

City of Springdale



Building Department

(513) 346-5730

11700 Springfield Pike
Springdale, Ohio 45246

Fax (513) 346-5747

November 15, 2023

Mr. Thomas Vanover
Springdale City Council
11700 Springfield Pike
Springdale, OH 45246

RE: **Zone Map Amendment** – Change Zoning District from SS to PUD
Final Development Plan Modification to PUD – Chick-Fil-A
Application Number: 20230739

Dear Mr. Vanover:

The Springdale Planning Commission held a public hearing for the Zone Map Amendment and Final Development Plan Modification to the Chick-Fil-A PUD. Chick-Fil-A has acquired the site to the east of their existing site from Lowe's. The eastern site is currently located in Zoning District SS. Chick-Fil-A has requested approval to combine the site to the east with their current site, which is Zoned as a PUD; and develop the site located to the east and portions of their site which are described on their (Final) Development Plans.

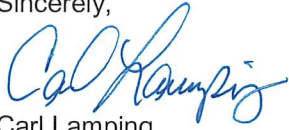
At their meeting on November 14, 2023, in a public hearing, the Planning Commission voted (6 – 0) to **RECOMMEND APPROVAL** of the Zone Map Amendment Zone District SS to the Chick-Fil-A PUD.

Also at their meeting on November 14, 2023, the Planning Commission voted to **RECOMMEND APPROVAL** of the proposed Final Development Plans for the vehicular alterations to the site parking and drive-thru features for the Chick-Fil-A PUD, with the following recommendations and considerations:

- A. Staff's, City Engineer's, City Planner's recommendations and considerations contained in their reports;
- B. As a PUD, this shall include Staff, Law Director's and City's approval of Covenants as necessary as it pertains to the project;
- C. All lighting and re-lamping of the existing fixtures shall conform with the existing codes to the City of Springdale. Special lighting fixture conditions regarding the canopy: Canopy lighting shall be reduced to a medium use from two to ten max illumination.
- D. Special landscaping conditions to include, allowing landscaping to be placed in the public right of way as it is illustrated which shall be maintained by Chick-fil-A and this shall be reviewed by staff. This shall be by permit only and is not an easement.
- E. Additional trees and landscaping in the public right of way as illustrated by the applicant to be reviewed and approved by City staff and shall be by permit with the City and not an easement.
- F. The existing structure is not to change.
- G. Whereas all other zoning code regulations and conditions not detailed in this motion shall remain in effect and any changes to the above conditions shall constitute a change in the approved plans. Such changes shall require an approval by the Springdale Planning Commission.

By this action, Planning Commission is referring this to the City of Springdale City Council for approval.

Sincerely,



Carl Lamping
Building Official
City of Springdale

CC: Doyle H. Webster, Mayor
Kathy McNear, Clerk of Council
Shawn Riggs, City Engineer
Anne McBride, City Planner

John Jones, City Administrator
Joe Braun, Law Director's Office
Council Members
Planning Commission Members



SOUTH FROM KEMPER RD



CHICK-FIL-A 1614
SPRINGDALE
501 EAST KEMPER RD
SPRINGDALE, OH



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.
THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

INTERPLAN NO. 2023.0541

11-13-2023



SOUTH FROM KEMPER RD

CHICK-FIL-A 1614
SPRINGDALE
501 EAST KEMPER RD
SPRINGDALE, OH



THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED.
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INTERPLAN NO. 2023.0541

11-13-2023

PRIVATE IMPROVEMENT PLANS FOR CHICK-FIL-A

501 E KEMPER ROAD
SPRINGDALE, OH 45246



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235
PHONE: 816-652-0350
WWW.KIMLEY-HORN.COM

CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

| REVISION SCHEDULE | | |
|-------------------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

CONSULTANT PROJECT # 268214000
PRINTED FOR JHP
DATE 10/30/2023
DRAWN BY AP

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SHEET
COVER SHEET

SHEET NUMBER

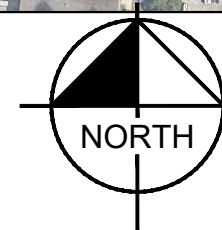
C000

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED STORM WATER SEWER
- PAVEMENT SAWCUT AND JOINT LINE
- CONCRETE APRON AT TRASH ENCLOSURE
- DRIVE-THRU CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- EXISTING PATIO AND SIDEWALK



VICINITY MAP
NTS



SCOPE OF WORK

CHICK-FIL-A INTENDS TO ADD A SECOND DRIVE-THRU LANE AND EXPAND TO THE ADJACENT EMPTY LOT OF LAND. THESE DRIVE-THRU MODIFICATIONS WILL INCLUDE THE ADDITION OF TWO NEW CANOPIES, PARKING STALL REALIGNMENT, ENTRY DRIVE EXPANSION AND ADA CURB RAMP RECONSTRUCTION, WITH THE ADDITION OF A SECOND DRIVE-THRU LANE. IT IS ANTICIPATED TO IMPROVE THE EXISTING QUEUING AND TRAFFIC FLOW. NO INTERIOR IMPROVEMENTS ARE INCLUDED IN THIS SCOPE OF WORK.

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|--|
| C000 | COVER SHEET |
| C-010 | EXISTING CONDITIONS |
| C-015 | EXISTING CONDITIONS |
| C-020 | EXISTING CONDITIONS |
| C200 | SITE PLAN |
| C201 | DETAILS SHEET |
| C300 | CONCEPT GRADING PLAN |
| PH100 | SITE PHOTOMETRICS |
| L100 | LANDSCAPE PLAN |
| L101 | LANDSCAPE DETAILS |
| L102 | LANDSCAPE & MAINTENANCE SPECIFICATIONS |

PROJECT TEAM

OWNER/DEVELOPER
KAYLA FORTNER, PE
DEVELOPMENT MANAGER
JLL, on behalf of CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
(404) 624-3616

SURVEYOR
GBC DESIGN INC.
565 WHITE POND DR.
AKRON, OH 44320-1123
(330) 836-0228

GARRY BRUMELS
STORE OPERATOR
CHICK-FIL-A
501 E KEMPER ROAD
SPRINGDALE, OH 45246
(515) 559-4511

CIVIL ENGINEER
PRIMARY CONTACT: JAKE PANTER
KIMLEY-HORN AND ASSOCIATES, INC.
111 W. JACKSON,
SUITE 1320
CHICAGO, IL 60604
(630) 487-3432
JAKE.PANTER@KIMLEY-HORN.COM

SITE DATA TABLE

SITE ADDRESS: 501 E KEMPER ROAD,
SPRINGDALE, OH 45246
PARCEL ID NO: 5990020010600 & 5590020013500
TOTAL SITE AREA: 2.27 AC / 98,785 SF
EXISTING BUILDING AREA: 4,850 SF
ZONING: PUD - GENERAL BUSINESS
OUT PARCEL ZONING: SS - SUPPORT SERVICES

FEMA FIRM FLOOD ZONE INFORMATION

ZONE: X (UNSHADED)
DEFINITION: AREA OF MINIMAL FLOOD HAZARD.
FIRM PANEL NO: 39061C0087E
COMMUNITY: CITY OF SPRINGDALE
NUMBER: 0877
EFFECTIVE DATE: 2/16/2010
REVISION DATE: NONE

PRE-DEVELOPMENT VS. POST DEVELOPMENT CONDITIONS

TOTAL SITE AREA: 2.27 ACRES / 98,785 SF
DISTURBED AREA: 2.16 ACRES / 94,021 SF
PRE-DEVELOPED IMPERVIOUS AREA: 1.12 ACRES / 48,588 SF
PRE-DEVELOPED PERVIOUS AREA: 1.15 ACRES / 50,283 SF
POST-DEVELOPED IMPERVIOUS AREA: 1.59 ACRES / 69,364 SF
POST-DEVELOPED PERVIOUS AREA: 0.68 ACRES / 29,421 SF

UTILITY CONTACTS

PLANNING/ZONING
CITY OF SPRINGDALE PLANNING DEPARTMENT
11700 SPRINGFIELD PIKE
SPRINGDALE, OH 45245
GREGG TAYLOR
513-346-5730
ghtaylor@springdale.org

FIRE MARSHAL
CITY OF SPRINGDALE BUILDING DEPARTMENT
11700 SPRINGFIELD PIKE
SPRINGDALE, OH 45245
GREGG TAYLOR
513-346-5730
ghtaylor@springdale.org

SANITARY SEWER
METROPOLITAN SEWER DISTRICT
1800 GEST STREET
CINCINNATI, OH 45204
ROBERT KERN
513-244-5588
rob.kern@cincinnati-oh.gov

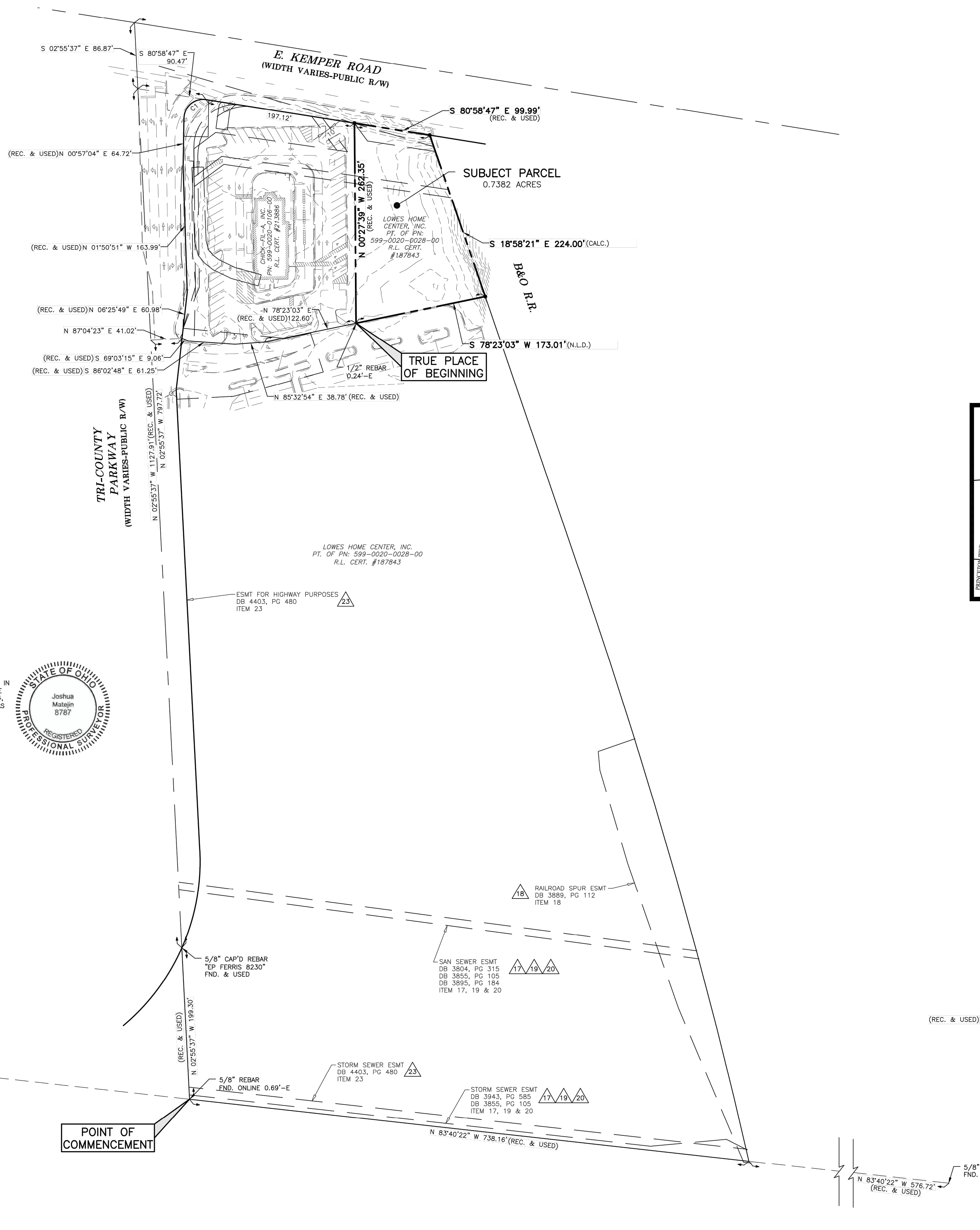
WATER
GREATER CINCINNATI WATER WORKS
4747 SPRING GROVE AVENUE
CINCINNATI, OH 45232
ELLEN BETSCH
513-591-7833
ellen.betsch@gcw.cincinnati-oh.gov

