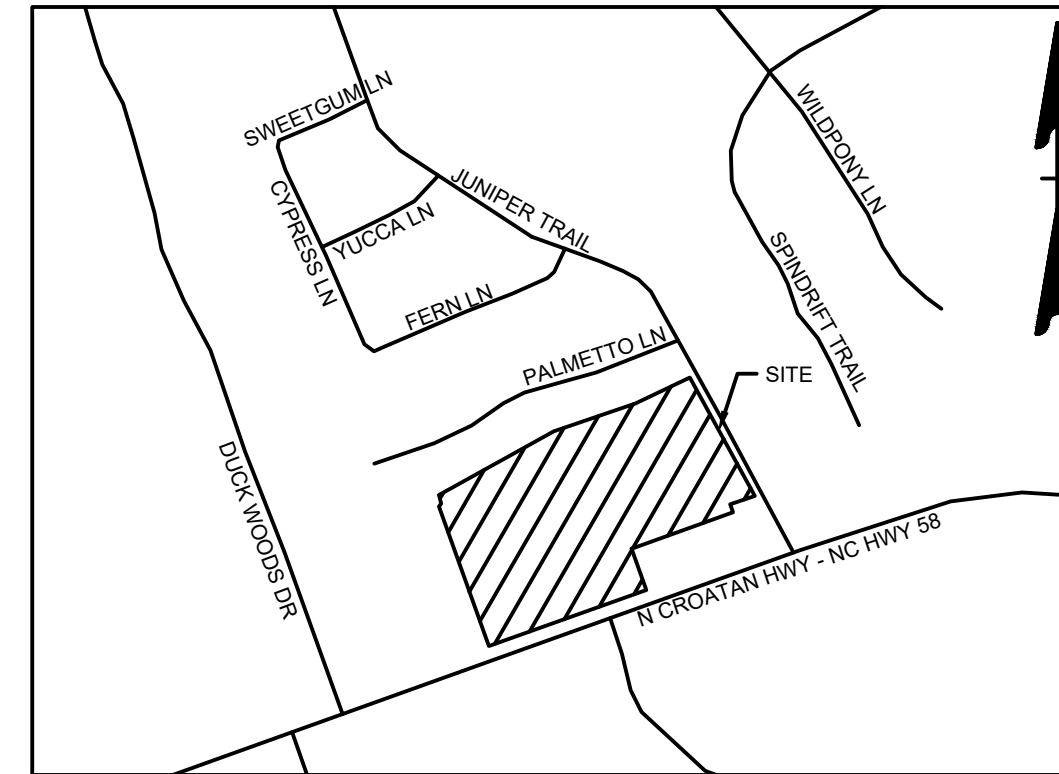


THE MARKETPLACE AT SOUTHERN SHORES

SITE PLAN



VICINITY MAP
NO SCALE

AUGUST 9, 2021

SITE LOCATION

5539 NORTH CROATAN HIGHWAY
SOUTHERN SHORES, NC 27949

OWNER

SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

CIVIL ENGINEER

TIMMONS GROUP
1805 WEST CITY DRIVE, UNIT E
ELIZABETH CITY, NC 27909
KIMBERLY HAMBY, PE
(252) 621-5029
KIM.HAMBY@TIMMONS.COM

DEVELOPER

ASTON PROPERTIES, INC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202
KAREN PARTEE
(704) 319-4922
LKPARTEE@ASTONPROP.COM

SITE DATA:

- OWNER:
SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

REGISTERED AGENT/DEVELOPER
ASTON PROPERTIES, INC.
CONTACT: KAREN PARTEE
(704) 366-7337
- SITE INFORMATION:
PIN#: 986720717057
PARCEL#: 022510000
D.B. 1982 PG. 893
SITE AREA: 18.1 AC
ZONING: COMMERCIAL HIGHWAY PRIMARY
ADDRESS: 5539 NORTH CROATAN HIGHWAY
SOUTHERN SHORES, NC 27949
- SITE LOCATED IN FLOOD ZONES "X", "SHADED X" AND "AE(1)" ACCORDING TO FIRM MAP NUMBER 3720986700K, DATED JUNE 19, 2020. THE TOWN HAS ADOPTED A LOCAL ELEVATION STANDARD OF 8'.
- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION TAKEN FROM SURVEY TITLED "MARKETPLACE SHOPPING CENTER", BY MICHAEL D. BARR, PLS ON OCTOBER 30, 2017.
- IMPERVIOUS AREA CALCULATIONS:
EXISTING = 530,755 SF (67.3% OF SITE)
PROPOSED = 529,719 SF (67.1% OF SITE)
REQUIRED PERVIOUS PAVEMENT:
5.1% OF 529,719 SF = 27,016 SF
PERVIOUS PAVEMENT PROVIDED = 28,332 SF
- PARKING:
EXISTING SPACES = 587
EXISTING TO BE REMOVED = 124
PROPOSED NEW = 150
FINAL TOTAL = 613
(INCLUDING 12 ADA SPACES)
REQUIRED ADA SPACES = 2% OF TOTAL
614 * 0.02 = 12 ADA SPACES
REQUIRED SPACES = 514
(SEE CALCULATIONS ON SHEET C0.1)
- LANDSCAPING CALCULATIONS: PARKING AREA BEING MODIFIED BY PROJECT = 99,999 SF
REQUIRED LANDSCAPE AREA (15%) = 15,000 SF
LANDSCAPE AREA PROVIDED = 16,980 SF
- DISTURBED AREA WILL NOT EXCEED 3.2 ACRES
- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL COME FROM AN APPROVED MINE.
- TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.

SHEET LIST

SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS OVERVIEW
C1.1	EXISTING CONDITIONS
C1.2	DEMOLITION PLAN
C1.3	DEMOLITION PLAN
C2.0	SITE PLAN OVERVIEW
C2.1	SITE PLAN
C2.2	SITE PLAN
C3.0	GRADING & DRAINAGE PLAN OVERVIEW
C3.1	GRADING & DRAINAGE PLAN
C3.2	GRADING & DRAINAGE PLAN
C3.3	EROSION CONTROL PLAN
C4.0	UTILITY PLAN & PROFILE
C4.1	UTILITY PLAN
C5.0	SITE DETAILS
C5.1	STORMWATER DETAILS
C5.2	EROSION CONTROL DETAILS
C5.3	UTILITY DETAILS



PERMIT DRAWING

NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL 252.621.5029 FAX 252.621.5074 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS
06/15/21	

DRAWN BY
BCD

DESIGNED BY
-

CHECKED BY
KDH

SCALE
-

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

COVER SHEET

JOB NO.
44588

SHEET NO.
C0.0

GENERAL PLAN NOTES:

- UNLESS OTHERWISE SPECIFIED ON THE PLANS, ALL CONSTRUCTION SHALL CONFORM TO THE LATEST VERSION OF NCDOT STANDARDS.
- THE PLAN SET APPROVED BY THE TOWN OF SOUTHERN SHORES SHALL BE THE PLAN SET USED FOR CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN INDEPENDENT QUANTITY TAKE-OFF AND INCLUDE ALL ITEMS NECESSARY TO DELIVER A COMPLETE PROJECT AS PART OF THEIR BASE BID. THIS INCLUDES ANY INTERIM STAGING OR CONSTRUCTION MEANS AND METHODS EMPLOYED BY THE CONTRACTOR IN ORDER TO DELIVER A COMPLETE PROJECT.
- CONTRACTOR SHALL CLARIFY ANY UNCLEAR INFORMATION THEY IDENTIFY IN THE PLAN SET OR IN THE CONTRACT DOCUMENTS DURING THE BID PERIOD.
- THIS PLAN SET DOES NOT SPECIFY EXACT JOB SEQUENCING OR CONTRACTOR'S MEANS & METHODS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE JOB TO AVOID SUB-CONTRACTOR & TRADE CONFLICTS, WORK DELAYS, AND WORK STOPPAGES IN SITE CONSTRUCTION. THIS INCLUDES STAGING AND SCHEDULING OF SITE PLAN ELEMENTS OR CONSTRUCTION PRACTICES FOR MATERIAL AND EQUIPMENT THAT OVERLAP OR OCCUPY THE SAME PHYSICAL FOOTPRINT EITHER CONCURRENTLY OR DURING DIFFERENT PERIODS OF SITE CONSTRUCTION.

DEMOLITION PLAN:

- PERFORM ALL WORK IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.
- USE ALL MEANS NECESSARY TO CONTROL DUST AT THE SITE. PROVIDE STREET CLEANING WHEN NECESSARY OR DIRECTED.
- LEGALLY DISPOSE OF ANY EXCESS MATERIALS OFF-SITE AT NO ADDITIONAL COST TO THE OWNER.
- WORK IS TO BE PERFORMED SO THAT INTERRUPTIONS TO THE OPERATIONS OF ADJACENT FACILITIES ARE AVOIDED.
- DIMENSIONS PROVIDED ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF QUANTITY TAKEOFF.
- ANY PROPERTY PINS DAMAGED AS A PART OF CONSTRUCTION SHALL BE RESET BY A NORTH CAROLINA REGISTERED SURVEYOR.
- SEED DISTURBED GROUND ACCORDING TO EROSION CONTROL DETAILS.
- SAW-CUT EXISTING PAVEMENT, CONCRETE AND CURB & GUTTER AT LIMITS OF STRAIGHT TO FULL DEPTH USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
- PAVEMENT REMOVAL AREAS SHALL INCLUDE ALL OF THE PAVEMENT STRUCTURE (ASPHALT, CONCRETE, BASE STONE, ETC.).
- CONTRACTOR SHALL ENGAGE NC ONE CALL OR A PRIVATE UTILITY LOCATION SERVICE TO MARK ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS, OR OTHER PROTECTIONS TO EXISTING ITEMS INDICATED TO REMAIN, APPLY PROTECTIONS TO ADJACENT PROPERTIES AS REQUIRED. RESTORE DAMAGED WORK TO THE CONDITION EXISTING PRIOR TO THE START OF WORK, UNLESS OTHERWISE DIRECTED. PROTECT EXISTING TREES AND VEGETATION WHICH ARE TO REMAIN FROM PHYSICAL DAMAGE.
- ALL DEMOLITION DEBRIS SHALL BE LEGALLY DISPOSED OF OFF-SITE.

SITE CLEARING:

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND ALL ELSE REQUIRED FOR AND TO PERFORM ALL CLEARING AND GRUBBING OF THE DESIGNATED AREAS.
- IN AREAS DESIGNATED TO BE CLEARED AND GRUBBED, ALL STUMPS, ROOTS, BURIED LOGS, BRUSH, GRASS AND OTHER UNSATISFACTORY MATERIALS SHALL BE REMOVED. THE ROOTS AND OTHER PROJECTIONS WITHIN EXCAVATION AREAS OVER ONE AND ONE-HALF (1-1/2) INCHES IN DIAMETER SHALL BE GRUBBED OUT TO A DEPTH OF AT LEAST EIGHTEEN (18) INCHES BELOW THE FINISHED SUBGRADE ELEVATION OR SLOPE GRADE. STUMPS, ROOTS AND OTHER PROJECTIONS WITHIN EMBANKMENT AREAS SHALL BE COMPLETELY GRUBBED OUT TO A DEPTH OF NOT LESS THAN EIGHT (8) INCHES BELOW THE EXISTING GROUND LEVEL.
- ALL DEBRIS AND OTHER ITEMS TO BE REMOVED FROM THE SITE SHALL BE DONE SO AT THE CONTRACTOR'S EXPENSE. WASTE ITEMS AND MATERIALS SHALL BE LEGALLY DISPOSED OF AS DIRECTED BY THE OWNER.

TRENCHING, DEWATERING AND BACKFILLING:

- ALL PIPE LINES SHALL BE LAID TO SUCH LINE AND GRADE SO AS NOT TO CONFLICT WITH WATER, SEWER, GAS, STORM SEWER OR OTHER EXISTING UTILITY LINES OR SERVICES. ALL PIPE LINES SHALL GENERALLY BE LAID TO LINE AND GRADE SHOWN ON THE CONTRACT DRAWINGS.
- THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES INDICATED ON THE CONTRACT DRAWINGS ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK. EXCAVATIONS IN THE VICINITY OF EXISTING STRUCTURES AND UTILITIES SHALL BE DONE CAREFULLY BY HAND.
- EXCAVATION AND TRENCHING WORK SHALL INCLUDE THE REMOVAL AND SUBSEQUENT HANDLING OF ALL UNSUITABLE MATERIALS EXCAVATED OR OTHERWISE REMOVED IN PERFORMANCE OF THE CONTRACT WORK.
- EXCAVATED MATERIALS SHALL BE DEPOSITED IN AREAS DESIGNATED BY THE OWNER. THE CONTRACTOR SHALL AVOID DEPOSITING EXCAVATED MATERIALS ON PAVEMENTS, SIDEWALKS OR GRASS PLOTS, EXCEPT ON AUTHORIZATION OF THE OWNER AND THEN ONLY WHEN ADEQUATE TEMPORARY PROVISIONS HAVE BEEN MADE FOR PASSAGE AND PROTECTION OF PEDESTRIANS AND VEHICLES.
- ADEQUATE BRIDGING AND PLANKED CROSSINGS MUST BE PROVIDED AND MAINTAINED ACROSS ALL OPEN TRENCHES FOR PEDESTRIANS AND VEHICLES.
- THE CONTRACTOR SHALL SHORE UP OR OTHERWISE PROTECT ALL FENCES, BUILDINGS, WALLS, WALKS, CURBS OR OTHER PROPERTY ADJACENT TO ANY EXCAVATION WHICH MIGHT BE DISTURBED DURING THE PROGRESS OF THE WORK. THE PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES IN AREAS OF WORK.
- BARRICADE OPEN EXCAVATIONS AND PROVIDE WARNING LIGHTS FROM DUSK TO DAWN EACH DAY.
- PROVIDE BRACING AND SHORING AS REQUIRED IN EXCAVATIONS. TO MAINTAIN SIDES AND TO PROTECT ADJACENT STRUCTURES FROM SETTLEMENT. COMPLYING WITH LOCAL CODES AND REGULATIONS. MAINTAIN UNTIL EXCAVATIONS ARE BACKFILLED.
- DEWATERING EQUIPMENT SHALL BE PROVIDED TO REMOVE AND DISPOSE OF ALL SURFACE AND GROUND WATER ENTERING EXCAVATIONS, TRENCHES, OR OTHER PARTS OF THE WORK. WATER FROM DEWATERING OPERATIONS SHALL BE ROUTED THROUGH A DEWATERING FILTER BAG.
- EACH EXCAVATION SHALL BE KEPT DRY DURING SUBGRADE PREPARATION AND CONTINUALLY THEREAFTER UNTIL THE STRUCTURE TO BE BUILT, OR THE PIPE TO BE INSTALLED THEREIN, IS COMPLETED TO THE EXTENT THAT NO DAMAGE FROM HYDROSTATIC PRESSURE, FLOTATION, OR OTHER CAUSE WILL RESULT.
- ALL EXCAVATIONS FOR CONCRETE STRUCTURES OR TRENCHES WHICH EXTEND DOWN TO OR BELOW GROUND WATER SHALL BE DEWATERED BY LOWERING AND KEEPING THE GROUND WATER LEVEL BENEATH SUCH EXCAVATIONS 12 INCHES OR MORE BELOW THE BOTTOM OF THE EXCAVATION.
- WHENEVER UNSUITABLE OR UNSTABLE SOIL CONDITIONS WHICH CANNOT BE CORRECTED BY DEWATERING ARE ENCOUNTERED, TRENCHES SHALL BE EXCAVATED BELOW GRADE AND THE TRENCH BOTTOM SHALL BE BROUGHT TO GRADE WITH SUITABLE STABILIZATION MATERIAL.
- SUBGRADES FOR STRUCTURES AND TRENCH BOTTOMS SHALL BE FIRM AND THOROUGHLY COMPACTED. SHALL BE FREE FROM SILT AND MUCK; AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET OF THE WORKMEN.
- SUBGRADES FOR CONCRETE STRUCTURES OR TRENCH BOTTOMS WHICH ARE OTHERWISE SOLID, BUT WHICH BECOME MUCKY ON TOP DUE TO CONSTRUCTION OPERATIONS, SHALL BE REINFORCED WITH CRUSHED ROCK OR GRAVEL. THE STABILIZING MATERIAL SHALL BE SPREAD AND COMPACTED TO A DEPTH OF NOT MORE THAN 4 INCHES. NOT MORE THAN 1/2 INCH DEPTH OF MUD OR MUCK SHALL BE ALLOWED TO REMAIN ON STABILIZED TRENCH BOTTOMS WHEN THE PIPE BEDDING MATERIAL IS PLACED THEREON.
- THE FINISHED ELEVATION OF STABILIZING SUBGRADES SHALL NOT BE ABOVE SUBGRADE ELEVATIONS INDICATED ON THE DRAWINGS.

16. BACKFILL COMPACTED TO 95 PERCENT WILL BE REQUIRED FOR THE FULL DEPTH OF THE TRENCH ABOVE THE PIPE. THE METHOD OF COMPACTATION AND THE EQUIPMENT USED SHALL BE APPROPRIATE FOR THE MATERIAL TO BE COMPACTED AND SHALL NOT TRANSMIT DAMAGING SHOCKS TO THE PIPE.

17. BACKFILL MATERIAL SHALL BE COMPACTED TO THE SPECIFIED PERCENT OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698.

18. THE TOP PORTION OF BACKFILL BENEATH ESTABLISHED LAWN AREAS SHALL BE FINISHED WITH NOT LESS THAN 4 INCHES OF TOPSOIL CORRESPONDING TO, OR BETTER THAN, THAT UNDERLYING ADJOINING LAWN AREAS.

STORM DRAINAGE PIPING:

- ALL PIPE MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES".
- ALL PIPE JOINTS AND CONNECTIONS MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S, ASTM AND NCDOT PROVISIONS, SPECIFICATIONS, AND STANDARDS SO AS TO BE SOIL TIGHT AND LEAK RESISTANT.
- PIPE INSTALLATION SHALL CONFORM TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
- DURING CONSTRUCTION, MINIMUM HEIGHTS OF COVER OVER STORM SEWER PIPING TO BE SUBJECTED TO TRAFFIC LOADINGS ARE TO BE MAINTAINED PER NCDOT REQUIREMENTS.
- ALL CONCRETE PIPES ARE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
- ALL STORM PIPES ARE TO BE INSTALLED PER THE LATEST NCDOT ROAD AND BRIDGE STANDARDS AND DETAILS AND MANUFACTURER'S RECOMMENDATIONS.

STORM DRAINAGE STRUCTURES:

- CONTRACTOR SHALL EXCAVATE SUFFICIENT AREA TO THE ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF PLUS OR MINUS 0.10'. EXCAVATIONS SHALL EXTEND A SUFFICIENT DISTANCE FROM FOOTINGS AND FOUNDATIONS TO PERMIT PLACEMENT AND REMOVAL OF FORMWORK, INSTALLATION OF SERVICES AND INSPECTION OF CONSTRUCTION.
- DRAINAGE STRUCTURES SHALL BE BUILT OF THE MATERIALS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL CONSTRUCT ALL INDICATED DRAINAGE STRUCTURES IN ACCORDANCE WITH THE DRAWINGS, DETAILS, AND NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.

GRADING PLAN:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES AND TOWN OF KILL DEVIL HILLS SPECIFICATIONS AND STANDARDS WHERE APPLICABLE.
- ALL SITE GRADING, EXCAVATION, BACKFILL AND FILL SHALL COMPLY WITH THE REQUIREMENTS SET FORTH BY THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.
- ACCESSIBLE PARKING SPACES MUST MEET ADA STANDARDS AND HAVE A MAXIMUM SLOPE OF 2.00% IN ANY DIRECTIONS.
- PROOF ROLL EXPOSED SOILS USING A HEAVILY-LOADED, TANDEM-AXLE TRUCK IN THE PRESENCE OF A REPRESENTATIVE OF THE TESTING AGENCY TO DETECT SOFT, WET OR WEAK ZONES. IF THE EXPOSED SOILS ARE UNSTABLE, THE CONTRACTOR SHALL REPAIR THE SOILS AS DIRECTED BY THE TESTING AGENCY.
- ALL EXISTING VALVES, MANHOLES, AND OTHER APPURTANCES TO REMAIN LOCATED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO FINISH GRADE.

LAYOUT PLAN:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF NCDOT, NCDEQ, AND THE TOWN OF SOUTHERN SHORES.
- ALL DIMENSIONS ARE FROM THE FACE OF CURB UNLESS NOTED OTHERWISE.
- QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR PERFORMING THEIR OWN QUANTITY TAKEOFF.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL STOP SIGNS, DIRECTIONAL SIGNS, AND STRIPING SHOWN ON THE PLANS.

