proposed use will not involve activities or processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*The Council must find that the proposed use would involve activities that would not be detrimental to any person, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

8. That the proposed use will not result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of major importance.

*The Council must find that the proposed use would not result in the destruction, loss or damage of natural, scenic or historic feature of major importance since none are apparent on this site.*

#### CONDITIONS OF APPROVAL

1. The approved Conditional Use shall comply with all statutory requirements of applicable agencies and districts having jurisdiction in the City of Star.
2. Streetlights/Parking Lot lights shall comply with the Star City Code. Design shall follow Code with requirements for light trespass and "Dark Skies" lighting. **Applicant/Owner shall work with staff and submit a streetlight, site and building light design that meets city standards prior to Building Permit.**
3. Pressurized irrigation systems shall comply with the Irrigation District(s) and the City of Star Codes. Plans for pressurized irrigation systems shall be submitted to, and approved by the City of Star Engineer, prior to installation.
4. Streetlights on the new collector road shall be installed by U-Haul unless otherwise provided for by the Inspirado developer.
5. A form signed by the Star Sewer & Water District shall be submitted to the City prior to issuance of building permit stating that all conditions of the District have been met, including annexation into the District.
6. The applicant shall provide a sign, to be located at all construction entrances, indicating the rules for all contractors that will be working on the property starting at grading and running through occupancy that addresses items including but not limited to dust, music, dogs, starting/stopping hours for contractors (7a.m. start time). **Sign shall be approved by the City prior to start of any construction.**
7. The applicant shall obtain all the proper building permits from the City Building Department prior to occupancy or the unit.

8. The Conditional Use Permit may be revoked or modified by the City Council for any violation of any Condition of Approval.
9. The applicant shall obtain a sign permit prior to any signage being placed on the site or building.
10. A Certificate of Zoning Compliance will be required prior to the start of construction.
11. Any additional Condition of Approval as required by Staff and City Council.
12. Any Conditions of Approval as required by Star Fire Protection District.
13. The property associated with this approved annexation and conditional use permit shall be properly maintained at all times, including throughout the construction process to include trash picked up and trash receptacles emptied with regular frequency, streets swept and cleaned weekly, including any streets used to access the property and all debris shall be prevented from accumulating on any adjacent property or public right of way and shall remove all debris from public way at least daily. This shall also include, but is not limited to any trash, junk or disabled vehicles during any portion of the development process. The site shall be properly mitigated from fugitive dust at all times, including during construction, as determined by the Zoning Administrator. Failure to comply with any of the above may result in a stop work order being issued until the violations are remedied, and/or revocation of the conditional use permit or building permit.
14. Any additional Condition of Approval as required by Staff and City Council.

<b>COUNCIL DECISION</b>
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The Star City Council \_\_\_\_\_ File Number AZ-24-05, DA-24-05, CUP-24-03, for U-Haul on \_\_\_\_\_, 2024.





STAR ROAD

Gallup St

do Dr

4th W

W Lookout View St

STAR

N Smoketfall Ln



N Music Creek Ave

W Old School Dr

N Stonebriar Ln

N Hwy 16

N Polard Ln

W Joplin Ct

W Old Sc

CHINDEN BLVD

# AMERCO<sup>®</sup>

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## REAL ESTATE COMPANY

2727 North Central Avenue, 5-N • Phoenix, Arizona 85004  
Phone: 602.263.6555 •

### **Project Narrative**

AMERCO Real Estate Company (AREC) has prepared this Annexation & Rezone application package, for the opportunity to receive the City of Star's participation and counseling regarding the property located at 7230 W. Chinden Blvd, Meridian ID 83646.

AREC is the wholly owned real estate subsidiary of the U-Haul System.

U-Haul is proposing three buildings at this site:

1. U-Haul Moving and Storage Store facility which consist of self-storage, U-Haul truck and trailer sharing, and related retail sales.
2. U-Haul warehouse storage facility which is utilized to store U-Boxes. This facility is not open to the public.
3. U-Haul maintenance and regional business operation facility which will serve to provide maintenance to their truck and trailer fleet. This building will house their regional business operations. This facility is not open to the public.

The proposed multi-story building will be air-conditioned and will contain the U-Haul uses of self-storage and related retail sales. The retail sales will be conducted through the proposed 'Showroom' area on the first floor of this building.

The site will also provide 81 RV covered RV storage spaces which will be surrounded by 3 outdoor mini storage buildings. Each of these three buildings is composed of individual 10x10 outdoor mini storage units.

Please see site plan for additional details.

The Property is currently zoned as RUT – Rural Urban Transition and is part of Ada County. This proposal is requesting for an Annexation & Zoning - Rezone to incorporate these parcels (S0420438501, S0420438600, S0420438613, and S0420438701) into the City of Star with a Commercial zoning designation. This proposal currently aligns with the City of Star's Comp Plan designation and long term land use planning for the property. In addition, this proposal will pursue a Conditional Use permit to allow for the Storage Facility/Self-service component of our proposal. Lastly, this proposal will include a Certificate of Zoning compliance per the city requirements.

Custom site design for every U-Haul store assures that the facility complements the community it serves. Adherence to community objectives is key to ensuring that each U-Haul store is both a neighborhood asset and an economic success. U-Haul is more of a commercial type of use that serves residential communities within a 3-5-mile radius. We feel the U-Haul would be an appropriate use for the property and there are proven benefits for allowing self-storage facilities in communities:

- Self-storage facilities are quiet
- They provide an excellent buffer between zones
- They create very little traffic
- They have little impact on utilities
- They have no impact on schools
- They provide a good tax revenue
- They provide a community service

U-Haul Moving and Storage is a convenience business. Our philosophy is to place U-Haul stores in high growth residential areas, where we fill a need for our products and services. Customers are made aware of the U-Haul store, primarily via drive-by awareness, much like that of a convenience store, restaurant, or hardware store. Attractive imaging and brand name recognition bring in area residents — by our measures, those who live within a four-mile radius of the center.

**The U-Haul Store:**

U-Haul stores characteristically serve the do-it-yourself household customer. The U-Haul Store will be staffed with 10-15 employees, both full-time and part-time. Families will generally arrive in their own automobiles, enter the showroom, and may choose from a variety of products and services offered there. When situated near public transit, approximately 50% of those families utilize alternative transportation to access U-Haul equipment and services.

- Families typically use U-Haul Self-Storage rooms to store furniture, household goods, sporting equipment, or holiday decorations. During transition periods between moves, moving to a smaller home, combining households, or clearing away clutter to prepare a home for sale, storage customers will typically rent a room for a period of two months to one year.
- U-Haul stores also provide truck and trailer sharing for household moving, either in-town or across country.
- Families who need packing supplies in advance of a move or to ship personal packages can choose from a variety of retail sales items, including cartons, tape, and sustainable packing materials.
- Families who tow U-Haul trailers, boats, or recreational trailers can select, and have installed, the hitch and towing packages that best meet their needs.
- Moving and storage are synergistic businesses. Over half of our storage customers tell us they used U-Haul storage because of a household move. Customers will typically use U-Haul equipment or their personal vehicle to approach the loading area and enter the building through the singular customer access. All new U-Haul stores are designed with interior storage room access, giving the customer the added value of increased security, and the community the benefit of a more aesthetically pleasing exterior.

**Significant Policies:**

- Hours of Operation:
 

Mon. - Thurs.	7:00 a.m. to 7:00 p.m.
Fri.	7:00 a.m. to 8:00 p.m.
Sat.	7:00 a.m. to 7:00 p.m.
Sun.	9:00 a.m. to 5:00 p.m.
- All U-Haul storage customers are issued a card-swipe style identification card that must be used to gain access to their room. This is but one of many security policies which protect the customer's belongings and decrease the ability of unauthorized access to the facility.
- It is against policy for a business to be operated from a U-Haul storage room.
- Customers and community residents who wish to use the on-site dumpsters for disposing of refuse must gain permission to do so and are assessed an additional fee.

- Items that may not be stored include: chemicals, flammables, and paints.
- U-Haul stores are protected by video surveillance.
- U-Haul stores are non-smoking facilities.
- U-Haul will provide added services and assistance to our customers with disabilities.

**Traffic Study:**

- U-Haul stores generate less vehicular traffic volume while still embodying an active-use site. Truck and trailer sharing, and self-storage all represent dynamic transitions from one customer to another. DIY moving customers are presented with opportunities to utilize equipment and storage on a temporary basis, supporting a shared-economy, an effective economic model, and an environmentally-sound way to conduct business.

<b>USE COMPARISON</b>					
Use	Square Feet	Traffic Volume		Typical Hours	Days
		Weekday	Weekend		
Fast Food Restaurant	3,000 sq ft	3,161 trips	3,430 trips	18 hours - 24 hours	7
Gas Station w/ Convenience Store	2,200 sq ft	1,200 trips	2,200 trips	18 hours - 24 hours	7
Hotel	50,000 sq ft	905 trips	901 trips	24 hours	7
Casual Dining	5,000 sq ft	1,075 trips	1,258 trips	11 am - 11 pm 12 hours	7
U-Haul Center	80,000 sq ft	31 trips	53 trips	7 am - 7 pm 12 hours	7

U-Haul looks forward to working with the City of Star, ID as you consider this Annexation & Zoning - Rezone application package.



## ANNEXATION & ZONING - REZONE APPLICATION

\*\*\*All information must be filled out to be processed.

FILE NO.: <u>AZ-24-05</u>
Date Application Received: <u>05/10/2024</u> Fee Paid: <u>\$2190.00</u>
Processed by: City: <u>BN</u>

### Applicant Information:

PRIMARY CONTACT IS: Applicant  Owner  Representative

Applicant Name: LANCE HUMPHREYS OF UHC OF IDAHO  
Applicant Address: 8155 CHINDEN BLVD, BOISE ID Zip: 83714  
Phone: 208-860-5064 Email: lance\_humpherys@uhaul.com

Owner Name: AMERCO REAL ESTATE COMPANY  
Owner Address: 2727 N. CENTRAL AVE. PHOENIX, AZ Zip: 85004  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
Contact: BRETT GULASH Firm Name: HILLSIDE ARCHITECTURE  
Address: 345 W BOBWHITE CT, SUITE 120, BOISE, ID Zip: 83706  
Phone: 775-722-1682 Email: Bgulash@hillside-architecture.com

### Property Information:

Site Address: 7230 W. CHINDEN BLVD, MERIDIAN 83646 Parcel Number: S0420438501, S0420438600, S0420438613, S0420438701  
Total Acreage of Site: 13.9 (605,484 SQFT)  
Total Acreage of Site in Special Flood Hazard Area: \_\_\_\_\_  
Proposed Zoning Designation of Site: COMMERCIAL

### Zoning Designations:

	Zoning Designation	Comp Plan Designation	Land Use
Existing	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL	RURAL
Proposed	COMMERCIAL	COMMERCIAL	RURAL
North of site	R-3 (ADA COUNTY)	COMPACT RESIDENTIAL	RURAL
South of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL	RURAL
East of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL	RURAL
West of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	MIXED-USE	RURAL

**Special On-Site Features** (Yes or No – If yes explain):

Areas of Critical Environmental Concern - NO

Evidence of Erosion - NO

Fish Habitat - NO

Floodplain - NO

Mature Trees - NO

Riparian Vegetation - NO

Steep Slopes - NO

Stream/Creek - NO

Unique Animal Life - NO

Unique Plant Life - NO

Unstable Soils - NO

Wildlife Habitat - NO

Historical Assets - NO

**Application Requirements:**

(Applications are required to contain one copy of the following unless otherwise noted. **When combining with other applications (Prelim Plat, CUP, etc.) please include one paper copy for all applications**)

Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with the Planning Department required prior to neighborhood meeting. <b>Date of Pre-App Meeting: 03.21.2023</b>	
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	
✓	Completed and signed Annexation & Zoning/Rezone Application	BN
✓	All Annexations & Rezones require a Development Agreement *Applicant agrees to enter into a Development Agreement with this application. Applicant's Signature: <i>Lance Humpherys</i>	
✓	An application for annexation or rezone shall not be accepted until any required traffic impact study is submitted and accepted by the appropriate transportation authority. A hearing date before the Council shall not be scheduled until the traffic impact study has been approved and the transportation authority (ACHD, ITD, CDH4) has issued a staff report on the development application.	
✓	Fee: (Include Development Agreement Fee). Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	
✓	Narrative fully describing the proposed project (must be signed by applicant)	
✓	Legal description of the property to be annexed and/or rezoned: <ul style="list-style-type: none"> <li>• Include a metes &amp; bounds description to the section line/centerline of all adjacent roadways, stamped and signed by a registered professional land surveyor, with a calculated closure sheet.</li> </ul>	

	<ul style="list-style-type: none"> <li>• Scaled exhibit map showing the boundaries of the legal description in compliance w/the requirements of the Idaho State Tax Commission Property Tax Administrative Rules IDAPA 35.01.03.225.01h.</li> <li>• If requesting more than one zoning designation, include a legal description for each zone along with an overall annexation/rezone boundary description. Also include the boundaries of each different zone on the map.</li> <li>• Submit word.doc and pdf version with engineer's seal.</li> </ul>	
✓	Recorded warranty deed for the subject property	
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	
✓	Vicinity map showing the location of the subject property with minimum <b>1-mile radius</b>	
✓	Copy of associated CUP/PUD Site Plan/Preliminary Plat. If this application is not accompanied by a plat or site plan, <b>a conceptual development plan for the property is required.</b>	
✓	Electronic copy in pdf. format of submitted plat, site or conceptual plan.	
✓	List of name(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development. <b>SEE NEXT PAGE</b>	
✓	Copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the entire property being considered as shown on record in the County Assessor's office. <b>Please contact the City to request addresses and labels (additional fee required).</b>	
✓	Electronic versions of submitted application including neighborhood meeting information, signed application, narrative, legal description, warranty deed, vicinity map, preliminary plat/site plan or concept plan, irrigation district information, <u>shall be submitted in original pdf format (no scans for preliminary plat/site, concept plans) on a thumb drive only (no discs)</u> with the files named with project name and plan type.	
✓	Signed Certification of Posting with pictures (see attached posting requirements and certification form) – To be completed by applicant a minimum of 10-days prior to public hearing. Staff will notify applicant in writing of hearing and posting date.	
✓	Property shall be annexed into Star Sewer and Water District prior to Final Plat approval, building permits, if applicable. Please contact SSWD for details at 208-286-7388.	

**APPLICANT ACKNOWLEDGEMENT\*\*:**

**\*\* I have read, understand and accept the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be additional fees associated with this application incurred by the City in obtaining reviews or referrals by architect, outside engineering, or other professionals necessary to enable the City to process this application. I understand that I, as the applicant, I am responsible for all payments to the City of Star.**

Lance Humpherys  
Applicant/Representative Signature

05.07.2024  
Date

## IRRIGATION DISTRICT CONTACTS

Settler's Irrigation District	P.O. Box 7571 Boise, ID 83707	<a href="mailto:stefanie@settlersirrigation.org">stefanie@settlersirrigation.org</a> <a href="mailto:mack@settlersirrigation.org">mack@settlersirrigation.org</a>	Stefanie Keen Mack Myers	Secretary District Manager	208-344-2471 208-343-5271
Nampa & Meridian Irrigation District	1503 First Street South Nampa, ID 83651	<a href="mailto:nmid@nmid.org">nmid@nmid.org</a>	Lacey Sharpe	Admin. Asst.	208-466-7861

## PROPERTY LOCATION WITH RELATED IRRIGATION DISTRICT







## CONDITIONAL USE PERMIT APPLICATION

\*\*\*All applicable information must be filled out to be processed.

FILE NO.: <b>CU-24-03</b>	Fee Paid: <b>\$1660.00</b>
Date Application Received: <b>5/10/2024</b>	Processed by: City: <b>BN</b>

### Applicant Information:

**PRIMARY CONTACT IS:** Applicant  Owner  Representative

Applicant Name: LANCE HUMPHREYS OF UHC OF IDAHO  
Applicant Address: 8155 CHINDEN BLVD, BOISE ID Zip: 83714  
Phone: 208-860-5064 Email: lance\_humpherys@uhaul.com

Owner Name: AMERCO REAL ESTATE COMPANY  
Owner Address: 2727 N. CENTRAL AVE. PHOENIX, AZ Zip: 85004  
Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Representative (e.g., architect, engineer, developer):  
Contact: BRETT GULASH Firm Name: HILLSIDE ARCHITECTURE  
Address: 345 W BOBWHITE CT, SUITE 120, BOISE, ID Zip: 83706  
Phone: 775-722-1682 Email: Bgulash@hillside-architecture.com

### Property Information:

Site Address: 7230 W. CHINDEN BLVD, MERIDIAN 83646 Parcel Number: \_\_\_\_\_  
Requested Condition(s) for Conditional Use: STORAGE FACILITY / SELF-SERVICE (COMMERICAL)

	Zoning Designation	Comp Plan Designation
Existing	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL
Proposed	COMMERICAL	COMMERCIAL
North of site	R-3 (ADA COUNTY)	COMPACT RESIDENTIAL
South of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL
East of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	COMMERCIAL
West of site	RUT- RURAL URBAN TRANSITION (ADA COUNTY)	MIXED-USE

**Site Data:**

Total Acreage of Site: 13.9 Acres (605,575 sqft)  
Proposed Percentage of Site Devoted to Bldg Coverage: TBD  
Proposed Percentage of Site Devoted to Landscaping: TBD  
Number of Parking spaces: Proposed 10 Required \_\_\_\_\_  
Requested Front Setback: REQUIRED: 30'-0" Requested Rear Setback: 10'-0" / 25'-0"  
PROPOSED: 30'-0"  
Requested Side Setback: 25'-0" Requested Side Setback: 20'-0"  
Requested Side Setback: 25'-0"  
Existing Site Characteristics: RURAL

Number and Uses of Proposed Buildings: 3 BUILDINGS - STORAGE

Location of Buildings: PLEASE SEE SITE PLAN

Gross Floor Area of Proposed Buildings: 107,238 SF

Describe Proposed On and Off-Site Traffic Circulation: GENERAL PUBLIC CIRCULATION FOR UTILIZATION OF INDOOR STORAGE UNITS, AND RENTAL TRUCK FLEET. IRREGULAR USE OF SEMI-TRUCKS FOR DELIVERY OF U-BOXES TO WAREHOUSE BUILDING (SOUTHWEST PORTION OF SITE). CROSS ACCESS EASEMENT AT NORTHERN PORTION OF SITE, PER CITY REQUEST FOR ADJACENT PARCELS.