STORM DRAINAGE & EROSION CONTROL
CITY OF SPRINGDALE PUBLIC WORKS
336 NORTHLAND BOULEVARD
SPRINGDALE, OH 45246
JEFF AGRICOLA
513-346-5521
jagricola@springdale.org

GAS SERVICE
DUKE ENERGY
BRANDON PONDER
512-287-1464
brandon.ponder@duke-energy.com

ELECTRIC SERVICE
DUKE ENERGY
ZACK COTTINGIM
513-287-4774
Zachary.cottigingim@duke-energy.com

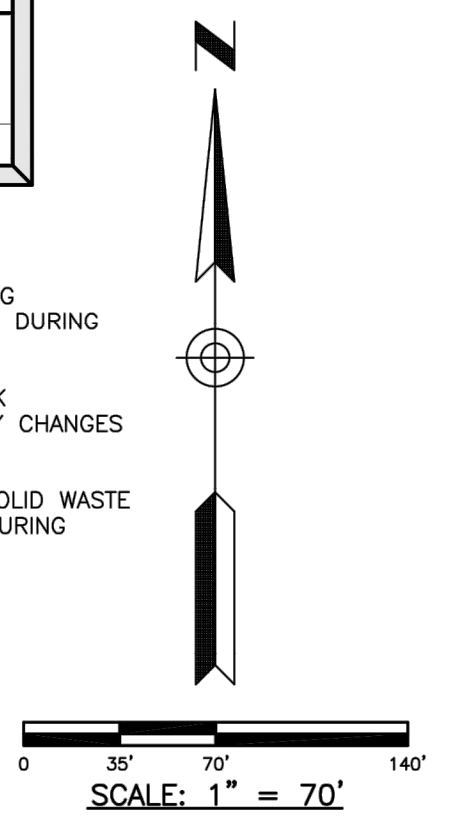
TELEPHONE SERVICE
CINCINNATI BELL TELEPHONE
RICHARD RAYLE
513-397-9071
richard.rayle@cbell.com



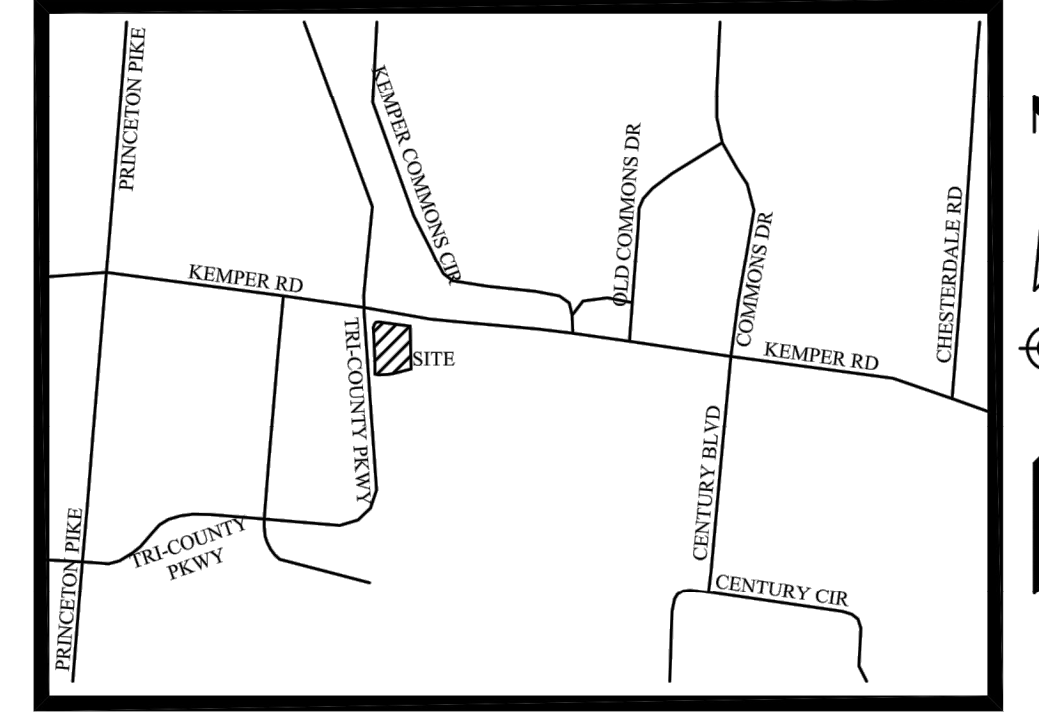
SITE BENCH MARK
C.L. TOP OF EXISTING STORM MANHOLE
7" LOCATED AS SHOWN ON THIS SURVEY
ELEVATION = 554.42

SURVEY NOTES:
NO EVIDENCE OF RECENT EARTHWORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS NOTED DURING FIELD VISIT.
NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OR RIGHT-OF-WAY CHANGES NOTED DURING FIELD VISIT.
NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP, OR SANITARY LANDFILL NOTED DURING FIELD VISIT.

BASIS OF BEARING:
OHIO STATE PLANE COORDINATE SYSTEM (SPCS), SOUTH ZONE (3402), NAD-83



SITUATED IN THE STATE OF OHIO,
COUNTY OF HAMILTON, CITY OF SPRINGDALE,
AND KNOWN AS BEING A PART SECTION 6,
TOWN 3, ENTIRE RANGE 1



LOCATION MAP
NOT TO SCALE
LATITUDE N 39°17'12" (39.2867)
LONGITUDE W 84°27'38" (-84.4606)

- LEGEND**
- 5/8" CAPPED REBAR SET (GBC DESIGN, INC.)
 - IRON PIN FOUND (TYPE & SIZE AS INDICATED)
 - ⊕ MAGNETIC NAIL SET
 - ⊖ MAGNETIC NAIL FOUND
 - # SCHEDULE B SECTION 2 ITEM

FLOOD ZONE DESIGNATION: SUBJECT PARCEL LIES IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) PER FLOOD INSURANCE RATE MAP NO. 3906100087E WITH AN EFFECTIVE DATE OF FEBRUARY 17, 2010.

UTILITY NOTE: A VIEW OF THE UNDERGROUND UTILITIES IS SHOWN ON THE SURVEY FROM OBSERVED EVIDENCE WHILE CONDUCTING THE SURVEY. EVIDENCE FROM FIELD MARKINGS LOCATED IN RESPONSE TO GPS WORK ORDER 315804, HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED.

NOTE: ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR IN THE TITLE COMMITMENT THAT ARE ABLE TO BE PLOTTED ARE SHOWN ON THE SURVEY.

SUBJECT PARCEL ZONING: SUBJECT PARCEL IS ZONED SS-BUSINESS SUPPORT SERVICES PER SPRINGDALE ZONING MAP REVISED 06/18/2021.

CURVE TABLE

| CURVE | LENGTH | RADIUS | DELTA | TANGENT | CHORD LENGTH | CHORD BEARING |
|------------------|--------|--------|-----------|---------|--------------|---------------|
| (REC. & USED) C1 | 42.78' | 24.99' | 98°04'59" | 28.79' | 37.75' | N 49°59'07" E |

CERTIFICATION
TO: CHICK-FIL-A, INC.; FIDELITY NATIONAL TITLE INSURANCE COMPANY;
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7A, 7B(1), 8, 11A, 11B, 13, 15, 16, 17, 18, & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 5, 2022.

9/12/2023
DATE

JOSHUA MATEJIN, REGISTRATION NO. 8787



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr. Akron, OH 44320-1123
Phone 330-836-0228 Fax 330-836-5782

CHICK-FIL-A
SPRINGDALE FSU
CUSTOM PROJECT SOLUTIONS
505 EAST KEMPER RD.
SPRINGDALE, OH 45246

FSU# 01614

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|-----------|---|
| 1 | 2/1/2022 | REVISE SUBJECT PARCEL BOUNDARY, E.A.S. TABLE & SUBJECT PARCEL LEGAL DESCRIPTION |
| 2 | 2/4/2022 | ADD ZONING CLASS |
| 3 | 9/12/2023 | ADD WATERLINE INFO PER GCWW RECORDS |

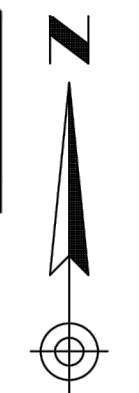
GBC PROJECT # 50129R-2
PRINTED FOR
DATE 1/28/22
DRAWN BY B.A.W.

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SHEET
ALTA/NSPS LAND TITLE SURVEY

SHEET NUMBER
C-010

SITE BENCH MARK
 C.L. TOP OF EXISTING STORM MANHOLE
 "1" LOCATED AS SHOWN ON THIS SURVEY
 ELEVATION = 554.42



SCALE: 1" = 20'

- LEGEND**
- 5/8" CAPPED REBAR SET (GBC DESIGN, INC.)
 - IRON PIN FOUND (TYPE & SIZE AS INDICATED)
 - ⊕ MAGNETIC NAIL SET
 - ⊖ MAGNETIC NAIL FOUND
 - ⊕ EX. FIRE HYDRANT
 - ⊖ EX. VALVE
 - EX. MANHOLE
 - EX. BOX INLET
 - ⊕ UTILITY POLE
 - ⊖ LIGHT POLE
 - ⊕ EX. TREE
 - ⊖ SCHEDULE B SECTION 2 ITEM
 - EX. CABLE T.V. LINE
 - EX. ELECTRIC LINE
 - EX. OVERHEAD UTILITY LINE
 - EX. GAS LINE
 - EX. TELEPHONE LINE
 - EX. SANITARY SEWER
 - EX. FIBER OPTIC
 - EX. MELP ELECTRIC LINE
 - EX. CURB

EXISTING STORM SEWER STRUCTURE SCHEDULE

1. EX. STM. M.H.
TOP 665.54
INV. 661.16, 12" S
INV. 661.60, 12" NE
INV. 661.41, 12" N
2. EX. CURB INLET
TOP 663.09
INV. 661.49, 12" N
INV. 661.40, 12" SW
3. EX. CATCH BASIN
TOP 665.23
INV. 662.56, 6" NE
INV. 662.89, 4" N
INV. 662.90, 4" S
INV. 663.37, 15" E
4. EX. CATCH BASIN
TOP 663.37
INV. 661.24, 18" N
INV. 661.24, 15" W
5. EX. STM. M.H.
TOP 658.96
INV. 654.39, 15" E
INV. 654.49, 18" N
6. EX. STM. M.H.
TOP 665.52
INV. 660.62, 18" S
INV. 660.49, 6" W
INV. 660.53, 24" N
INV. 660.21, 4" E
7. EX. STM. M.H.
TOP 664.29
INV. 659.29, 18" S
INV. 660.10, 15" W
8. EX. STM. M.H.
TOP 665.61
INV. 661.04, 15" N
INV. 660.62, 24" S
INV. 660.38, 18" W
9. EX. CATCH BASIN
TOP 665.41
INV. 661.62, 15" S
INV. 661.62, 15" W
INV. 663.53, 6" SW
INV. 664.54, 4" SW
10. EX. CATCH BASIN
TOP 665.84
INV. 664.40, 6" NE
INV. 664.92, 4" NW
INV. 664.97, 4" SE
11. EX. CATCH BASIN
TOP 664.71
INV. 662.85, 15" E
12. EX. CATCH BASIN
TOP 658.74
INV. 655.98, 18" SE
INV. 655.53, 30" SW
INV. 655.62, 6" NE
13. EX. STM. M.H.
TOP 657.96
INV. 652.41, 30" SW
INV. 652.31, 30" E
INV. 652.15, 12" N
14. EX. STM. M.H.
TOP 658.45
INV. 652.51, 12" SW
INV. 652.46, 12" S



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

GBC DESIGN, INC.