PAVING:

- ABC STONE BASE AND BITUMINOUS CONCRETE PAVING WEATHER LIMITATIONS: APPLY PRIME AND TACK COSTS ONLY WHEN AMBIENT TEMPERATURE IS ABOVE 50°F, AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35°F FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS AN EXCESS OF MOISTURE. CONSTRUCT BITUMINOUS CONCRETE SURFACE COURSE ONLY WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40°F, AND WHEN BASE IS DRY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30°F AND RISING.
- CONTRACTOR SHALL PLACE COMPACTED BASE COURSE AT DEPTHS INDICATED IN DETAIL DRAWINGS TO ACHIEVE REQUIRED FINISH GRADE.
- BASE COURSE SHALL BE CONSTRUCTED OF GRADED CRUSHED STONE MATERIAL, NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS STANDARD STONE TYPE ABC.
- THE BASE MATERIAL AND METHOD OF CONSTRUCTION SHALL MEET THE STANDARD REQUIREMENTS OF THE NCDOT DIVISION OF HIGHWAYS.
- SURFACE COURSE SHALL BE 2" OF SF TYPE 9.5A PLANT MIX CONCRETE. MATERIALS USED AND METHOD OF MIXING, PLACING, COMPACTING, ETC., SHALL MEET THE STANDARD REQUIREMENTS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30°F AND RISING.
- APPLY PRIME AND TACK COATS ONLY WHEN AMBIENT TEMPERATURE IS ABOVE 50°F, AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35°F FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS AN EXCESS OF MOISTURE. CONSTRUCT BITUMINOUS CONCRETE SURFACE COURSE ONLY WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40°F, AND WHEN BASE IS DRY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30°F AND RISING.

STRIPING NOTES:

- CONTRACTOR SHALL STRIPE PARKING LOT IN ACCORDANCE WITH THE DRAWINGS.
- THE CONTRACTOR SHALL SWEEP AND CLEAN THE NEW PAVEMENT SURFACE TO ELIMINATE LOOSE MATERIAL AND DUST.
- DO NOT PAINT INSIDE THE GUTTER PAN IN ANY AREA.
- PAVEMENT MARKING PAINT SHALL BE TYPE A, WATER EMULSION BASE, TRAFFIC PAINT CONFORMING TO THE REQUIREMENTS OF THE LATEST VERSION OF NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES. COLOR SHALL BE WHITE UNLESS OTHERWISE INDICATED.
- ALL PAVEMENT MARKINGS SHALL BE INSTALLED WITH SLIP-RESISTANT PAINT.
- APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN 2 COATS AT MANUFACTURER'S RECOMMENDED RATES.
- CONTRACTOR SHALL TIE ALL PROPOSED PAVEMENT MARKINGS TO EXISTING MARKINGS AT THE PROJECT LIMITS.

MARKETPLACE SHOPPING CENTER SOUTHERN SHORES, NC POST-REDEVELOPMENT

No.	New Size	Post-Redevelopment Status	Use Category Proposed	Total # of Employees	Medical Clinics	Restaurants	Retail	Square Footage	Parking Spaces Required by Code as per 2020-12-17	FFE
5531	1	Farm Bureau Insurance	3,750	Remains	Gen Ofc	7		3,750	16	9.6
5535	2	Scott Team Realty	1,177	Remains	Gen Ofc	4		1,177	6	9.4
5537	3	Shun King Chinese Restaurant	1,177	Remains	Restaurant				13	10.2
5539	4	Food Lion #1274	52,265	Remains	Grocery			52,265	105	11.9
5545	5	Dollar Tree	10,007	Remains	Retail			10,007	34	13.7
5547	6	CVS	11,200	Remains	Retail			11,200	38	11.8
5549	7	Marshalls	24,000	Relo	Retail			24,000	80	
5551	8	Vacant	6,000	Relo/Demo/Rebuild	Proposed Retail			6,000	20	
5557	14		0	Space Demolished					0	
5559	14		0	Space Demolished					0	
5561	14		0	Space Demolished					0	
5565	14-16		0	Space Demolished					0	
5567	16		0	Relo/Demo					0	
5569	17	Affordable Optical (Existing)	1,560	Remains	Clinic				11	9
5571	18	Affordable Optical (Expansion)	1,348	Remains	Clinic				0	9.1
5573	19	Vacant	1,046	Remains	Proposed Restaurant				4	25
5575	20	Vacant	1,287	Remains	Restaurant				5	25
5579	21	Vacant	1,820	Remains	Proposed Retail				1,820	7
5581	22	Vacant	1,080	Remains	Proposed Retail				1,080	4
5583	23	[Coastal Rehabilitation]	1,080	Remains	Gen Ofc	5			1,080	7
5585	24	[Coastal Rehabilitation]	1,290	Remains	Gen Ofc	7			1,290	8
5587	25	Charter Communications	2,040	Remains	Retail				2,040	7
5589	26	Tidewater Skin Care	2,000	Remains	Clinic				10	2
5591	27	Cosmo's Pizza	1,393	Remains	Restaurant				4	59
5593	28	Vacant	1,470	Remains	Proposed Restaurant				5	50
5593-A	29	Vacant	1,514	Remains	Proposed Retail				1,514	6
5595	30	Keller Williams Realty	5,100	Remains	Gen Ofc	12			5,100	23
5597-C	31	A Wireless	1,747	Remains	Retail				1,747	6
5597-B	32	Jersey Miles	1,648	Remains	Restaurant				8	35
5597-A	33	Starbucks	1,747	Remains	Restaurant				8	26
Totals									138,746	521

PARKING CALCULATIONS:

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 08/09/2021

DESIGNED BY: BCD

CHECKED BY: KDH

SCALE: -

DATE: 06/15/21

DRAWN BY: BCD

DESIGNED BY: KDH

CHECKED BY: KDH

SCALE: -

REVISION DESCRIPTION

REVISOR

DATE

06/15/21

BCD

KDH

KDH

SCALE

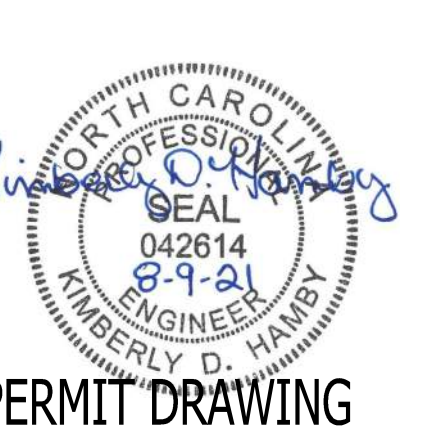
06/15/21

BCD

KDH

KDH

SCALE



NOT FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE ELIZABETH CITY OFFICE
1805 West City Drive, Unit E | Elizabeth City, NC, 28526
TEL 252.621.3030 FAX 252.362.0974 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 06/15/21

DRAWN BY: BCD

DESIGNED BY: KDH

CHECKED BY: KDH

SCALE: -

TIMMONS GROUP

MODIFICATIONS TO THE MARKETPLACE SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

GENERAL NOTES

JOB NO. 44588

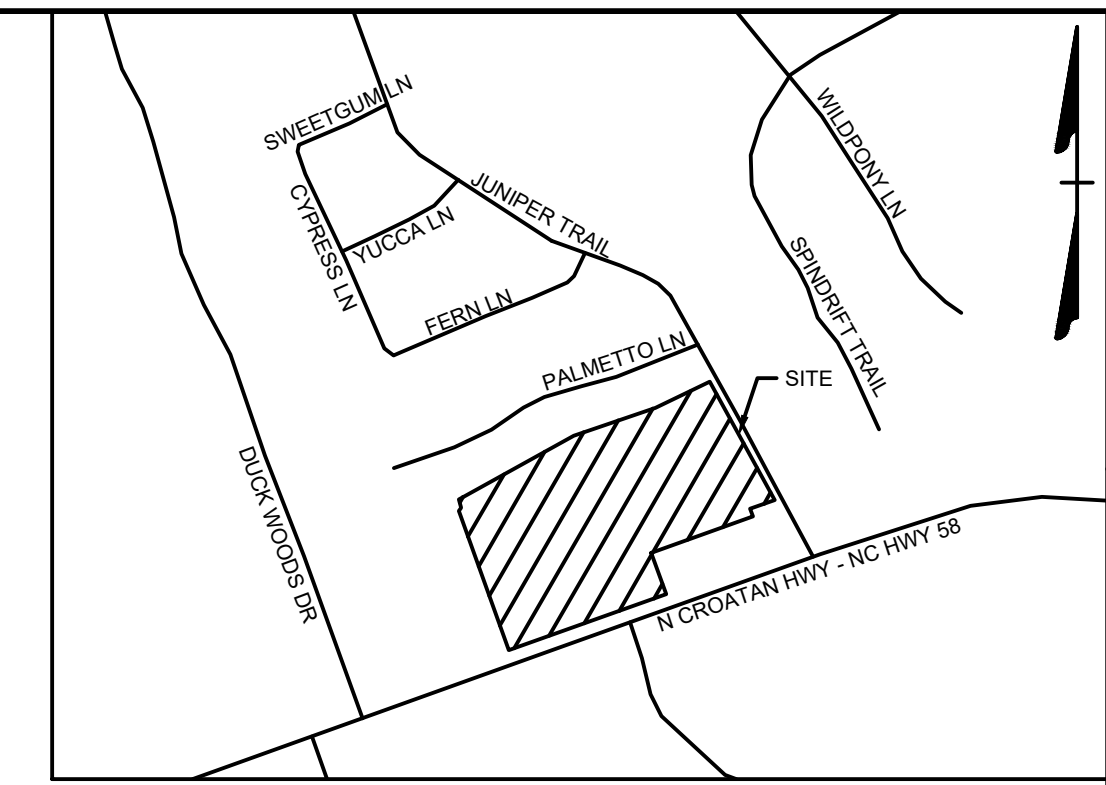
SHEET NO. C0.1

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SITE DATA:

- OWNER:
SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

REGISTERED AGENT/DEVELOPER
ASTON PROPERTIES, INC.
CONTACT: KAREN PARTTEE
(704) 366-7337
- SITE INFORMATION:
PIN#: 986720717057
PARCEL#: 022510000
D.B. 1982, PG. 893
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SOUTHERN SHORES, NC 27949
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- TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.



VICINITY MAP
NO SCALE



PERMIT DRAWING

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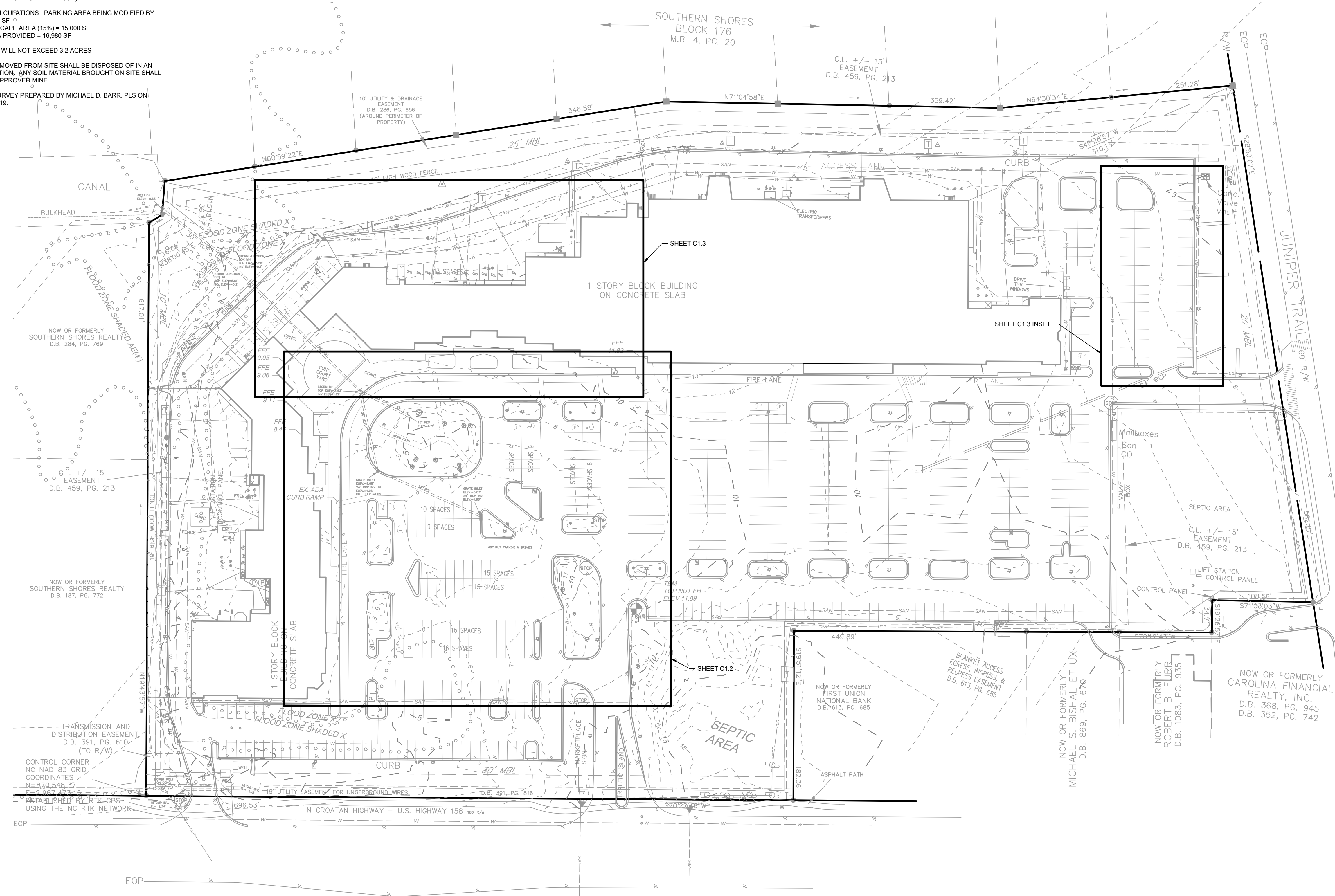
DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.	DATE	06/15/21
	DRAWN BY	KDH
	DESIGNED BY	
	CHECKED BY	KDH
	SCALE	1"=60'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

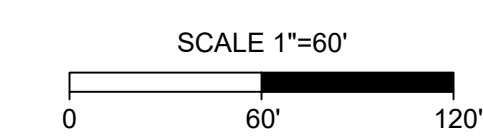
MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
EXISTING CONDITIONS OVERVIEW

JOB NO. 44588
SHEET NO. C1.0



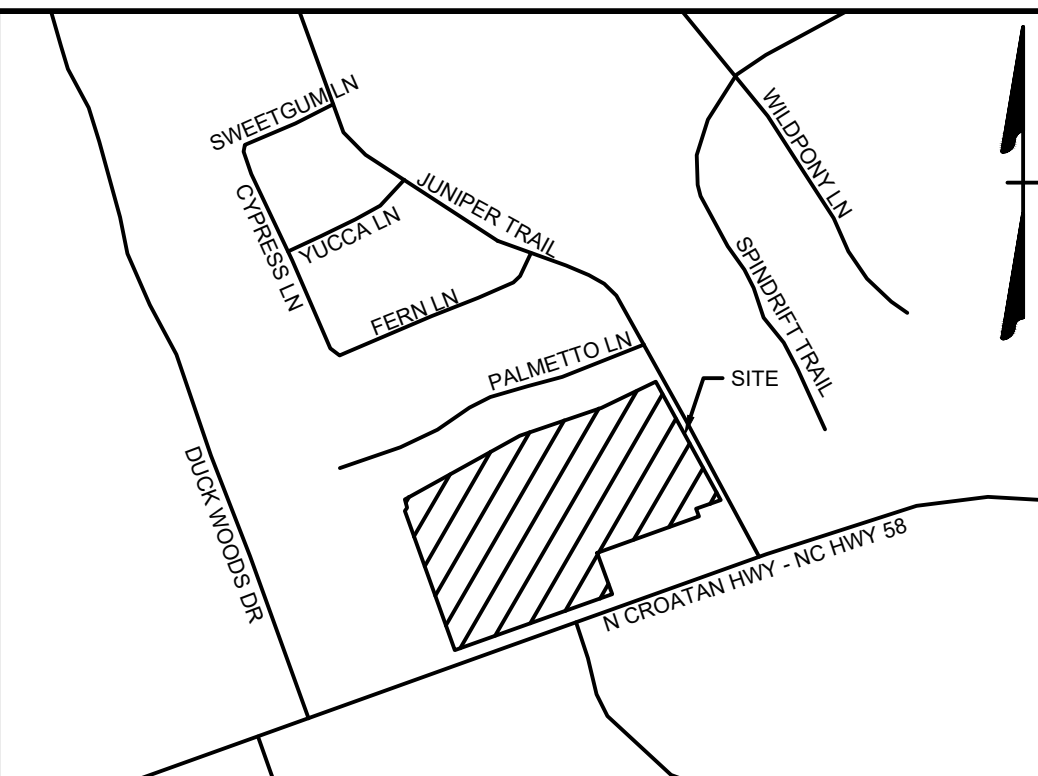
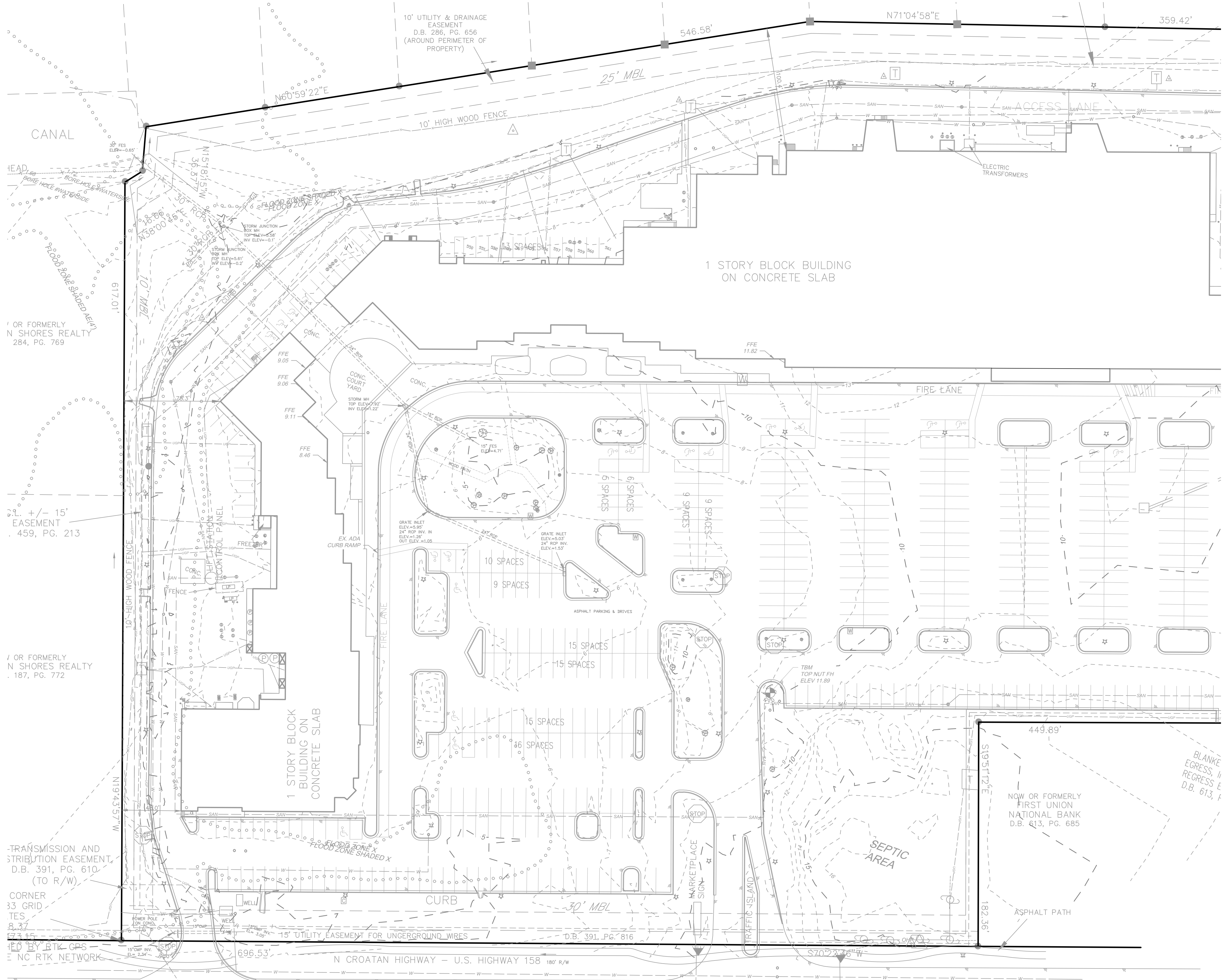
LEGEND

	BENCHMARK
	EX IRON ROD
	EX SEWER MANHOLE
	EX LIGHT POLE
	EX WATER VALVE
	EX FIRE HYDRANT
	EX WATER METER
	EX BOLLARD
	EX CATCH BASIN
	EX STORMWATER MANHOLE
	BOUNDARY
	RIGHT-OF-WAY
	ADJOINING PROPERTY BOUNDARY
	BUILDING SETBACK
	EX EDGE OF PAVEMENT
	EX CENTERLINE
	EX FENCE
	EX CULVERT PIPE
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX FLOOD ZONE LIMITS
	EX UNDERGROUND POWER LINE
	EX WATER LINE
	EX SANITARY SEWER LINE

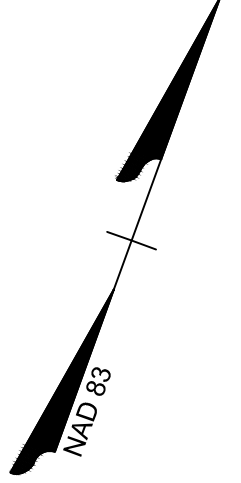


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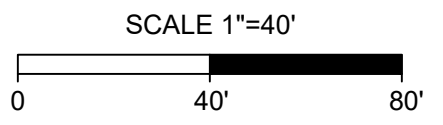


VICINITY MAP
NO SCALE



LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
- EX. CATCH BASIN
- EX. STORMWATER MANHOLE
- BOUNDARY
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- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
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- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. FLOOD ZONE LIMITS
- EX. UNDERGROUND POWER LINE
- EX. WATER LINE
- EX. SANITARY SEWER LINE



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YOUR VISION ACHIEVED THROUGH OURS.