Proposed Signs – number, type, location: TBD - SUBMITTED UNDER SEPARATE PERMIT  
(include draft drawing) \_\_\_\_\_

Public Services (state what services are available and what agency is providing the service):

Potable Water - STAR WATER AND SEWER DISTRICT

Irrigation Water - STAR WATER AND SEWER DISTRICT

Sanitary Sewer - STAR WATER AND SEWER DISTRICT

Schools - N/A

Fire Protection - STAR FIRE PROTECTION DISTRICT

Roads - ACHD AND ITD

**NOT IN FLOOD ZONE**

**Flood Zone Data (This Info Must Be Filled Out Completely Prior to Acceptance):**

Subdivision/Project Name: \_\_\_\_\_ Phase: \_\_\_\_\_

Special Flood Hazard Area: total acreage \_\_\_\_\_ number of homes/structures \_\_\_\_\_

- a. A note must be provided on the site plan documenting the current flood zone in which the property or properties are located. The boundary line must be drawn on the plan in situations where two or more flood zones intersect over the property or properties being surveyed.
- b. FEMA FIRM panel(s): #160xxxxxxC, 160xxxxxxE, etc.: \_\_\_\_\_  
FIRM effective date(s): mm/dd/year \_\_\_\_\_  
Flood Zone(s): Zone X, Zone A, Zone AE, Zone AH, etc.: \_\_\_\_\_  
Base Flood Elevation(s): AE\_\_\_\_.0 ft., etc.: \_\_\_\_\_
- c. Flood Zones are subject to change by FEMA and all land within a floodplain is regulated by Chapter 10 of the Star City Code.

## Application Requirements:

(Applications are required to contain one copy of the following unless otherwise noted.)


Applicant (√)	Description	Staff (√)
✓	Pre-application meeting with Planning Department required prior to neighborhood meeting.	BN
✓	Copy of neighborhood meeting notice sent to property owners within 300 feet and meeting sign-in sheet. <b>(Please contact the City for addresses &amp; labels)</b> (Applicants are required to hold a neighborhood meeting to provide an opportunity for public review of the proposed project prior to the submittal of an application.)	BN
✓	Completed and signed Conditional Use Application	BN
✓	Fee: Please contact the City for current fee. Fees may be paid in person with check or electronically with credit card. Please call City for electronic payment. Additional service fee will apply to all electronic payments.	BN
✓	Narrative fully describing the existing use, and the proposed project. (must be signed by applicant)	BN
✓	Legal description of the property (word.doc and electronic version with engineer's seal):	BN
✓	Copy of recorded warranty deed.	BN
✓	If the signature on this application is not the owner of the property, an <b>original</b> notarized statement (affidavit of legal interest) from the owner stating the applicant is authorized to submit this application.	BN
✓	One (1) copy of names and addresses printed on address labels, of property owners within three hundred feet (300') of the external boundaries of the property being considered as shown on record in the County Assessor's office. Please contact the City to request addresses and labels.	BN
✓	List of names(s) and address(es) of all canal or irrigation ditches within or contiguous to the proposed development. <b>SEE LAST PAGE</b>	BN
✓	Vicinity map showing the location of the subject property	BN
✓	One (1) full-size copy and One (1) 11"x 17" reduction of the Site Plan	BN
✓	One (1) full-size copy and One (1) 11"x 17" reduction of the landscape plan (if applicable)	BN
✓	Building elevations showing construction materials	BN
✓	Two (2) copies electronic versions of submitted application including signed application, narrative, legal description, warranty deed, vicinity map, site plan, landscape plan, building elevations, shall be submitted in original pdf format (no scans) on a thumb drive only (no discs) with the files named with project name and plan type. We encourage you to also submit at least one (1) color version for presentation purposes.	
✓	Signed Certification of Posting with pictures. (see attached posting requirements and certification form) – To be completed by application after acceptance of application. Staff will notify applicant of hearing and posting date.	

## Site Plan (If applicable):

✓	<b>The following items must be included on the site plan:</b>	
	• Date, scale, north arrow, and project name	BN
	• Names, addresses, and phone number of owner(s), applicant, and engineer, surveyor or planner who prepared the site plan	BN
	• Existing boundaries, property lines, and dimensions of the lot	BN
	• Relationship to adjacent properties, streets, and private lanes	BN
	• Easements and right-of-way lines on or adjacent to the lot	BN
	• Existing and proposed zoning of the lot, and the zoning and land use of all adjacent properties	
	• Building locations(s) (including dimensions to property lines)	
	• Parking and loading areas (dimensioned)	
	• Traffic access drives and traffic circulation (dimensioned)	

	• Open/common spaces	
	• Refuse and service areas	
	• Utilities plan, including the following: Sewer, water, irrigation, and storm drainage (existing & proposed)	
	• All on-site lighting proposed – Must Meet City “Dark Sky” Ordinances	

**Landscape Plan (If applicable):**

	<b>The following items must be included on the landscape plan:</b>	
	• Date, scale, north arrow, and project name	BN
	• Names, addresses, and phone numbers of the developer and the person and/or firm preparing the plan	BN
	• Existing natural features such as canals, creeks, drains, ponds, wetlands, floodplains, high groundwater areas, and rock outcroppings	BN
	• Location, size, and species of all existing trees on site with trunks 4 inches or greater in diameter, measured 6 inches above the ground. Indicate whether the tree will be retained or removed.	BN
	• Existing buildings, structures, planting areas, light poles, power poles, walls, fences, berms, parking and loading areas, vehicular drives, trash areas, sidewalks, pathways, storm water detention areas, signs, street furniture, and other man-made elements	BN
	• Existing and proposed contours for all areas steeper than 20% slope. Berms shall be shown with one-foot contours	BN
	• Sight Triangles as defined in 8-4 A-7 of this Ordinance	
	• Location and labels for all proposed plants, including trees, shrubs, and groundcovers (trees must not be planted in City water or sewer easements). Scale shown for plant materials shall reflect approximate mature size	
	• Proposed screening structures	
	• Design drawings(s) of all fencing proposed	
	• Calculations of project components to demonstrate compliance with requirements of this ordinance, including: <ul style="list-style-type: none"> <li>➤ Number of street trees and lineal feet of street frontage</li> <li>➤ Width of street buffers (exclusive of right-of-way)</li> <li>➤ Width of parking lot perimeter landscape strip</li> <li>➤ Buffer width between different land uses</li> <li>➤ Number of parking stalls and percent of parking area with internal landscaping</li> <li>➤ Total number of trees and tree species mix</li> <li>➤ Mitigation for removal of existing trees, including number of caliper inches being removed</li> </ul>	

**SIGNS (If applicable):**

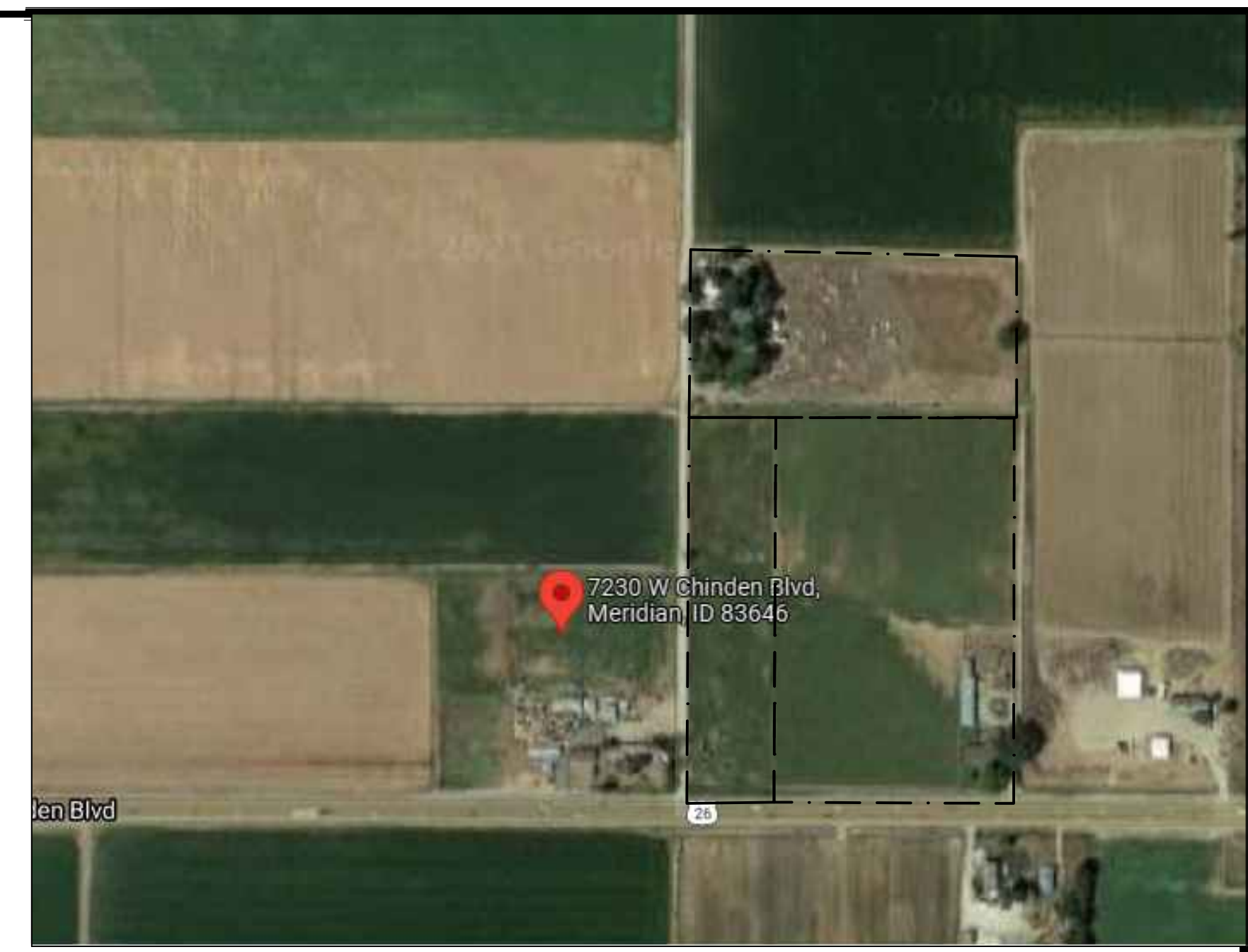
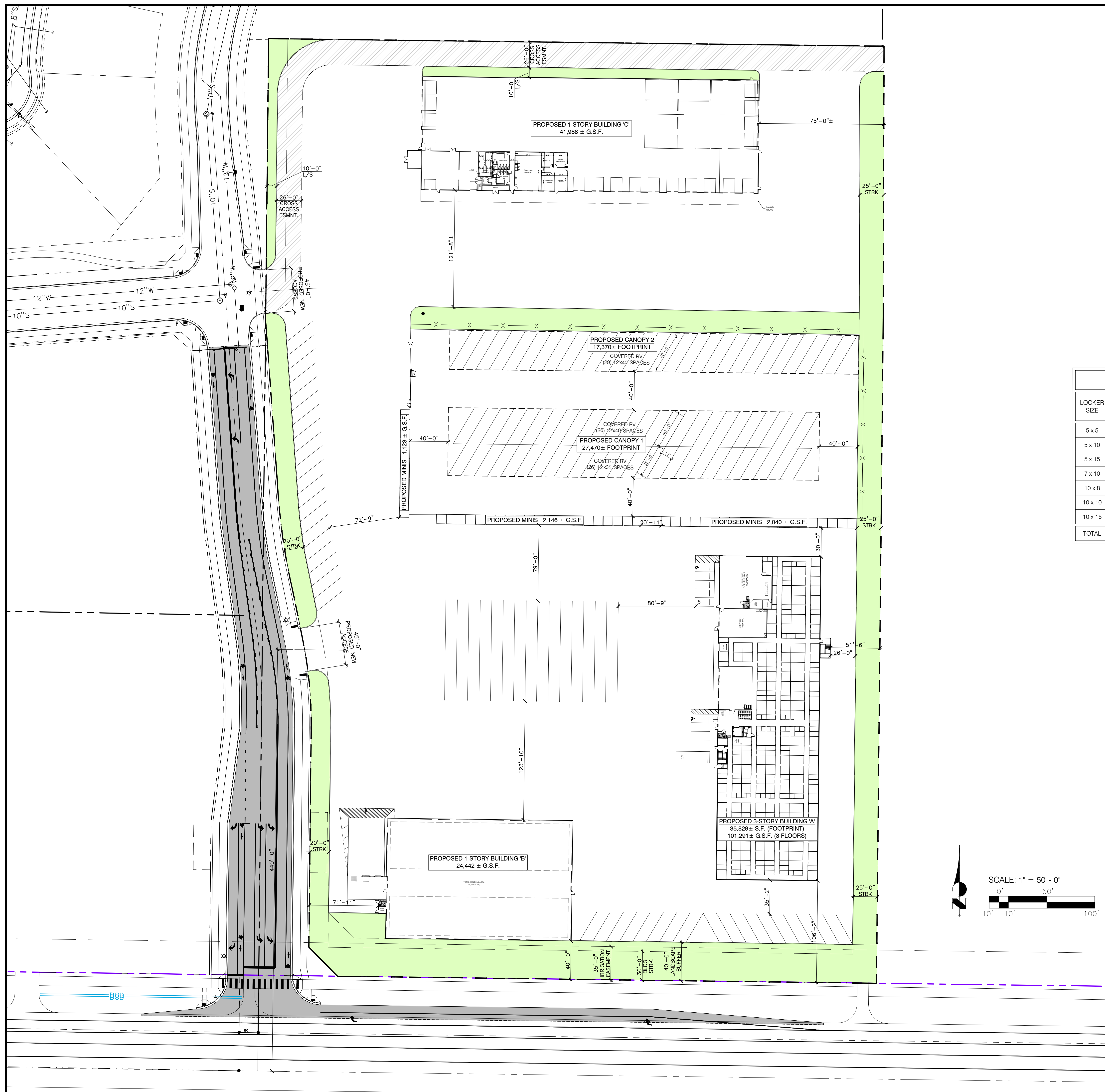
All signs will require separate submittal of a sign application.

**FEE REQUIREMENT:**

***\*\* I have read and understand the above requirements. I further understand fees will be collected at the time of filing an application. I understand that there may be other fees associated with this application incurred by the City in obtaining reviews or referrals by architect, engineering, or other professionals necessary to enable the City to expedite this application. I understand that I, as the applicant, am responsible for all payments to the City of Star.***

Lance Humpherys  
Applicant/Representative Signature

05.07.2024  
Date



**PROPOSED MIX**

LOCKER SIZE	INTERIOR						TOTAL			EXTERIOR MINIS			GRAND TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	QTY	SQ. FT.	%	QTY	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	33	825	4%	43	1,075	5%	50	1,250	5%	126	3,150	5%	0	0	0%	126	3,150	4%
5 x 10	111	5,550	27%	91	4,550	22%	118	6,100	23%	320	16,000	24%	0	0	0%	320	16,000	22%
5 x 15	0	0	0%	1	75	0%	0	0	0%	1	75	0%	0	0	0%	1	75	0%
7 x 10	2	140	1%	1	70	0%	1	70	0%	4	280	0%	0	0	0%	4	280	0%
10 x 8	1	80	0%	2	160	1%	1	80	1%	4	320	0%	0	0	0%	4	320	1%
10 x 10	101	10,100	49%	99	9,900	47%	129	12,900	49%	329	32,900	48%	52	5,200	100%	381	38,100	52%
10 x 15	27	4,050	19%	36	5,400	25%	39	5,850	22%	102	15,300	23%	0	0	0%	102	15,300	21%
<b>TOTAL</b>	<b>275</b>	<b>20,745</b>	<b>100%</b>	<b>273</b>	<b>21,230</b>	<b>100%</b>	<b>338</b>	<b>26,250</b>	<b>100%</b>	<b>886</b>	<b>68,025</b>	<b>100%</b>	<b>52</b>	<b>5,200</b>	<b>100%</b>	<b>938</b>	<b>73,225</b>	<b>100%</b>

(55) 40' RV CANOPY SPACES  
 (28) 35' RV CANOPY SPACES  
 61 TOTAL RV CANOPY SPACES

U-BOX AREA = 23,902 ± S.F.  
 TOTAL U-BOXES = 1,122 (374 x 3-HIGH)

**Zoning Information**

Project Name: Project # 718082  
 U-Haul Moving & Storage of South Star  
 Ada County  
 Project Address: 7230 W. Chinden Blvd., Meridian, ID 83646

APN / Acre / Area: S0420438500; S0420438700; S0420438600; S0420438610 / 13.9± acres / 605,575± SQ. FT.

Zone: RUT – Rural-Urban Transition  
 Adjacent Zoning: N-RUT – Rural-Urban Transition  
 E-RUT – Rural-Urban Transition  
 S-RUT – Rural-Urban Transition  
 W-RUT – Rural-Urban Transition

Uses: Storage Facility/ Self-service – Outdoor Only (C)  
 C = Conditional Use

**Bulk Requirements**

Setbacks:

	Required	Provided
Front yard:	30-ft.	30' - 0"
Interior Side yard:	25-ft.	51' - 6"
Side yard on local street:	20-ft.	72' - 3"
Rear yard:	25-ft.	25' - 0"

Height Limit: 35-ft. max.

Max lot Coverage: 5%, or 20% on non-conforming property  
 Allowed: 605,575 x 5% = 30,279 sqft, OR 605,575 x 20% = 121,115 sq ft  
 Proposed: 152,405 / 605,575 sq ft = 25% (0.252) Lot Coverage (Request Variance)

Parking:  
 Storage Facility/ Self-service = 1 space per entrance to site. Required: 3; Provided: 10 sp

Landscape:  
 40' Landscape Buffer along Hwy 20/26, per Planning Director

**General Screening Standards:**

A. Screening Elements: For the purposes of this article, screening elements shall include, but not be limited to: deciduous trees (shade and ornamental), evergreen trees, berms, solid fences, walls, and sound walls. Cyclone or chainlink fencing (with or without slats) shall not be deemed a screening material nor shall such fencing be eligible for points as set forth in table 8-4F-3 of this article.

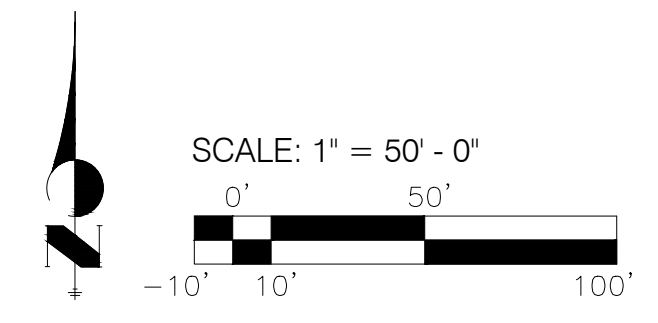
B. Solid Fence Or Sound Wall: Where a solid fence, wall, or sound wall is used for screening, the landscape plan shall incorporate vegetative materials along the length of the screening to soften the appearance of such features.