565 White Pond Dr. Akron, OH 44320-1123
 Phone 330-836-0228 Fax 330-836-5782

CHICK-FIL-A
SPRINGDALE FSU
CUSTOM PROJECT SOLUTIONS
 505 EAST KEMPER RD.
 SPRINGDALE, OH 45246

FSU# 01614

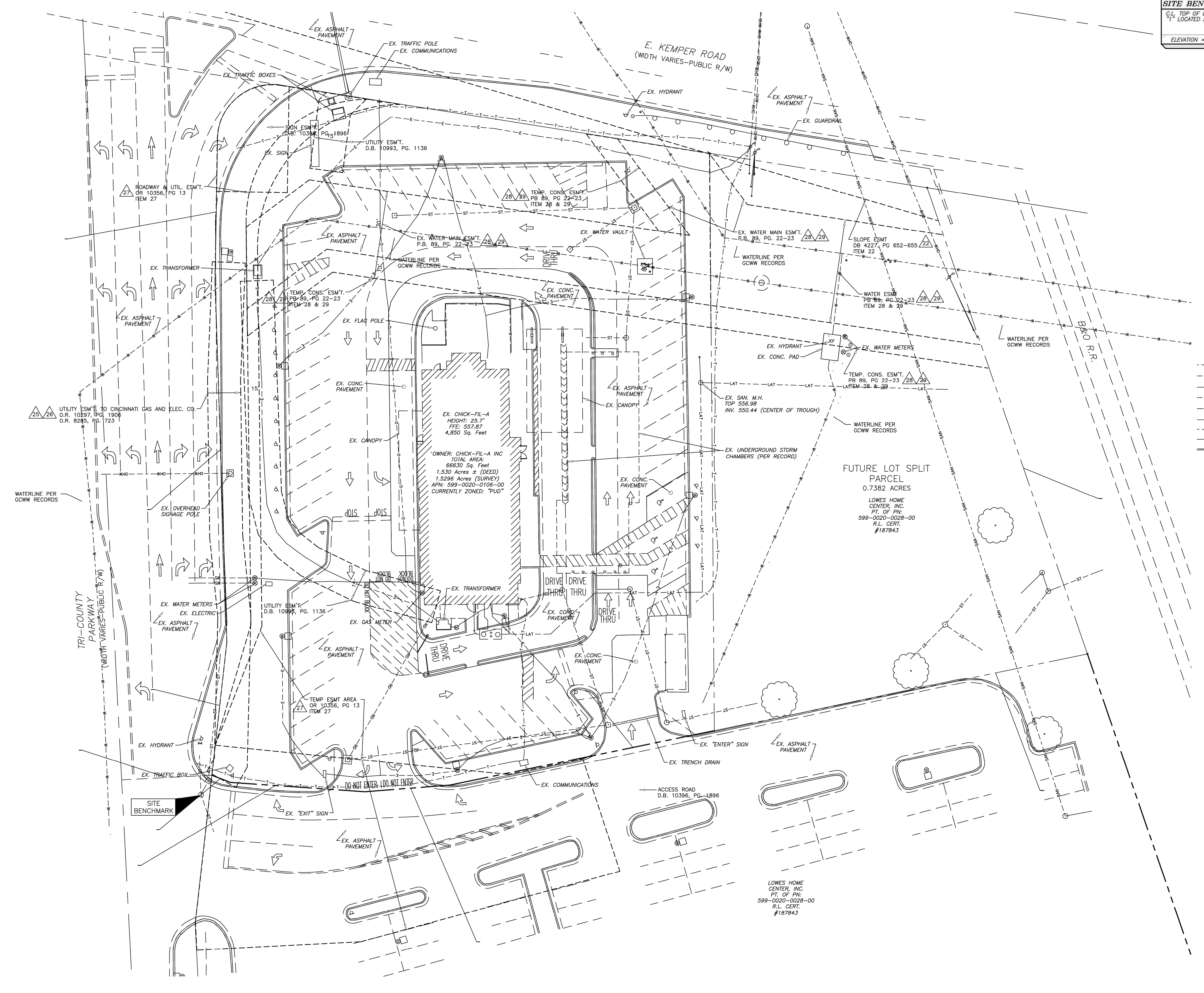
| REVISION SCHEDULE | | DESCRIPTION |
|-------------------|-----------|---|
| NO. | DATE | |
| 1 | 2/1/2022 | REVISE SUBJECT PARCEL BOUNDARY, E.R.S. TABLE & SUBJECT PARCEL LEGAL DESCRIPTION |
| 2 | 9/12/2023 | ADD WATERLINE INFO PER GCWW RECORDS |

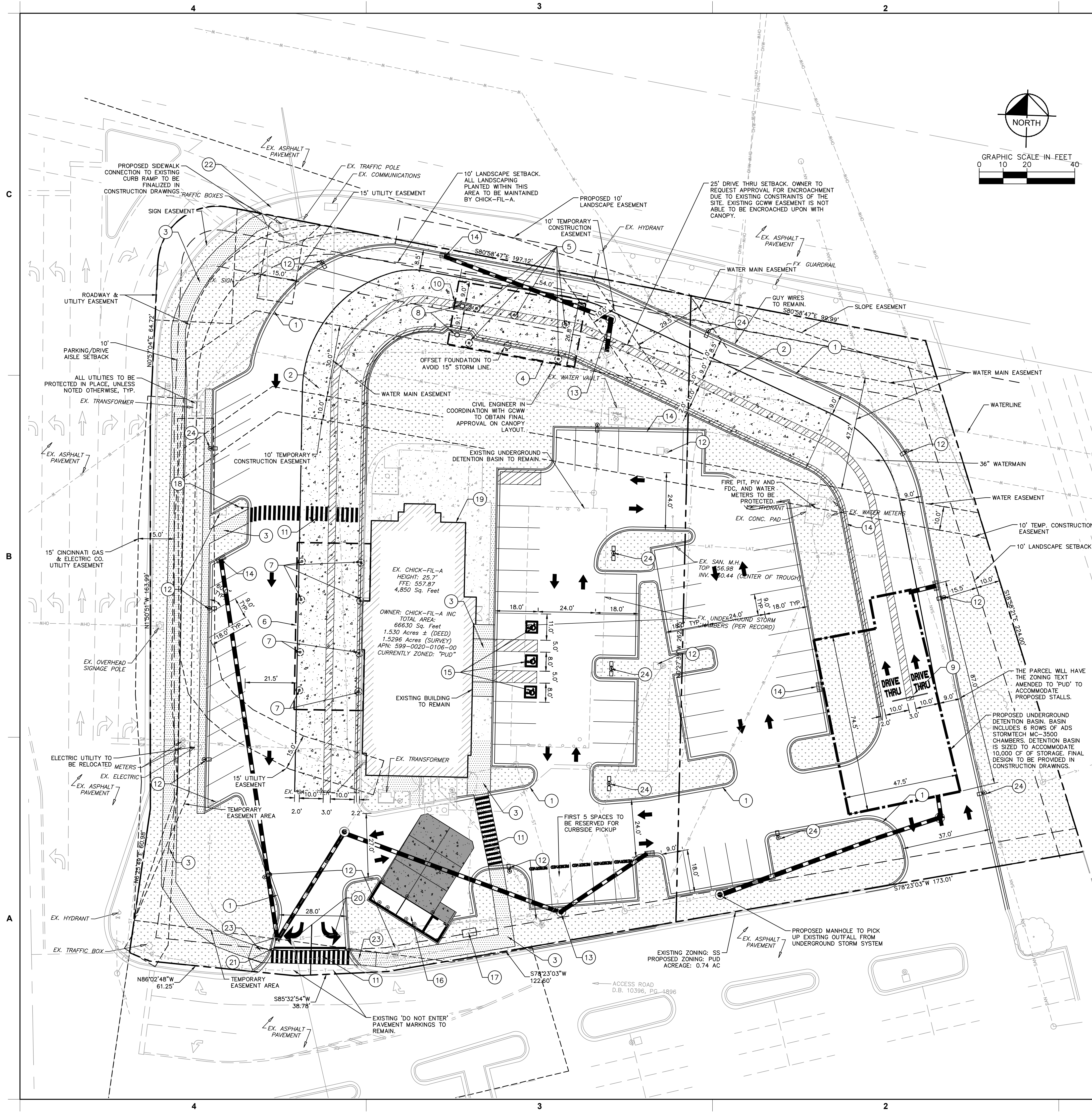
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SHEET
ALTA/NSPS LAND
TITLE SURVEY

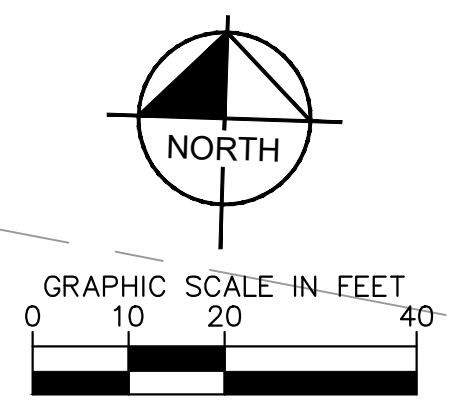
SHEET NUMBER **C-015**





LEGEND

- PROPERTY LINE
- EASEMENT LINE
- PROPOSED STORM WATER SEWER
- PAVEMENT SAWCUT AND JOINT LINE
- CONCRETE APRON AT TRASH ENCLOSURE
- DRIVE-THRU CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE SIDEWALK
- EXISTING PATIO AND SIDEWALK



NOTES

1. ALL AUTOMOBILE PARKING SPACES ARE 9' WIDE X 18' LONG AND VAN ACCESSIBLE SPACES ARE 11' WIDE X 18' LONG, UNLESS SHOWN OTHERWISE.
2. CHICK-FIL-A INTENDS TO PROVIDE UNDERGROUND STORMWATER DETENTION TO MEET THE CITY'S STORMWATER MANAGEMENT ORDINANCE FOR THE ADDED IMPERVIOUS AREA.
3. THERE ARE NO MODIFICATIONS TO THE EXISTING BUILDING OR ONSITE SIGNAGE.
4. OWNER TO CLEAN AND INSPECT THE ISOLATOR ROWS AFTER CONSTRUCTION TO ENSURE THEIR FUNCTIONALITY IS MAINTAINED.
5. EXISTING TREE LOCATIONS APPROXIMATED USING AERIAL IMAGERY. LOCATIONS AND SIZES TO BE VERIFIED FOR CONSTRUCTION DRAWINGS.