DATE: 08/09/2021
DRAWN BY: KDH

DESIGNED BY: KDH

CHECKED BY: KDH

SCALE: 1"=40'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS

JOB NO.
44588

SHEET NO.
C1.1

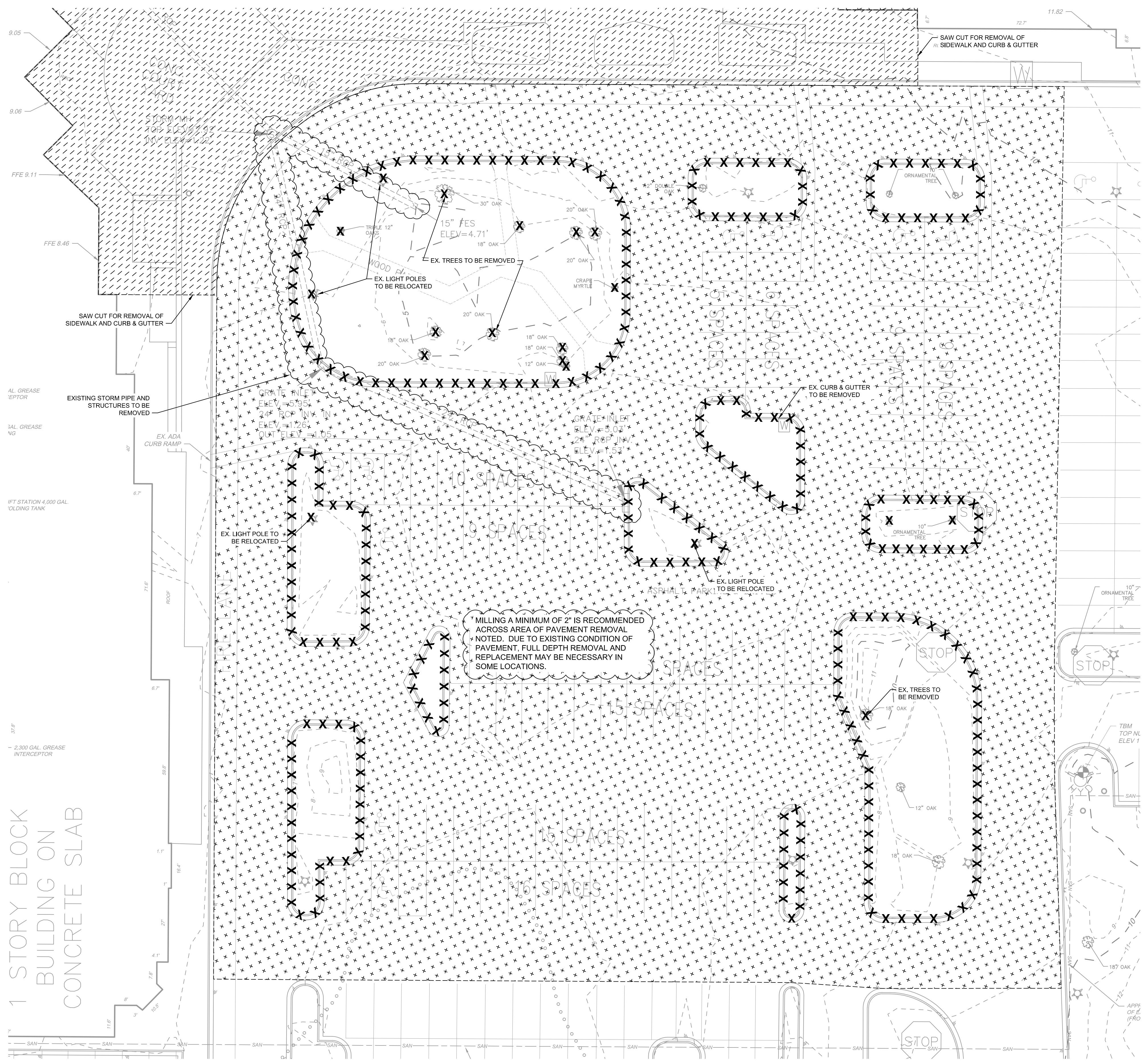
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SITE DATA:

- OWNER:
SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

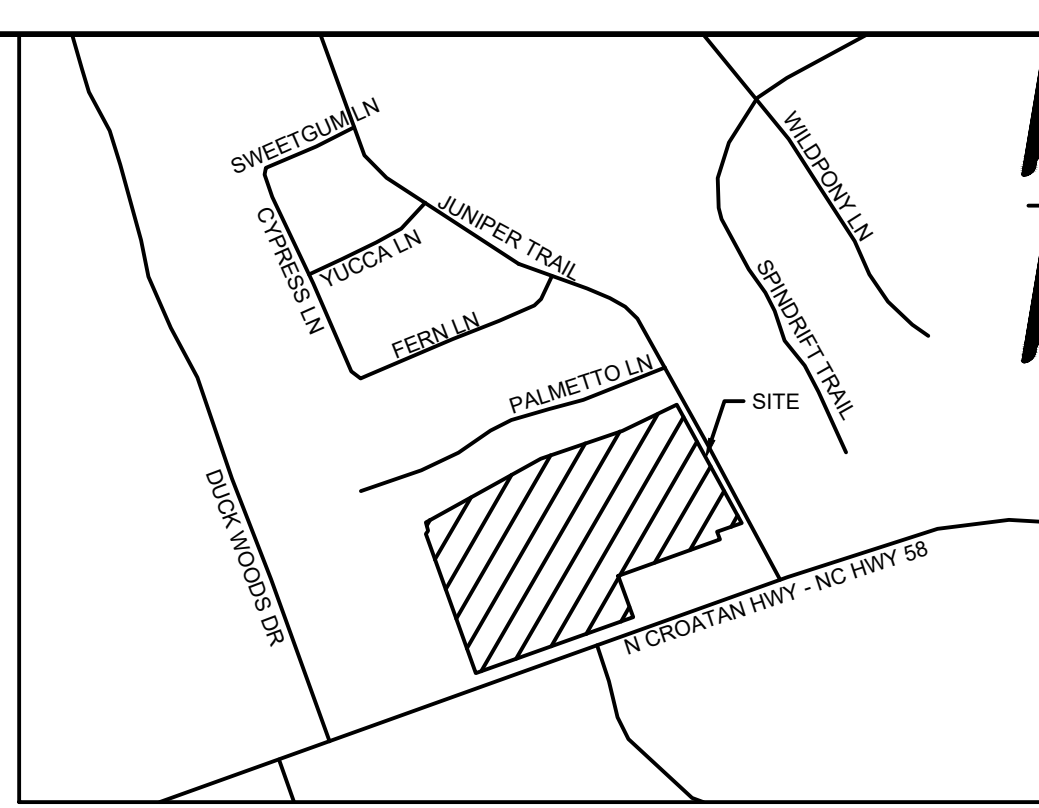
REGISTERED AGENT/DEVELOPER:
ASTON PROPERTIES, INC.
CONTACT: KAREN PARTEE
(704) 366-7337
- SITE INFORMATION:
PIN#: 98672071057
PARCEL#: 022510000
D.B. 1982 PG. 893
SITE AREA: 18.1 AC
ZONING: COMMERCIAL HIGHWAY PRIMARY
ADDRESS: 5539 NORTH CROATAN HIGHWAY
SOUTHERN SHORES, NC 27949
- SITE LOCATED IN FLOOD ZONES "X", "SHADED X" AND "AE(4)" ACCORDING TO FIRM MAP NUMBER 3720986700K, DATED JUNE 19, 2020. THE TOWN HAS ADOPTED A LOCAL ELEVATION STANDARD OF 8'.
- THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION TAKEN FROM SURVEY TITLED "MARKETPLACE SHOPPING CENTER", BY MICHAEL D. BARR, PLS ON OCTOBER 30, 2017.
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5.1% OF 529,719 SF = 27,016 SF
PERVIOUS PAVER AREA PROVIDED = 28,332 SF
- PARKING:
EXISTING SPACES = 587
EXISTING TO BE REMOVED = 124
PROPOSED NEW = 150
FINAL TOTAL = 613
(INCLUDING 12 ADA SPACES)
REQUIRED ADA SPACES = 2% OF TOTAL
614 * 0.02 = 12 ADA SPACES
REQUIRED SPACES = 514
(SEE CALCULATIONS ON SHEET C0.1)
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124 PARKING SPACES BEING DEMOLISHED INCLUDING 9 ADA SPACES (THIS TOTAL INCLUDES 11 SPACES BEING STRIPED OUT TO ALLOW FOR IMPROVED TRUCK ACCESS).



LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
- EX. CATCH BASIN
- EX. STORMWATER MANHOLE
- BOUNDARY
- RIGHT-OF-WAY
- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
- EX. FENCE
- EX. CULVERT PIPE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. FLOOD ZONE LIMITS
- EX. UNDERGROUND POWER LINE
- EX. WATER LINE
- EX. SANITARY SEWER LINE
- EX. BUILDING TO BE DEMOLISHED
- EX. PAVEMENT TO BE MILLED
- EX. CONCRETE/PAVEMENT TO BE REMOVED
- EX. OBJECT TO BE REMOVED



VICINITY MAP
NO SCALE

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TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

DEMOLITION PLAN

DATE

06/15/21

DRAWN BY

BCD

DESIGNED BY

KDH

CHECKED BY

KDH

SCALE

1"=20'

JOB NO.	44588
SHEET NO.	C1.2

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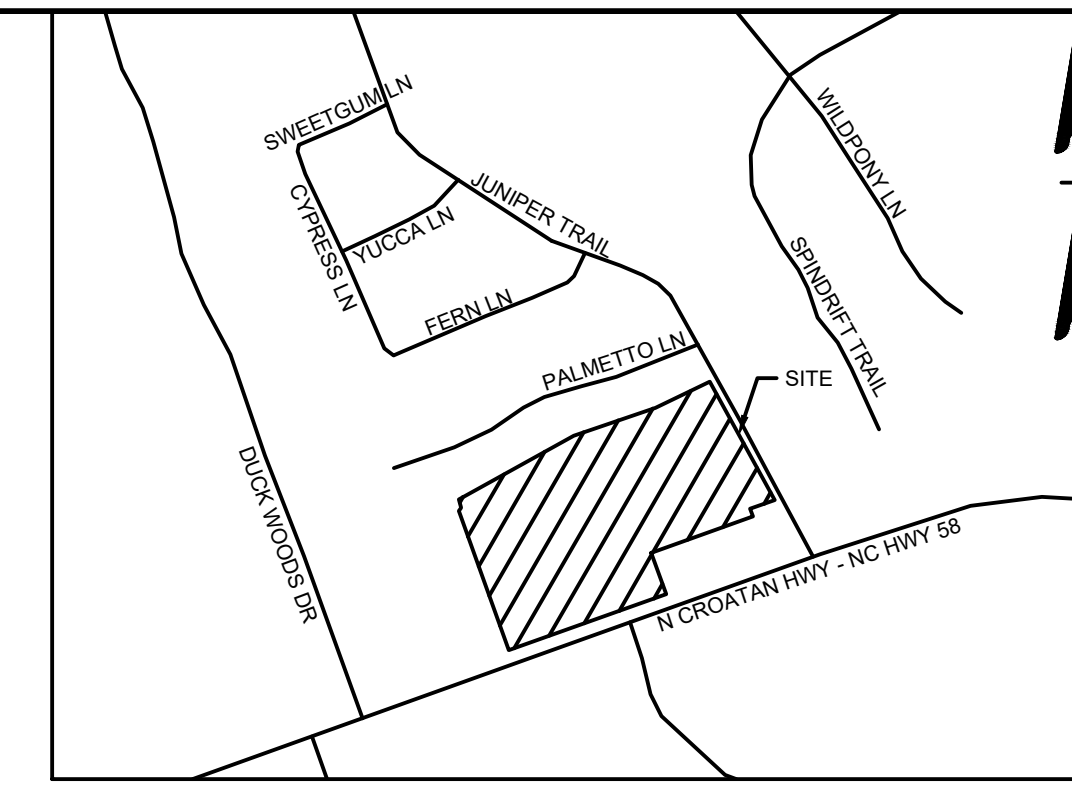
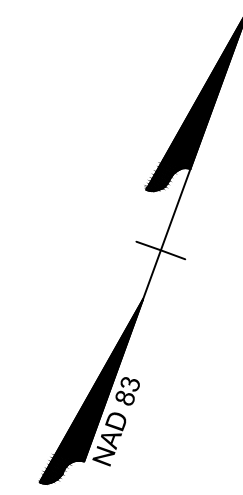
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610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

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PARCEL#: 022510000
D.B. 1982 PG. 893
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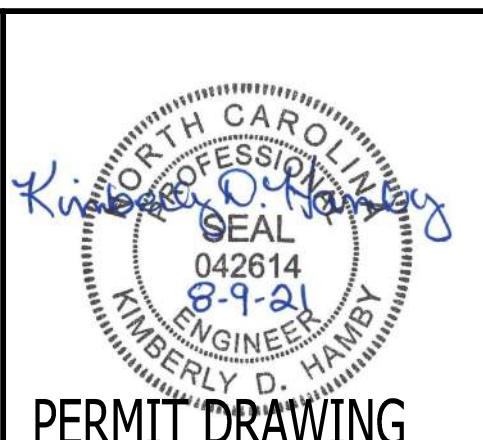
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LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
- EX. CATCH BASIN
- EX. STORMWATER MANHOLE
- BOUNDARY
- RIGHT-OF-WAY
- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
- EX. FENCE
- EX. CULVERT PIPE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. FLOOD ZONE LIMITS
- EX. UNDERGROUND POWER LINE
- EX. WATER LINE
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- EX. BUILDING TO BE DEMOLISHED
- EX. PAVEMENT TO BE MILLED
- EX. CONCRETE/PAVEMENT TO BE REMOVED
- EX. OBJECT TO BE REMOVED



VICINITY MAP
NO SCALE



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06/15/21	

DESIGNED BY
KDH

CHECKED BY
KDH

SCALE
1"=20'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

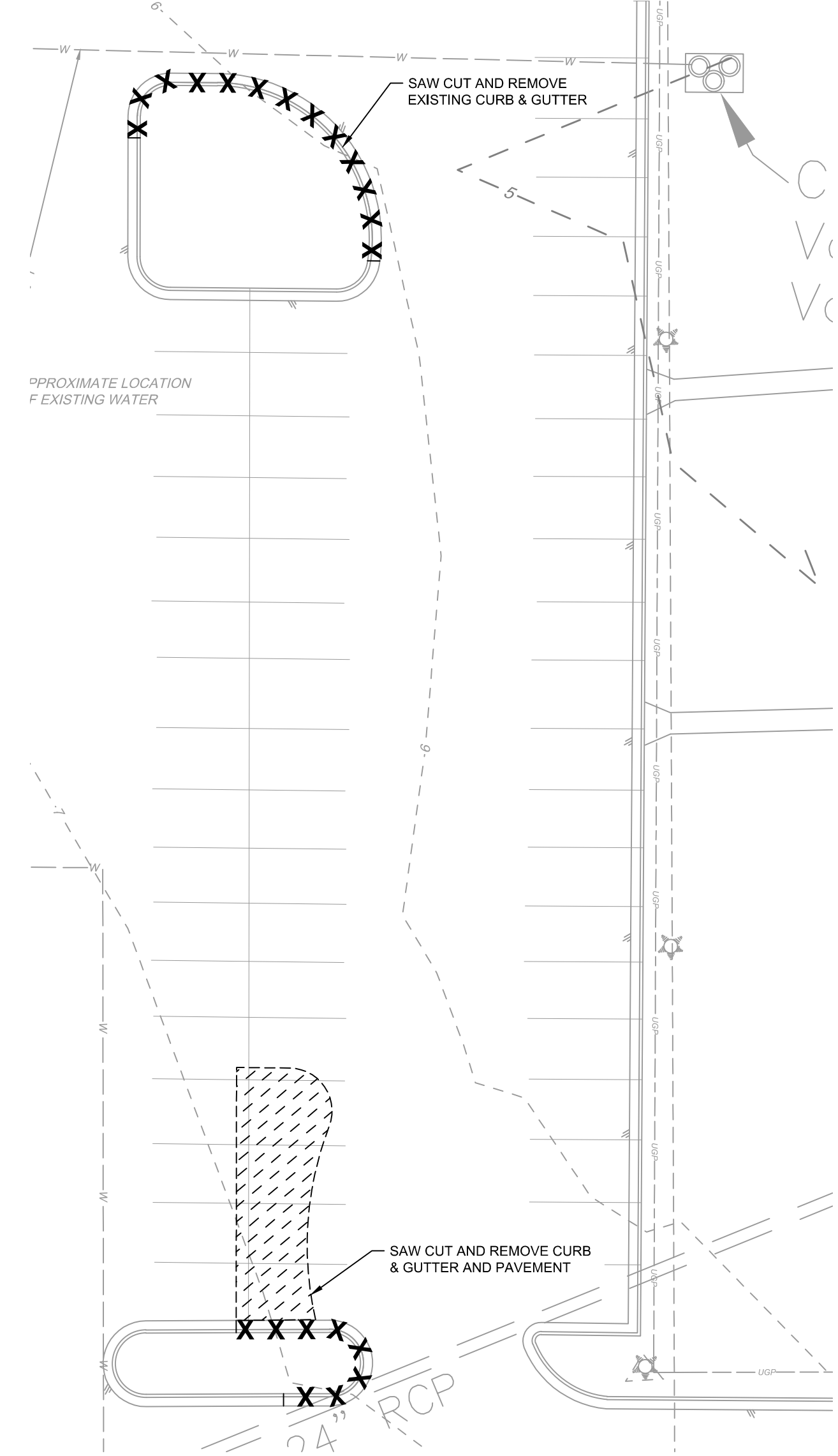
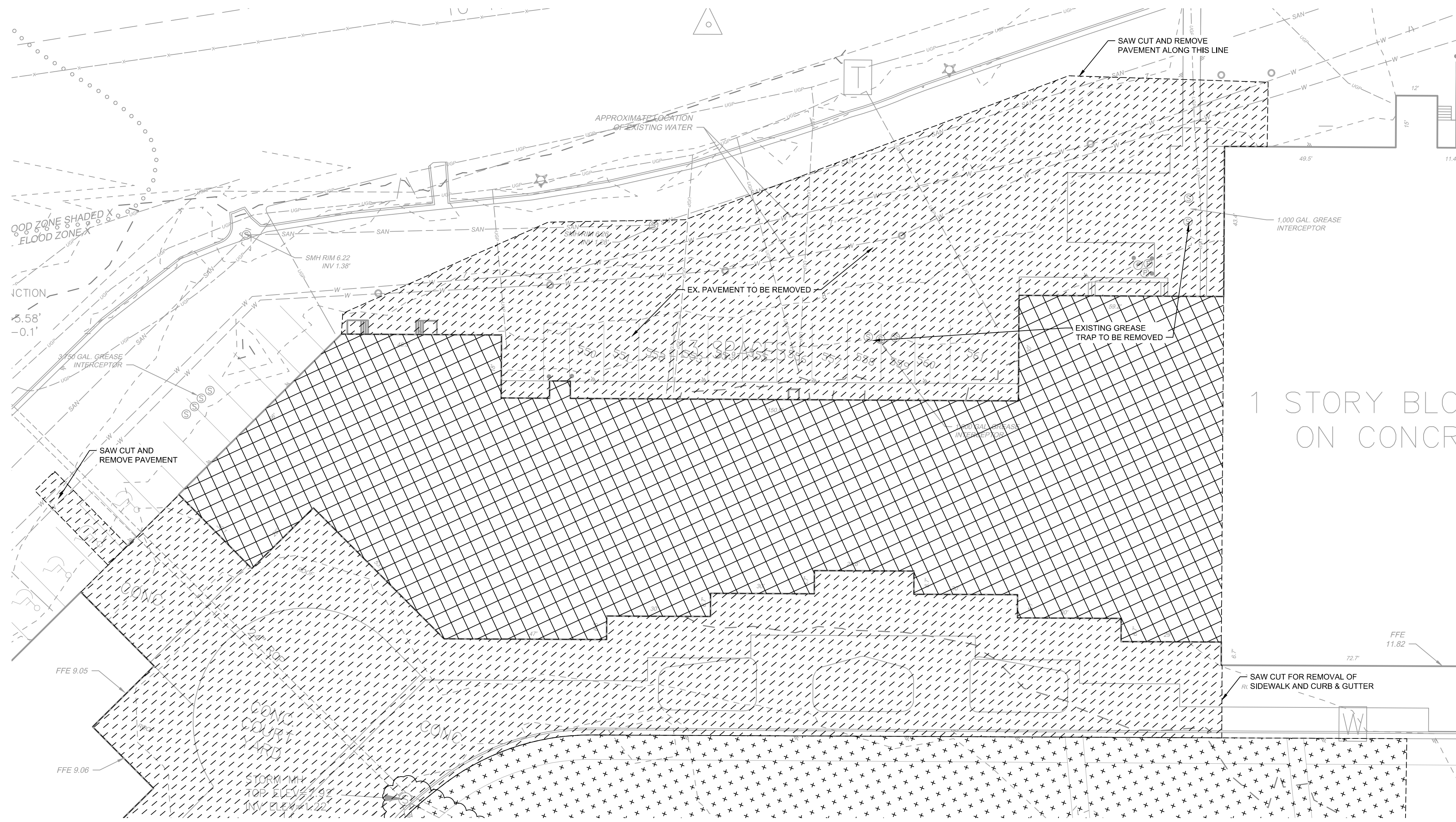
MODIFICATIONS TO THE MARKETPLACE

SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

DEMOLITION PLAN

JOB NO.
44588

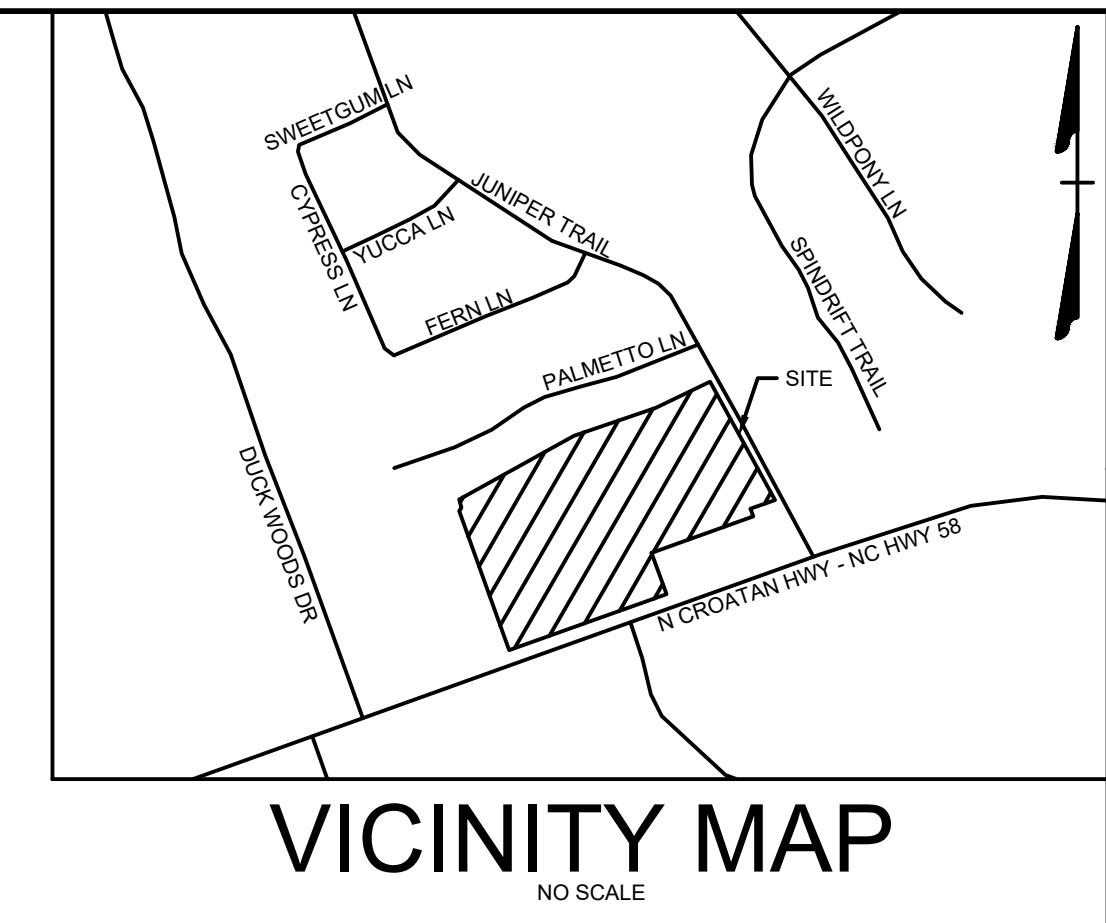
SHEET NO.
C1.3



INSET
SCALE 1"=20'

- SITE DATA:**
- OWNER:
SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

REGISTERED AGENT/DEVELOPER
ASTON PROPERTIES, INC.
CONTACT: KAREN PARTEE
(704) 366-7337
 - SITE INFORMATION:
PIN#: 98672017057
PARCEL#: 022510000
D.B. 1992 PG. 893
SITE AREA: 18.1 AC
ZONING: COMMERCIAL HIGHWAY PRIMARY
ADDRESS: 5339 NORTH CROATAN HIGHWAY
SOUTHERN SHORES, NC 27949
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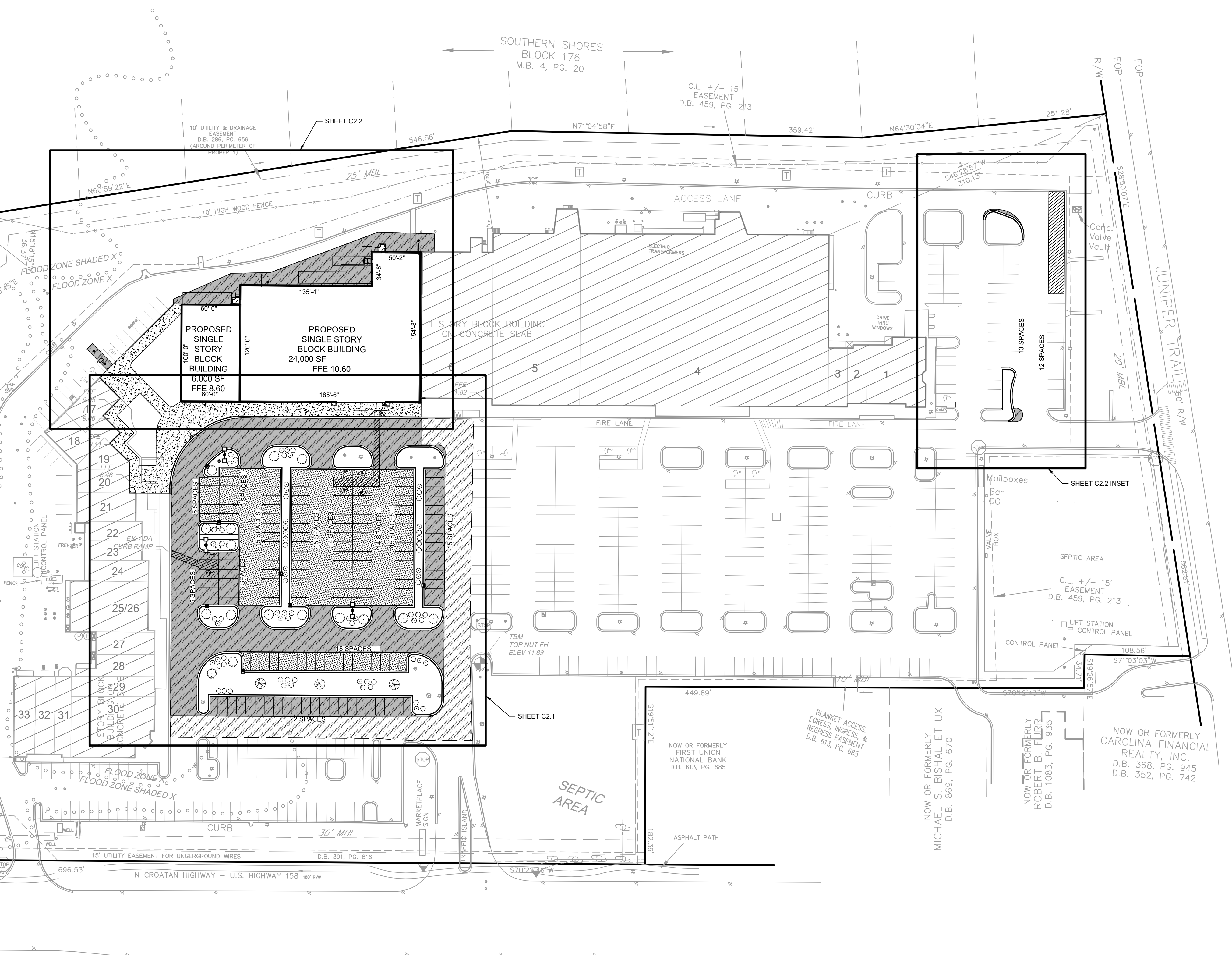
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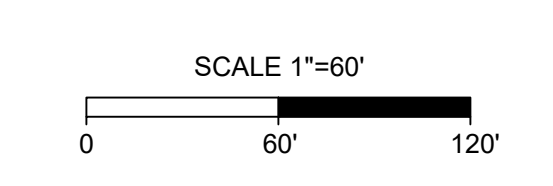
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DATE: 06/15/21
DRAWN BY: KDH
DESIGNED BY: KDH
CHECKED BY: KDH
SCALE: 1"=60'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
SITE PLAN OVERVIEW



- LEGEND**
- BENCHMARK
 - EX. IRON ROD
 - EX. SEWER MANHOLE
 - EX. LIGHT POLE
 - EX. WATER VALVE
 - EX. FIRE HYDRANT
 - EX. WATER METER
 - EX. BOLLARD
 - EX. CATCH BASIN
 - EX. STORMWATER MANHOLE
 - PROP. CURB INLET
 - PROP. SEWER CLEANOUT
 - PROP. WATER VALVE
 - PROP. FIRE HYDRANT
 - BOUNDARY
 - RIGHT-OF-WAY
 - ADJOINING PROPERTY BOUNDARY
 - BUILDING SETBACK
 - EX. EDGE OF PAVEMENT
 - EX. CENTERLINE
 - EX. FENCE
 - EX. FLOOD ZONE LIMITS
 - PROP. CONCRETE
 - PROP. PAVEMENT OVERLAY
 - PROP. FULL DEPTH PAVEMENT
 - PROP. PERMEABLE PAVERS
 - CREPE MYRTLE
 - HI-RISE LIVE OAK
 - LITTLE GEM MAGNOLIA
 - ELEANOR TABOR INDIAN HAWTHORN
 - JAPANESE PITTSPORIUM

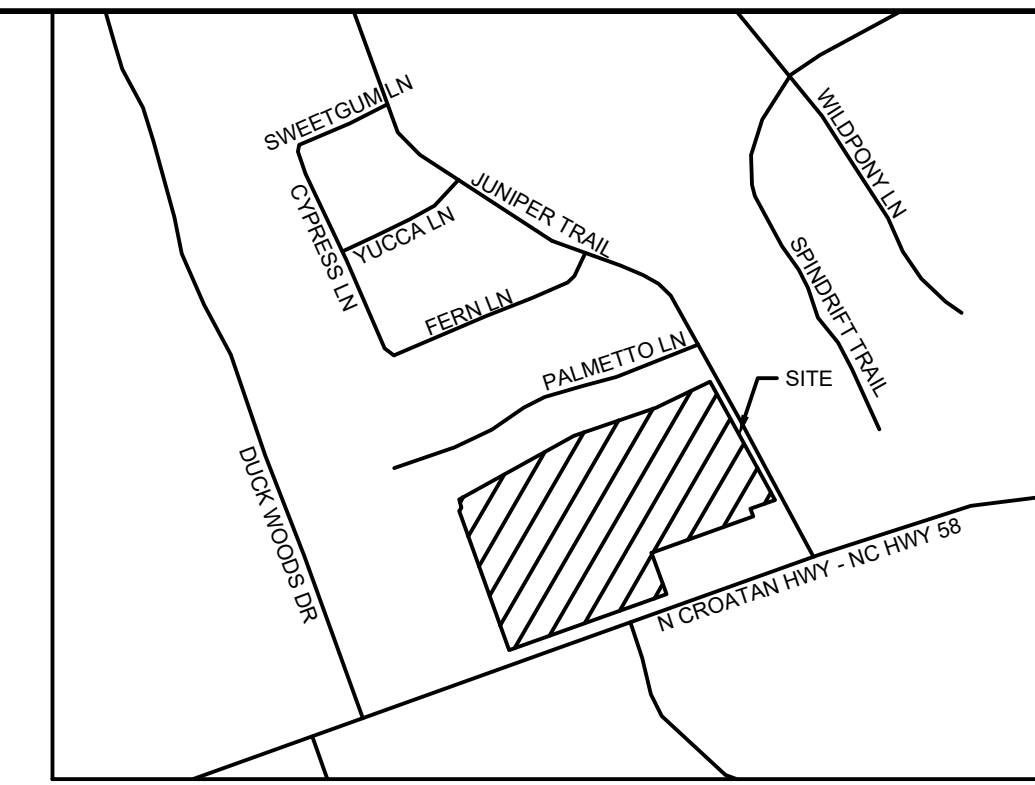


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PARCEL#: 022310000
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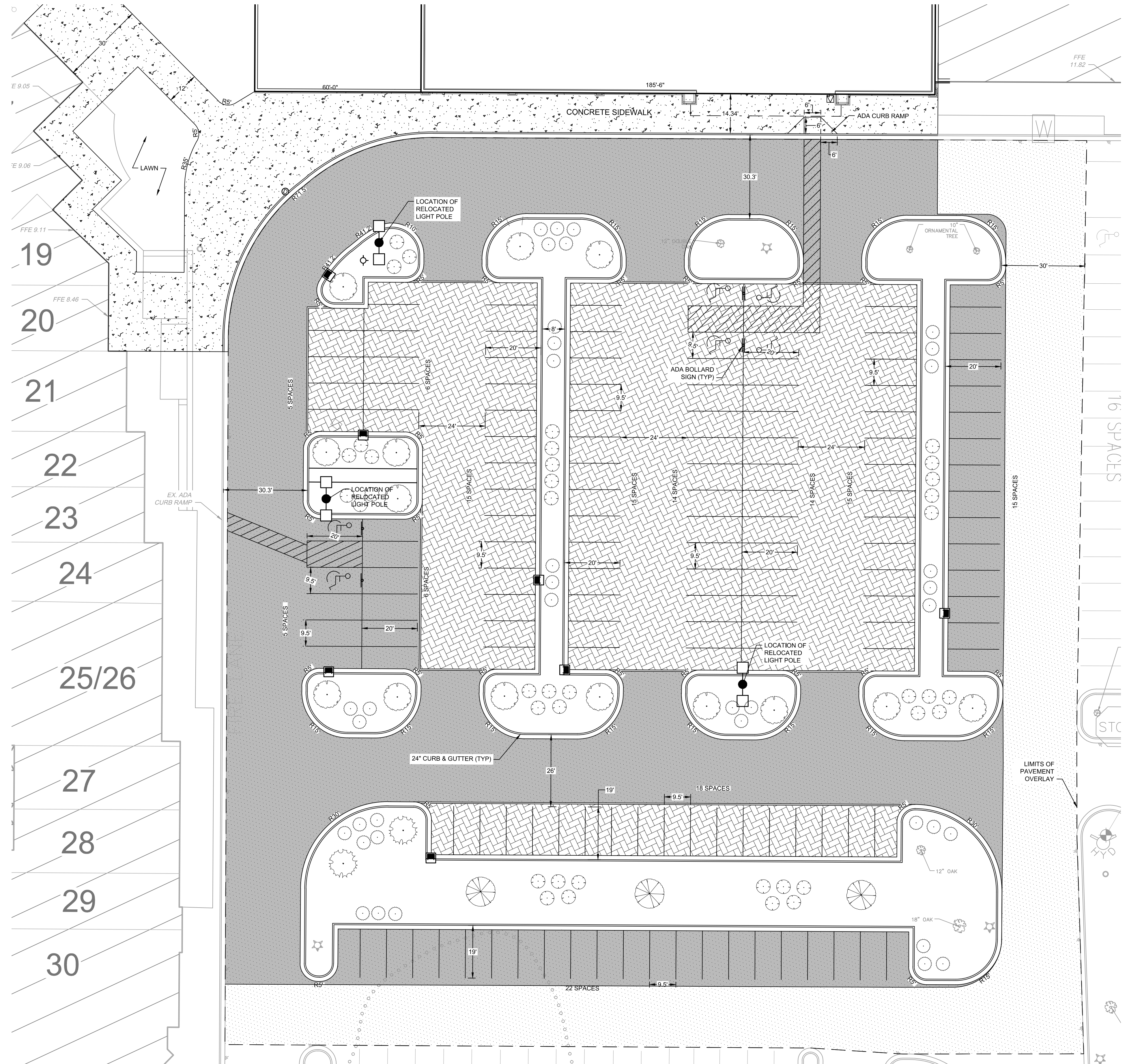
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08/09/2021	REVISED PER TRAC/TOWN COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.	DATE
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	DRAWN BY
	KDH
	DESIGNED BY
	KDH
	CHECKED BY
	KDH
	SCALE
	1"=20'

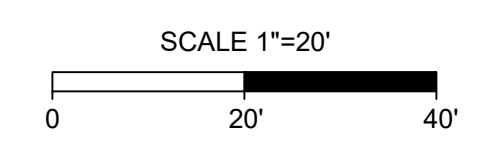
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
SITE PLAN



LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
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- JAPANESE PITTOSPORUM

NOTE: ALL DIMENSIONS AND RADII ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE STATED.

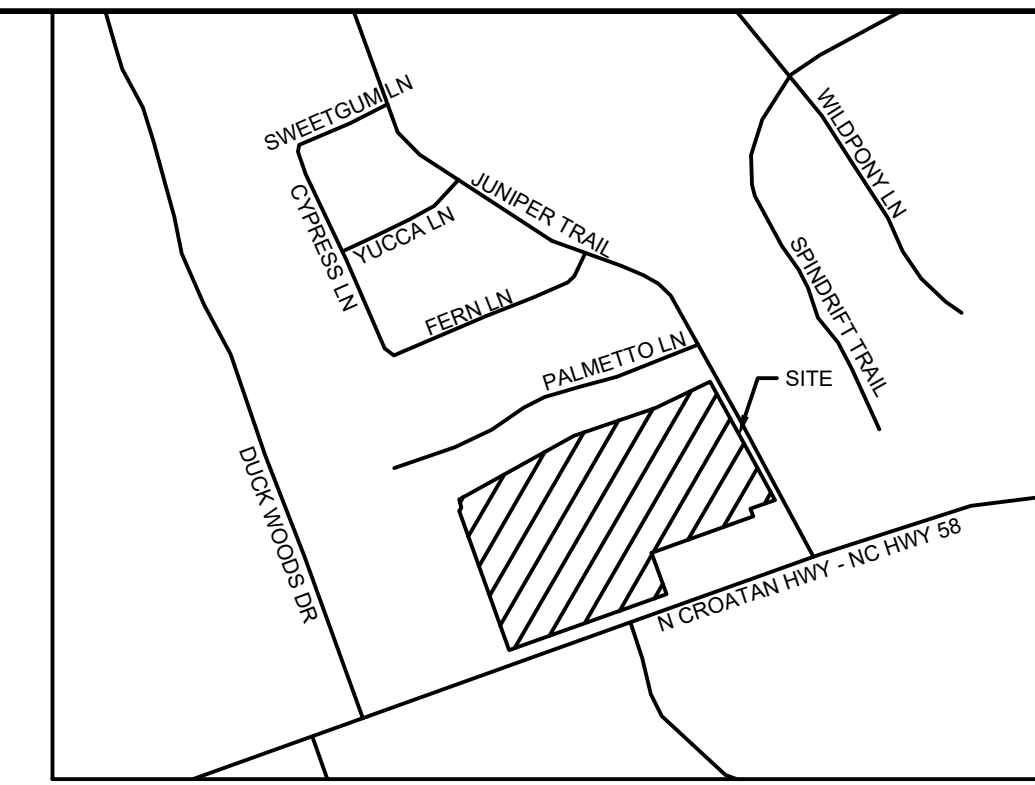


S:\1094488 - The Marketplace at Southern Shores - Southern Shores - NCDWG\Sheet\CD\4588\C2.0 SITE.dwg | Plotted on 8/9/2021 12:40 PM | by Kim Hamby