**Perimeter Landscaping and Screening Standards:**

A. Property Lines That Do Not Abut A Roadway: All principally permitted and accessory uses in the RP, RR, RUT, R1, R2, R4, R6 and R8 base districts as listed in tables 8-2A-1 and 8-2B-1 of this title shall be exempt from the regulations of this article. Requirements of this article may be modified or waived by the commission for conditional uses in the RP, RR, RUT, R1, R2, R4, R6 and R8 base districts as listed in tables 8-2A-1 and 8-2B-1 of this title. Where the dimensional standards for the base district of the subject property require a setback of 10-ft. or more, the following shall apply, unless otherwise noted.

- The min. depth of the landscaped area shall be 6-ft.
- Abutting a residential district, a min. of 16 landscape points shall be required per 10 linear ft.
- Abutting a rural, commercial or industrial district, a min. of 8 landscape points shall be required per 10 linear ft.
- The director may waive perimeter landscaping requirements along portions of property lines not abutting a roadway where needed to accommodate construction of vehicular cross-access across property lines and where cross-access easements to adjacent properties are provided.

B. Property Lines That Abut A Roadway: Entryway corridors shall be as identified in the applicable comprehensive plan. Interstate, arterial, collector, and local streets shall be as identified by the Ada County long range highway and street map functional street classification system.



SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	11/22/22	EMA	MINOR REVISIONS
2	11/30/22	EMA	ADA ROOMS/ RICH MARK UPS
3	12/02/22	EMA	BASIC ELEVATIONS
4	12/06/22	EMA	MAKE DOUBLE PITCH ROOF ON STRG BLDG A
5	12/07/22	EMA	REV. ROOF SLOPE NORTH TO SOUTH
6	12/07/22	BLC	ADD WINDOWS, REV MIX
7	01/23/23	EMA	ADDED SHOP BUILDING
8	01/31/23	EMA	SHOP BUILDING BASIC ELEVATIONS

PROFESSIONAL SEAL:

**PRELIMINARY DOCUMENTS  
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 FOR INFORMATION ONLY**

ARCHITECT LOGO:

**AMERCO REAL ESTATE COMPANY**

CONSTRUCTION DEPARTMENT  
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 PHOENIX, ARIZONA 85004  
 P: (602) 263-6502

SITE ADDRESS:  
 U-Haul of South Star  
 7230 W. Chinden Blvd.  
 Meridian, ID 83646

SHEET CONTENTS:  
 Site Plan

**718082**

DRAWN: EMA  
 CHECKED: NH  
 DATE: 11/18/22

718082\_A1K

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PARCELS OF LAND;  
7230 W CHINDEN BLVD.  
MERIDIAN, ADA COUNTY IDAHO  
FEBRUARY 2024



VICINITY MAP  
SCALE: NTS

LANDSCAPING INFORMATION

LANDSCAPE BUFFERS:  
W. CHINDEN BLVD. (ENTRY CORRIDOR):  
30' REQUIRED STREET BUFFER  
592' LINEAR FEET OF BUFFER; 710 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 14 TREES, 140 TOTAL POINTS PROPOSED  
EVERGREENS @ 5 pts = 15 TREES, 75 TOTAL POINTS PROPOSED  
SHRUBS @ 3 pts = 106 SHRUBS, 309 TOTAL POINTS PROPOSED  
GROUNDCOVER @ 1 pt/100sqft = 9,851SQFT, 98.5 TOTAL POINTS PROPOSED  
DROUGHT TOLERANT TURF @ 1 pt/100sqft = 10,119 SQFT, 101 TOTAL POINTS PROPOSED  
3' HIGH BERM @ 4 pts/10 Inft = 592' TOTAL, 236.8 TOTAL POINTS PROPOSED  
TOTAL POINTS PROPOSED = 960 POINTS

EAST PROPERTY LINE (RUT DISTRICT ADJACENT):  
25' REQUIRED LANDSCAPE BUFFER  
981' LINEAR FEET OF BUFFER; 1,765 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 14 TREES, 140 TOTAL POINTS PROPOSED  
EVERGREENS @ 5 pts = 35 TREES, 175 TOTAL POINTS PROPOSED  
SHRUBS @ 3 pts = 165 SHRUBS, 495 TOTAL POINTS PROPOSED  
GROUNDCOVER @ 1 pt/100sqft = 22,942 SQFT, 229 TOTAL POINTS PROPOSED  
3' HIGH BERM @ 4 pts/10 Inft = 920' TOTAL, 368 TOTAL POINTS PROPOSED  
6' FENCE @ 4pts/10 Inft = 900' TOTAL, 360 TOTAL POINTS PROPOSED  
TOTAL POINTS PROPOSED = 1767 POINTS PROPOSED

SOUTHWEST PROPERTY LINE (STREET ADJACENT):  
20' REQUIRED STREET BUFFER  
626' LINEAR FEET OF BUFFER; 751 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 17 TREES, 170 TOTAL POINTS PROPOSED  
EVERGREENS @ 5 pts = 3 TREES, 15 TOTAL POINTS PROPOSED  
SHRUBS @ 3 pts = 149 SHRUBS, 447 TOTAL POINTS PROPOSED  
GROUNDCOVER @ 1 pt/100sqft = 3,201SQFT, 32 TOTAL POINTS PROPOSED  
DROUGHT TOLERANT TURF @ 1 pt/100sqft = 3,976 SQFT, 39.7 TOTAL POINTS PROPOSED  
TOTAL POINTS PROPOSED = 703.7 POINTS PROPOSED

NORTHWEST PROPERTY LINE (STREET BUFFER):  
10' REQUIRED STREET BUFFER  
238' LINEAR FEET OF BUFFER; 238 TOTAL POINTS REQUIRED

SHADE TREES @ 10 pts = 7 TREES, 70 TOTAL POINTS PROPOSED  
EVERGREENS @ 5 pts = 2 TREES, 10 TOTAL POINTS PROPOSED  
SHRUBS @ 3 pts = 52 SHRUBS, 156 TOTAL POINTS PROPOSED  
GROUNDCOVER @ 1 pt/100sqft = 2,916SQFT, 29 TOTAL POINTS PROPOSED  
TOTAL POINTS PROPOSED = 265 POINTS PROPOSED

OWNER

AMERCO  
REAL ESTATE  
LANE HUMPHREYS  
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PHOENIX, AZ 85004  
602-263-6502

ARCHITECT

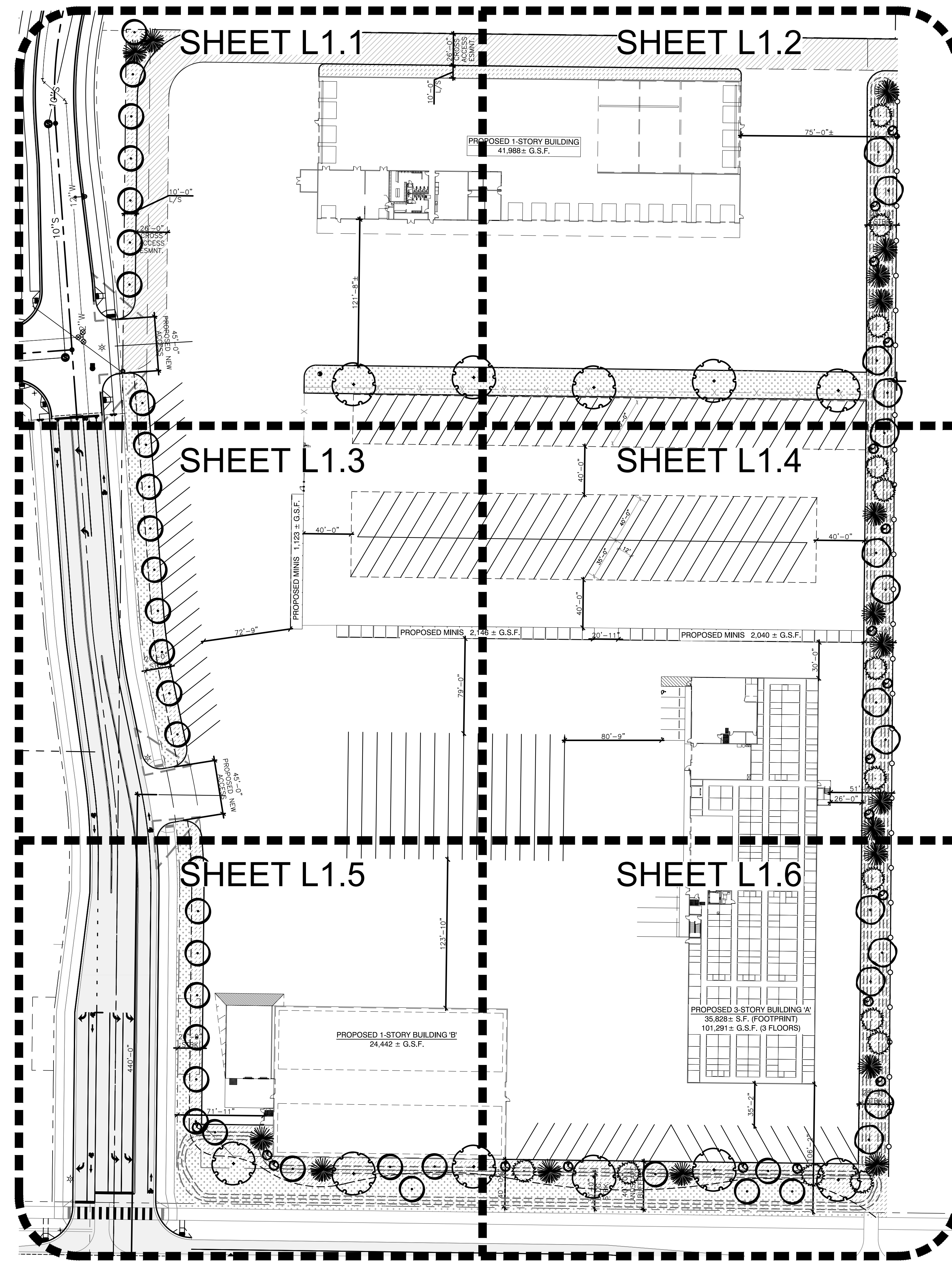
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BRETT GULASH, A.I.A.  
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775-722-1682

LANDSCAPE ARCHITECT

SOUTH BECK & BAIRD  
JIM MIHAN  
2002 S VISTA AVENUE  
BOISE, ID 83705  
208-342-2999

LANDSCAPE SET SHEET INDEX

- L1.1 - L1.6 DETAILED LANDSCAPE PLANS.
- L2.0 - L2.1 LANDSCAPE NOTES AND DETAILS.



OVERALL LANDSCAPE PLAN  
SCALE: 1" = 50'-0"

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
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OVERALL  
LANDSCAPE  
PLAN

718082

DRAWN:	JRB	L1.0
CHECKED:	JDR	
DATE:	02/16/2024	

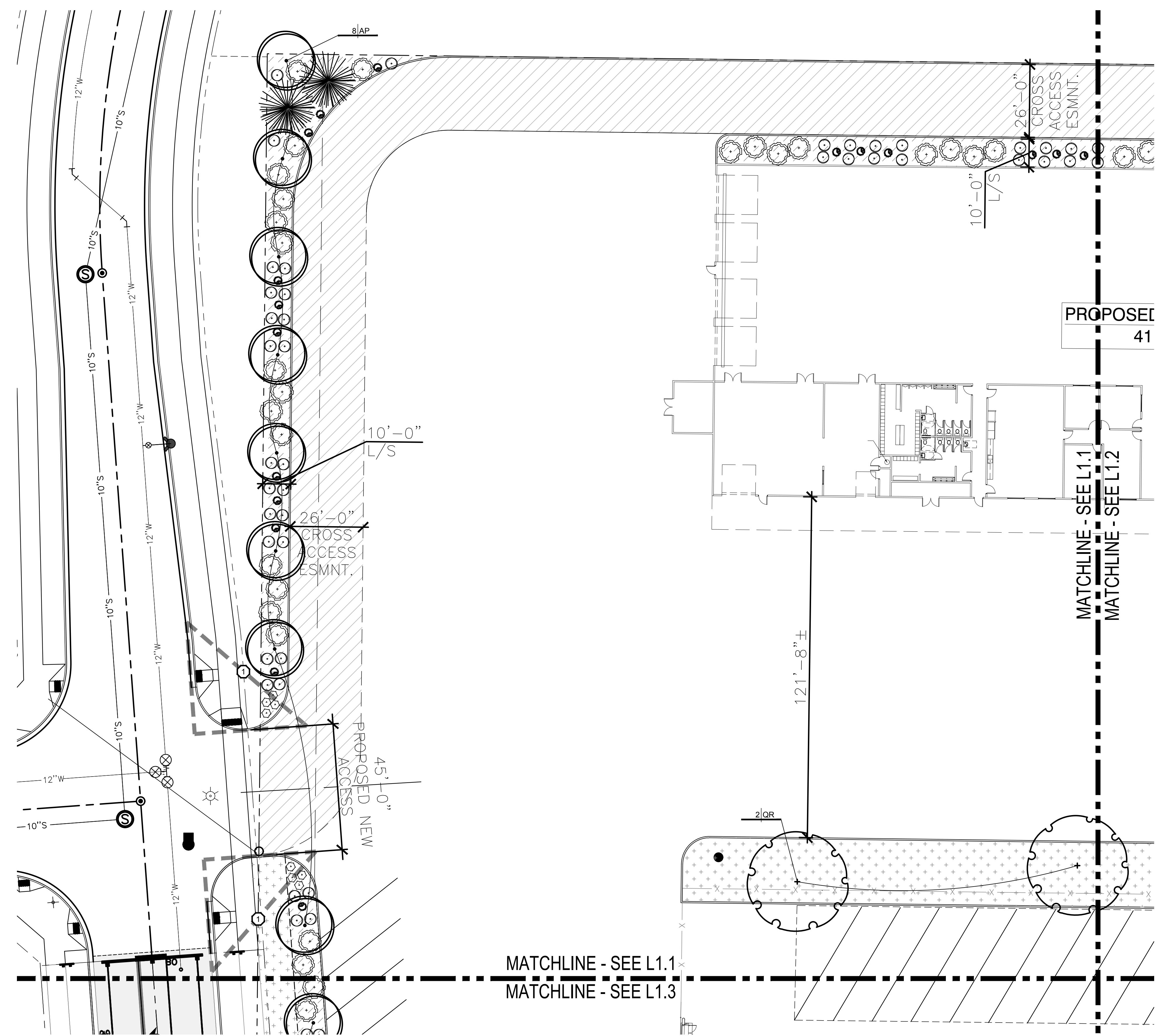
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2/16/2024



### LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- QUANTITY PLANT IDENTIFICATION KEY

### PLANT SCHEDULE

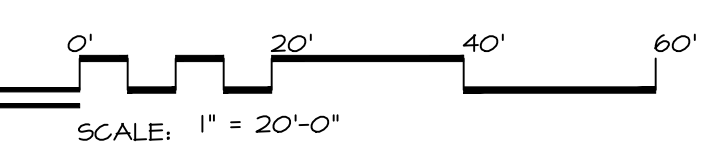
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
<b>DECIDUOUS TREES</b> SEE DETAIL 1/L2.1				
AP	Acer platanoides 'Columnarbroad' Parkway Maple	2" B&B	40' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
QR	Quercus rubra Red Oak	2" B&B	50' hgt. 45' w	CLASS II
<b>CONIFEROUS TREES</b> SEE DETAIL 2/L2.1				
	Pinus nigra Austrian Pine	6" B&B	40' hgt. 25' w	CONIF.
	Pinus strobus 'Fastigiata' Fastigiata White Pine	6" B&B	30' hgt. 10' w	CONIF.
	Picea pungens 'glauca' Colorado Blue Spruce	6" B&B	35' hgt. 15' w	CONIF.
<b>SHRUBS</b> SEE DETAIL 3/L2.1				
	Cotinus coggygria 'Velvet Cloak' Velvet Cloak Smoke Tree	2 Gal.	12' hgt. x 10' wide	
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide	
	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	10' hgt. x 3' wide	
	Physocarpus opulifolius 'Monlo' Diabolo® Ninebark	2 Gal.	8' hgt. x 8' wide	
	Rhus aromatica 'Gro Low' Gro Low Sumac	2 Gal.	2' hgt. x 6' wide	
	Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. 3' wide	
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. 4' wide	
<b>GROUND COVERS/ GRASSES/ PERENNIALS</b> SEE DETAIL 4/L2.1				
	Miscanthus sinensis 'Fire Dragon' Fire Dragon Maiden Grass	1 Gal.	6' hgt. x 3' wide	

### CALLOUT LEGEND

- 40' VISION TRIANGLE
- 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

### LANDSCAPE PLAN



PROPOSED  
41

MATCHLINE - SEE L1.1  
MATCHLINE - SEE L1.2

MATCHLINE - SEE L1.1  
MATCHLINE - SEE L1.3

REVISIONS:

NO.	DATE	INITIALS	NOTES
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P: (602) 263-6502

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Meridian, ID 83646

SHEET CONTENTS:  
LANDSCAPE PLAN

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CHECKED: JDR  
DATE: 02/06/2024