LANDSCAPING SUMMARY

| | |
|---------------------------------|-----------|
| TOTAL SITE AREA: | 98,785 SF |
| PRE-PROJECT LANDSCAPING AREA: | 50,283 SF |
| PERCENT OF SITE AREA: | 50.9% |
| POST-PROJECT LANDSCAPING AREA: | 29,721 SF |
| PERCENT OF SITE AREA: | 30.1% |
| PROPOSED IMPERVIOUS AREA ADDED: | 20,562 SF |

PARKING ANALYSIS

| | |
|---------------------------|---|
| PARKING REQUIREMENT: | 1 STALL PER 150 SF |
| MINIMUM REQUIRED PARKING: | 32 STANDARD STALLS / 2 ADA STALLS |
| EXISTING PARKING: | 56 STANDARD STALLS 3 ADA STALLS |
| PROPOSED PARKING: | 69 SPACES 27 STACKING SPACES 3 ADA STALLS |

*EXISTING ADA STALLS WILL BE ALTERED. ACCESSIBLE STALL COUNT WILL NOT REMAIN THE SAME.

ZONING/SETBACK REQUIREMENTS

| | |
|---------------------|--------------------------------|
| ZONING: | PLANNED UNIT DEVELOPMENT (PUD) |
| OUT PARCEL ZONING: | SUPPORT SERVICES (SS) |
| FRONT YARD SETBACK: | 75' |
| SIDE YARD SETBACK: | 12' |
| REAR YARD SETBACK: | 35' |

SITE PLAN KEYNOTES

- 1 CONSTRUCT CONCRETE CURB & GUTTER
- 2 CONSTRUCT NEW CONCRETE DRIVE THRU
- 3 CONSTRUCT CONCRETE WALK
- 4 INSTALL NEW DUAL LANE F2F CANOPY
- 5 INSTALL NEW DUAL LANE F2F CANOPY COLUMNS
- 6 INSTALL NEW DUAL LANE OUTSIDE MEAL DELIVERY CANOPY
- 7 INSTALL NEW DUAL LANE OUTSIDE MEAL DELIVERY CANOPY COLUMNS
- 8 INSTALL NEW MENU BOARDS
- 9 INSTALL DRIVE-THRU CLEARANCE BAR
- 10 INSTALL DRIVE-THRU ORDER POINT ISLAND
- 11 PAINT CROSSWALK MARKINGS
- 12 RELOCATED LIGHTPOLE
- 13 REMOVE AND REPLACE INLET GRATE WITH CLOSED MANHOLE COVER
- 14 INSTALL NEW CURB INLET
- 15 RELOCATED ADA STALLS
- 16 RELOCATED TRASH ENCLOSURE
- 17 EXISTING UTILITY TO REMAIN
- 18 INSTALL FLASHING PEDESTRIAN SIGN
- 19 EXISTING BUILDING TO REMAIN WITH NO MODIFICATIONS
- 20 PROTECT EXISTING TURN MARKINGS
- 21 INSTALL STOP BAR
- 22 EXISTING HANDICAP/CURB RAMP
- 23 INSTALL CURB RAMP. FINAL DESIGN TO BE PROVIDED IN CONSTRUCTION DRAWINGS
- 24 INSTALL LIGHT POLE

COORDINATE SYSTEM USED & REFERENCE
NAD83 OHIO SOUTH (US FOOT)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
7965 N HIGH ST, SUITE 200, COLUMBUS, OH 43235
PHONE: 614-652-0350
WWW.KIMLEY-HORN.COM

CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

CONSULTANT PROJECT # 268214000
PRINTED FOR JHP
DATE 10/30/2023
DRAWN BY AP

SHEET NUMBER
SITE PLAN

SHEET NUMBER
C200

MIDWEST LANDSCAPE NOTES

- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch. Rock Mulch to be provided around the building as shown and called out on the landscape plan, all other planting beds are to be mulched with double shredded hardwood mulch.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3' above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

- A. GENERAL REQUIRED**
- Canopy and small/ornamental trees min. 2" cal.
 - Multi stem trees min. 3 stems, min. 1.5" cal., min. hgt. 8 FT
 - Evergreen trees min. hgt. 6 FT, min. spr. 4 FT (if for tree replacement: min. hgt. 10 FT)

- B. DIVERSITY REQUIRED**
- The following applies to REQUIRED trees and shrubs:
- < 20 required = min. 2 species needed
 - 20-40 required = min. 3 species needed
 - > 40 required = min. 4 species needed
- PROVIDED**
- 1. Total trees required: 19 = 2 species provided
 - 2. Total shrubs required: 170 = 4 species provided

C. PERIMETER LANDSCAPE - BUFFERYARDS (Code Table 404-1)

- REQUIRED**
- E Kemper Rd (North):
 - Public ROW w/ no adjacent parking
 - 10 FT Buffer:
 - 1 tree (A) per 35 LF of street access/drive frontage
 - E Kemper Rd: 115 LF / 35 LF = 3 trees required
 - Tri County Pkwy (West), Lowe's (South), & Railroad (East):
 - Parking area or drive adjacent to non-residential use
 - 10 FT Buffer:
 - 1 tree (A) per 35 LF parking area or access drive frontage AND 1 shrub (D or E) per 3 LF
 - OR 1 tree (B) per 25 LF parking area or access drive frontage AND 1 shrub (D or E) per 3 LF
 - Tri County Pkwy: 185 LF / 35 LF = 5 trees required
 - Tri County Pkwy: 185 LF / 3 LF = 62 shrubs required
 - Lowe's: 105 LF / 35 LF = 3 trees required
 - Lowe's: 105 LF / 3 LF = 35 shrubs required
 - Railroad: 165 LF / 35 LF = 5 trees required
 - Railroad: 165 LF / 3 LF = 55 shrubs required
- PROVIDED**
- E Kemper Rd: 3 Golden Raintree = 3 trees provided
 - Tri County Pkwy: 5 Wildfire Black Gum = 5 trees provided
 - 48 S. Inkberry, 27 Jap. Barberry = 75 shrubs provided
 - Lowe's: 3 Shumard Oak = 3 trees provided
 - 34 S. Inkberry, 19 Dense Yew = 53 shrubs provided
 - Railroad: 5 Wildfire Black Gum = 5 trees provided
 - 33 Dense Yew, 9 A.W. Spirea, 13 S. Inkberry = 55 shrubs provided

D. INTERIOR LANDSCAPE

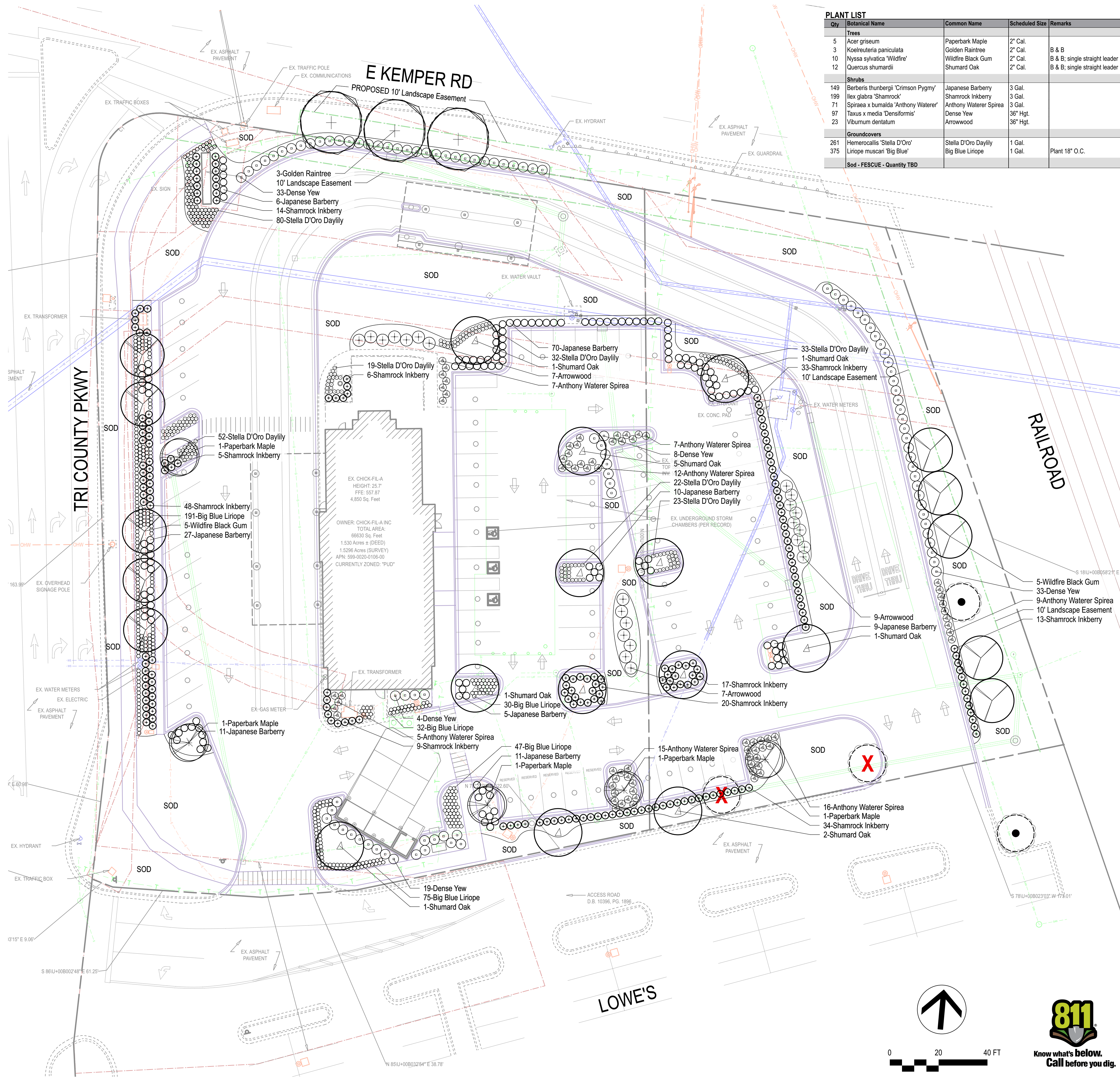
- Min. 180 SF per island, min. 8 FT distance back of curb to back of curb, all trees min. 4 FT from edge of pavement, parking trees clear trunk min. 5 FT above ground
 - Canopy or small/ornamental trees accepted to be planted in VUA landscape areas
- REQUIRED**
- 10 SF landscape area required per 100 SF VUA
 - 29,017 SF / 100 SF = 290 SF landscape area required
 - 1 tree required per 25 parking spaces (each island requires min. 1 tree)
 - 72 spaces / 25 = 3 trees required
 - 6 shrubs required per 25 parking spaces (each island requires min. 4 shrubs)
 - 72 spaces / 25 = 3 X 6 = 18 shrubs required
- PROVIDED**
- Interior landscape area = 4,790 SF landscape area provided
 - 9 Shumard Oak, 5 Paperbark Maple = 14 trees provided
 - Minimum 4 shrubs per island - requirement exceeded > 18 shrubs provided

E. TREE PRESERVATION

- No landmark or protected trees to be removed without permission
- 2 trees to be removed, 1 tree to be preserved
- Tree survey required if more information is needed

LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING



PLANT LIST

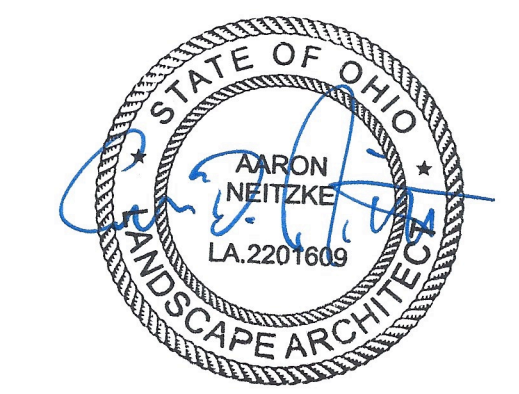
| Qty | Botanical Name | Common Name | Scheduled Size | Remarks |
|-----------------------------|-------------------------------------|------------------------|----------------|-------------------------------|
| Trees | | | | |
| 5 | Acer griseum | Paperbark Maple | 2' Cal. | |
| 3 | Koeleruteria paniculata | Golden Raintree | 2' Cal. | B & B |
| 10 | Nyssa sylvatica 'Wildfire' | Wildfire Black Gum | 2' Cal. | B & B; single straight leader |
| 12 | Quercus shumardii | Shumard Oak | 2' Cal. | B & B; single straight leader |
| Shrubs | | | | |
| 149 | Berberis thunbergii 'Crimson Pygmy' | Japanese Barberry | 3 Gal. | |
| 199 | Ilex glabra 'Shamrock' | Shamrock Inkberry | 3 Gal. | |
| 71 | Spiraea x bumalda 'Anthony Waterer' | Anthony Waterer Spirea | 3 Gal. | |
| 97 | Taxus x media 'Densiformis' | Dense Yew | 36" Hgt. | |
| 23 | Viburnum dentatum | Arrowwood | 36" Hgt. | |
| Groundcovers | | | | |
| 261 | Heimerocallis 'Stella D'Oro' | Stella D'Oro Daylily | 1 Gal. | |
| 375 | Liriope muscari 'Big Blue' | Big Blue Liriope | 1 Gal. | Plant 18" O.C. |
| Sod - FESCUE - Quantity TBD | | | | |



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



Manley Land Design, Inc.
 51 Old Canton Street
 Alpharetta, Georgia 30009
 770.442.8171 tel



CHICK-FIL-A
SPRINGDALE FSU
 501 E KEMPER RD
 SPRINGDALE, OH 45246

FSU# 01614

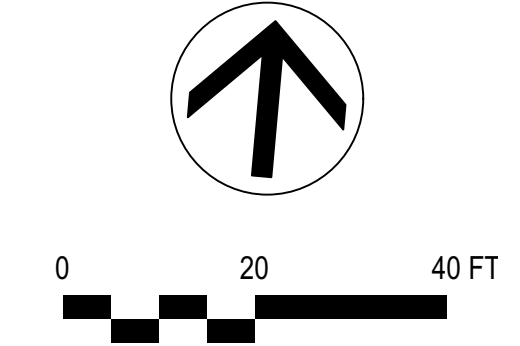
REVISION SCHEDULE
 NO. DATE BY DESCRIPTION

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 DATE 10/5/23
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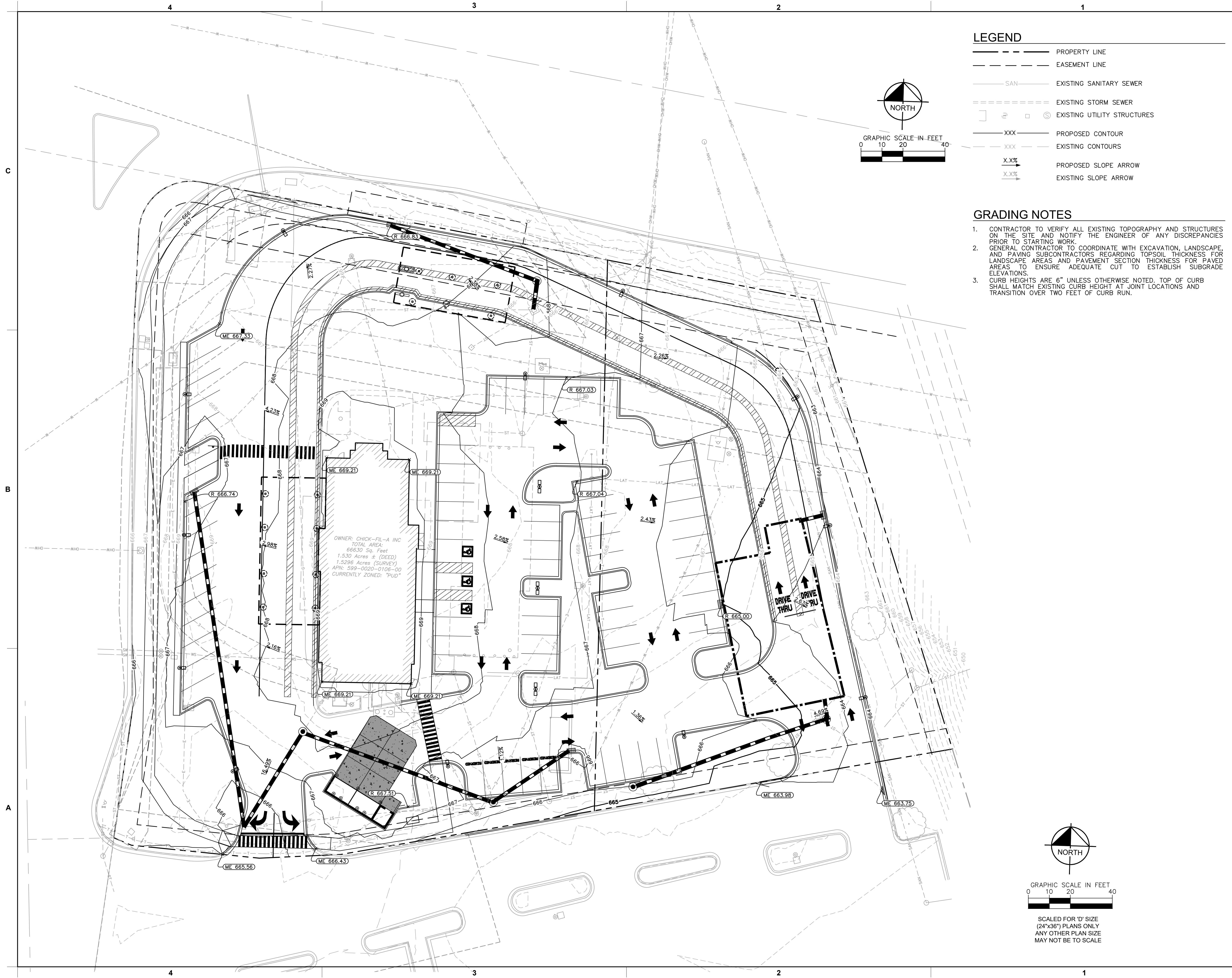
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SHEET
Landscape Plan

SHEET NUMBER
L-100

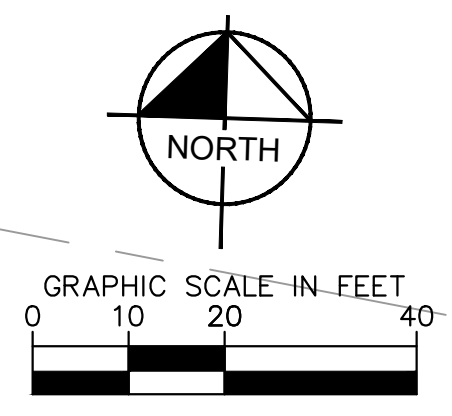


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30 October 2023



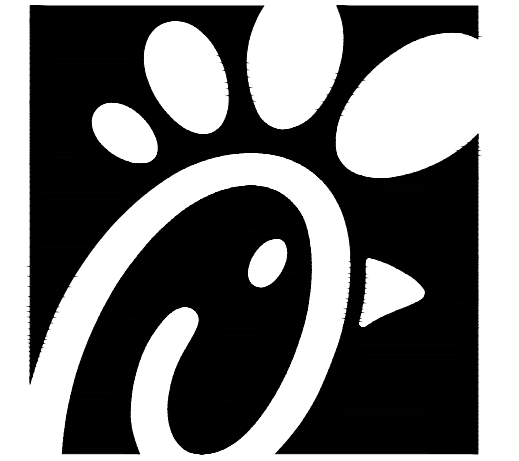
LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- SAN --- EXISTING SANITARY SEWER
- - - - - EXISTING STORM SEWER
- ○ ⊕ ⊙ EXISTING UTILITY STRUCTURES
- XXX--- PROPOSED CONTOUR
- - - - - XXX - - - EXISTING CONTOURS
- X.X% PROPOSED SLOPE ARROW
- X.X% EXISTING SLOPE ARROW



- GRADING NOTES**
- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
 - CURB HEIGHTS ARE 6" UNLESS OTHERWISE NOTED. TOP OF CURB SHALL MATCH EXISTING CURB HEIGHT AT JOINT LOCATIONS AND TRANSITION OVER TWO FEET OF CURB RUN.

OWNER: CHICK-FIL-A INC
TOTAL AREA:
66630 Sq. Feet
1.530 Acres ± (DEED)
1.5296 Acres (SURVEY)
APN: 593-0020-0106-00
CURRENTLY ZONED: "PUD"



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

Kimley»Horn

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CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

REVISION SCHEDULE

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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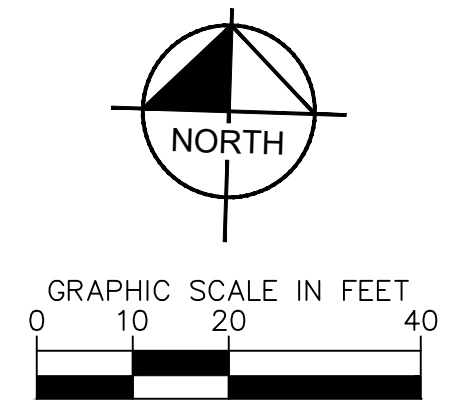
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SHEET CONCEPT GRADING PLAN