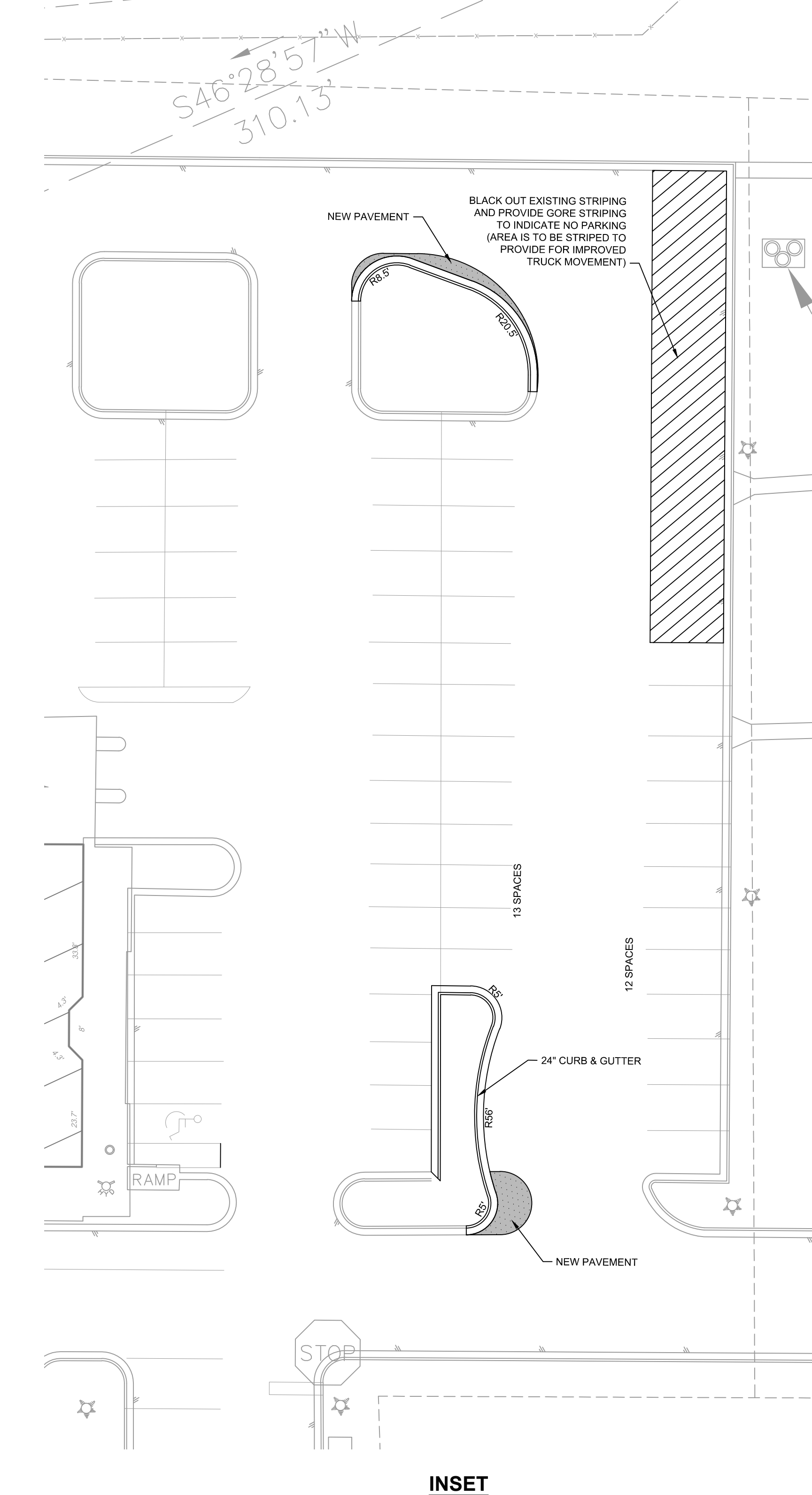
- SITE DATA:**
- OWNER:
SOUTHERN SHORES OWNER, LLC
810 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202
 - REGISTERED AGENT/DEVELOPER:
ASTON PROPERTIES, INC
CONTACT: KAREN PARTEE
(704) 366-7337
 - SITE INFORMATION:
PIN#: 986720717057
PARCEL#: 022510000
D.B. 1982 PG. 893
SITE AREA: 18.1 AC
ZONING: COMMERCIAL HIGHWAY PRIMARY
ADDRESS: 5539 NORTH CROATAN HIGHWAY
SOUTHERN SHORES, NC 27949
 - SITE LOCATED IN FLOOD ZONES "X", "SHADED X" AND "AE(1)" ACCORDING TO FIRM MAP NUMBER 3720986700K, DATED JUNE 19, 2020. THE TOWN HAS ADOPTED A LOCAL ELEVATION STANDARD OF 8'.
 - THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION TAKEN FROM SURVEY TITLED "MARKETPLACE SHOPPING CENTER", BY MICHAEL D. BARR, PLS ON OCTOBER 30, 2017.
 - IMPERVIOUS AREA CALCULATIONS:
EXISTING = 530,755 SF (67.3% OF SITE)
PROPOSED = 529,719 SF (67.1% OF SITE)
REQUIRED PERVIOUS PAVEMENT:
5.1% OF 629,719 SF = 27,016 SF
PERVIOUS PAVER AREA PROVIDED = 28,332 SF
 - PARKING:
EXISTING SPACES = 587
EXISTING TO BE REMOVED = 124
PROPOSED NEW = 150
FINAL TOTAL = 613
(INCLUDING 12 ADA SPACES)
REQUIRED ADA SPACES = 2% OF TOTAL
614 * 0.02 = 12 ADA SPACES
REQUIRED SPACES = 514
(SEE CALCULATIONS ON SHEET C0.1)
 - LANDSCAPING CALCULATIONS: PARKING AREA BEING MODIFIED BY PROJECT = 99,999 SF
REQUIRED LANDSCAPE AREA (15%) = 15,000 SF
LANDSCAPE AREA PROVIDED = 16,980 SF
 - DISTURBED AREA WILL NOT EXCEED 3.2 ACRES
 - ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL COME FROM AN APPROVED MINE.
 - TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.

LEGEND

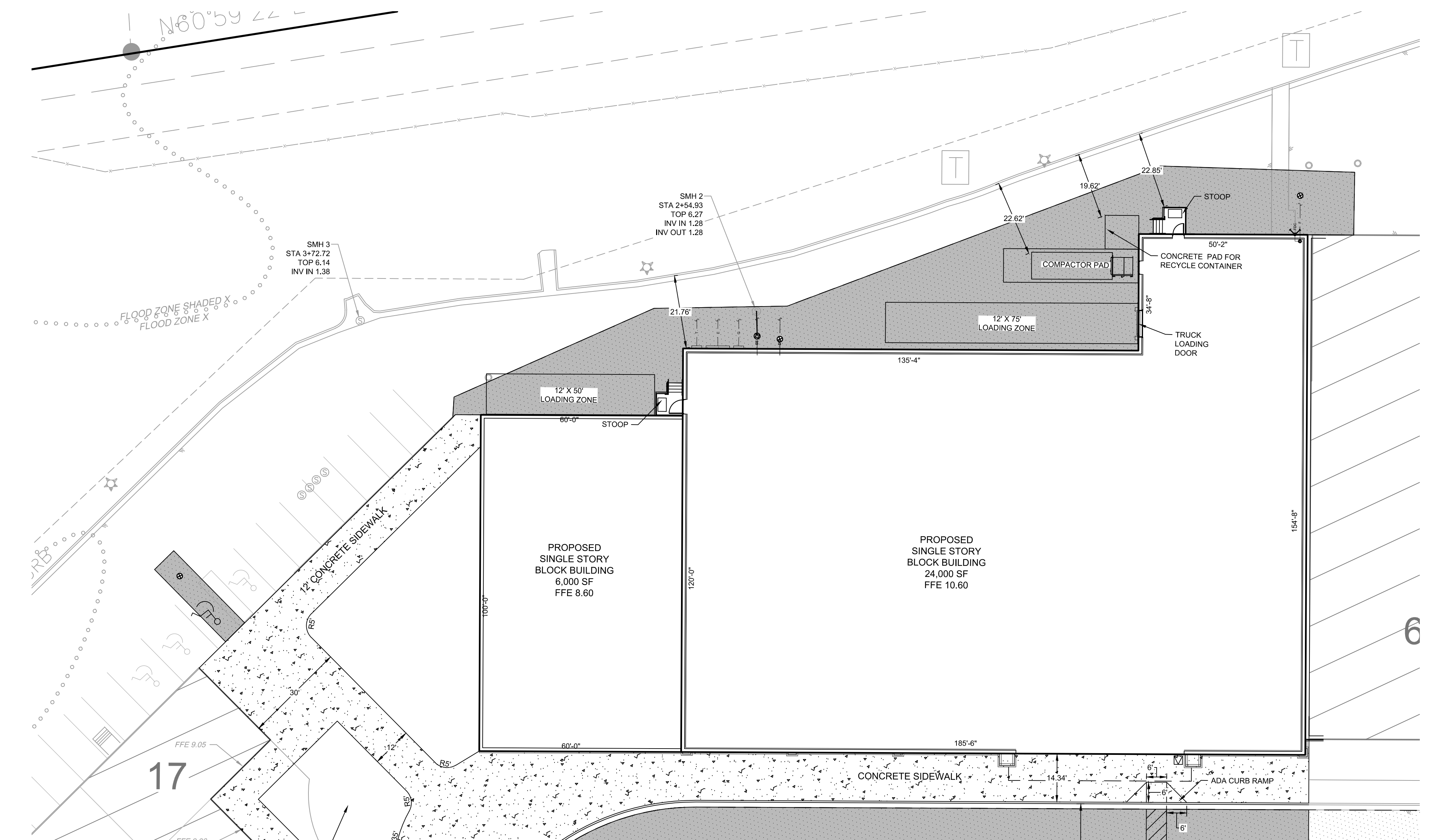
- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
- EX. CATCH BASIN
- EX. STORMWATER MANHOLE
- PROP. CURB INLET
- PROP. SEWER CLEANOUT
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- BOUNDARY
- RIGHT-OF-WAY
- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
- EX. FENCE
- EX. FLOOD ZONE LIMITS
- PROP. CONCRETE
- PROP. PAVEMENT OVERLAY
- PROP. FULL DEPTH PAVEMENT
- PROP. PERMEABLE PAVERS
- CREPE MYRTLE
- HI-RISE LIVE OAK
- LITTLE GEM MAGNOLIA
- ELEANOR TABOR INDIAN HAWTHORN
- JAPANESE PITTOSPORUM



VICINITY MAP
NO SCALE



SCALE 1"=20'
0 20' 40'



PERMIT DRAWING

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DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.	DATE
	06/15/21
	DRAWN BY
	KDH
	DESIGNED BY
	KDH
	CHECKED BY
	KDH
	SCALE
	1"=20'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE

SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

SITE PLAN

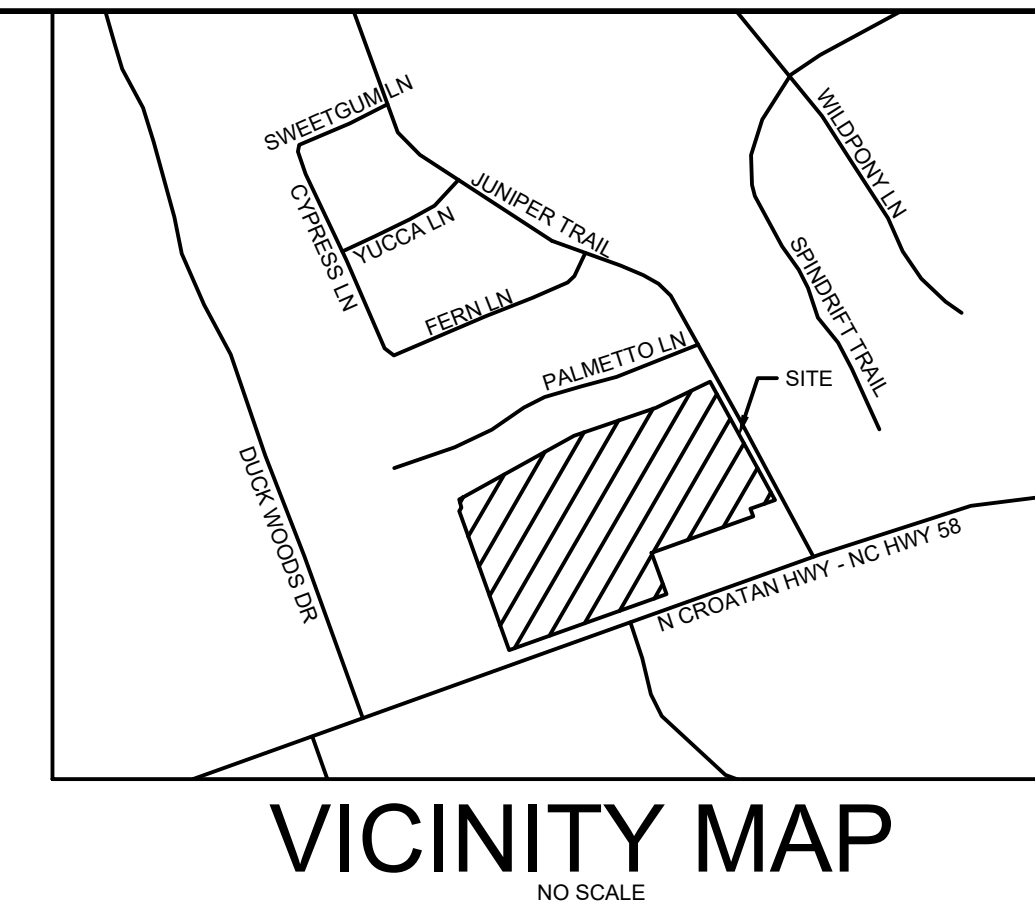
JOB NO.	44588
SHEET NO.	C2.2

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SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

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CONTACT: KAREN PARTEE
(704) 366-7337
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PERMIT DRAWING

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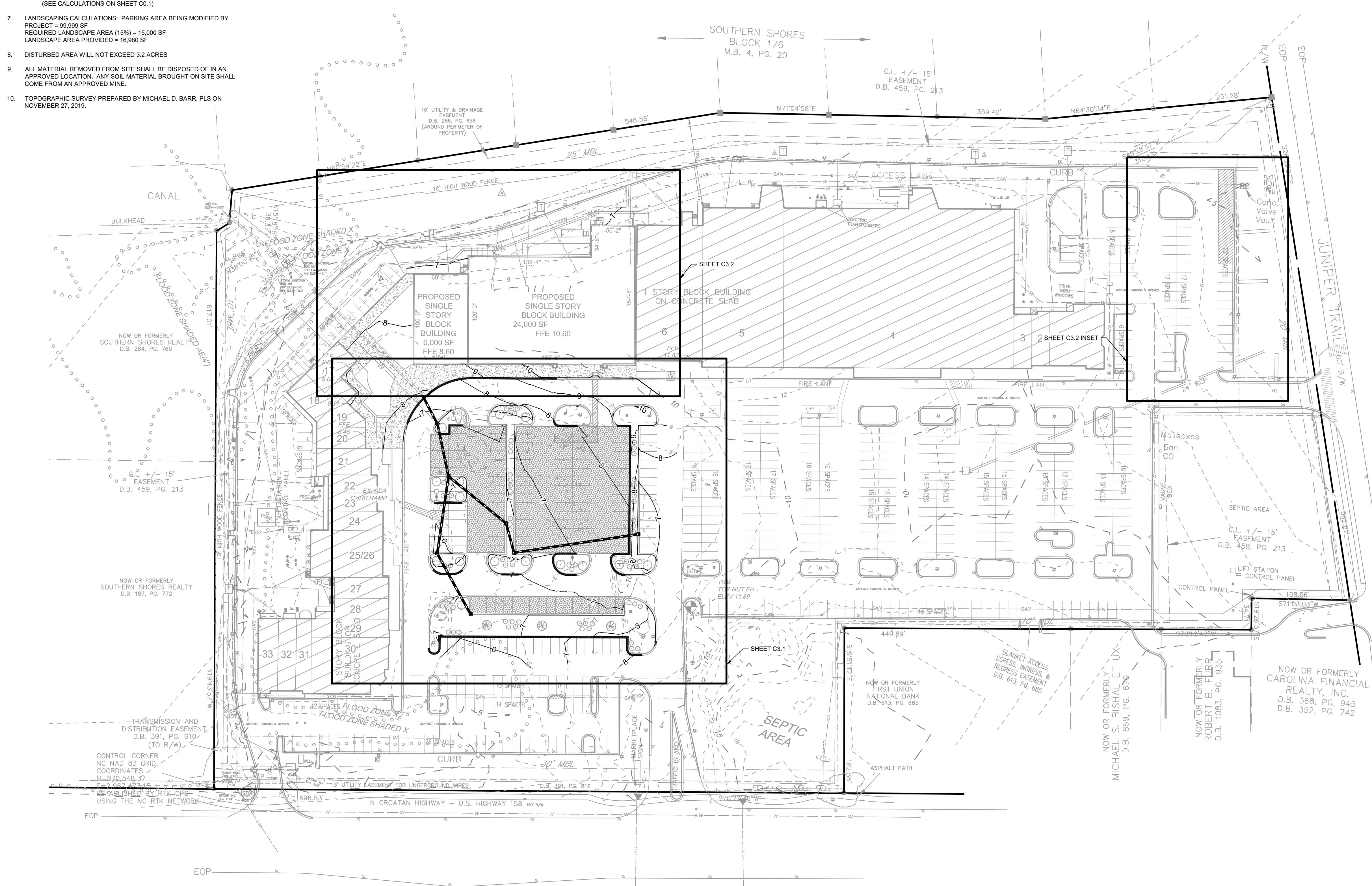
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1805 West City Drive, Unit E | Elizabeth City, NC 28526
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REVISION DESCRIPTION

DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRC/TOWN COMMENTS

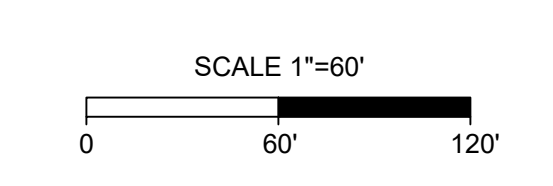
YOUR VISION ACHIEVED THROUGH OURS.

DATE: 06/15/21
DRAWN BY: BCD
DESIGNED BY: KDH
CHECKED BY: KDH
SCALE: 1"=60'



LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
- EX. CATCH BASIN
- EX. STORMWATER MANHOLE
- PROP. CURB INLET
- PROP. SEWER CLEANOUT
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- BOUNDARY
- RIGHT-OF-WAY
- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
- EX. FENCE
- EX. CULVERT PIPE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. FLOOD ZONE LIMITS
- EX. UNDERGROUND POWER LINE
- EX. WATER LINE
- EX. SANITARY SEWER LINE
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. WATER LINE
- PROP. SANITARY SEWER LINE
- PROP. STORM PIPE
- PROP. CONCRETE
- SPILL CURB



TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
GRADING & DRAINAGE PLAN OVERVIEW

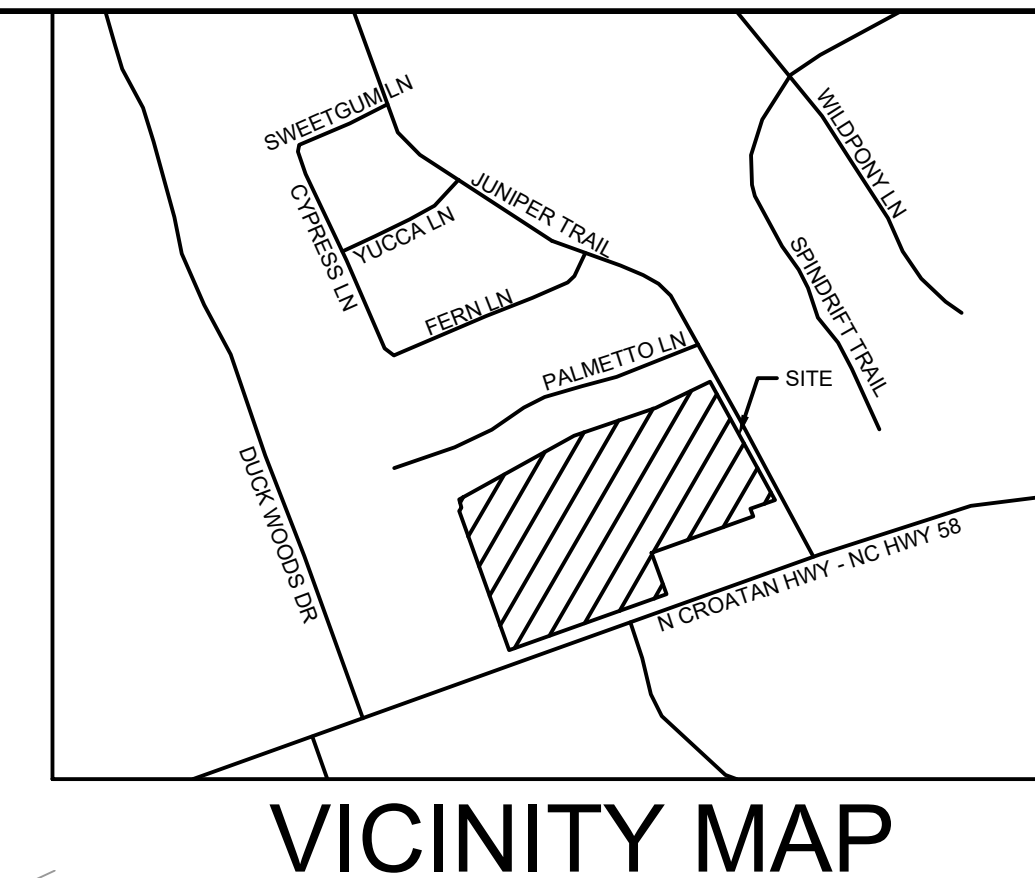
JOB NO. 44588
SHEET NO. C3.0

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SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

REGISTERED AGENT/DEVELOPER
ASTON PROPERTIES, INC.
CONTACT: KAREN PARTEE
(704) 366-7337
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PARCEL#: 022510000
D.B. 1982 PG. 893
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 - TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.