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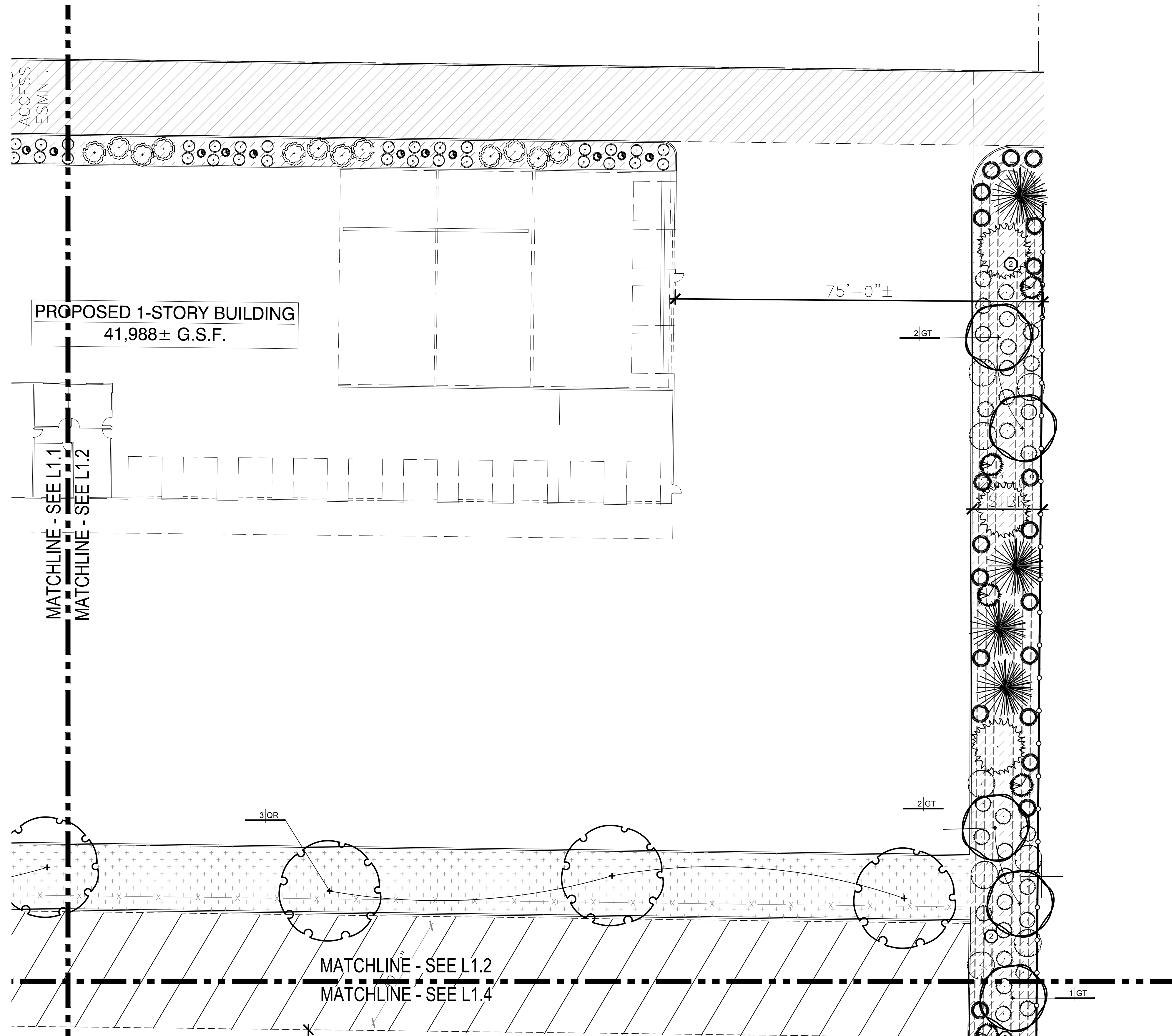
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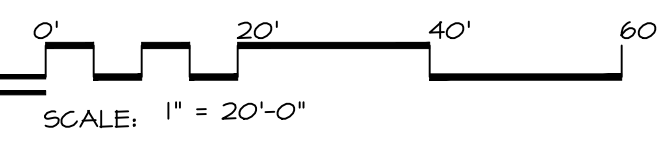
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STATE OF IDAHO  
LANDSCAPE ARCHITECT  
LA 270  
2/16/2024

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LANDSCAPE PLAN



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- QUANTITY PLANT IDENTIFICATION KEY

PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
<b>DECIDUOUS TREES</b> SEE DETAIL 1/L2.1				
AP	Acer platanoides 'Columnarbroad' Parkway Maple	2" B&B	40' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
QR	Quercus rubra Red Oak	2" B&B	50' hgt. 45' w	CLASS II
<b>CONIFEROUS TREES</b> SEE DETAIL 2/L2.1				
	Pinus nigra Austrian Pine	6" B&B	40' hgt. 25' w	CONIF.
	Pinus strobus 'Fastigiata' Fastigate White Pine	6" B&B	30' hgt. 10' w	CONIF.
	Picea pungens 'glauca' Colorado Blue Spruce	6" B&B	35' hgt. 15' w	CONIF.
<b>SHRUBS</b> SEE DETAIL 3/L2.1				
	Cotinus coggygria 'Velvet Cloak' Velvet Cloak Smoke Tree	2 Gal.	12' hgt. x 10' wide	
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide	
	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	10' hgt. x 3' wide	
	Physocarpus opulifolius 'Monlo' Diabolo® Ninebark	2 Gal.	8' hgt. x 8' wide	
	Rhus aromatica 'Gro Low' Gro Low sumac	2 Gal.	2' hgt. x 6' wide	
	Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. 3' wide	
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. 4' wide	
<b>GROUND COVERS/ GRASSES/ PERENNIALS</b> SEE DETAIL 4/L2.1				
	Miscanthus sinensis 'Fire Dragon' Fire Dragon Maiden Grass	1 Gal.	6' hgt. x 3' wide	

CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
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PROFESSIONAL SEAL:

ARCHITECT LOGO:

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REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT  
2727 NORTH CENTRAL AVENUE  
PHOENIX, ARIZONA 85004  
P: (602) 263-6502

SITE ADDRESS:  
U-Haul of South Star  
7230 W. Chinden Blvd.  
Meridian, ID 83646

SHEET CONTENTS:

OVERALL  
LANDSCAPE  
PLAN

718082

DRAWN:	JRB	L1.2
CHECKED:	JDR	
DATE:	02/06/2024	

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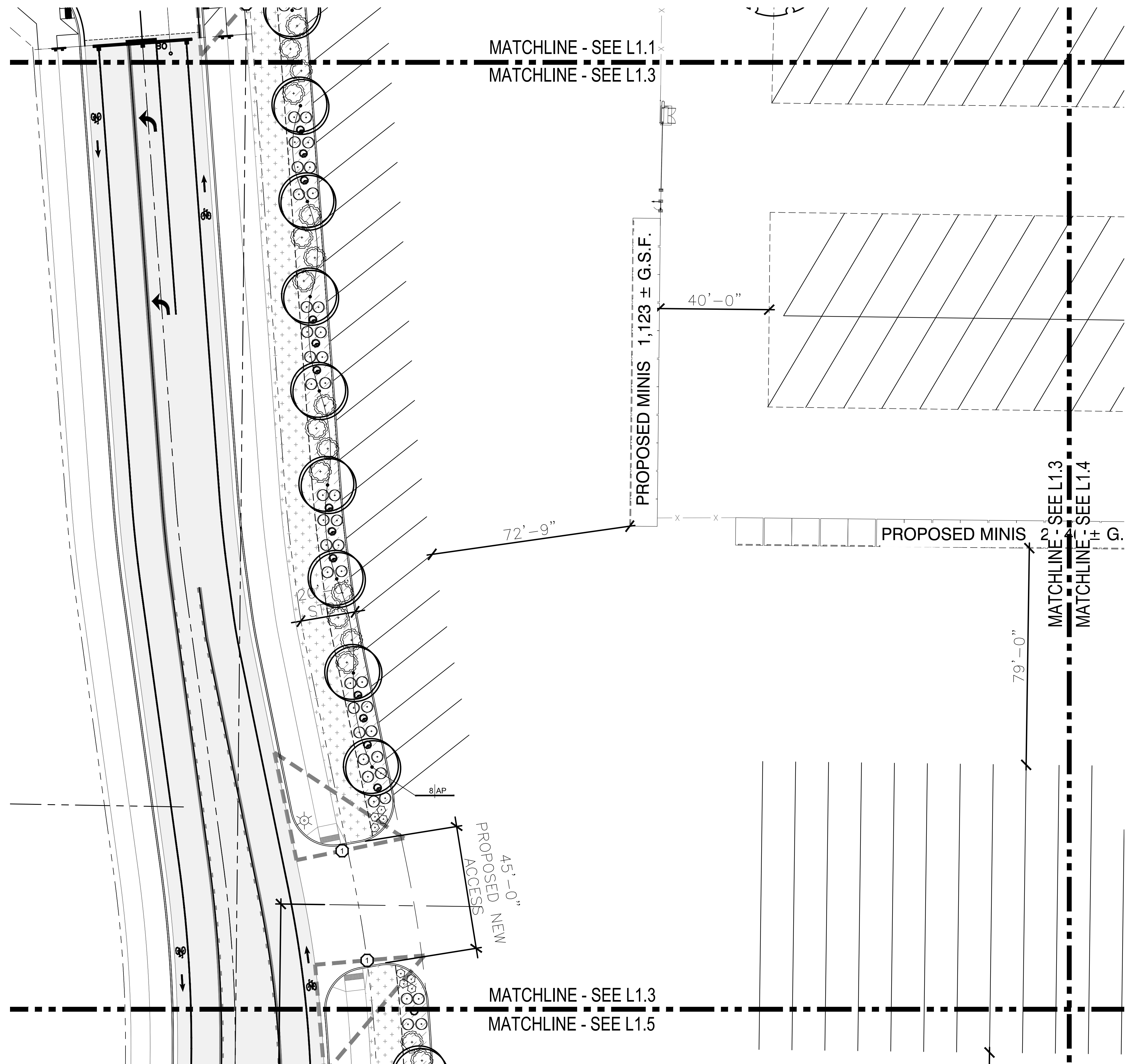
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### LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- QUANTITY PLANT IDENTIFICATION KEY

### PLANT SCHEDULE

NOTE: All trees to be grade #1 (Shown at 80% Maturity)

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<b>DECIDUOUS TREES</b> SEE DETAIL 1/L2.1				
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<b>GROUND COVERS/ GRASSES/ PERENNIALS</b> SEE DETAIL 4/L2.1				
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### CALLOUT LEGEND

- ① 40" VISION TRIANGLE
- ② 3'-4" BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

REVISIONS:

NO.	DATE	INITIALS	NOTES
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SUITE 120  
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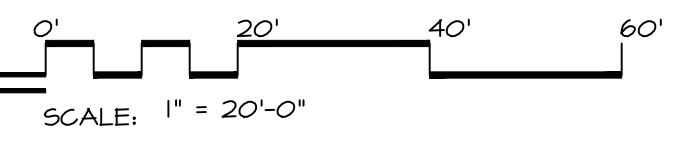
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OVERALL  
LANDSCAPE  
PLAN

718082

DRAWN:	JRB	L1.3
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DATE:	02/06/2024	

## LANDSCAPE PLAN



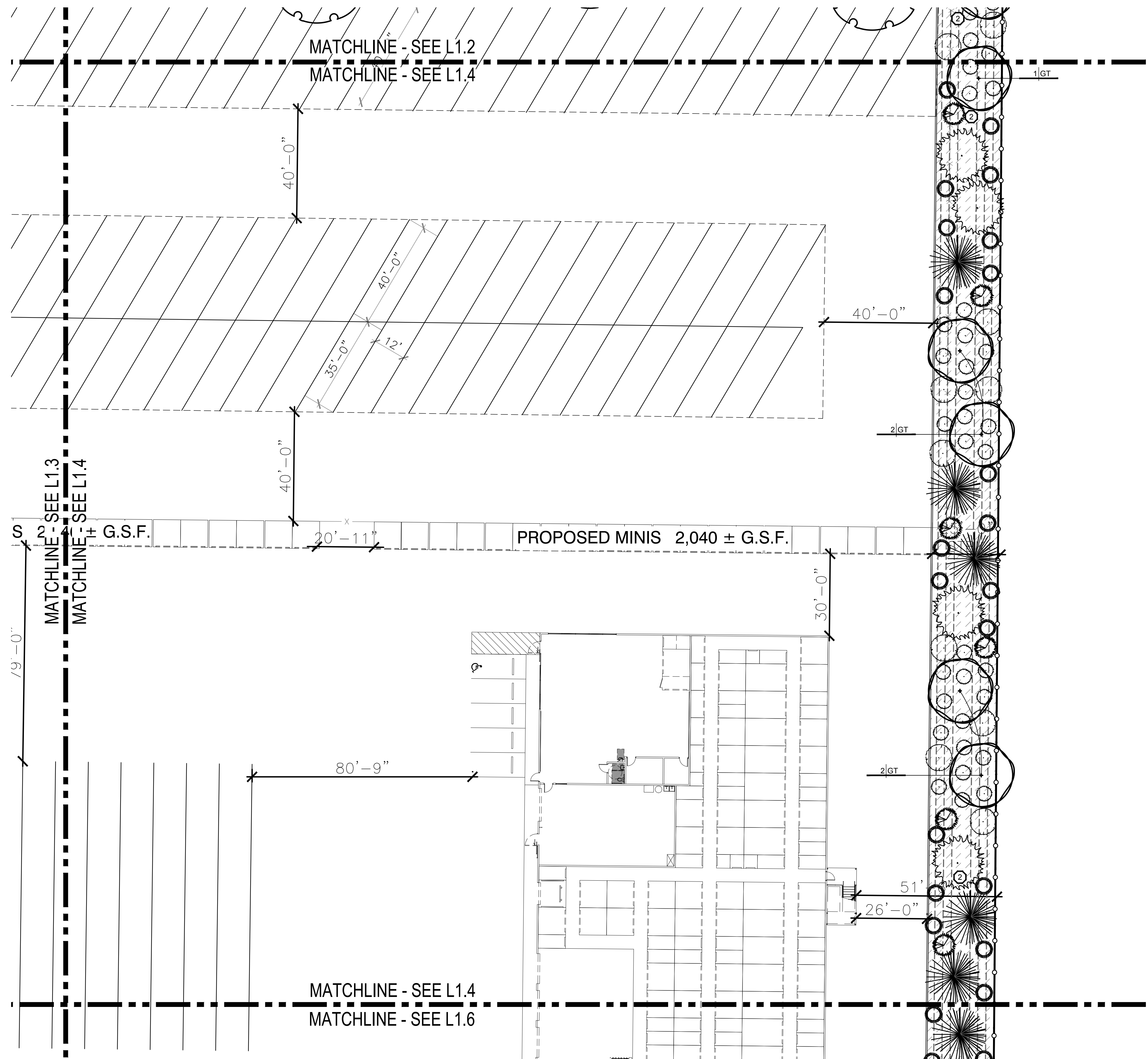
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### LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
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- LANDSCAPE BERM CONTOURS
- QUANTITY PLANT IDENTIFICATION KEY

### PLANT SCHEDULE

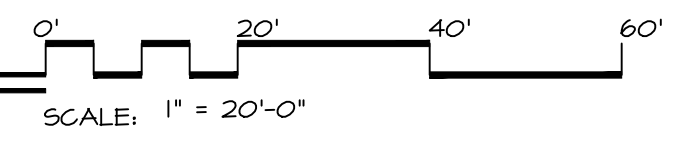
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

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<b>GROUND COVERS/ GRASSES/ PERENNIALS</b> SEE DETAIL 4/L2.1				
	Miscanthus sinensis 'Fire Dragon' Fire Dragon Maiden Grass	1 Gal.	6' hgt. x 3' wide	

### CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

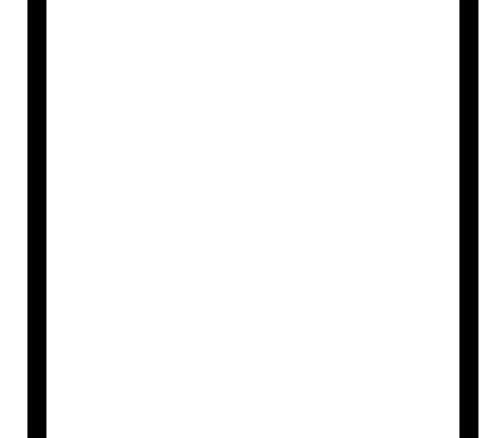
### LANDSCAPE PLAN



REVISIONS:

NO.	DATE	INITIALS	NOTES
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DRAWN: JRB  
 CHECKED: JDR  
 DATE: 02/06/2024

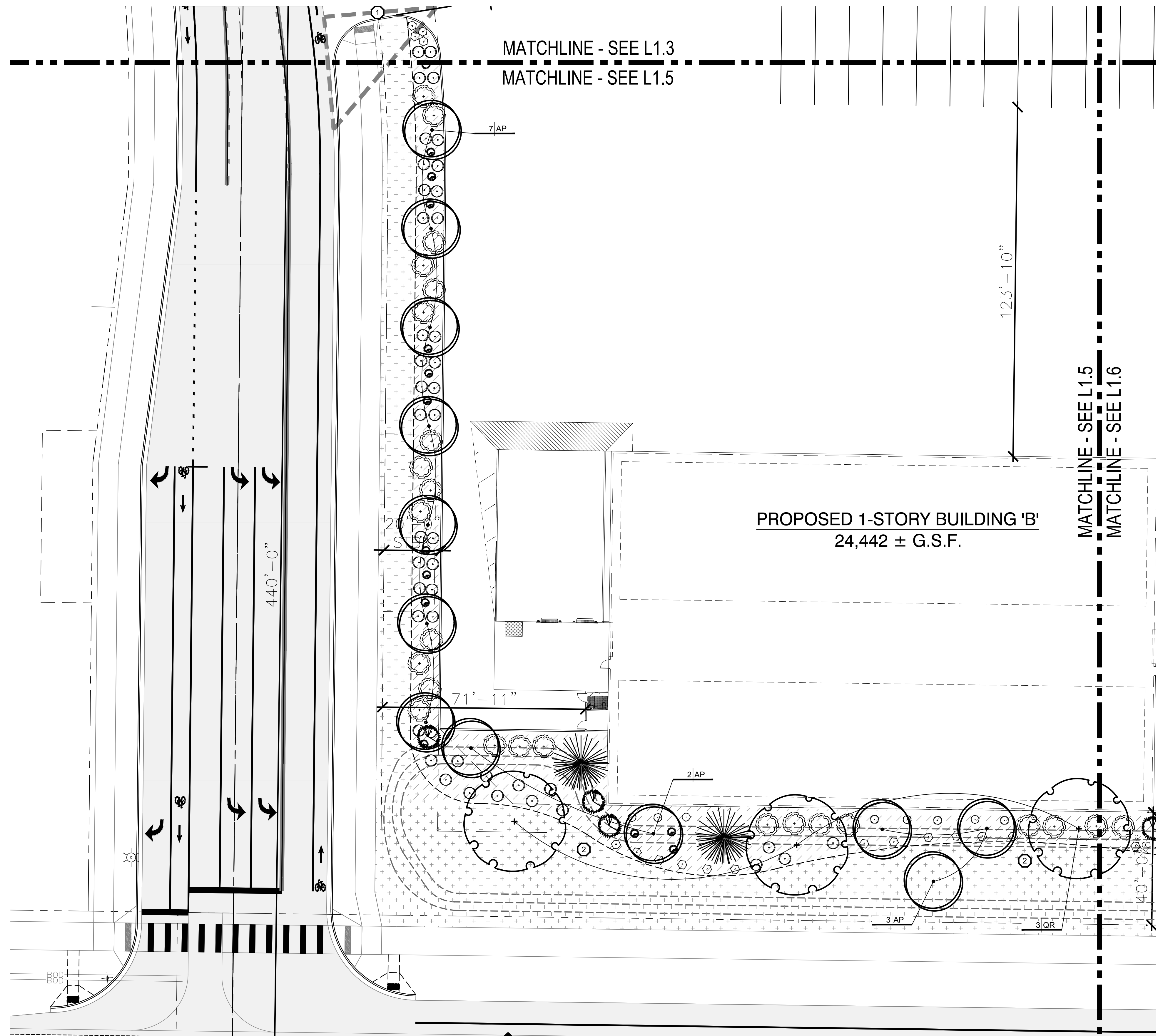
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 MARKING OF  
 UNDERGROUND  
 MEMBER UTILITIES.