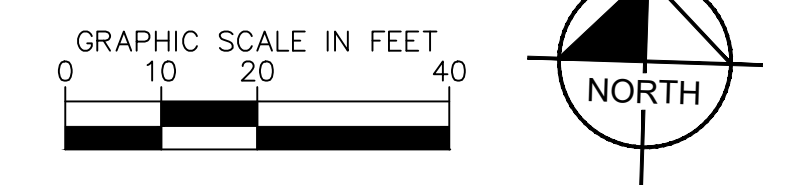
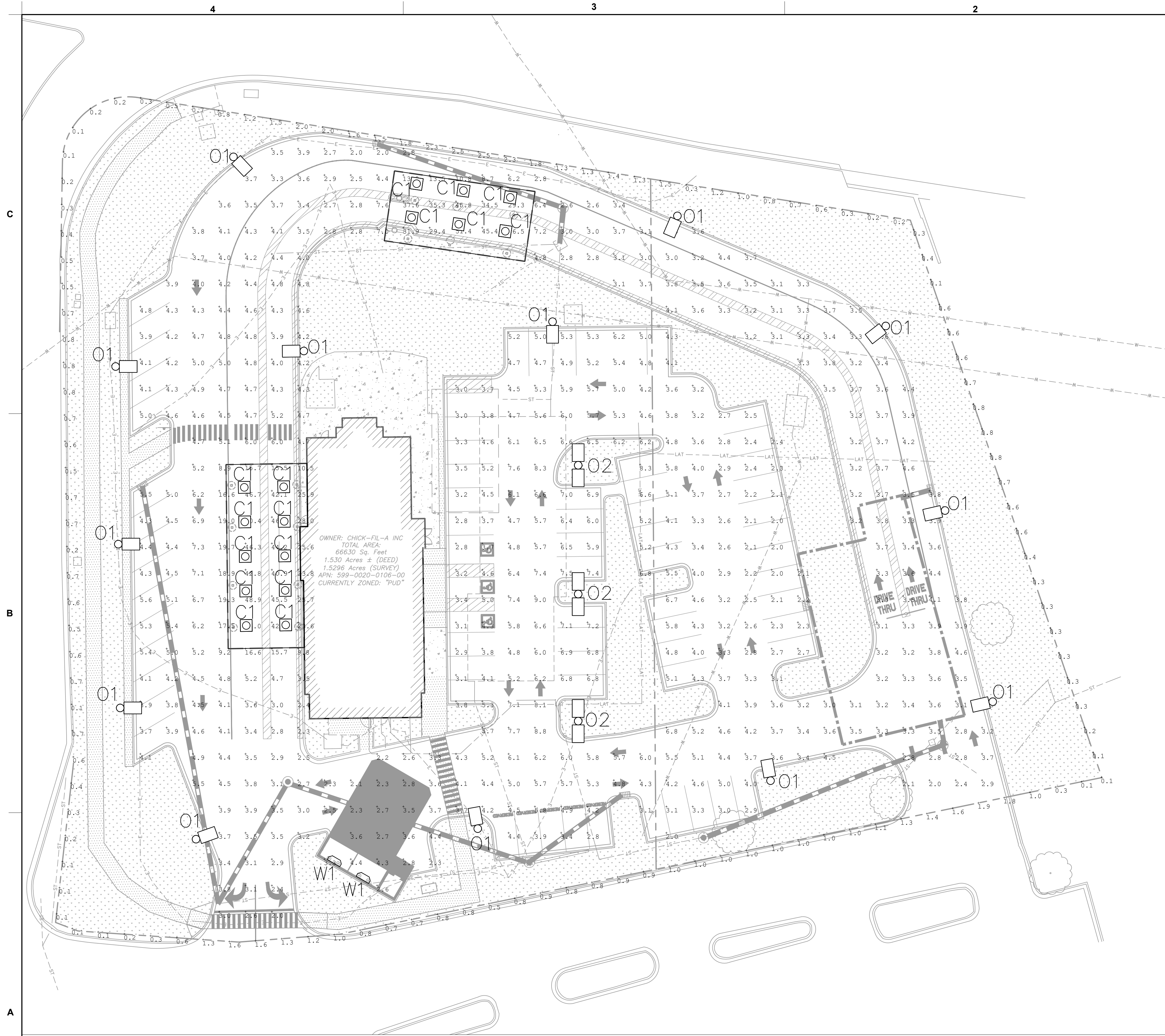
SHEET NUMBER

C300



SCALED FOR 'D' SIZE
(24"x36") PLANS ONLY
ANY OTHER PLAN SIZE
MAY NOT BE TO SCALE

K:\CHS_DEV\Chick-Fil-A\1614 - Springdale FSU_Springdale_CADD\PLAN SHEETS\PH100 PHOTOMETRICS.dwg
25 October 2023



| TARGET ILLUMINANCE VALUES | | | | | | |
|---------------------------|------------------|-------|------|-----|---------|---------|
| CALC TYPE | CALC REQUIREMENT | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| PARKING LOT | CFA | 4.0 | 9.0 | 1.9 | 2.0 | - |
| | SPRINGDALE | 2.0 | 10.0 | - | - | 15.0 |
| SITE CANOPY | CFA | 35-40 | - | - | - | - |
| | SPRINGDALE | - | 2.5 | - | - | - |
| PROPERTY LINE | CFA | 1.2 | - | - | - | - |
| | SPRINGDALE | - | - | - | - | - |

TARGET ILLUMINANCE LEVELS BASED ON THE CFA STANDARD LIGHTING LEVELS AND SPRINGDALE, OH CODE OF ORDINANCES. THE MOST STRINGENT OF THE TWO ARE OBSERVED.

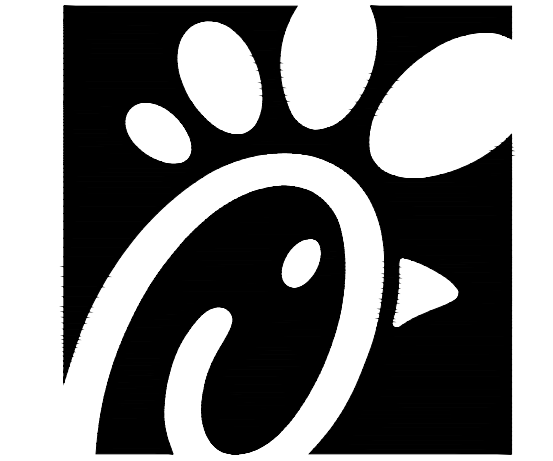
| CALCULATION SUMMARY | | | | | | |
|---------------------|-----------------------|-------|-------|-------|---------|---------|
| ZONE | CALC TYPE | AVG | MAX | MIN | AVG/MIN | MAX/MIN |
| ① | PARKING LOT (TYPICAL) | 4.15 | 9.00 | 2.00 | 2.08 | 4.50 |
| ② | NORTH CANOPY | 35.48 | 51.40 | 13.20 | 2.69 | 3.89 |
| ③ | WEST CANOPY | 35.09 | 50.40 | 10.50 | 3.34 | 4.80 |
| ④ | SITE BOUNDARY | 0.79 | 2.50 | 0.10 | 7.90 | 25.00 |

| PHOTOMETRICS LEGEND | |
|---------------------|---|
| | SINGLE LUMINAIRE MOUNTED AT 24' AFG (21' POLE ON 3' FOUNDATION) |
| | DOUBLE LUMINAIRE MOUNTED AT 24' AFG (21' POLE ON 3' FOUNDATION) |
| | WALL-PACK LUMINAIRE, WALL-MOUNTED |
| | CANOPY DOWNLIGHT |
| *X.X | CALCULATION POINT |

- PHOTOMETRICS NOTES**
- ALL PHOTOMETRIC VALUES SHOWN ON SITE PLAN IN TABLES ARE IN FOOTCANDLES (FC). 1 FC = 10.76 LUX.
 - CALCULATED VALUES ARE DERIVED THROUGH A COMPUTER BASED MODEL WITH LIGHT FIXTURE DATA AS SUPPLIED BY MANUFACTURERS THROUGH IES FILES.
 - ANY DEVIATION FROM SPECIFIED FIXTURE MODELS AND MOUNTING HEIGHTS IN THIS EXHIBIT WILL DISCOUNT THE VALIDITY OF THE CALCULATIONS.
 - THE PHOTOMETRIC ANALYSIS EXCLUDES ALL EXISTING AND PROPOSED OFF SITE STREET LIGHTING AND LANDSCAPE LIGHTING THAT IS CONSIDERED IRRELEVANT TO THE PURPOSE OF THE STUDY.
 - CONTRACTOR TO FIELD COORDINATE EXACT LOCATION OF POLES WITH UNDERGROUND UTILITY AND OTHER OBSTRUCTIONS.
 - CONTRACTOR SHALL CONFIRM POLE AND FIXTURE FINISHES WITH OWNER AND ARCHITECT PRIOR TO PURCHASE. ALL PROPOSED LUMINAIRE STYLES, COLORS AND MOUNTING TYPES SHALL BE SUBMITTED AND APPROVED BY ENGINEER, ARCHITECT AND OWNER. EXACT BUILDING MOUNT LOCATIONS SHALL BE COORDINATED WITH ARCHITECT AND SHOULD BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. EXACT CANOPY MOUNT FIXTURE LOCATION AND MOUNTING STYLE SHALL BE COORDINATED WITH CANOPY DESIGNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONFIRM THAT WALL AND CANOPY MOUNTED FIXTURES ARE COMPATIBLE WITH RESPECTIVE MOUNTING LOCATION. CONTRACTOR SHALL ORDER ACCESSORIES FOR APPROPRIATE MOUNTING.
 - ALL LUMINAIRE SYMBOLS ARE DIAGRAMMATIC ONLY. EXACT LOCATION AND SETBACKS SHALL BE FIELD COORDINATED.
 - FINAL ELECTRICAL DESIGN AND POLE FOUNDATION DETAILS BY OTHERS.
 - LIGHTING DESIGN WAS PERFORMED IN ACCORDANCE WITH CFA STANDARD LIGHTING LEVELS AND WITH SECTION 153.351 OF THE CITY OF SPRINGDALE CODE OF ORDINANCES. ALL VALUE ENGINEER ALTERNATIVES SHALL BE SUBMITTED BY CONTRACTOR AND APPROVED BY ENGINEER, ARCHITECT AND OWNER PRIOR TO PURCHASE. CALCULATIONS ARE BASED ON MODEL NUMBERS LISTED IN THE LIGHT FIXTURE SCHEDULE. VALUE ENGINEER ALTERNATIVES MAY NOT PRODUCE THE SAME CALCULATIONS.
 - LUMINAIRE CONTROL PROVISIONS SHALL BE INCLUDED AND FINALIZED BY DESIGN ENGINEER. CONTROL SHALL BE COMPLIANT WITH CITY CODE. LIGHT FIXTURES SHALL BE ORDERED WITH ACCESSORIES TO MEET THE INTENT OF THE LIGHTING CONTROLS. ACCESSORIES THAT SHOULD BE INCLUDED FOR CONTROL ARE NOT LISTED ON THIS PLAN AND SHOULD BE CONFIRMED WITH DESIGN ENGINEER PRIOR TO PURCHASE.

| LIGHT FIXTURE SCHEDULE | | | | | | | | | | | | NOTES | |
|------------------------|-----|---|----------------------------|------|-----|----------------|-------|---------|---------------|----------------|-------|--------|--|
| SYMBOL | TAG | DESCRIPTION | MODEL NUMBER | LLF | CRI | MOUNTING STYLE | LAMPS | VOLTAGE | WATTS/FIXTURE | LUMENS/FIXTURE | COLOR | | MOUNTING HEIGHT |
| | O1 | SINGLE LUMARK PREVALE LED AREA/SITE LUMINAIRE | PRV-C60-730-D-UNV-T4-XX-XX | 0.90 | 70 | POLE | LED | UNV | 153 | 19,621 | 3000K | 24'-0" | CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE. |
| | O2 | DUAL LUMARK PREVALE LED AREA/SITE LUMINAIRE | PRV-C60-730-D-UNV-T4-XX-XX | 0.90 | 70 | POLE | LED | UNV | 153 | 19,621 | 3000K | 24'-0" | CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH POLE FOUNDATION DESIGNER FOR POLE TYPE. |
| | C1 | LSI SCOTTSDALE LEGACY (CRUS) LED CANOPY LUMINAIRE | CRUS-SC-LED-LW-30-UE-XXX | 0.90 | 70 | CANOPY | LED | UNV | 73 | 10,457 | 3000K | 9'-6" | CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. COORDINATE WITH CANOPY DESIGNER FOR MOUNTING. |
| | W1 | HUBBELL OUTDOOR LIGHTING LED COMPACT WALL PACK | LNC-5L-U-3K-3-X | 0.90 | 70 | WALL | LED | 120-277 | 13 | 849 | 3000K | 8'-0" | CONTRACTOR TO ORDER ALL ACCESSORIES NECESSARY TO MEET THE INTENT OF THE LIGHTING SYSTEM INCLUDING MOUNTING BRACKETS, ADAPTORS AND CONTROLS. COORDINATE WITH ELECTRICAL PLANS FOR LIGHTING CONTROL. MOUNT INSIDE TRASH ENCLOSURE. |

NOTE: O=OUTDOOR, C=CANOPY MOUNT, W=WALL MOUNT



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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CHICK-FIL-A
SPRINGDALE FSU
501 E KEMPER RD
SPRINGDALE, OH 45246
FSR#1614

| REVISION SCHEDULE | | |
|-------------------|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |

CONSULTANT PROJECT # 268214000
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SHEET SITE PHOTOMETRICS

SHEET NUMBER

PH100



Chick-fil-A
501 East Kemper Road
Modification to a PUD and Zone Map Amendment
Application# 2023-0739
November 14, 2023

Request:

Approval of a PUD modification and a zone change to allow for the expansion of the existing drive thru area with revisions to the parking layout and site.