PERMIT DRAWING

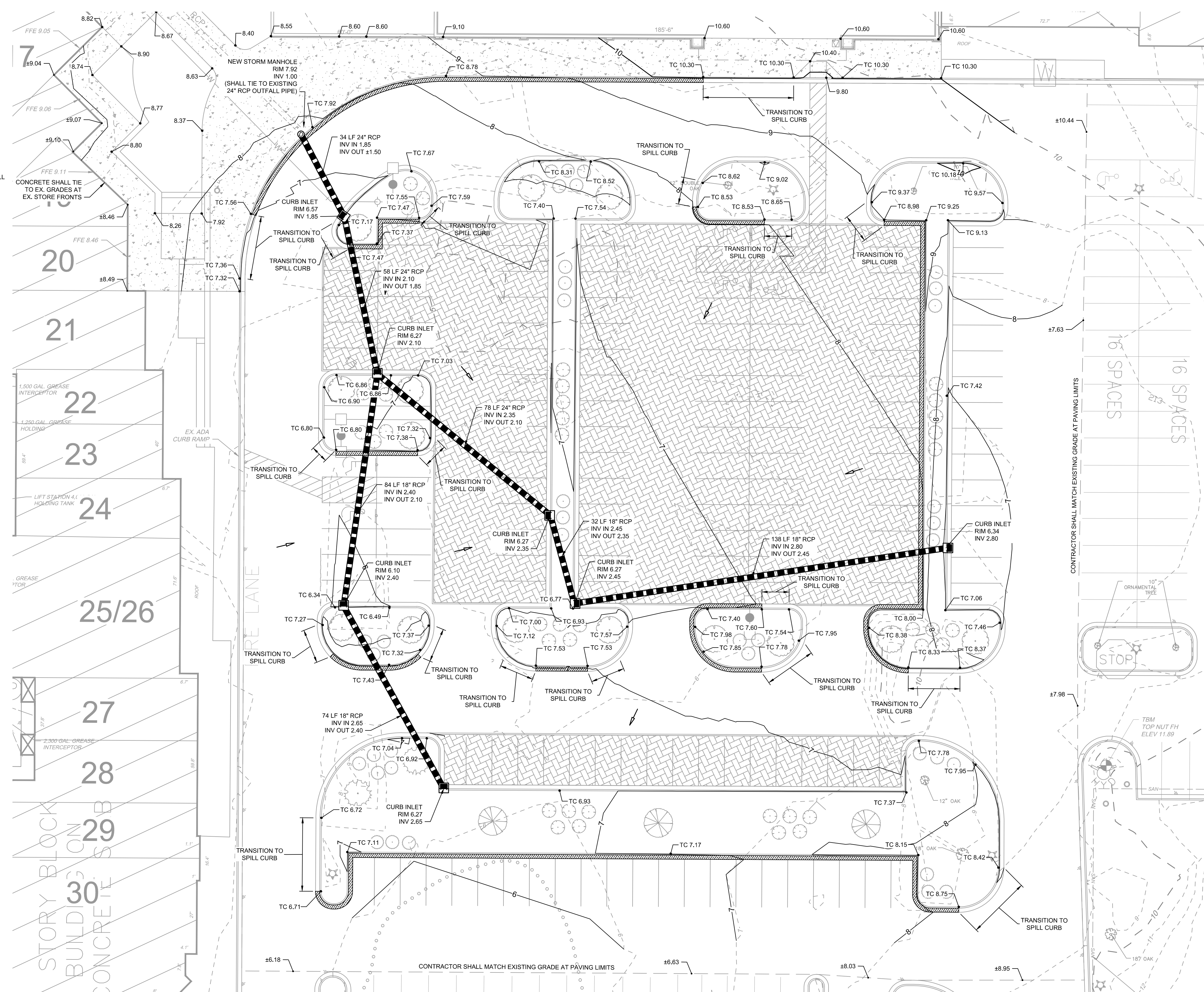
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REVISION DESCRIPTION

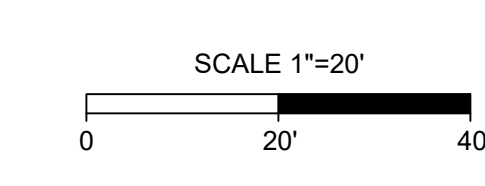
DATE	REVISION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.



LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
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- EX. CATCH BASIN
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- PROP. STORM PIPE
- PROP. CONCRETE
- SPILL CURB



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DATE: 06/15/21

DRAWN BY: BCD

DESIGNED BY: KDH

CHECKED BY: KDH

SCALE: 1"=20'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE

SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA

GRADING & DRAINAGE PLAN

JOB NO. 44588

SHEET NO. C3.1

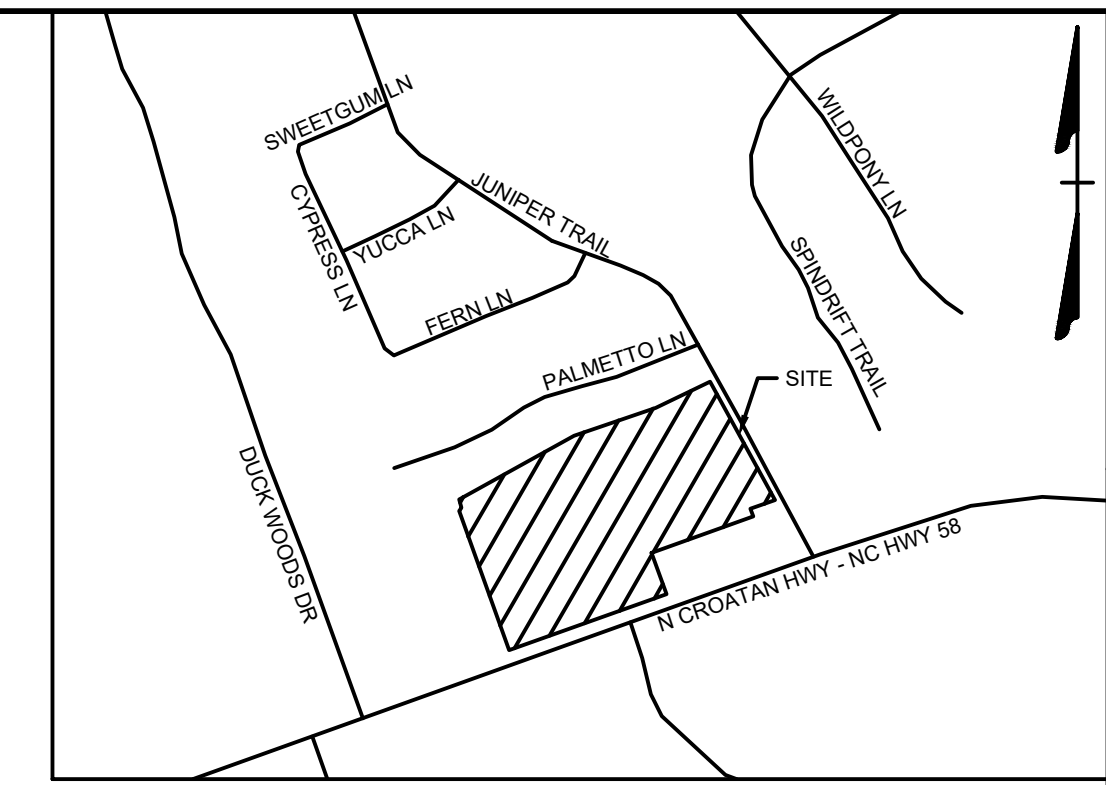
SITE DATA:

- OWNER:
SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202

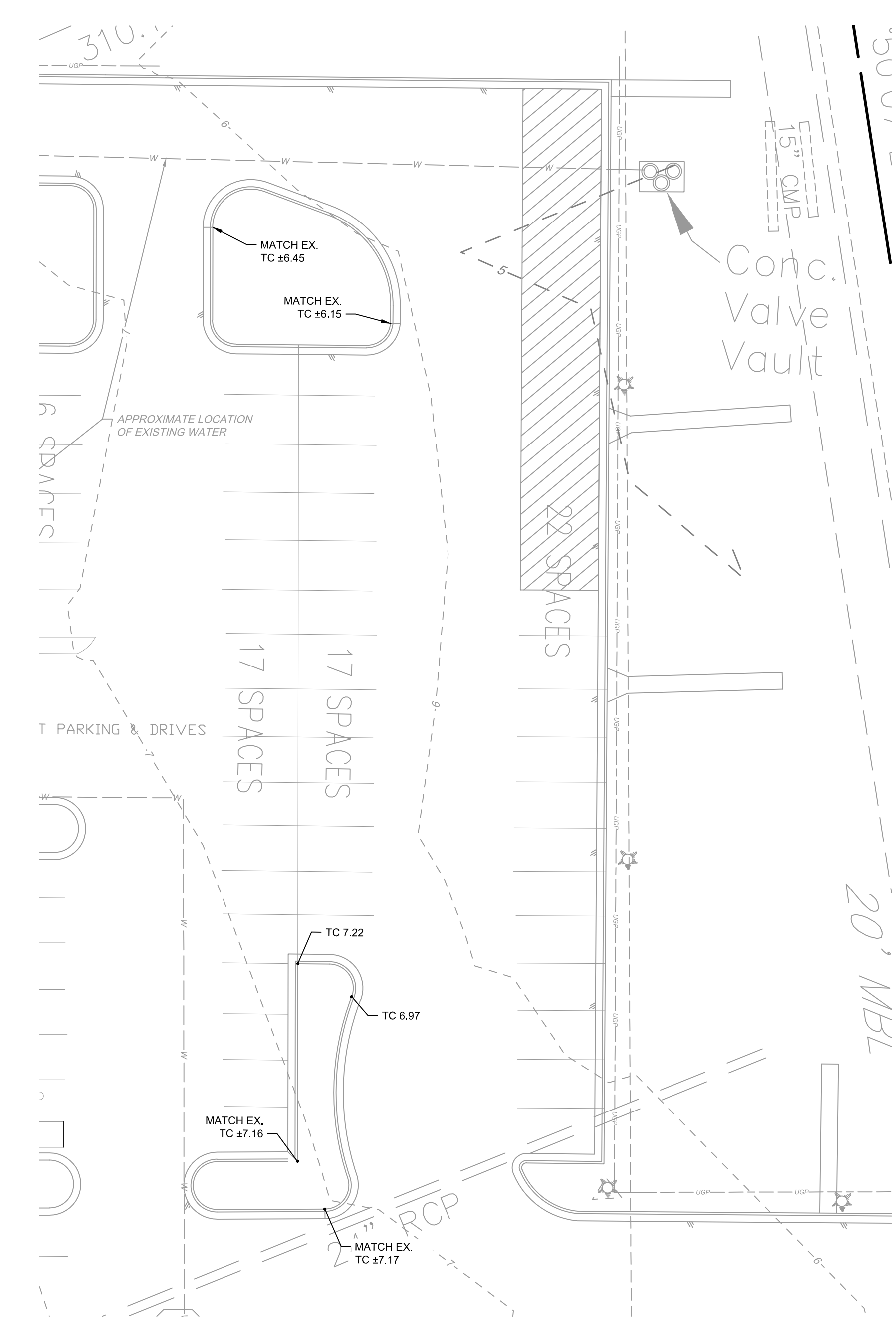
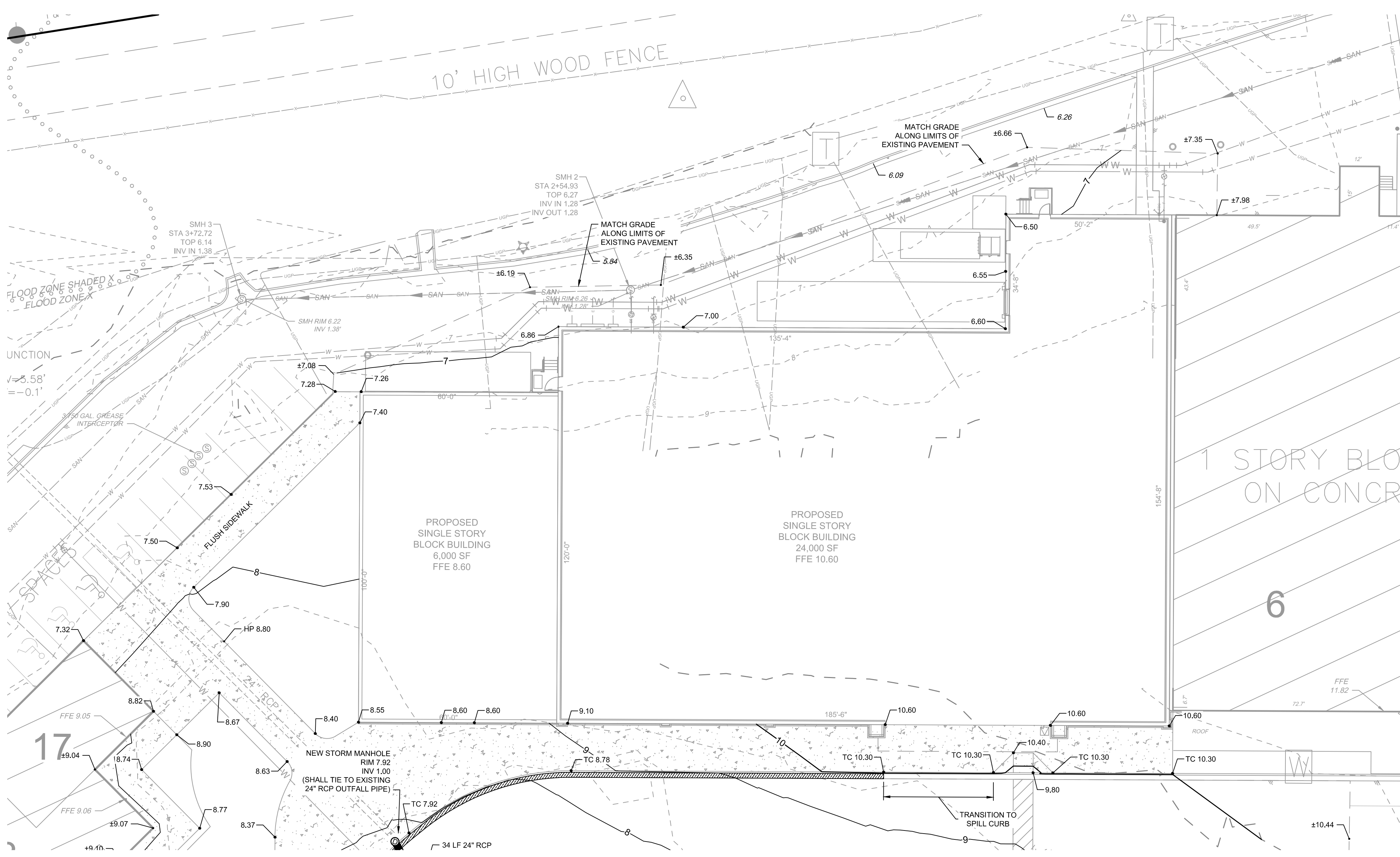
REGISTERED AGENT/DEVELOPER
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614 * 0.02 = 12 ADA SPACES
REQUIRED SPACES = 514
(SEE CALCULATIONS ON SHEET C0.1)
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- TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.

LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
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- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
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- PROP. SANITARY SEWER LINE
- PROP. STORM PIPE
- PROP. CONCRETE
- SPILL CURB



VICINITY MAP
NO SCALE



SCALE 1"=20'
0 20' 40'



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DATE	REVISION DESCRIPTION
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YOUR VISION ACHIEVED THROUGH OURS.	DATE
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	KDH
	SCALE
	1"=20'

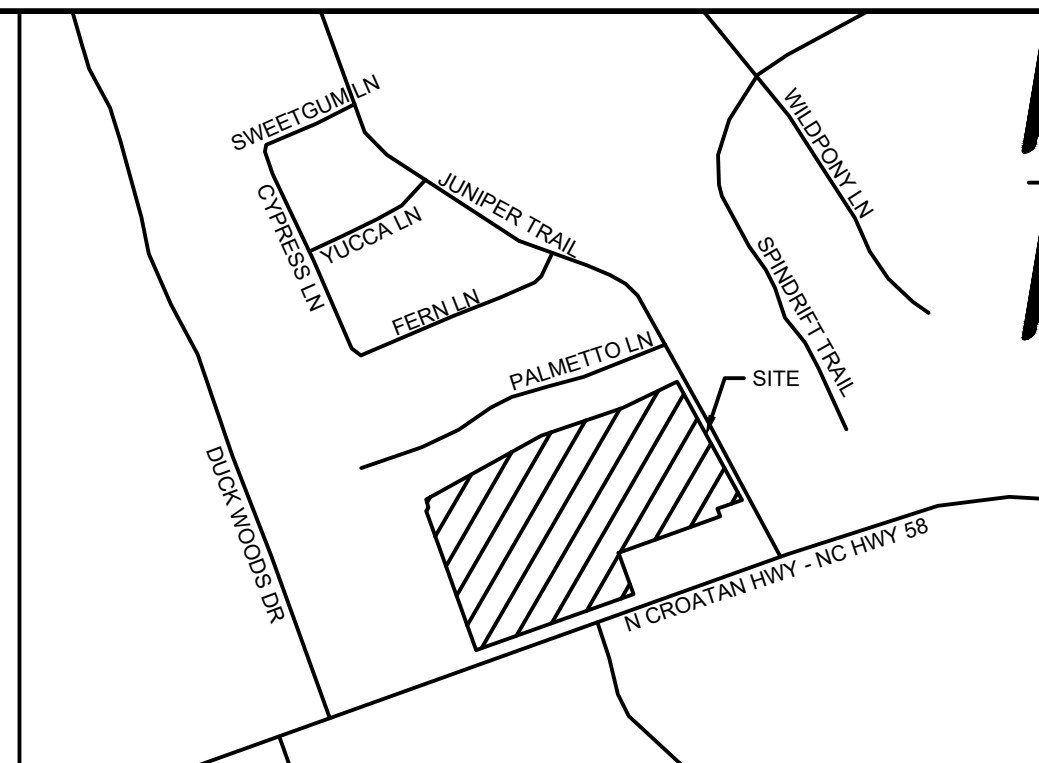
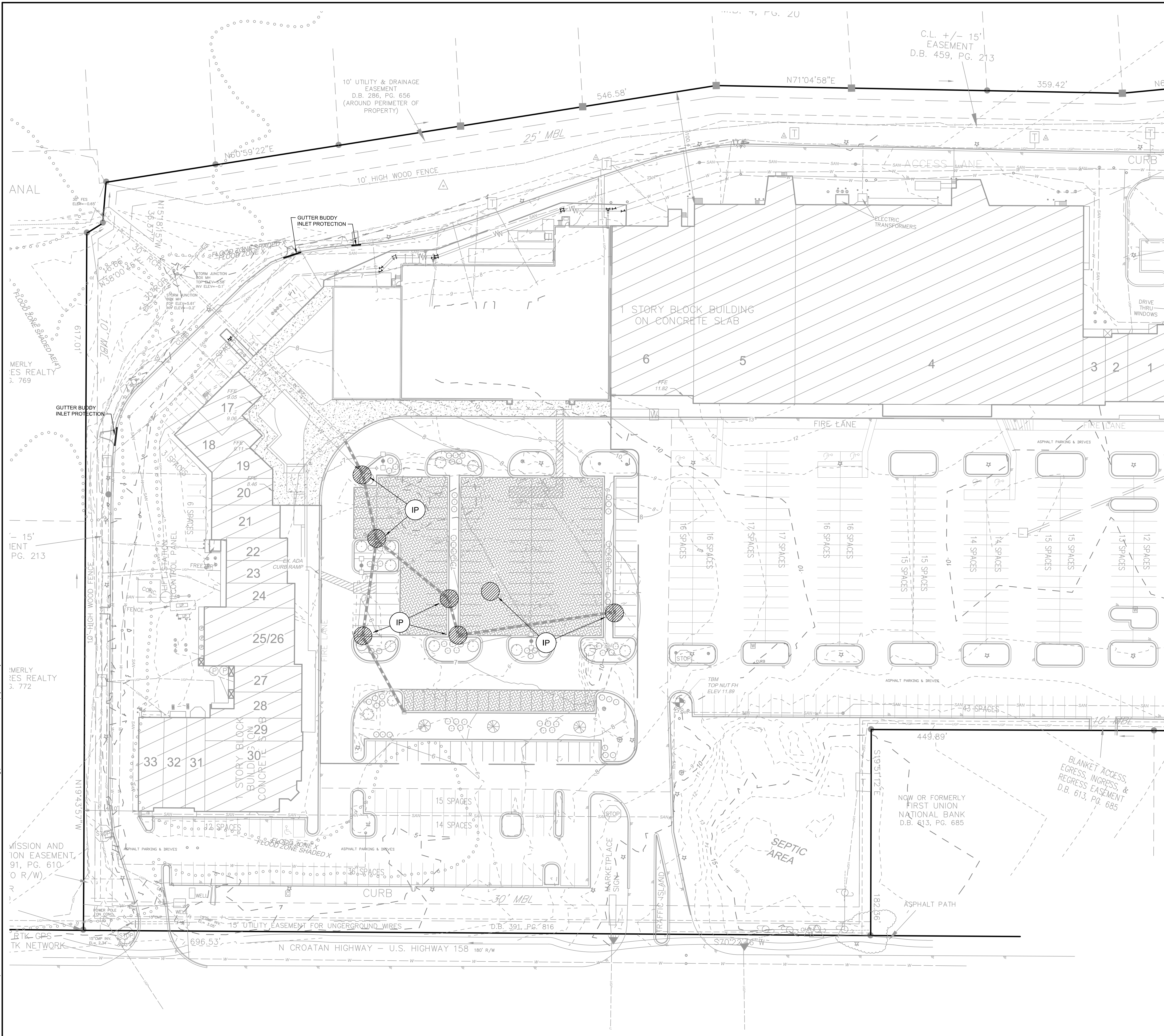
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
GRADING & DRAINAGE PLAN