**SOUTH BECK & BAIRD**  
 South Landscape Architecture P.C.  
 Db a South Beck & Baird Landscape Architecture P.C.

2002 S. Vista Ave  
 Boise, ID 83705  
 PH: 208.342.2999  
 info@sbbgo.com  
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PRELIMINARY  
 NOT FOR  
 CONSTRUCTION  
 LANDSCAPE ARCHITECTURE  
 2/16/2024

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### LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- RTF TURF TYPE TALL FESCUE SOD OVER APPROVED TOPSOIL AS SPECIFIED
- CUT EDGE, SEE DETAIL 5/L2.1
- 3" DEPTH OF 1" ROCK MULCH OVER APPROVED WEED BARRIER OVER APPROVED TOPSOIL AS SPECIFIED
- 6' SOLID TAN VINYL PRIVACY FENCE, SEE DETAIL 6/L2.1
- LANDSCAPE BERM CONTOURS
- QUANTITY PLANT IDENTIFICATION KEY

### PLANT SCHEDULE

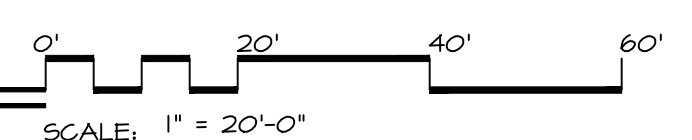
NOTE: All trees to be grade #1 (Shown at 80% Maturity)

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
<b>DECIDUOUS TREES</b> SEE DETAIL 1/L2.1				
AP	Acer platanoides 'Columnarbroad' Parkway Maple	2" B&B	40' hgt. 25' w	CLASS II
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B&B	45' hgt. 30' w	CLASS II
QR	Quercus rubra Red Oak	2" B&B	50' hgt. 45' w	CLASS II
<b>CONIFEROUS TREES</b> SEE DETAIL 2/L2.1				
	Pinus nigra Austrian Pine	6" B&B	40' hgt. 25' w	CONIF.
	Pinus strobus 'Fastigiata' Fastigate White Pine	6" B&B	30' hgt. 10' w	CONIF.
	Picea pungens 'glauca' Colorado Blue Spruce	6" B&B	35' hgt. 15' w	CONIF.
<b>SHRUBS</b> SEE DETAIL 3/L2.1				
	Cotinus coggygria 'Velvet Cloak' Velvet Cloak Smoke Tree	2 Gal.	12' hgt. x 10' wide	
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.	1' hgt. x 6' wide	
	Juniperus scopulorum 'Medora' Medora Juniper	2 Gal.	10' hgt. x 3' wide	
	Physocarpus opulifolius 'Monlo' Diablo® Ninebark	2 Gal.	8' hgt. x 8' wide	
	Rhus aromatica 'Gro Low' Gro Low sumac	2 Gal.	2' hgt. x 6' wide	
	Rosa x 'Nearly Wild' Nearly Wild Rose	2 Gal.	3' hgt. 3' wide	
	Spiraea x bumalda 'Goldflame' Goldflame Spirea	2 Gal.	4' hgt. 4' wide	
<b>GROUND COVERS/ GRASSES/ PERENNIALS</b> SEE DETAIL 4/L2.1				
	Miscanthus sinensis 'Fire Dragon' Fire Dragon Maiden Grass	1 Gal.	6' hgt. x 3' wide	

### CALLOUT LEGEND

- ① 40' VISION TRIANGLE
- ② 3'-4' BERM WITH 3:1 MAX SLOPE, SEE DETAIL 7/L2.1

### LANDSCAPE PLAN



REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
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5			
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7			
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 P: (602) 263-6502

SITE ADDRESS:  
 U-Haul of South Star  
 7230 W. Chinden Blvd.  
 Meridian, ID 83646

SHEET CONTENTS:

OVERALL  
 LANDSCAPE  
 PLAN

718082

DRAWN: JRB  
 CHECKED: JDR  
 DATE: 02/06/2024

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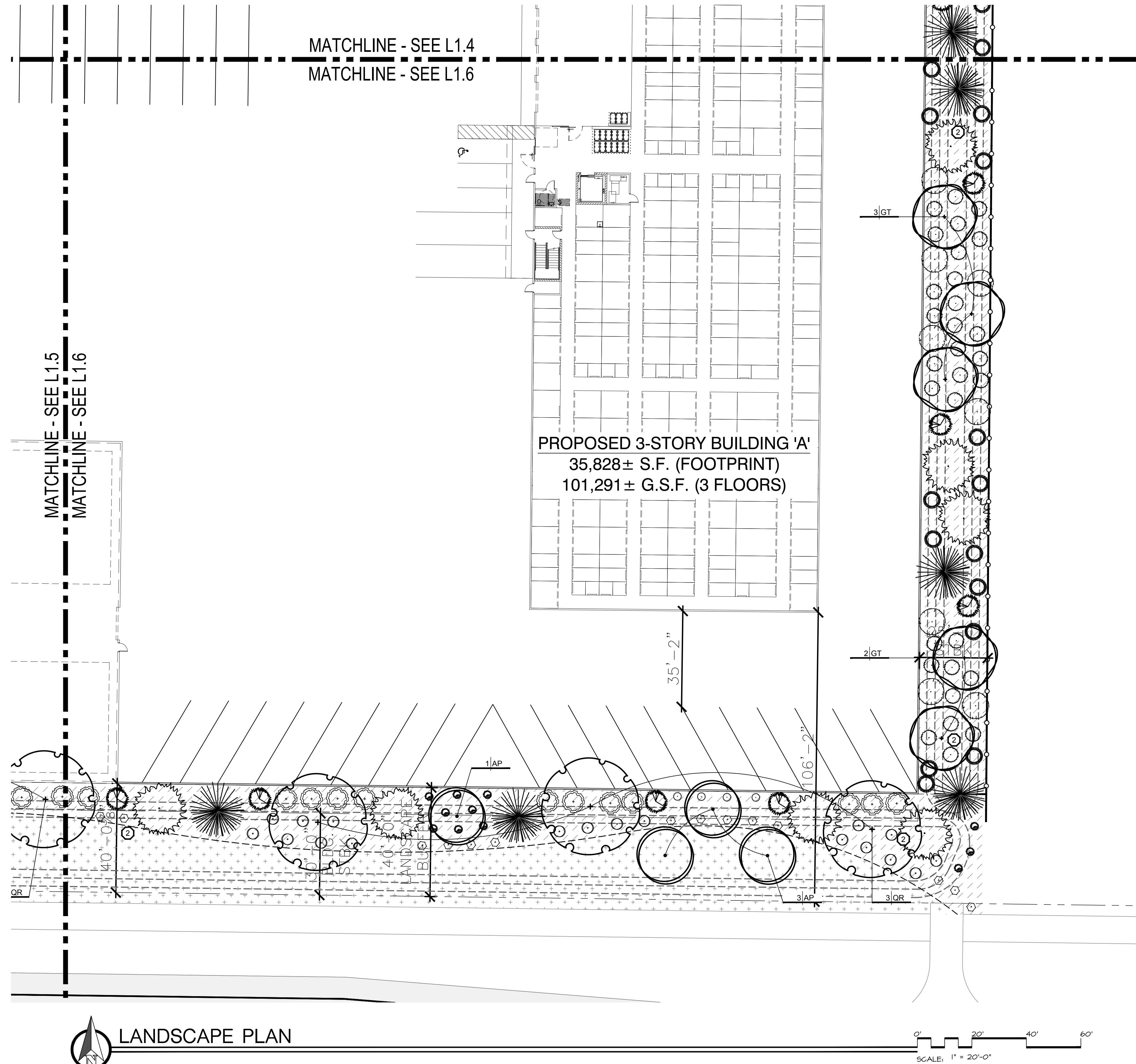
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2016/2024  
 LANDSCAPE ARCHITECT

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LANDSCAPE ARCHITECT  
STATE OF IDAHO  
LA 270  
2/16/2024

# LANDSCAPE SPECIFICATIONS

- SEE CIVIL ENGINEERING PLANS FOR ALL SITE CLEARING AND ROUGH GRADE WORK. FINISH GRADE 1" OF DESIGN GRADE. COORDINATE ALL LANDSCAPE WORK WITH CIVIL DRAWINGS. SEE ARCHITECTURAL SITE PLAN FOR ALL SITE ELEMENTS NOT SHOWN ON LANDSCAPE PLAN.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- CONTRACTOR SHALL REPORT TO OWNER'S REPRESENTATIVE ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK PRIOR TO BEGINNING WORK. COORDINATE WORK SCHEDULE AND OBSERVATIONS PRIOR TO CONSTRUCTION STARTUP.
- BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN DRAWINGS AND SITE TO OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 - "AMERICAN STANDARD FOR NURSERY STOCK". ACCEPTANCE OF PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE. PLANT MATERIAL SHALL BE PROVIDED BY LICENSED NURSERY OR WHOLESALE GROWER. NO BARE ROOT STOCK ALLOWED. SEE DETAILS FOR FURTHER PLANTING REQUIREMENTS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- PLANT ALL TREES AND SHRUBS PER DETAILS. USE APPROVED PLANTING SOIL AS SPECIFIED IN PLANTING SOIL NOTES OR APPROVED EQUAL. USE WHEN BACK FILLING TREE AND SHRUB PITS.
- WATER PLANTS THOROUGHLY AFTER PLANTING.
- REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND TYPE AT NO COST TO OWNER. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN CERTIFIED BY OWNER'S REPRESENTATIVE. PLANTS NOT IN A HEALTHY GROWING CONDITION AFTER ONE (1) YEAR SHALL BE REPLACED AT NO COST TO OWNER EXCEPT FOR LOSS DUE TO CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR. INSPECTION AND ACCEPTANCE TO BE DONE BY OWNER'S REPRESENTATIVE.
- LIMIT SUBGRADE PREPARATION TO AREAS TO BE PLANTED.
- NEWLY GRADED SUBGRADES: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
  - SPREAD PLANTING SOIL TO A COMPACTED DEPTH OF 12 INCHES IN TURF AREAS AND 18 INCHES AT SHRUB BED AREAS BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
  - SPREAD PLANTING SOIL OVER LOOSENED SUBGRADE.
  - REDUCE ELEVATION OF PLANTING SOIL TO ALLOW FOR SOIL THICKNESS OF SOD OR SEED.
- UNCHANGED SUBGRADES: IF TURF OR SHRUBS ARE TO BE PLANTED IN AREAS UNALTERED OR UNDISTURBED BY EXCAVATING, GRADING, OR SURFACE-SOIL STRIPPING OPERATIONS, PREPARE SURFACE SOIL AS FOLLOWS:
  - REMOVE EXISTING GRASS, VEGETATION, AND TURF. DO NOT MIX INTO SURFACE SOIL.
  - LOOSEN SURFACE SOIL TO A DEPTH OF AT LEAST 6 INCHES. PROVIDE WEED ABATEMENT PROCEDURE. APPLY SOIL AMENDMENTS AND FERTILIZERS ACCORDING PLANTING SOIL NOTES AND MIX THOROUGHLY INTO TOP 6 INCHES OF SOIL. TILL SOIL TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE.
  - LEGALLY DISPOSE OF WASTE MATERIAL, INCLUDING GRASS, VEGETATION, AND TURF, OFF OWNER'S PROPERTY.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- MOISTEN PREPARED AREA BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.
- BEFORE PLANTING, OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF FINISH GRADING; RESTORE PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- DO NOT SOW IMMEDIATELY FOLLOWING RAIN, OR WHEN GROUND IS TOO DRY. TEMPERATURE SHALL BE BETWEEN 55 F AND 95 F FOR A 24 HOUR PERIOD. WIND SHALL BE LESS THAN 5 MPH.
- MAINTAIN ALL LANDSCAPING FOR 30 DAYS AFTER COMPLETION OF LANDSCAPING OR UNTIL SUBSTANTIAL COMPLETION, WHICHEVER IS LATER. THIS WILL INCLUDE WATERING, MOWING, AND REPLACING LAWN THAT IS NOT IN A HEALTHY GROWING STATE.
- BEGIN PLANTING ONLY AFTER INSTALLATION AND ACCEPTANCE OF THE AUTOMATIC UNDERGROUND SPRINKLER SYSTEM AND ACCEPTANCE OF FINISH GRADING BY OWNER'S REPRESENTATIVE.
- THE FOLLOWING LANDSCAPE INSPECTIONS SHALL BE MADE BY THE OWNER'S REPRESENTATIVE AFTER AT LEAST 48 HOURS NOTICE HAS BEEN GIVEN BY THE CONTRACTOR:
  - AFTER GRADING HAS BEEN COMPLETED AND BEFORE IRRIGATION HAS BEEN INSTALLED.
  - AFTER INSTALLING THE IRRIGATION MAINLINE.
  - AFTER IRRIGATION HAS BEEN COMPLETED AND BEFORE PLANTING HAS BEEN INSTALLED.
  - AFTER COMPLETION OF THE INSTALLATION OF ALL PLANT MATERIALS.
  - AFTER ALL WORK HAS BEEN COMPLETED (SUBSTANTIAL COMPLETION).
- ALL PLANTING BED AREAS SHALL BE COVERED IN A MINIMUM OF 3" DEPTH OF 1" MINUS CRUSHED AND WASHED BLACK AND TAN BASALT LANDSCAPE MULCH OVER DEWITT PRO 5 WEED FABRIC. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT SAMPLE OF MULCH MATERIAL FOR APPROVAL BY OWNER'S REPRESENTATIVE.
- AGRIFORM TABLETS(20-10-5) ARE TO BE ADDED TO THE PLANTED MATERIALS IN THE FOLLOWING QUANTITIES: 1 PER 1 GALLON SHRUB, 2 PER 2 OR 3 GALLON SHRUB, 3 PER 5 GALLON SHRUB, AND 6 PER TREE. DISTRIBUTE EQUALLY IN ROOT ZONE OF EACH PLANT.
- AFTER PLANTING, APPLY PRE-EMERGENT(ELANCO, XL, RONSTAR, SURFLAN, OR APPROVED EQUAL) PRIOR TO APPLICATION OF MULCH.
- UPON COMPLETION OF PLANTING OPERATION, CLEAR SITE OF DEBRIS, SUPERFLUOUS MATERIALS AND EQUIPMENT, ALL OF WHICH SHALL BE ENTIRELY REMOVED FROM PREMISES. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OR IRRIGATION ACTIVITIES AND PROPERLY DISPOSE OF OFF SITE.
- PROVIDE WRITTEN INSTRUCTIONS ON MAINTENANCE REQUIREMENTS TO OWNER.
- MAINTAIN TREES BY PRUNING, CULTIVATION AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR VERTICAL POSITIONS AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES FREE OF INSECTS AND DISEASE.
- ALL PLANTING AREAS TO BE SEPARATED FROM ALL LAWN AREAS WITH APPROVED LANDSCAPE EDGING PER PLANS - SEE DETAIL.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

# PLANTING SOIL NOTES

- TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7, FOUR PERCENT ORGANIC MATERIAL, MINIMUM, FREE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- TOPSOIL SOURCE: REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM.
  - STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 1/2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
- REPRESENTATIVE SAMPLES OF PLANTING SOILS SHALL BE TESTED FOR ACIDITY, FERTILITY, ORGANIC MATTER AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY. SUBMIT TOPSOIL ANALYSIS TEST RESULTS FROM TESTING LABORATORY WITH RECOMMENDATIONS FOR IT TO MEET REQUIREMENTS TO THE LANDSCAPE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET.
- AT A MINIMUM, PREPARE SOIL IN ALL AREAS BY SPREADING A 15-15-15 FERTILIZER AT 7.5 POUNDS PER 1000 SQUARE FEET OF SURFACE AREA AND AN MANURE COMPOST (OR APPROVED EQUAL) AT 3 CUBIC YARDS PER 1000 SQUARE FEET OF SURFACE AREA OVER FINISH GRADE AND ROTO-TILL INTO TOP 6" OF SOIL. FOLLOW ALL IMPROVEMENT RECOMMENDATIONS OF SOIL TEST RESULTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATTER AND A HAVE A PH OF 5.5 TO 7.0. IF ONSITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
  - PROVIDE APPROVED IMPORTED TOPSOIL, OR
  - IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
  - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
  - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, ORGANIC MATTER, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH 5.5 TO 7.6.
- NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
- PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
- ALL GRAVEL, SUBBASE, AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPE AREAS TO PREVENT LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

# GENERAL NOTES

- CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UTILITIES WITH OWNER AND UTILITY COMPANIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK HOUND ALL PLANTING AREAS PRIOR TO PLANTING, TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) AND EXTRANEOUS MATERIAL OR DEBRIS.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM OWNER'S REPRESENTATIVE PRIOR TO ORDERING OR INSTALLATION. FAILURE TO COMPLY WILL REQUIRE THE REMOVAL OF MATERIALS AT NO COST TO THE OWNER AND REPLACED WITH APPROVED MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT BEST MANAGEMENT PRACTICES TO STABILIZE ALL SLOPES 3:1 OR GREATER AND PREVENT EROSION OR MOVEMENT OF SOIL FROM SLOPES.
- ALL ROCK MATERIALS TO BE OBTAINED FROM LOCAL SOURCE OR APPROVED EQUAL.

# WEED ABATEMENT

- ALL AREAS TO BE PLANTED OR HYDROSEEDED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING OR HYDROSEEDING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH 'ROUND-UP' (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF 'ROUND-UP' TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING AND HYDROSEEDING, ALL PLANTING AREAS SHALL BE WEED FREE.
- COORDINATE WITH CIVIL FOR ALL WEED ABATEMENT REQUIREMENTS

# RIGHT OF WAY LANDSCAPE NOTES

- COORDINATE ALL DRAINAGE AREAS AND UTILITIES WITH TREE LOCATIONS AND ADJUST PER FIELD CONDITIONS.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- ANY PERENNIAL TREES OR PLANTS THAT WILL EXTEND ROOTS DEEPER THAN 18" SHALL BE PROHIBITED OVER UNDERGROUND SEEPAGE BEDS, INFILTRATION FACILITIES OR PIPING SYSTEMS.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES TO BE LOCATED A MINIMUM OF 5 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- TRIM ALL TREES WITHIN VISION TRIANGLES TO 8' ABOVE FINISH GRADE TO MEET LOCAL JURISDICTIONAL STANDARDS.