Proposal:

Chick-fil-A is currently located on a 1.53 acre parcel (ID# 059900200106) that is zoned "PUD" Planned Unit Development. To better serve their growing customer base, Chick-fil-A has purchased the adjacent vacant 0.74 acres (Parcel 0599-0020-00135) to the east, which is zoned "SS" Support Services. The two members of Council who sit on Planning Commission will need to determine if the modification to the request to the PUD is a major or minor amendment to the PUD. Given the proposed modifications to the site design and circulation, staff believes, per Section 153.256 (H) (1), the proposed change is a major amendment. Additionally, Planning Commission will need to make a recommendation to Council on the proposed zone map amendment from "SS" Support Services to "PUD" Planned Unit Development. The recent "Plan Springdale" designates the property as "Regional Mixed Use". Per Section 153.255 (C) (1) (c), a parcel of less than three acres may be added to an existing "PUD".

The applicant is proposing to revise the site layout to provide better on-site circulation for customers going into the restaurants and those using the drive thru. A total of 47 parking spaces would be located within the drive thru lane reducing the existing vehicle/pedestrian conflict points on the east side of the site. The two extended drive thru lanes increase the number of stacking spaces to 27.

Comments:

- 1) The existing 4,850 square foot store is not being modified. A total of 34 parking spaces are required per Section 153.302 (P). Currently the site has 59 parking spaces, and a total of 72 parking spaces are proposed with this request. The site does provide the additional landscaping required by Section 153.302 (Q) (1) (c) since the parking provided exceeds that required by over 30%.
- 2) The total site area is 98,785 square feet. The applicant is proposing a total of 29,755 square feet of green space (30.17%). Per Section 153.255 (E) (5), a minimum of 25% green space is required. The applicant is proposing 30.17% of the site to be landscaped open space.
- 3) A 10' setback is required per Section 153.404 (G) where a parking area or drive aisle abuts a public or private street/access drive. This would pertain to the north, west, and south property lines. Drive aisles and parking areas are not indicated to be set

back from public or private/access drives 10 feet to the north (adjacent to East Kemper Road) or the south (adjacent to the private access drive). The applicant indicates in written correspondence that all the setbacks will be 10 feet, consistent with Section 153.404 (G) however, Sheet C-200 still shows setbacks below 10 feet and landscaping in the bypass lane.

- 4) The proposed drive thru stacking lanes are indicated to be 9 feet in width where 10 feet is required per Section 153.304 (B) (1). In written correspondence, the applicant indicates that the stacking aisles will be 10' wide, however Sheet C-200 shows them as 9' wide.
- 5) Drive thru stacking lanes, per Section 153.304 (C), must be located 25 feet from a right-of-way. The applicant indicates that due to site constraints, the stacking lanes cannot be set back 25', but they have not provided the proposed setback. The setback of the proposed drive thru stacking from the Kemper Road right-of-way needs to be provided.
- 6) Section 153.302 (D) (5) requires the bypass access drive to be a minimum of 10 feet in width. Sheet C-200 indicates the bypass access is to be only 9' in width.
- 7) To provide a safe pedestrian connection across the drive aisle and two drive thru lanes on the west side of the store, a flashing Ped X sign needs to be provided at the crosswalk. The applicant has indicated such a sign on Sheet C-200.
- 8) A landscape plan was submitted to which staff has the following comments:
 - A) There is no Landscape Plan uploaded in this latest submission. The Landscape Comment response letter, dated 10.30.2023, states bufferyard plant quantities were updated, however there is no plan.
 - B) The Landscape Comment response letter states that a tree survey is forthcoming and existing tree locations were temporary added to the Plan based on Google Maps imagery. The plan set needs to accurately identify all the trees are their current size to be removed even if they were planted as part of the recent site improvements.
 - C) Plant diversity is provided, however the plant quantities should be spread equally amongst the different species. Shrub quantities need to be more equally divided.

The Applicant requested clarification on the requirement in the code. Plant material diversity, with even distribution, is required per Section 153.403 (E).

| | Shrubs | |
|-----|-------------------------------------|------------------------|
| 149 | Berberis thunbergii 'Crimson Pygmy' | Japanese Barberry |
| 199 | Ilex glabra 'Shamrock' | Shamrock Inkberry |
| 71 | Spiraea x bumalda 'Anthony Waterer' | Anthony Waterer Spirea |
| 97 | Taxus x media 'Densifomis' | Dense Yew |
| 23 | Viburnum dentatum | Arrowwood |

- 9) Given the amount of traffic generated by the use and the potential for vehicular/pedestrian conflicts on site, staff would consider the use a medium activity level use. The applicant is proposing LED lighting for the site mounted at 24 feet which is permitted per Table 351-1. The permitted average illumination is 2.0 footcandles. The applicant is proposing an average of 4.15 footcandles in the parking areas and over 35 footcandles under the service canopy. A maximum of 10 footcandles is permitted where the applicant is proposing a maximum of 8 footcandles in the parking lot areas and 51.4 footcandles under the north service canopy. The color of the poles and fixtures is indicated as “3,000 K” with no additional information provided other than a note indicating “pole/fixture finishes to be selected by architect/owner”. Per Section 153.351 (E) (4), all fixtures and poles must be a dark non-reflective color.
- 10) The existing waste enclosure is to be relocated to the south property line. It is to remain compliant with Section 153.254 (G) and be located not less than 5 feet from the property line.
- 11) There are no modifications to the building or on-site signage needs to be provided.

Considerations:

Should Planning Commission choose to recommend approval of the “PUD” major modification and recommend approval of the zone map amendment from “SS” to “PUD”, the following items should be considered:

- 1) The two members of Planning Commission who serve on Council determine that per Section 153.256 (H) (1), the proposed modifications to the existing “PUD” is a major amendment.
- 2) The minimum landscape area of the total 98,785 square foot site is 30.71% (29,721 square feet).
- 3) A 10 foot setback, per Section 153.404 (G), be provided from all parking areas and drive aisles to public or private streets/access aisles.
- 4) All stacking lanes, per Section 153.304 (B) (1), be a minimum of 10 feet in width.
- 5) Per Section 153.302 (D) (5), the bypass access drive shall have a minimum width of 10 feet.
- 6) The applicant provide the proposed setbacks for the drive thru stacking lanes and Planning Commission determine if the proposed setback is appropriate.
- 7) The Landscape Plan be revised per staff comments.
- 8) The relocated waste enclosure will comply with all the requirements of Section 153.254 (G).

- 9) There are no modifications to the existing building, building or free standing signage.
- 10) Planning Commission needs to determine if the proposed photometric lighting plan is appropriate in terms of light levels. All fixtures and poles are to be a dark non-reflective color.

Planning Commission Actions:

- 1) Planning Commission determine that the proposed Major Amendment to the existing Final Development Plan is appropriate and recommend approval to City Council.
- 2) Planning Commission determine that the proposed zone map amendment for the 0.74 acre parcel from “SS” Support Services to “PUD” Planned Unit Development is consistent with Plan Springdale and should be approved. The submitted Preliminary/Final Development Plan submitted as a part of the zone map amendment should be approved with the “PUD” zone map amendment.

Submitted By:

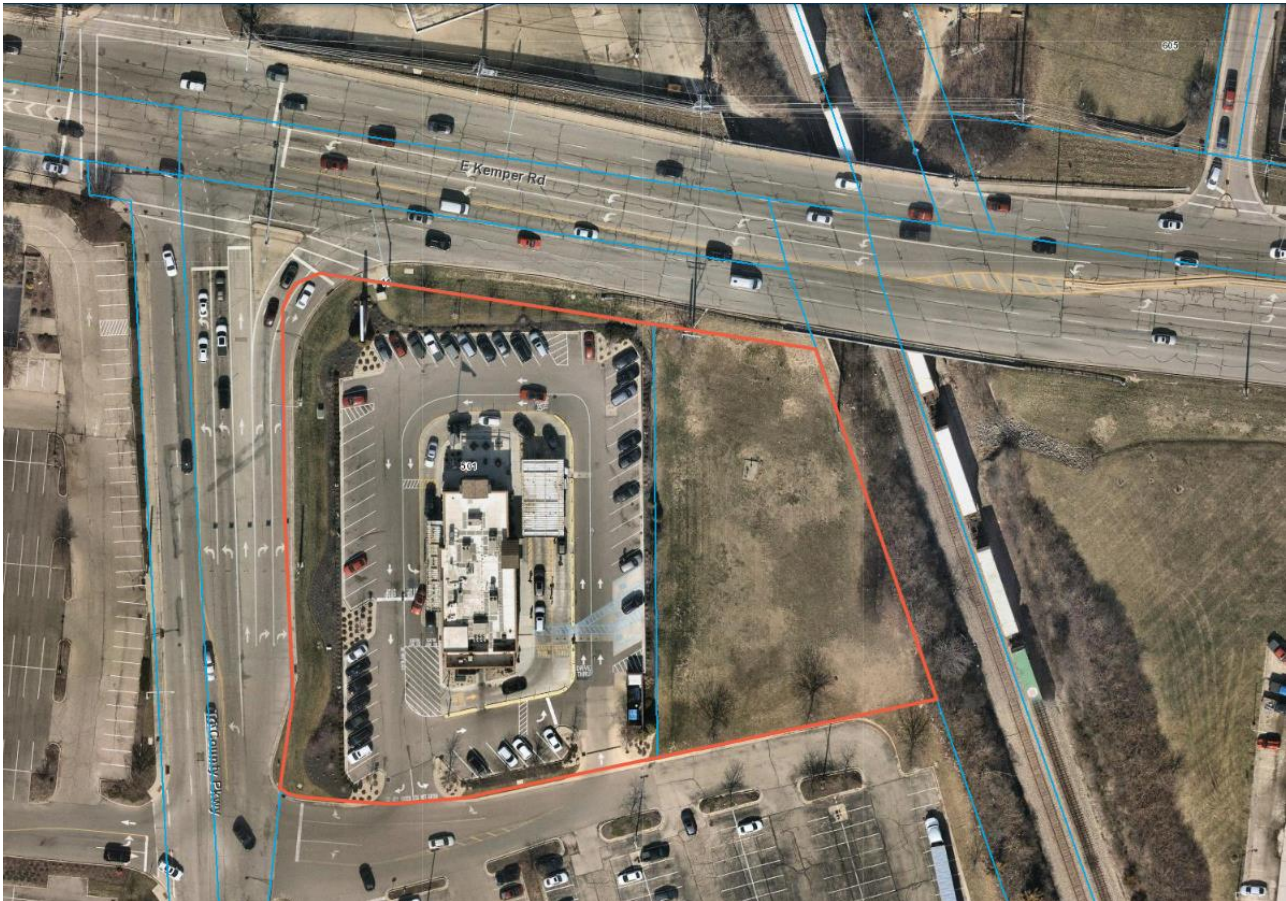
Anne F. McBride, FAICP
City Planner

MDC# 1517



CHICK-FIL-A
501 E. KEMPER ROAD
PLAN REVIEW APP # 20230739
19020115
NOVEMBER 10, 2023

PLANNING COMMISSION
ENGINEERING REVIEW



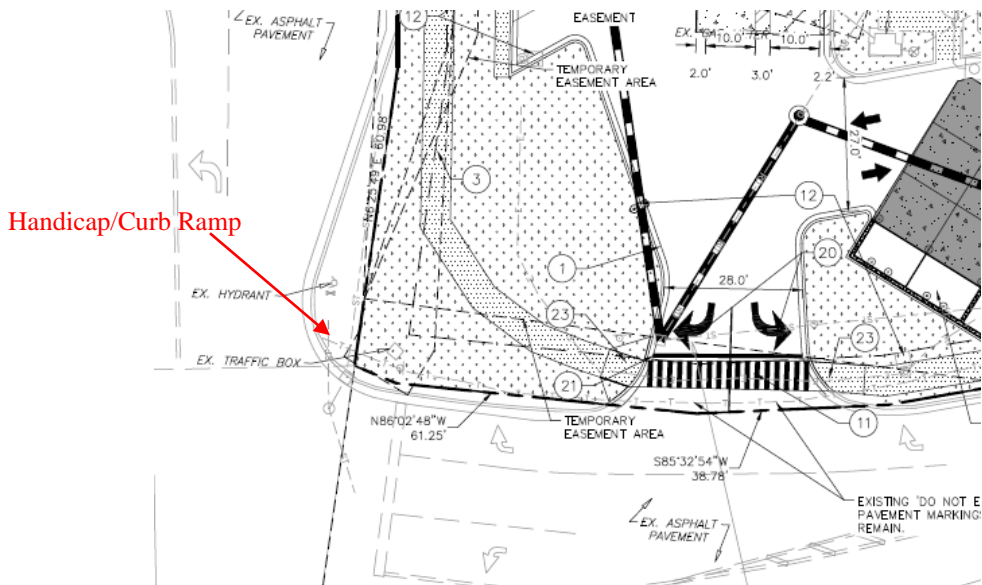
PROJECT SITE

REQUEST: The Applicant is requesting to utilize the recently acquired adjacent parcel to improve the Chick-fil-A's service capacity. The existing conditions are such that the site experiences a significant backlog during peak hours leading to congestion along access roads. The improvements also aim to increase pedestrian connectivity by creating sidewalk paths directly to the building.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

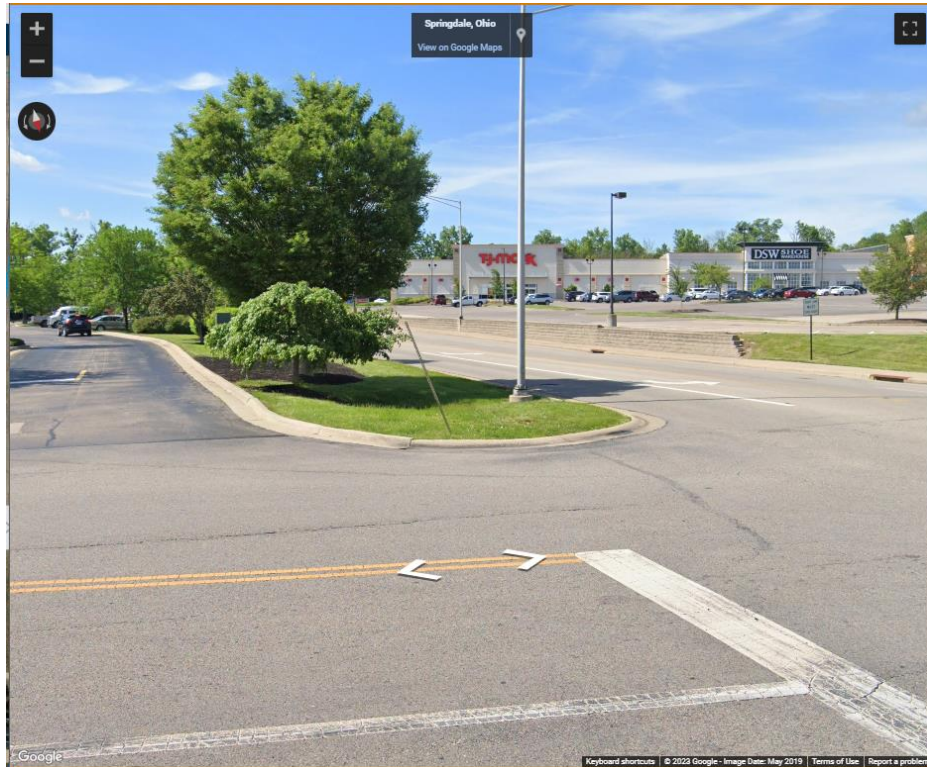
A. SITE LAYOUT

1. The sidewalk tie-in shall be revised to better align with the existing ramp. The sidewalk at this location may need to be wider and located at the back of curb. The submitted site plan dated October 30, 2023, noted that the proposed connection to the existing curb ramp is to be finalized in the construction drawings.
2. The site plans shall also be revised to extend the sidewalk to the curb at the shared entrance drive along Tri-County Parkway and construct a handicap/curb ramp. The curb ramp shall be oriented for a future ramp to the south crossing the shared entrance roadway.

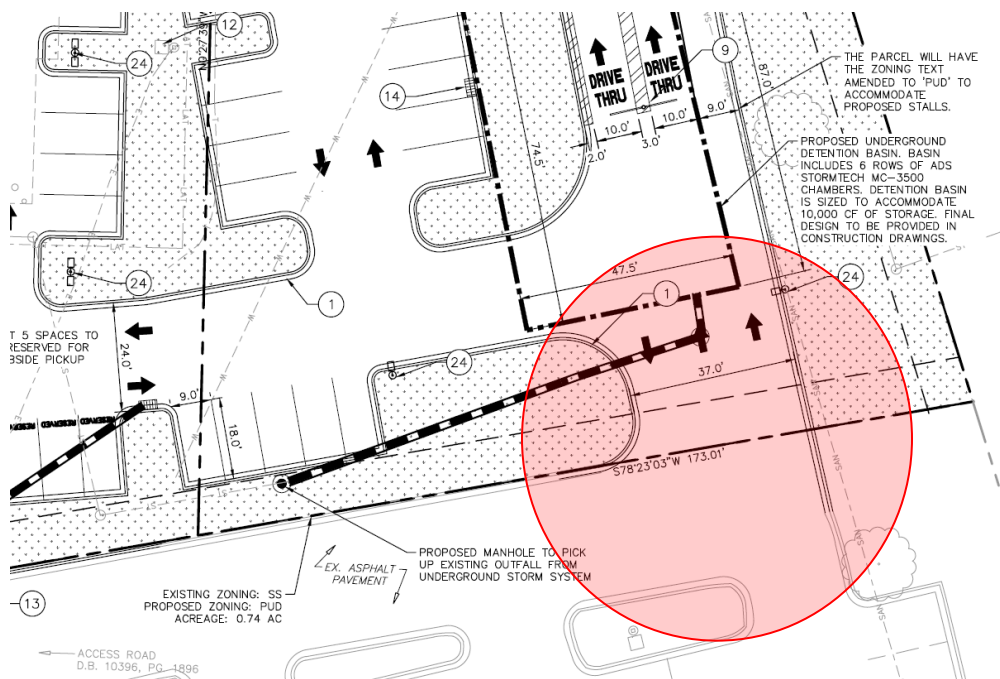


3. The proposed sidewalk to be constructed within the public right-of-way shall conform to the City regulations and PROWAG. As per City regulations, 150.31(G), One course class C concrete sidewalks shall be constructed where shown on the plan or typical sections, including all walkways. One-half inch expansion joints shall be placed at intervals not to exceed 100 feet, and contraction joints equally spaced at 5-foot intervals. All sidewalks shall connect to the pavement or curb at intersections, with 1/2-inch expansion joint between the walk and curb. Handicap ramps shall be placed in all curbs as per the city standard construction drawings. The minimum width of the sidewalk shall be 5'.
4. The site plan shall include a sidewalk detail/typical for installations included in the public right-of-way in part of the construction plans. Where the location of the proposed sidewalk varies from the typical, the distance from the back of curb shall be noted on the site plans.
5. Per City regulation §93.15, a driveway application and permit are required for work within the public right-of-way. The Applicant will need to include all details for work inside the public right-of-way such as curb replacement, pavement restoration, storm sewer installation/trench backfill, etc., in the final construction plans. The Applicant shall refer to the appropriate City / ODOT specifications and details associated with the proposed installations within the right-of-way.
6. It was noted that grading and landscaping installations / easements was proposed within the Kemper Road right-of-way. A copy of the approved permit and recorded easement from the County shall be provided by the applicant prior to issuance of the construction permit.

7. There is a concern with the site distance at the intersection of the at the shared entrance drive along Tri-County Parkway. It is recommended that the applicant coordinate with the adjoining property owner to the south to improve the situation.



8. It is recommended that the western entrance be reduced to two lanes (entrance lane and exit lane).



9. The site plan includes construction of drive-thru canopy immediately adjacent to a water main easement. The canopy shall be located outside of the easement and it is recommended that the existing easement(s) be staked prior to construction of the canopy.

B. UTILITIES

1. The city has been notified of past issues/breaks associated with the private sewer line located on the eastern property line. It is advised that the applicant inspect the line prior to construction.

C. STORMWATER MANAGEMENT

1. Post construction water quality best management practices:
 - a. As per the City regulations 151.04(A)(4), Improvements shall be designed such that, at a minimum, all developed areas are treated with an acceptable postconstruction storm water quality best management practice. Practices chosen must be sized to treat the water quality volume (WQv) and to ensure compliance to the maximum extent practicable with Ohio EPA Water Quality Standards (Ohio Administrative Code Chapter 3745-1) and Ohio EPA Construction General Storm Water NPDES discharge permit requirements applicable to the property. The WQv shall be equal to the volume of runoff from a 0.75-inch rainfall. Sites that have been previously developed where no Post-Construction BMPs were installed are required to provide:
 - a. A 20 percent net reduction of the site's current impervious area, achieved by either the use of pervious pavement or removing the impervious surface.
 - b. Treatment of at least 20 percent of the WQv.
 - c. A combination of (a) and (b).

The site plans and dated October 30, 2023, indicate that existing site impervious area is to be increased from 48,588 SF to 69,364 SF, providing a 20,766 SF or 42.8% increase as part of the proposed expansion. To manage the increased runoff, an additional underground detention system is proposed consisting of 6 rows of ADS Stormtech MC-3500 chambers, to accommodate 10,000 CF of storage. The stormwater memo indicates that a more detailed design of the underground detention will be provided at the time of the Construction Drawing Submittal. This is acceptable to Staff however final stormwater management calculations shall also be provided with the construction plans.

- b. As per the City regulations 151.04(F), All underground detention chambers shall be inspected by the property owner to ensure that the detention chambers are in compliance with the approved water management and sediment control plan and the city's regulations. The site plans shall be revised to include a note to clean and inspect the both the existing and proposed underground detention chamber isolator rows after construction to ensure they maintain their functionality.
- c. As per the City regulations 151.04(7)(b), an Operation and Maintenance Agreement will need to be completed for the post construction water quality measures and recorded as a covenant, prior to the Certificate of Occupancy being granted.
- d. No grading work will be permitted on the site until all OEPA and/or USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved

by the city and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' [Rainwater and Land Development Manual](#). The site plans dated October 30, 2023, indicate that the limit of disturbance encompasses 2.16 acres, therefore a detailed Storm Water Pollution Prevention Plan (SWP3) is required. The applicant shall submit a copy of the Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit with the construction plans.

It should be noted that plans approved by the City of Springdale subject to the condition of compliance with applicable Federal, State and local laws, rules, regulations and standards. Approval of plans does not constitute an assurance that the proposed improvements will properly function, operate or meet-compliance with Federal, State or local laws and regulations.