# DISCLAIMER:

THIS DRAWING HAS BEEN PREPARED BASED UPON INFORMATION PROVIDED, IN PART BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, SOUTH BECK AND BAIRD, PC, CANNOT ASSURE ITS ACCURACY AND THUS IS NOT RESPONSIBLE FOR THE ACCURACY OF THIS DRAWING OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT. SOUTH BECK AND BAIRD, PC, ASSUMES NO LIABILITY FOR ANY MISINFORMATION.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
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8			

PROFESSIONAL SEAL:

ARCHITECT LOGO:

**HillSide**  
architecturepllc  
345 W. BOBWHITE CT  
SUITE 120  
BOISE, ID 83706  
P: 208-810-7745

**AMERCO**  
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT  
2727 NORTH CENTRAL AVENUE  
PHOENIX, ARIZONA 85004

P: (602) 263-6502

SITE ADDRESS:

U-Haul of South Star  
7230 W. Chinden Blvd.  
Meridian, ID 83646

SHEET CONTENTS:

LANDSCAPE NOTES

718082	
DRAWN: JRB	L2.0
CHECKED: JDR	
DATE: 02/06/2024	

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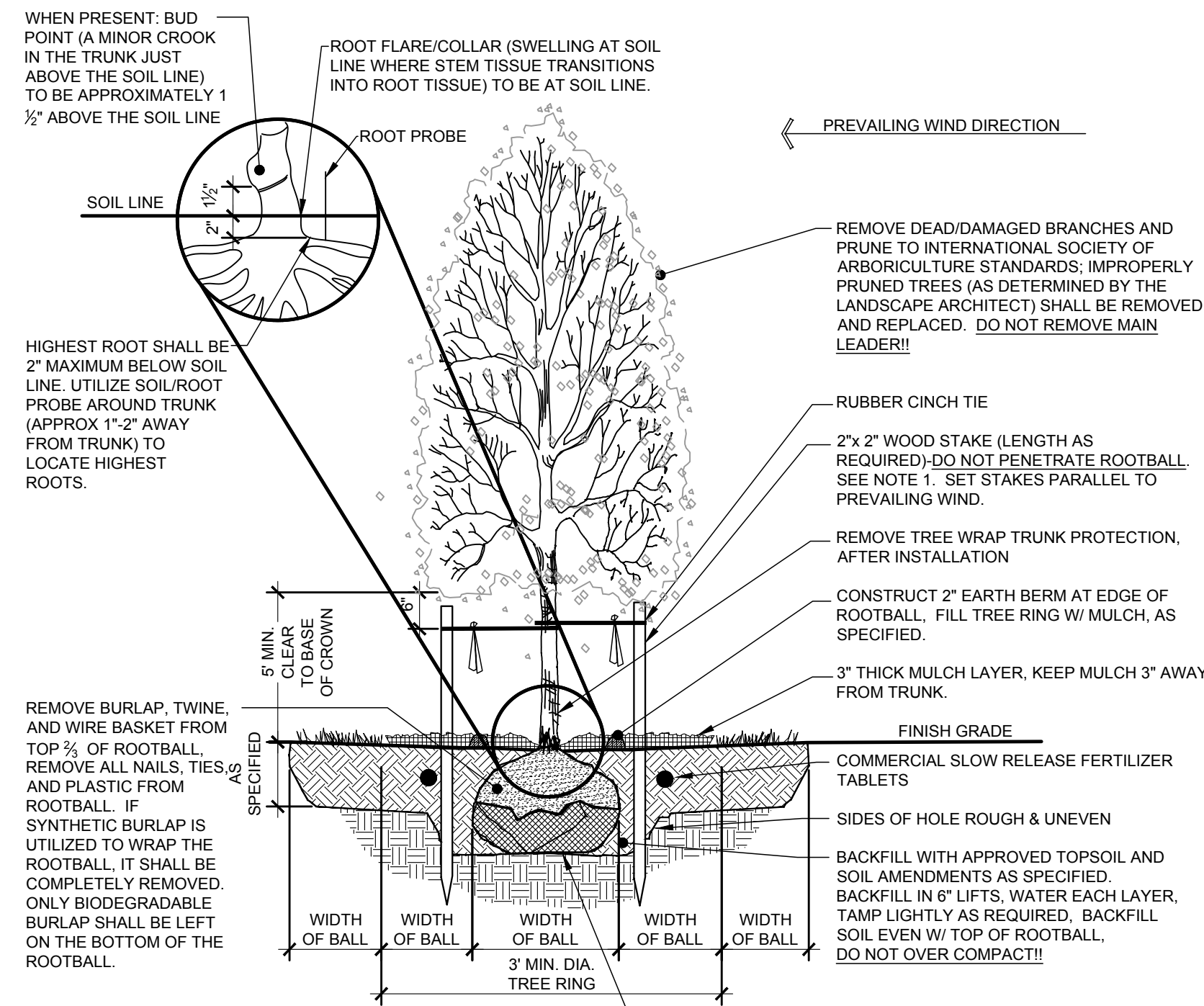
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Know what's below.  
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**SOUTH BECK & BAIRD**  
South Landscape Architecture P.C.  
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2002 S. Vista Ave  
Boise, ID 83705  
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www.sbbgo.com

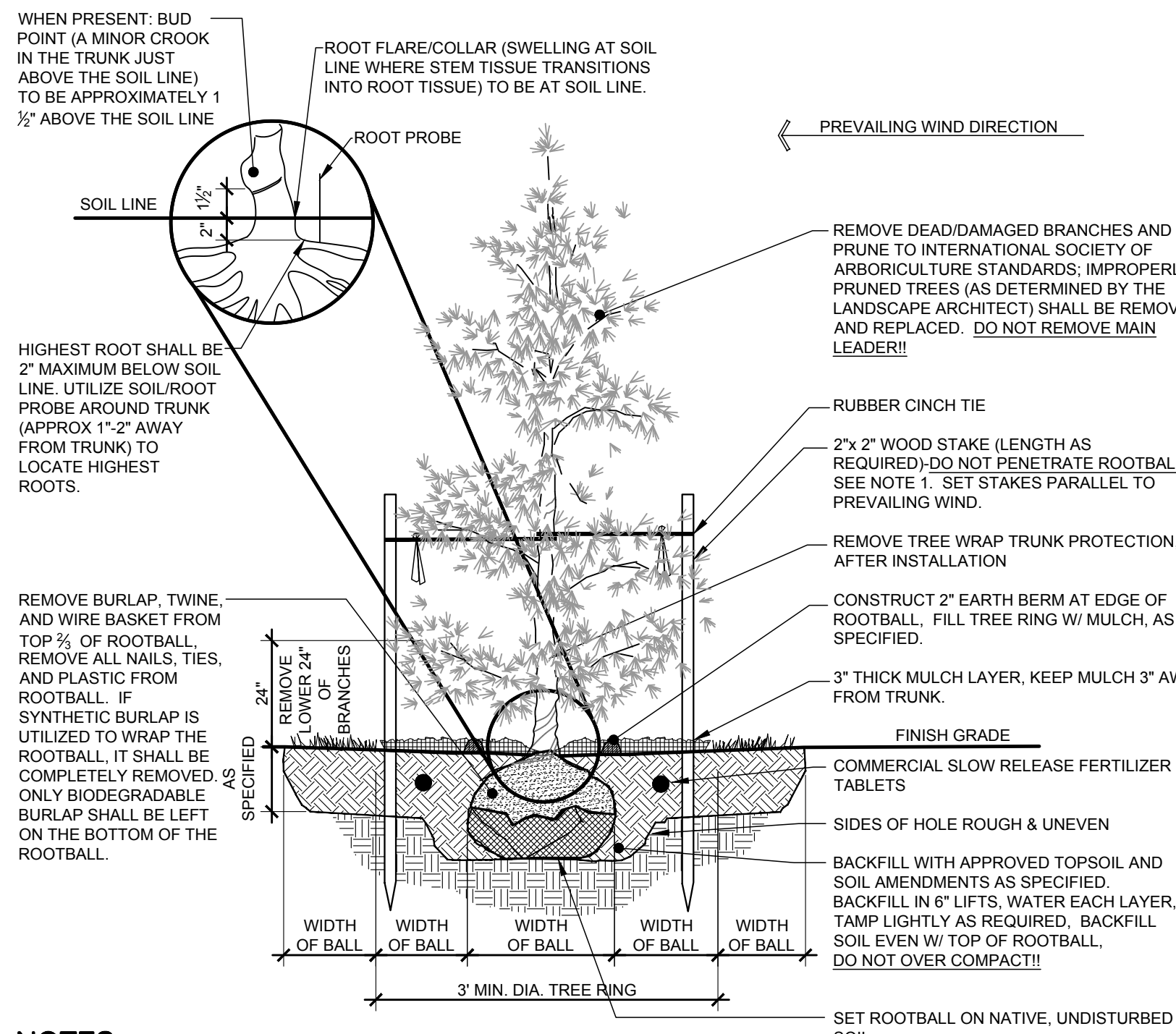
**PRELIMINARY NOT FOR CONSTRUCTION**  
LA 270  
3/16/2024  
LANDSCAPE ARCHITECTURE



**1 DECIDUOUS TREE PLANTING**

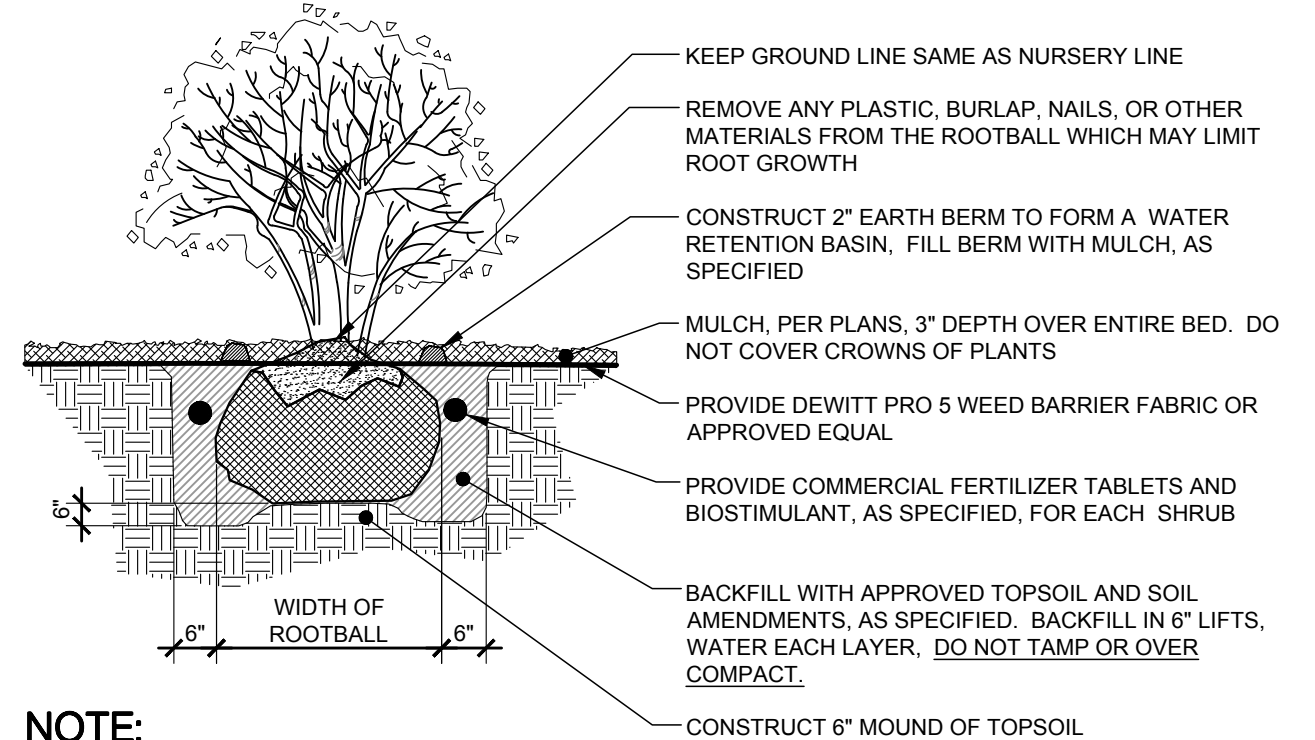
- NOT TO SCALE
- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
  - IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
  - LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
  - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
  - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
  - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
  - FOR TREES LOCATED WITHIN 5'-0" OF A CONCRETE CURB OR WALKWAY, PROVIDE TREE ROOT BARRIER (DEEPROT #24-2 OR APPROVED EQUAL). LOCATE ROOT BARRIER AT BACK OF CURB AND EDGE OF SIDEWALK. EXTEND ROOT BARRIER TO 80% OF MATURE TREE CANOPY. ALL TREE INSTALLATIONS SHALL CONFORM TO ALL AGENCY APPROVAL REQUIREMENTS. CONTRACTOR SHALL VERIFY PRIOR TO ANY INSTALLATIONS.

**2 CONIFEROUS TREE PLANTING**



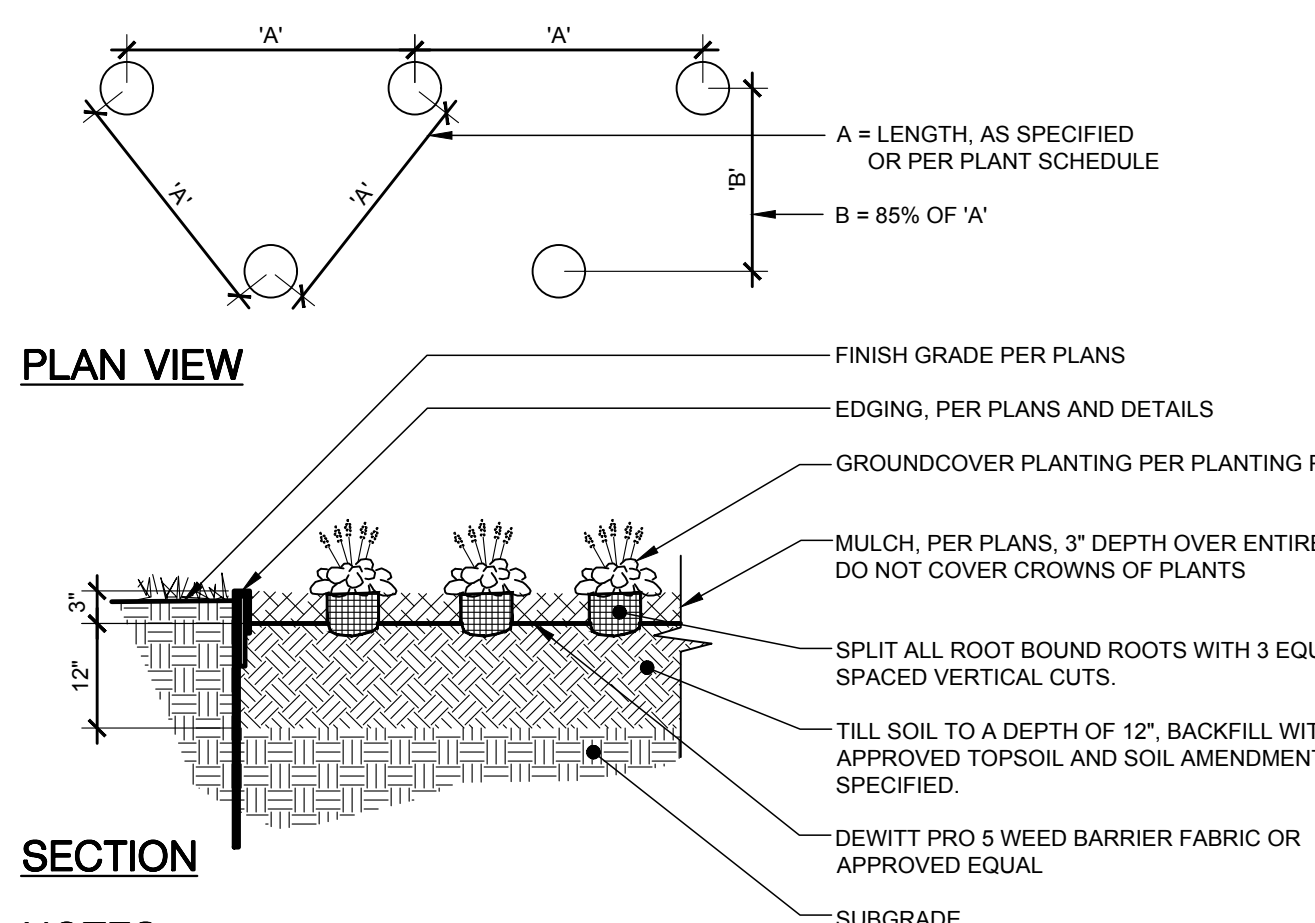
- NOT TO SCALE
- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR LENGTH OF WARRANTY PERIOD OR 1 YEAR AFTER SUBSTANTIAL COMPLETION WHICH EVER IS GREATER. ALL STAKING SHALL BE REMOVED AT THE END OF THE WARRANTY PERIOD.
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  - LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
  - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
  - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
  - IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

**3 SHRUB PLANTING**



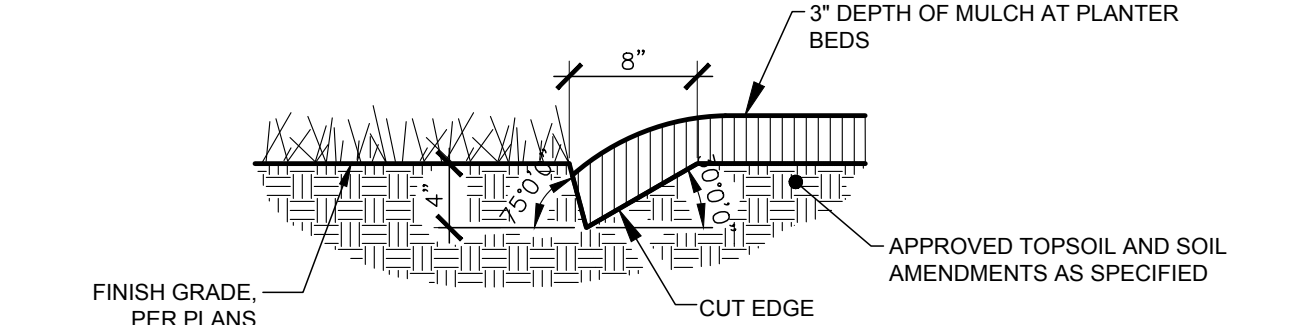
- NOT TO SCALE
- NOTE:**
- WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
  - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

**4 PERENNIAL & GROUNDCOVER PLANTING**

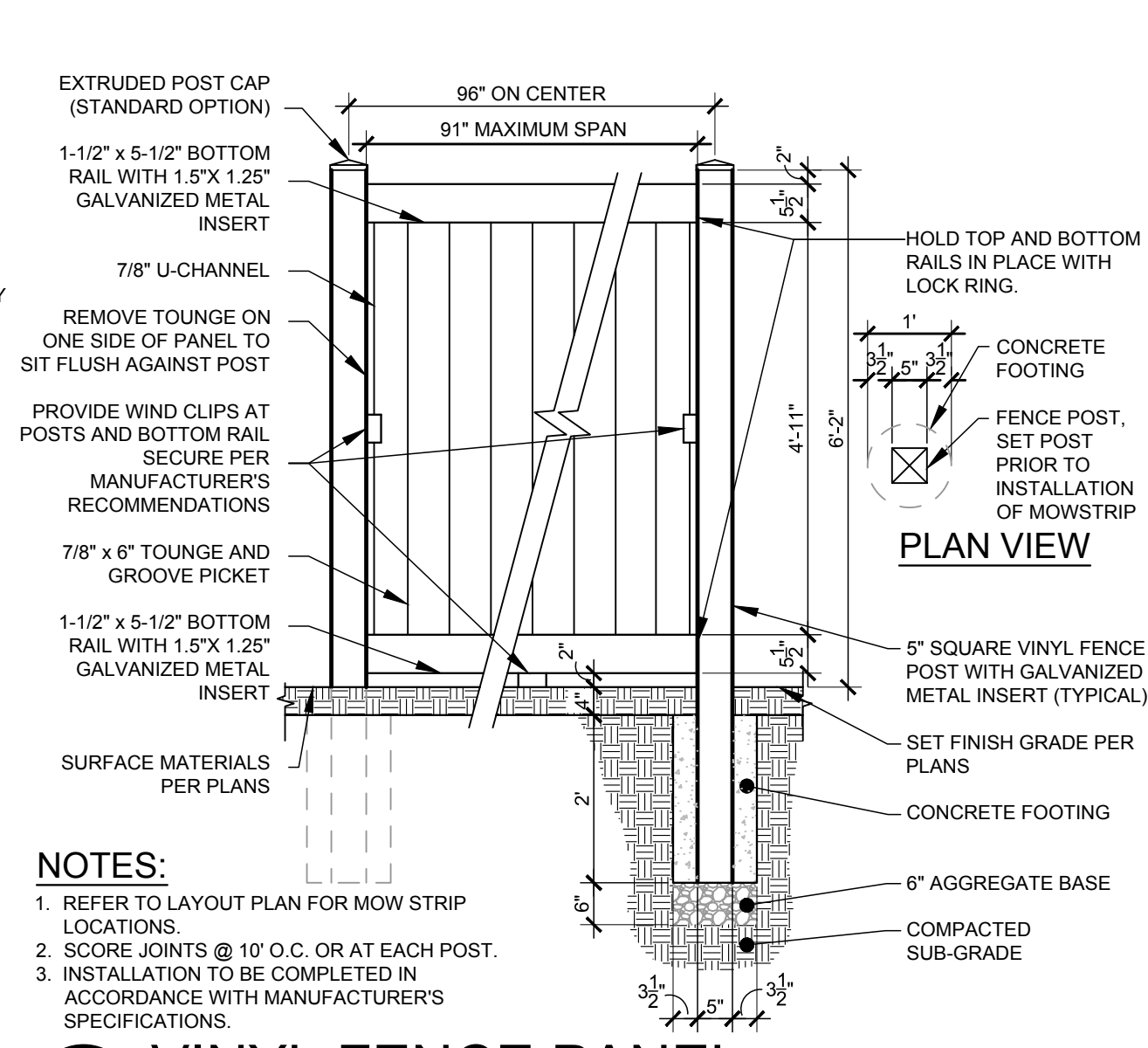


- NOT TO SCALE
- NOTES:**
- ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
  - APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

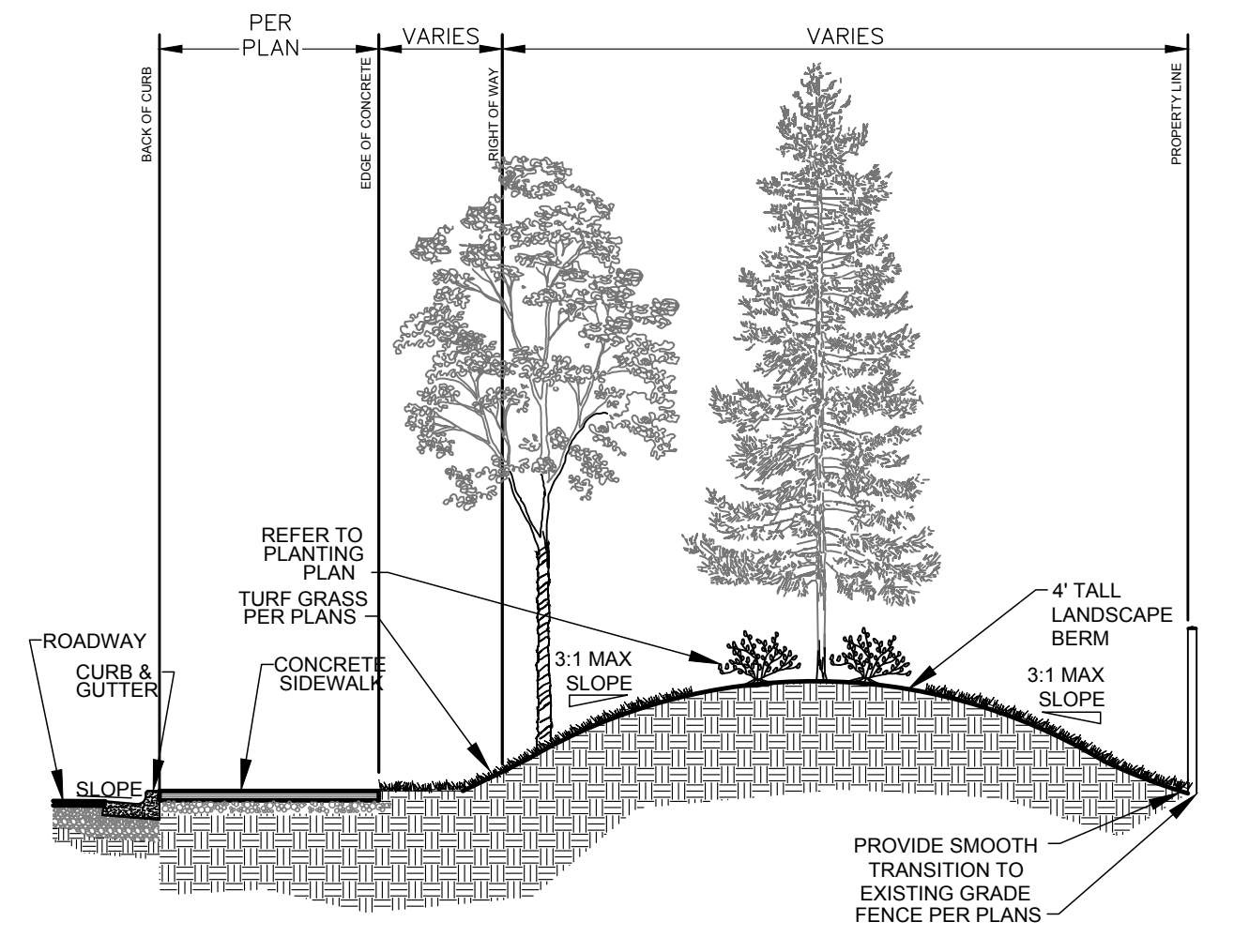
**5 PLANTER BED CUT EDGE**



**6 VINYL FENCE PANEL**



- SCALE: 1/2" = 1'-0"
- NOTES:**
- REFER TO LAYOUT PLAN FOR MOW STRIP LOCATIONS.
  - SCORE JOINTS @ 10' O.C. OR AT EACH POST.
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



**7 BERM SECTION**

Scale: 3/8" = 1'-0"

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
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PROFESSIONAL SEAL:

ARCHITECT LOGO:  
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 architecture pllc  
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 BOISE, ID 83706  
 P: 208-810-7745

CONSTRUCTION DEPARTMENT  
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 P: (602) 263-6502

SITE ADDRESS:  
 U-Haul of South Star  
 7230 W. Chinden Blvd.  
 Meridian, ID 83646

SHEET CONTENTS:  
 LANDSCAPE  
 DETAILS

718082  
 DRAWN: JRB  
 CHECKED: JDR  
 DATE: 02/06/2024  
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**SOUTH BECK & BAIRD**  
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 www.sbbgo.com

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 2/16/2024

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PHOENIX, ARIZONA 85004  
P: 602.263.6841



Preliminary Proposal

**SHEET 01**

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CURVILINEAR CORNICE TO ACCENTUATE BUILDING ELEMENTS

CHANGE IN MATERIAL COLORS TO PROVIDE VISUAL SEPARATION TO THE ELEVATION

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

PROJECTION OVER THE STORAGE LOAD/UNLOAD AREA, CREATES ARCHITECTURAL INTEREST AND PROTECTION FROM THE ELEMENTS



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West Elevation  
Composite Rendering

**SHEET 02**

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IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

A MIX OF HORIZONTAL AND VERTICAL PANELS CREATES AN ARCHITECTURAL INTEREST AT GROUND LEVEL AND SKYLINE



IMP EXCEEDS SUSTAINABLE LEED STANDARDS BY PROVIDING SUPERIOR R-VALUE INSULATION FOR GREATER THERMAL EFFICIENCY

ARTISTIC USE OF MATERIALS CREATES AN ARCHITECTURAL INTEREST AT THE SKYLINE

VERTICAL OFFSETS CREATE A PATTERN OF LIGHT, SHADOW, AND LYRICAL ARTICULATION

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA



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Southwest Elevation  
Composite Rendering

SHEET 04

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**EAST ELEVATION - BLDG. A**

Scale: 1/30" = 1'



**NORTH ELEVATION - BLDG. A**

Scale: 1/30" = 1'



**SOUTH ELEVATION - BLDG. A**

Scale: 1/30" = 1'



**WEST ELEVATION - BLDG. A**

Scale: 1/30" = 1'

**GENERAL NOTES:**

**D1** - THE PROPOSED IMP USES FULL-WIDTH PANELS. **DO NOT CUT IMP** DUE TO PAINT VARIATIONS. CONTACT THE DESIGNER AT A&M ASSOCIATES TO FIND A SOLUTION. P: 602.623.6841

**D2** - THE PROPOSED PROJECT CONSISTS OF **42" WIDE IMP**. DEVIATING FROM THIS SIZE PANEL WILL ALTER THE LYRICAL FIN DESIGN. PLEASE CONTACT THE DESIGNER AT A&M ASSOCIATES SO THE PLAN DRAWINGS CAN BE UPDATED. P: 602.623.6841

**COLOR CHART**

A	POLAR WHITE (IMP CUSTOM COLOR)	J	SIERRA SUNSET
B	SANDSTONE (IMP CUSTOM COLOR)	K	BLUEPRINT
C	U-HAUL GREEN (MBCI CUSTOM COLOR)	L	WALNUT (FAUX WOODGRAIN FINISH)
D	GALVANIZED	M	PEWTER (BEST PANEL COMPANY)
E	DESERT JEWEL (SW 6767 AQUARIUM)		
F	SW 6884 OBSTINATE ORANGE		
G	SW 6451 NURTURE GREEN		
H	LIGHT BROOM FINISHED TILT WALL		
I	U-HAUL PROMO GREEN		

**MATERIALS**

1	42"W METL-SPAN SANTA FE STUCCO EMBOSSED VERTICAL IMP
2	24"W METL-SPAN SANTA FE STUCCO EMBOSSED HORIZONTAL IMP
3	16"W METL-SPAN CONCEPT SERIES CS-620 HORIZONTAL PANELS
4	ULTRA-GRAIN CLASSIC WALNUT CARRIAGE DOORS
5	FLAT METAL PANEL
6	9"H x 3"D ARCHITECTURAL DETAILS
7	9"D LYRICAL ARTICULATED ACCENT FIN (DESIGN ELEMENT)
8	LIGHT BROOM TILT-UP CONCRETE
9	ARCHITECTURAL DETAILS
10	BEST PANEL COMPANY REVOLUTION SERIES
11	2'H x 55'W x 10'D STORAGE: LOAD/UNLOAD AWNING
12	1'H x 37'W x 2'D CUSTOMER ENTRANCE AWNING
13	HORIZONTAL LAP SIDING W/ 2"W GALVANIZED TRIM ON SIDES
14	4.5"H TRIM TYP.



**A&M ASSOCIATES, INC.**  
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 PHOENIX, ARIZONA 85004  
 P: 602.263.6841

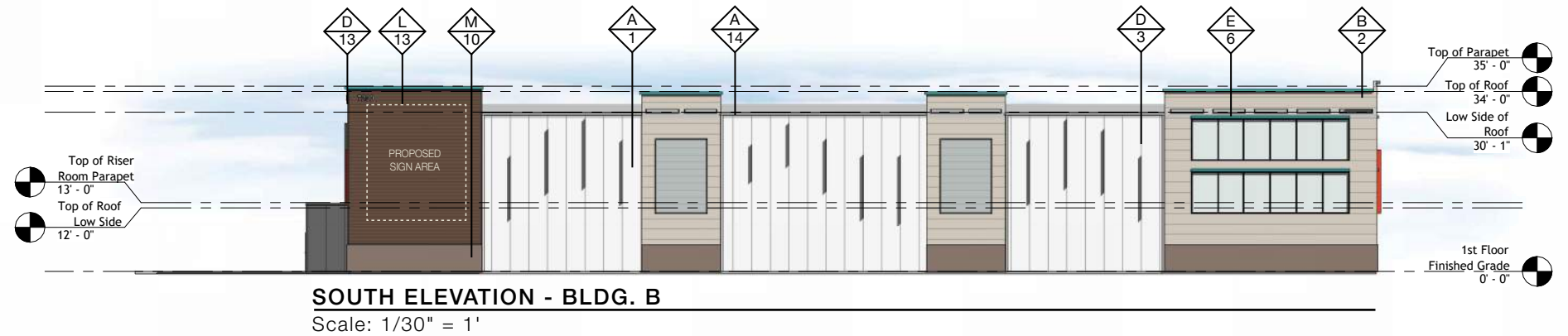
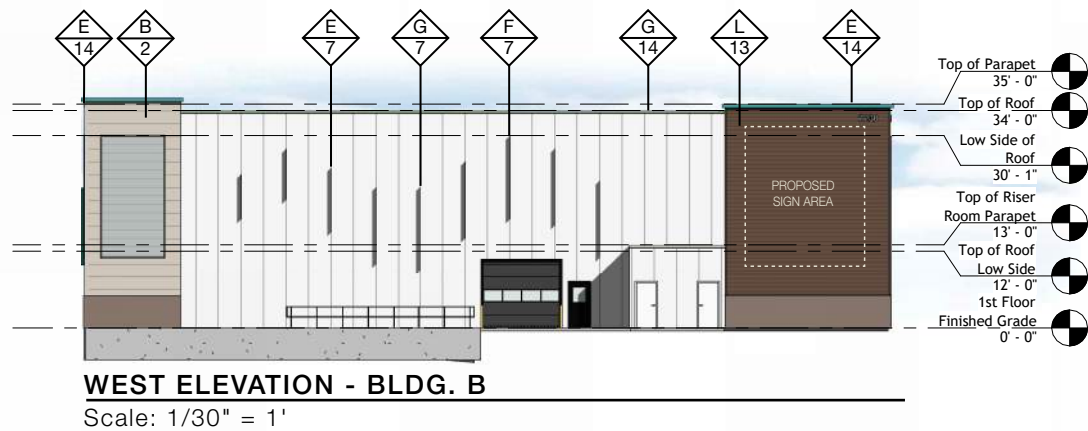
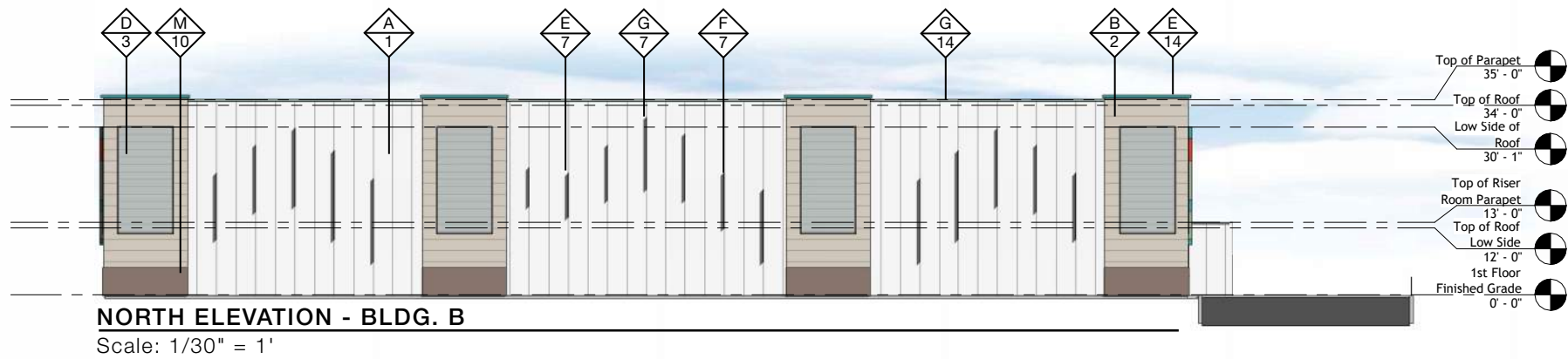


of South Star  
 Meridian, ID  
 (718082)

**Colors and Materials**

**SHEET 05**

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**GENERAL NOTES:**

**D1** - THE PROPOSED IMP USES FULL-WIDTH PANELS. **DO NOT CUT IMP** DUE TO PAINT VARIATIONS. CONTACT THE DESIGNER AT A&M ASSOCIATES TO FIND A SOLUTION. P: 602.623.6841

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14	4.5"H TRIM TYP.



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Colors and Materials

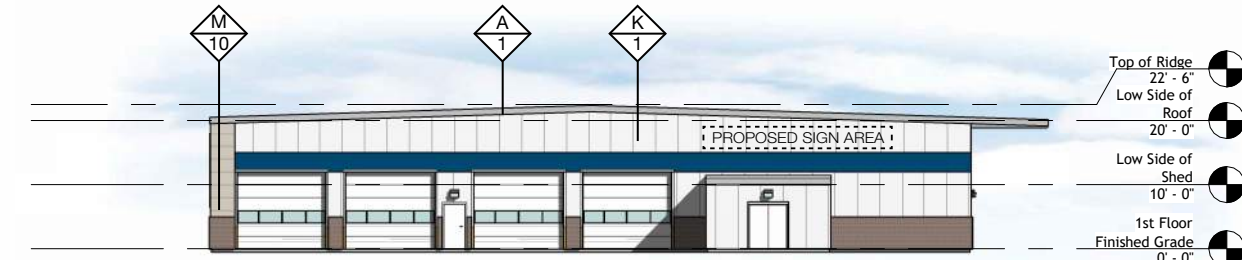
**SHEET 06**

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**NORTH ELEVATION - BLDG. C**

Scale: 1/30" = 1'



**WEST ELEVATION - BLDG. C**

Scale: 1/30" = 1'



**EAST ELEVATION - BLDG. C**

Scale: 1/30" = 1'



**SOUTH ELEVATION - BLDG. C**

Scale: 1/30" = 1'

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14	4.5"H TRIM TYP.



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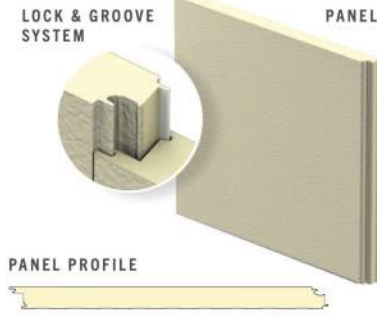
**Colors and Materials**

**SHEET 07**

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# Metl-Span Santa Fe (or Equivalent IMP)

The Metl-Span CF Santa Fe panel has a flat exterior profile with a heavy, embossed stucco texture that mimics the look of a masonry stucco finish but with the added value of an insulated metal panel. The profile is flush with the warmth of an old-world finish, providing a visually pleasing building.



## PRODUCT SPECIFICATIONS

**WIDTH** • 24", 30", 36", 42"

**THICKNESS** • 2", 2½", 2¾", 3", 4"

**LENGTH** • 8'-0" to 32'-0" Horizontal  
8'-0" to 40'-0" Vertical

**EXTERIOR PROFILE** • Flat profile with heavy embossing resembling desert southwestern appearance

**EXTERIOR FACE** • G-90 galvanized or AZ-50 aluminum-zinc coated steel in 24 and 22 Ga.

**INTERIOR PROFILE** • Light Mesa, nominal ¼" deep, embossed or unembossed

**INTERIOR FACE** • G-90 galvanized or AZ-50 aluminum-zinc coated in 26, 24 and 22 Ga.

**CORE** • Foamed-in-place, PUR Foam Core, zero ozone depleting (zero ODP) Class 1 foam

**JOINT** • Offset double tongue-and-groove with extended metal shelf for positive face fastening

**REVEAL** • Up to 1" reveal options in ¼", ½", ¾" and 1" increments

### U-FACTORS AND R-VALUES\*\*

U-FACTOR (BTU/h-ft <sup>2</sup> -F)		R-VALUE (h-ft <sup>2</sup> -F/BTU)	
PANEL WIDTH: 42"		PANEL WIDTH: 42"	
	35"		35"
2"	0.059	2"	17.5
2.5"	0.046	2.5"	21.9
3"	0.038	3"	26.2
4"	0.028	4"	35.0

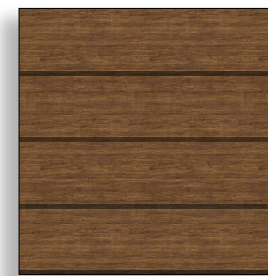
\*Available only from Nevada plant  
\*\*Based on ASTM C518, ASTM C1363 and thermal modeling



Faux Brick Pewter  
EXAMPLE

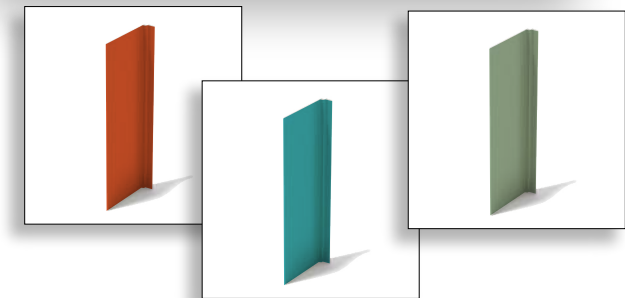


Stucco Embossed IMP  
EXAMPLE



Horizontal Lap Siding  
ATAS Rumba Shake  
Wood grain finish  
(or Equivalent)

# 9"D Lyrical Articulated Design Element

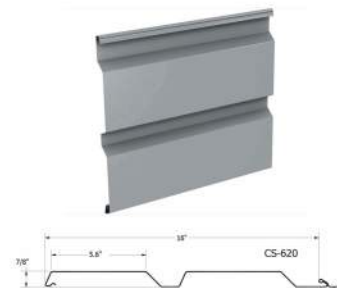


# CS-620 Panel (or Equivalent Panel)

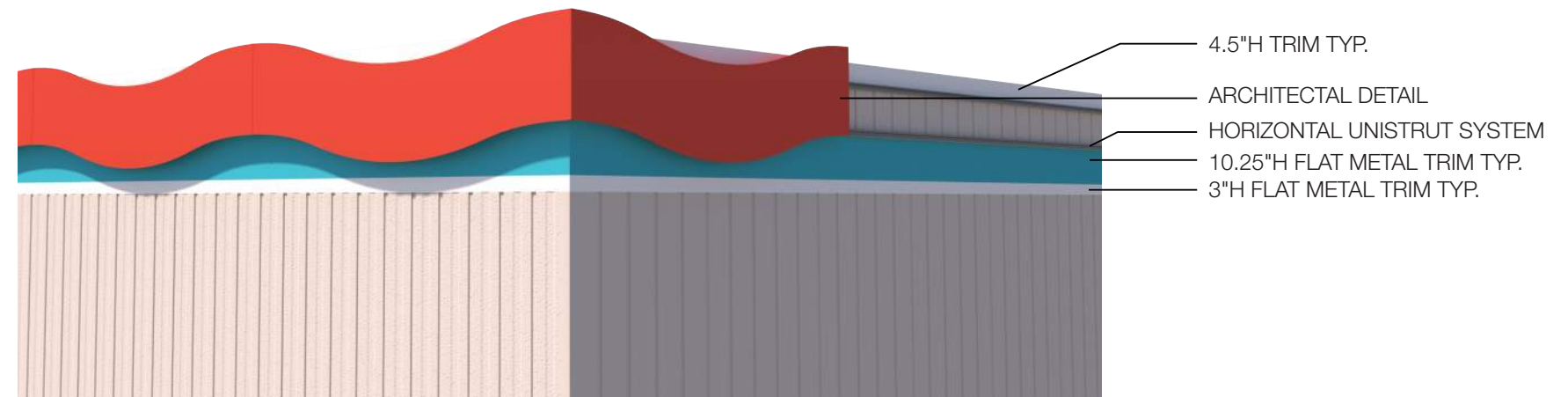
Concept Series single-skin wall panels feature concealed fasteners and a common-lock joint that allows the panels to be integrated with each other. CS-620 interchangeable single-skin metal panels have 16" wide coverage along with 7/8" deep profiled panels featuring two asymmetrical ribs.

Concealed fastener metal siding systems may vary from an uninsulated screen wall to a lock joint metal wall system utilizing BW Systems, an insulated composite backup panel system. This wall panel system has two attachment clip options.

All Concept Series wall panels can be installed in a variety of horizontal or vertical rainscreen applications to form a complete wall system.



16" w panel - CS-620



4.5"H TRIM TYP.

ARCHITECTURAL DETAIL

HORIZONTAL UNISTRUT SYSTEM

10.25"H FLAT METAL TRIM TYP.

3"H FLAT METAL TRIM TYP.



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of South Star  
Meridian, ID  
(718082)

Material Board

SHEET 08

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City of Star

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[www.staridaho.org](http://www.staridaho.org)



Mayor:  
Trevor A. Chadwick

Council:  
Kevin Nielsen  
Jennifer Salmonsén  
Kevan Wheelock  
David Hershey

23 July 2024

Brett Gulash  
Hillside Architecture  
345 W Bobwhite Ct Suite 120  
Boise, ID 83706

**Re: U-Haul – CUP Application**

Dear Mr. Gulash

The City of Star Engineering Department has reviewed the CUP for the U-Haul Moving and Storage project dated June 11, 2024. We reviewed the applicant's package to check conformance with the City's Subdivision Ordinance and coordinated our review with Shawn L. Nickel. We have the following comments and questions based on our review.

1. Potable water cannot be used for irrigation purposes. A separate pressure irrigation system will be required. Construction plans for a subdivision-wide pressure irrigation system will be required for each final development. Plan approvals and license agreements from the affected irrigation and/or canal companies will be required.
2. Stormwater design will be required to meet City of Star code and design standards.
3. Street lighting shall be in accordance with ISPWC and the City of Star Supplementals. Cut sheet for lights and light poles shall be approved in writing by the City prior to installation.
4. Historic irrigation lateral, drain, and ditch flow patterns shall be maintained unless approved in writing by the local irrigation district or ditch company.
5. Finish grades at property boundaries shall match existing finish grades. Runoff shall be maintained on the property unless otherwise approved.

6. 10-foot easements for pressure irrigation lines will need to be shown once the applicant determines the alignment location(s) for the facilities. Show all ditch and drainage easements.
7. This subdivision will need to be annexed into the Star Sewer and Water District to provide water and sewer to the site. Easements for sewer/water facilities will be required where placed outside of public right of way.

We recommend that the application be APPROVED with the conditions listed above. Any variance or waivers to the City of Star standards, ordinances, or policies must be specifically approved in writing by the City. Approval of the above referenced application does not relieve the applicant of those responsibilities.

If you have any questions, please do not hesitate to contact City Hall

Sincerely,



Ryan V. Morgan, P.E.  
City Engineer

Enclosures





# Star Fire Protection District

DATE: July 29, 2024

TO: City of Star – Planning and Zoning

CC: AMERCO Real Estate Company  
Hillside Architecture – Brett Gulash

FROM: Victor Islas, Deputy Chief

SUBJECT: Fire District Comment

PROJECT: U-Haul  
File: AZ-24-05, DA24-05, CU-24-03

The Star Fire Protection District has reviewed the documents provided by the City of Star for the Annexation & Rezone, Development Agreement, and Conditional Use Permit applications for U-Haul comments are as follows.

The Applicant is requesting approval of an Annexation & Zoning (Commercial), a Development Agreement and Conditional Use Permit for a U-HAUL moving and storage facility to include U-Box storage warehouse and maintenance and regional business operations facility. The property is located at 7020 and 7190 W. Chinden Blvd (Hwy 20/26) in Star, Idaho, and consists of 14.47 acres.

This development will be serviced by Station 51 located at 11665 W. State St., Star, ID. Station 51 is 4.0 miles from the development entrance with an estimated 8-minute travel time under normal driving conditions.

The Star Fire Protection District does not oppose the applications subject to compliance with all the following code requirements and conditions of approval.

## CONDITIONS OF APPROVAL:

1. Codes
  - a. This development shall comply with the 2018 International Fire Code (IFC) and any codes set forth by the City of Star, Idaho.
2. Side Set Back
  - a. Side Set back to be as per city code with no reduction allowed.
3. Water Supply
  - a. Fire hydrants, capable of producing the required fire flow, shall be located within the development.
    - i. This development will be serviced by the Star Sewer and Water district.
    - ii. Fire hydrant spacing and installation shall meet the requirements of Star Sewer and Water District.
    - iii. Accessible fire hydrants shall be installed and usable before construction of any building can begin.
    - iv. Fire Flow for each building as per IFC Appendix B Table B105.1(2)
    - v. Required hydrants on site will be based on required fire flow. Each building equipped with Fire Sprinklers shall have a hydrant located 100 ft from the FDC.



# Star Fire Protection District

## 4. Fire Apparatus Access

- a. Access roads shall be provided and maintained following Appendix D and Section 503 of the IFC. Access shall include adequate roadway widths, signage, turnarounds, and turning radius for fire apparatus.
- b. This project shall comply with IFC Appendix D105 Aerial Fire Apparatus Access Roads
- c. Gates and Barriers shall comply with Fire District Standards.
  - i. Information available at <https://midstarfire.org/commercial-building>
- d. No parking signs are required at the entrance and throughout the site.
- e. Emergency access to the site shall always be clear and available.

## 5. Addressing/Street Signs:

- a. Upon commencement of initial construction on the site, a clear visible freestanding sign or post shall be erected and maintained in place until the permanent address numerals are attached or otherwise displaced upon the premises at completion.

## 6. Additional Comments

- a. The IFC Chapter 33 Fire Safety During Construction and Demolition will apply to this project.
- b. Construction of structure on this site will require fire district review for code compliance and construction permits.
- c. Applicant to submit phasing plan for review.
- d. Fire Protection Systems submittal information available at <https://midstarfire.org/fire-systems>
- e. Any overlooked hazardous condition and/or violation of the International Building and/or Fire Code does not imply approval of such condition or violation.

# **NOTICE**

**ALL ROADS ARE  
FIRE LANES**

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**PARK IN MARKED  
STALLS ONLY**

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**VIOLATING VEHICLES WILL BE  
TOWED AT THE OWNERS EXPENSE  
AND OR CITED**

**Per International Fire Code**

Sign Design Note: Sign Size = 24" x 18" Location to be designated by the Fire Marshal



## FIRE DISTRICT ACCESS – GATES AND BARRIERS

### SCOPE AND PURPOSE

Required Fire Department Access roads and fire lanes shall always be maintained unobstructed and in good condition for vehicular usage. The Fire Department may allow closure by approved gates that comply with the standards outlined within the document.

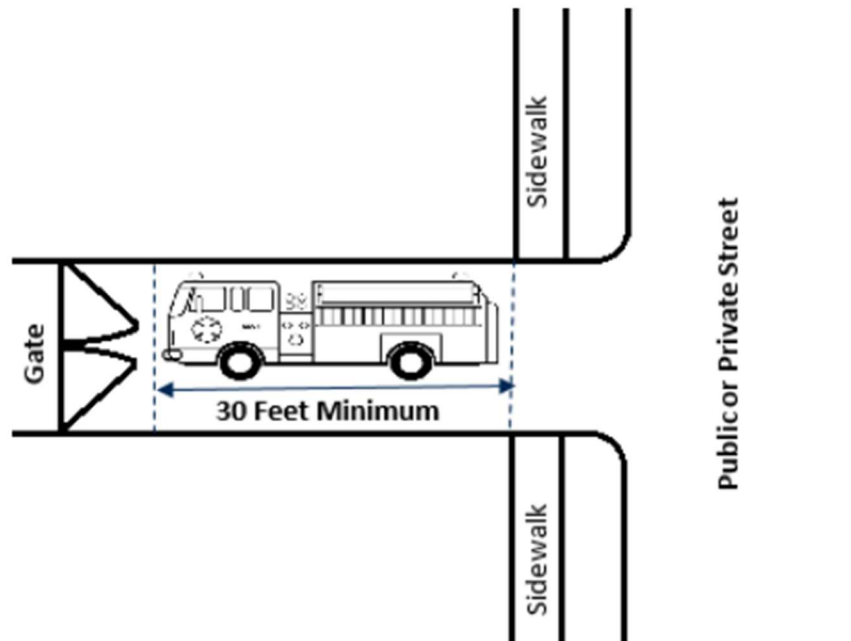
A gate or other barrier may only be installed across a required fire department access road or driveway after first submitting for a permit and being approved by the Fire Code Official and the City or County where the property is located.

### WIDTH

Gate width shall be a minimum of 20 feet unobstructed. When open, gates shall not obstruct any portion of the required driveway or access road width.

### GATE SET BACK (STACKING LANE)

Entry gates shall be set back from the nearest curb line of any public or private street to provide a minimum of 30 feet from the face of the curb or back of the sidewalk when there is a sidewalk so as not to obstruct vehicular or pedestrian traffic. In cases where the gate swings toward the staged fire apparatus, the additional distance shall be accounted for, and the setback increased.





**ELECTRONICALLY OPERATED GATES**

**Key Switch (Knox Key Switch #3500 Series or KLS-3261MUG)**

All gates electronically controlled shall have an approved fire department override key switch (Knox). Activation of an approved key switch for an electronically controlled gate shall open gate/gates to the fully open position within 10 seconds and remain in the open position until reset by fire department personnel. Contact the Fire Code Official before ordering.



**Automatic Traffic Control – Activating Strobe Light Sensor**

In addition to the Key Switch (Knox), gates accessing more than three residences or residential lots, or gates accessing hazardous, institutional, educational, multi-family, assembly occupancy group structures, or by order of the Fire Code Official, shall be equipped with an approved automatic traffic control - activating strobe light sensor capable of detecting emergency vehicle Opticom IR emitter as the vehicle approaching (exterior), overriding all commands and opening the gate(s).

An example of the above criteria that the fire districts have tested is the Fire Strobe 2000. For more information, visit <https://www.firestrobe.com>

**Fail-Safe Operation Requirements**

In the event of a power failure, including battery back-up, the gate(s) shall automatically open, be spring tension or other non-electrical method, or the gate must be capable of being pushed open without additional steps having to be performed.

**MANUALLY (NON-AUTOMATIC) OPERATED GATES**

All manually operated gates shall be designed to remain in the open position when left unattended. Manual locking mechanisms, such as padlocks, shall be Knox brand only.

Manual gates are subject to the same opening width and plan approval process as automatic gates. Manual gates shall be provided with an approved method for emergency access. Approved methods shall consist of one of the following:

- High-security padlock (Knox Brand) Keyed to the Fire Department emergency access keyway, or ( Daisy Chain of locks is permitted)
- Installation of a Knox rapid access key box containing the gate key.
  - If a key is used, it shall be installed on a gate support pillar or post adjacent to the gate. The box must be visible to anyone approaching the gate at all times.





**GATE SIGNAGE**

An approved "No Parking Fire Lane" signage shall be installed to prevent the obstruction of the gate. Signs to be posted on both sides of the gate.



**BOLLARDS**



When used to limit access to a fire department access roadway or designated fire lane, Bollards shall comply with the following.

Bollards shall be Maxiforce Wrench Operated Bollards.  
<https://maxiforcebollards.com/>

Bollards shall be Safety Yellow in color with Five Rows High Intensity Prismatic 1-inch wide reflective tape (Red, White, Red, White, Red) Located 2 inches from the top of the bollard, and Three Rows High-Intensity Prismatic 1-inch wide reflective Tape (Red, White, & Red)

starting 1 foot above grade.

**BOLLARD SIGNAGE**

An approved "No Parking Fire Lane Authorized Vehicles Only" signage shall be installed to prevent the obstruction of the bollards and unauthorized access



**MAINTENANCE**

The gate opening system shall be maintained in approved operating conditions as delineated below:

- The mechanical components shall be serviced regularly and maintained in an approved operating condition.
- The electrical components shall be maintained in an approved operating condition.
- A power supply shall be continuously maintained to electronic components.
- All components of the gate operating system, including Knox Switches, Automatic Traffic Control, signage, and other gate devices, shall be provided, installed, and maintained by the property owner.