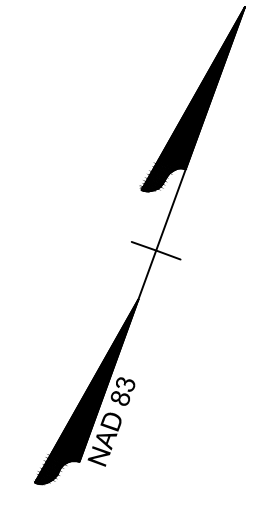
JOB NO.	44588
SHEET NO.	C3.2

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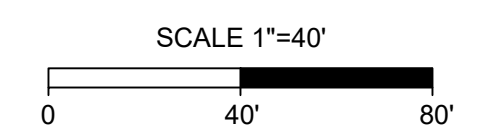


VICINITY MAP
NO SCALE



LEGEND

- IP INLET PROTECTION
- LOD LIMIT OF DISTURBANCE
- GCE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE



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YOUR VISION ACHIEVED THROUGH OURS.	DATE	06/15/21
	DRAWN BY	BCD
	DESIGNED BY	KDH
	CHECKED BY	KDH
	SCALE	1"=40'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652
MODIFICATIONS TO THE MARKETPLACE
 SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
EROSION CONTROL PLAN

JOB NO.	44588
SHEET NO.	C3.3

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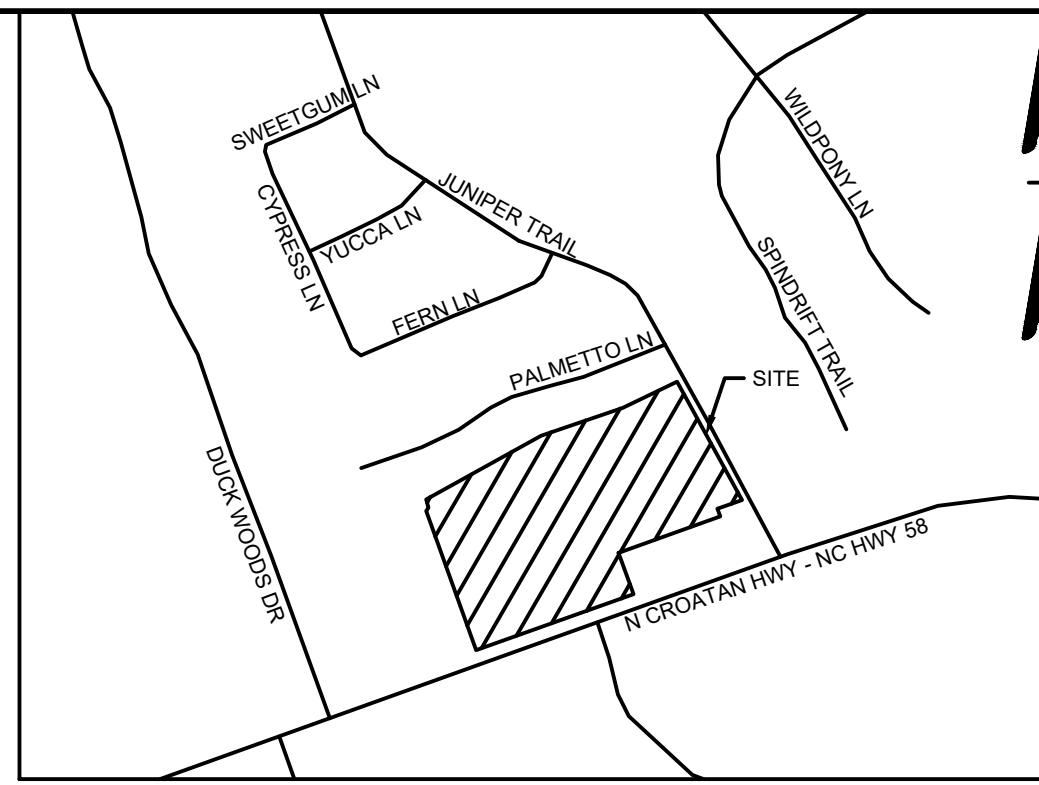
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 - ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL COME FROM AN APPROVED MINE.
 - TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.

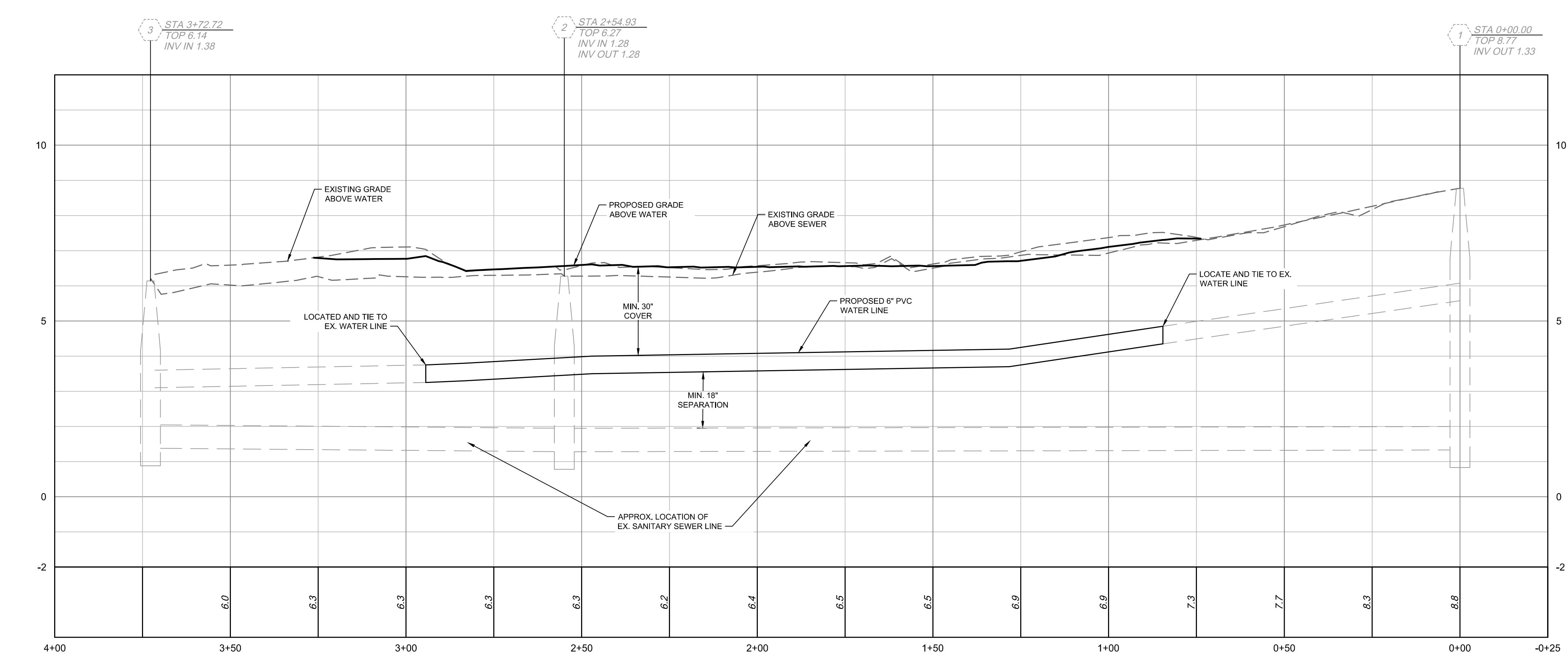
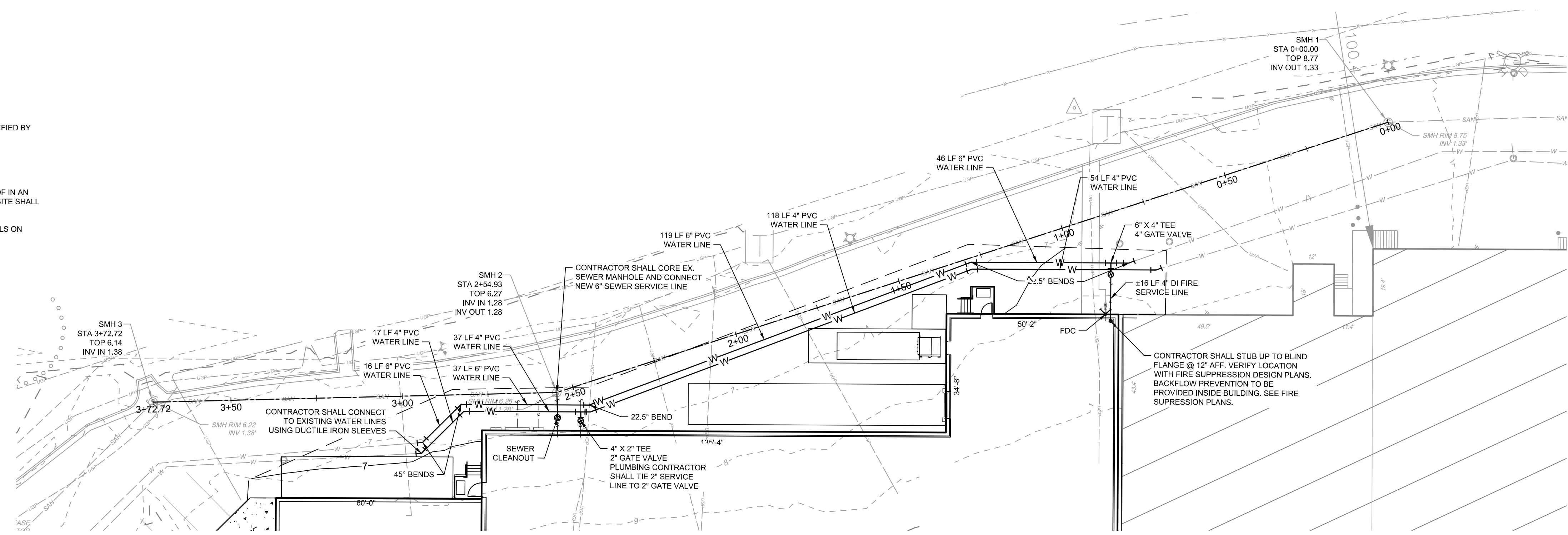
WATERMAIN NOTES:

- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
- DARE COUNTY WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
- ALL INSPECTIONS SHALL BE COORDINATED WITH DARE COUNTY WATER SYSTEM AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
- ALL WATERMANS SHALL BE EITHER SDR 21 PVC, C-900 PVC, OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
- WATERMANS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
- WATERMANS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATERMAIN AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON. WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN. WHERE THE WATERLINE BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
- THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2" OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
- DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY DARE COUNTY WATER SYSTEM. THE CONTRACTOR SHALL NOTIFY THE WATER DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
- THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL WATERMANS SHALL HAVE A MINIMUM OF 30" COVER.
- ALL PIPES AND SERVICES TO HAVE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
- WATERLINES SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCEQ AND AS DETAILED IN THE COUNTY'S SPECIFICATIONS. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF DARE COUNTY WATER SYSTEM AND/OR THE ENGINEER.
- UNDERGROUND WATERLINES SHALL BE INSTALLED PER NFPA REQUIREMENTS FOR THE SPRINKLER SYSTEM. THESE LINES SHALL BE PRESSURE TESTED AT 200 PSI FOR TWO HOURS. AFTER WHICH, THEY SHALL BE THOROUGHLY FLUSHED. THIS TESTING SHALL BE DONE IN THE PRESENCE OF THE FIRE MARSHAL.

NOTE: THERE ARE TWO WATERLINES CROSSING BEHIND THIS SHOPPING CENTER COMPLEX. BASED ON DATA PROVIDED BY DARE COUNTY, ONE LINE IS A 6" MAIN AND THE OTHER IS A 4" DOMESTIC SERVICE LINE. THE LOCATION DATA PROVIDED DOES NOT DISTINGUISH WHICH LINE IS CLOSEST TO THE BUILDING AND IT DOES NOT IDENTIFY WHICH LINES HAVE ISOLATION VALVES IN THE VICINITY. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EACH LINE AND INSURE CONNECTION MADE TO CORRECT WATERLINES.



VICINITY MAP
NO SCALE



LEGEND

	BENCHMARK
	EX. IRON ROD
	EX. SEWER MANHOLE
	EX. LIGHT POLE
	EX. WATER VALVE
	EX. FIRE HYDRANT
	EX. WATER METER
	EX. BOLLARD
	EX. CATCH BASIN
	EX. STORMWATER MANHOLE
	PROP. SEWER CLEANOUT
	PROP. WATER VALVE
	PROP. FIRE HYDRANT
	BOUNDARY
	RIGHT-OF-WAY
	ADJOINING PROPERTY BOUNDARY
	BUILDING SETBACK
	EX. EDGE OF PAVEMENT
	EX. CENTERLINE
	EX. FENCE
	EX. CULVERT PIPE
	EX. MAJOR CONTOUR
	EX. MINOR CONTOUR
	EX. FLOOD ZONE LIMITS
	EX. UNDERGROUND POWER LINE
	EX. WATER LINE
	EX. SANITARY SEWER LINE
	PROP. MAJOR CONTOUR
	PROP. MINOR CONTOUR
	PROP. WATER LINE
	PROP. SANITARY SEWER LINE
	PROP. CONCRETE

PERMIT DRAWING

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TEL 252.621.3030 FAX 252.621.0974 www.timmonsgrp.com

DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

DATE	06/15/21
DRAWN BY	BCD
DESIGNED BY	KDH
CHECKED BY	KDH
SCALE	1" = 20'

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
UTILITY PLAN & PROFILE

JOB NO.	44588
SHEET NO.	C4.0

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SITE DATA:

- OWNER:
SOUTHERN SHORES OWNER, LLC
610 E MOREHEAD STREET, SUITE 100
CHARLOTTE, NC 28202
- REGISTERED AGENT/DEVELOPER:
ASTON PROPERTIES, INC.
CONTACT: KAREN PARTTEE
(704) 366-7337
- SITE INFORMATION:
PIN#: 96720717057
PARCEL#: 022510000
D.B. 1982 PG. 893
SITE AREA: 16.1 AC
ZONING: COMMERCIAL HIGHWAY PRIMARY
ADDRESS: 5539 NORTH CROATAN HIGHWAY
SOUTHERN SHORES, NC 27949
- SITE LOCATED IN FLOOD ZONES "X", "SHADED X" AND "AE(4)" ACCORDING TO FIRM MAP NUMBER 3720986700K, DATED JUNE 19, 2020. THE TOWN HAS ADOPTED A LOCAL ELEVATION STANDARD OF 6'.
- THIS IS NOT A BOUNDARY SURVEY, BOUNDARY INFORMATION TAKEN FROM SURVEY TITLED "MARKETPLACE SHOPPING CENTER", BY MICHAEL D. BARR, PLS ON OCTOBER 30, 2017.
- IMPERVIOUS AREA CALCULATIONS:
EXISTING = 430,755 SF (67.3% OF SITE)
PROPOSED = 529,719 SF (67.1% OF SITE)
REQUIRED PERVIOUS PAVEMENT:
5.1% OF 529,719 SF = 27,016 SF
PERVIOUS PAVEMENT PROVIDED = 28,332 SF
- PARKING:
EXISTING SPACES = 587
EXISTING TO BE REMOVED = 124
PROPOSED NEW = 150
FINAL TOTAL = 613
(INCLUDING 12 ADA SPACES)
REQUIRED ADA SPACES = 2% OF TOTAL
614 * 0.02 = 12 ADA SPACES
REQUIRED SPACES = 514
(SEE CALCULATIONS ON SHEET CO.1)
- LANDSCAPING CALCULATIONS: PARKING AREA BEING MODIFIED BY PROJECT = 99,999 SF
REQUIRED LANDSCAPE AREA (15%) = 15,000 SF
LANDSCAPE AREA PROVIDED = 16,980 SF
- DISTURBED AREA WILL NOT EXCEED 3.2 ACRES
- ALL MATERIAL REMOVED FROM SITE SHALL BE DISPOSED OF IN AN APPROVED LOCATION. ANY SOIL MATERIAL BROUGHT ON SITE SHALL COME FROM AN APPROVED MINE.
- TOPOGRAPHIC SURVEY PREPARED BY MICHAEL D. BARR, PLS ON NOVEMBER 27, 2019.

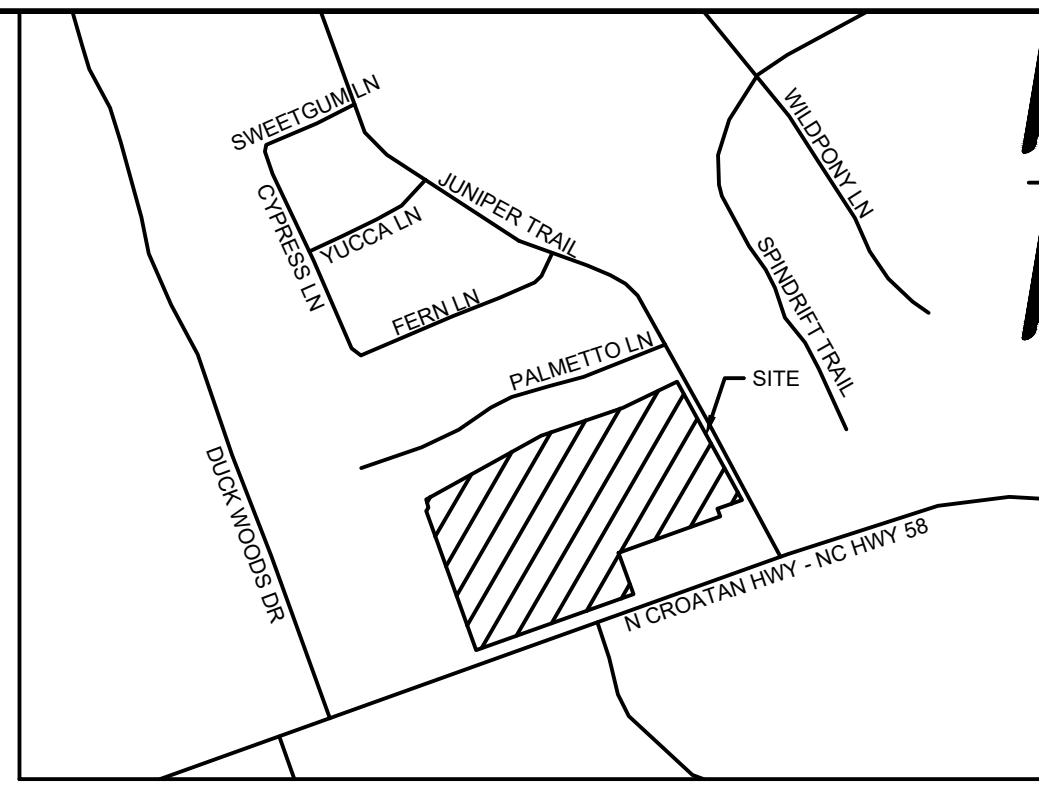
WATERMAIN NOTES:

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VICINITY MAP
NO SCALE



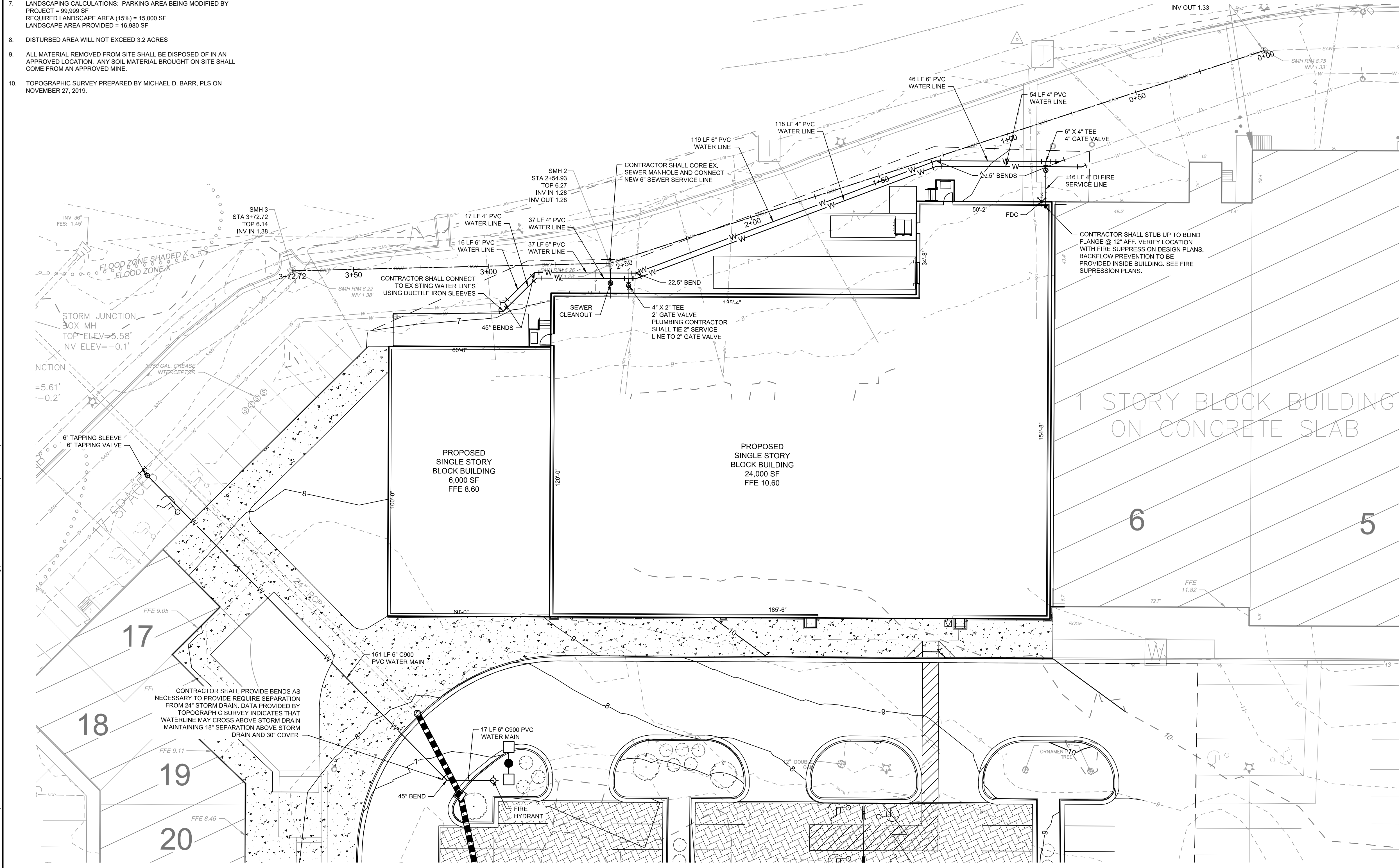
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DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS

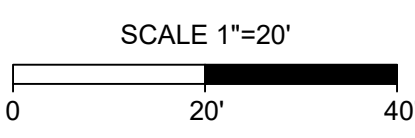
YOUR VISION ACHIEVED THROUGH OURS.	DATE	06/15/21
	DRAWN BY	BCD
	DESIGNED BY	KDH
	CHECKED BY	KDH
	SCALE	1" = 20'

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MODIFICATIONS TO THE MARKETPLACE SHOPPING CENTER - NORTH CAROLINA
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
UTILITY PLAN



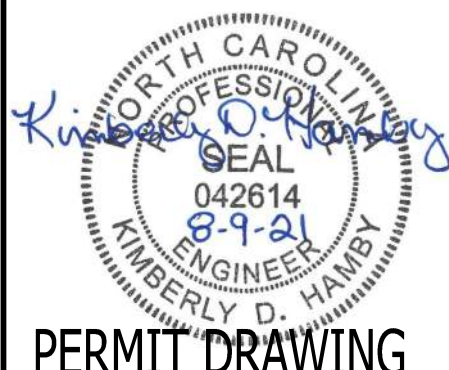
LEGEND

- BENCHMARK
- EX. IRON ROD
- EX. SEWER MANHOLE
- EX. LIGHT POLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER METER
- EX. BOLLARD
- EX. CATCH BASIN
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- BOUNDARY
- RIGHT-OF-WAY
- ADJOINING PROPERTY BOUNDARY
- BUILDING SETBACK
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE
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- EX. UNDERGROUND POWER LINE
- EX. WATER LINE
- EX. SANITARY SEWER LINE
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. WATER LINE
- PROP. SANITARY SEWER LINE
- PROP. CONCRETE



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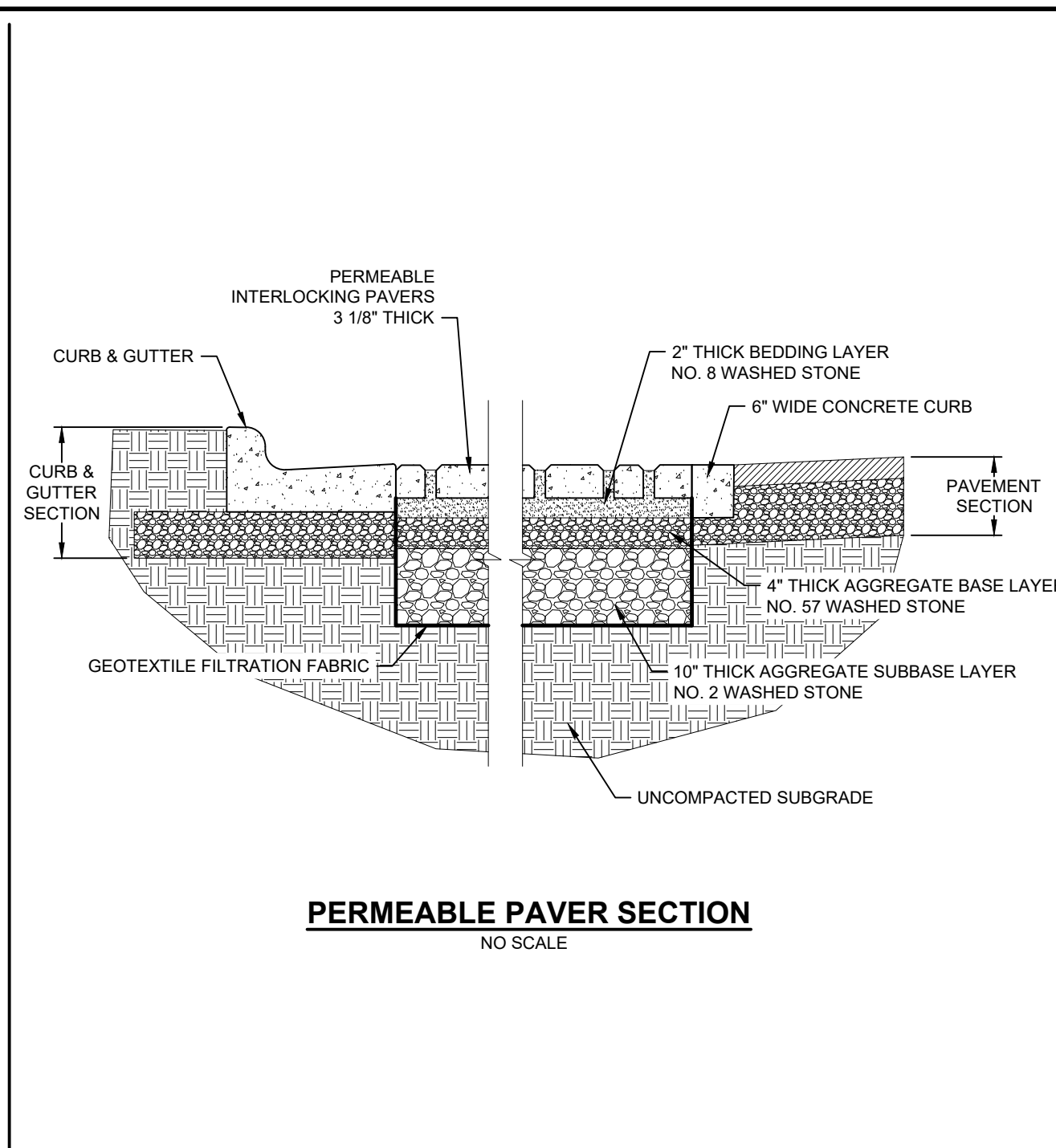
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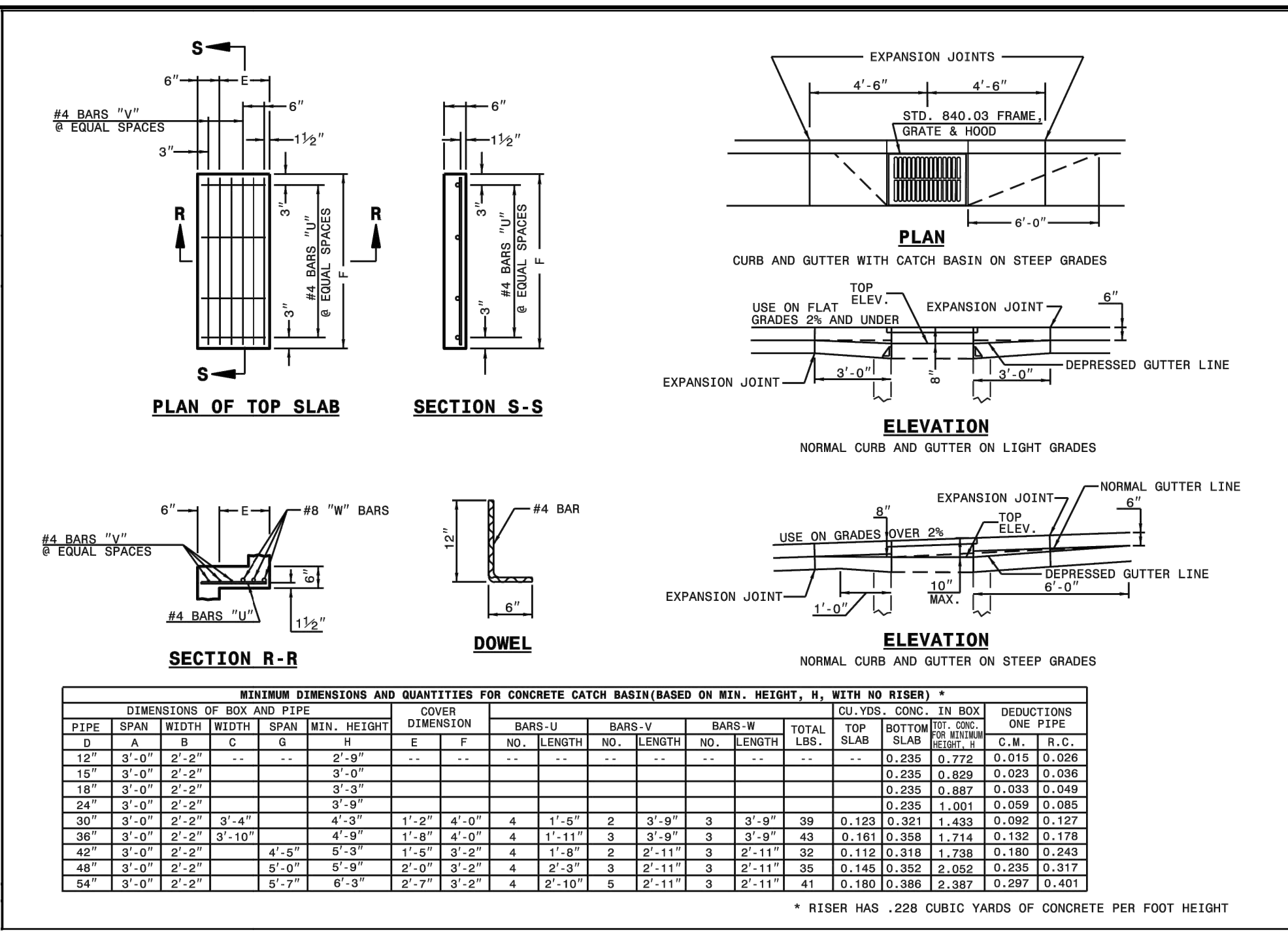
TIMMONS GROUP
MODIFICATIONS TO THE MARKETPLACE
NORTH CAROLINA LICENSE NO. C-1652
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
STORMWATER DETAILS

JOB NO. 44588
SHEET NO. C5.1



PERMEABLE PAVER SECTION
NO SCALE

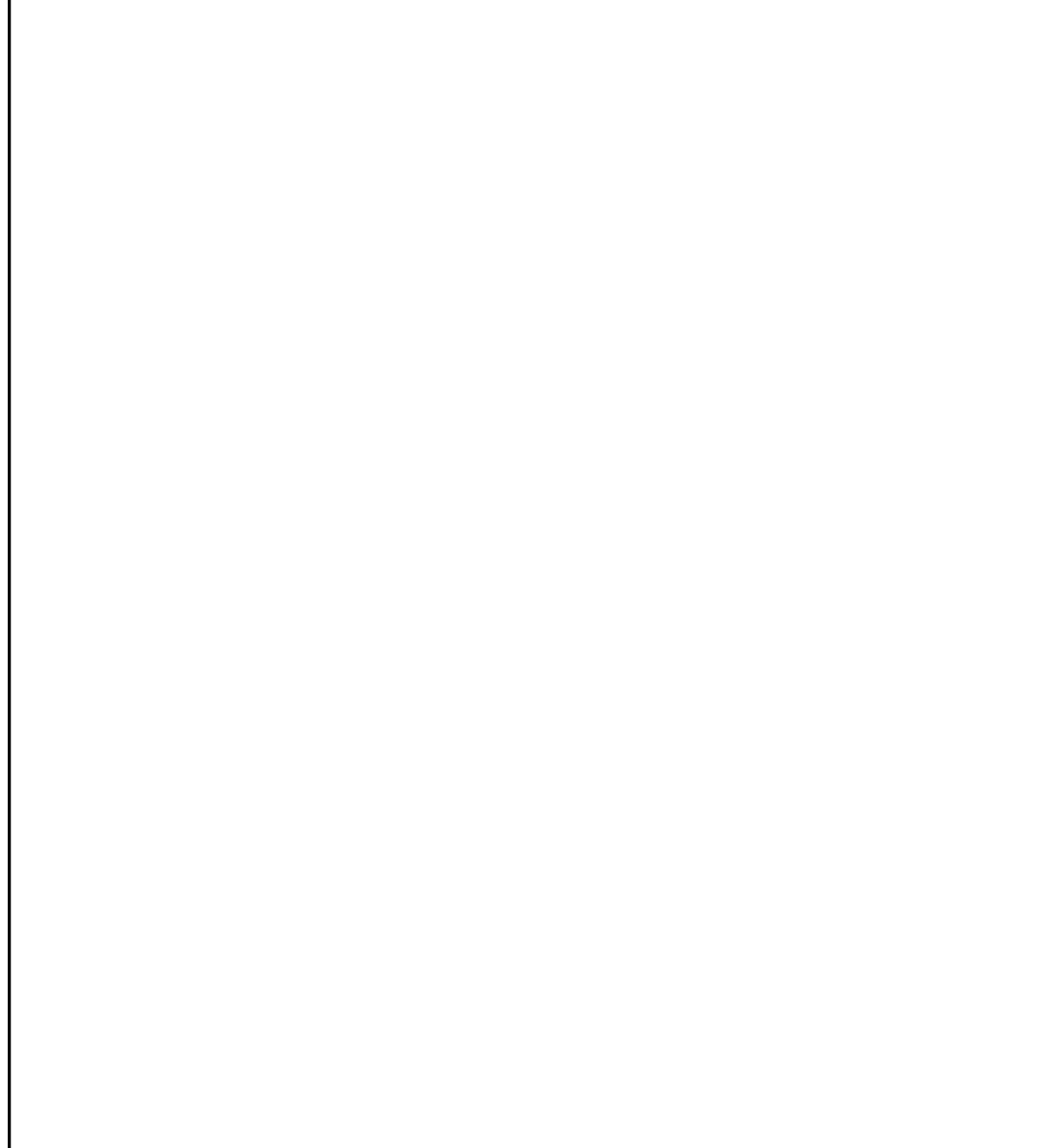
ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN 12" THRU 54" PIPE
SHEET 2 OF 2
840.02



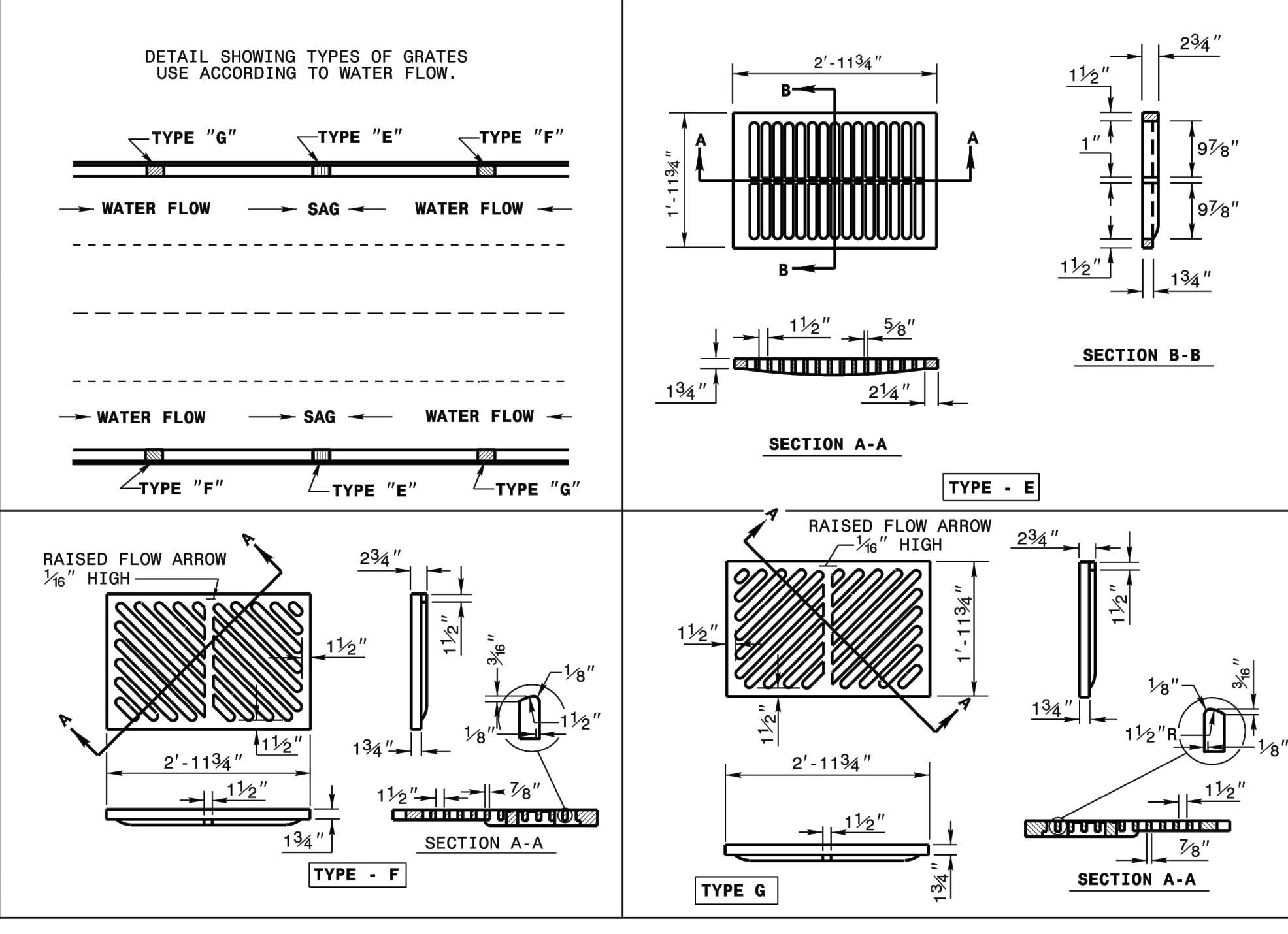
MINIMUM DIMENSIONS AND QUANTITIES FOR CONCRETE CATCH BASIN (BASED ON MIN. HEIGHT, H, WITH NO RISER) *
* RISER HAS .228 CUBIC YARDS OF CONCRETE PER FOOT HEIGHT

PIPE	DIMENSIONS OF BOX AND PIPE			COVER DIMENSION			TOTAL QUANTITIES FOR ONE PIPE			DEDUCTIONS FOR ONE PIPE		
	D	A	B	E	F	G	NO. REINFORCING BARS	CU. YDS. CONCRETE	CU. YDS. SLAB	CU. YDS. CURB	R.C.	
12"	3'-0"	2'-2"	2'-2"	2'-8"	2'-8"	2'-8"	4	0.235	0.772	0.015	0.028	
15"	3'-0"	2'-2"	2'-2"	3'-0"	3'-0"	3'-0"	4	0.235	0.828	0.023	0.036	
18"	3'-0"	2'-2"	2'-2"	3'-3"	3'-3"	3'-3"	4	0.235	0.887	0.030	0.049	
24"	3'-0"	2'-2"	2'-2"	3'-6"	3'-6"	3'-6"	4	0.235	1.001	0.039	0.065	
30"	3'-0"	2'-2"	3'-4"	4'-3"	4'-0"	4'-0"	4	0.123	0.321	0.433	0.092	
36"	3'-0"	2'-2"	3'-10"	4'-9"	4'-6"	4'-6"	4	0.161	0.358	1.214	0.132	
42"	3'-0"	2'-2"	3'-10"	4'-5"	5'-3"	5'-0"	4	0.112	0.318	1.738	0.180	
48"	3'-0"	2'-2"	3'-10"	5'-0"	5'-9"	5'-6"	4	0.145	0.352	2.052	0.235	
54"	3'-0"	2'-2"	3'-10"	5'-7"	6'-3"	6'-0"	4	0.180	0.386	2.387	0.297	

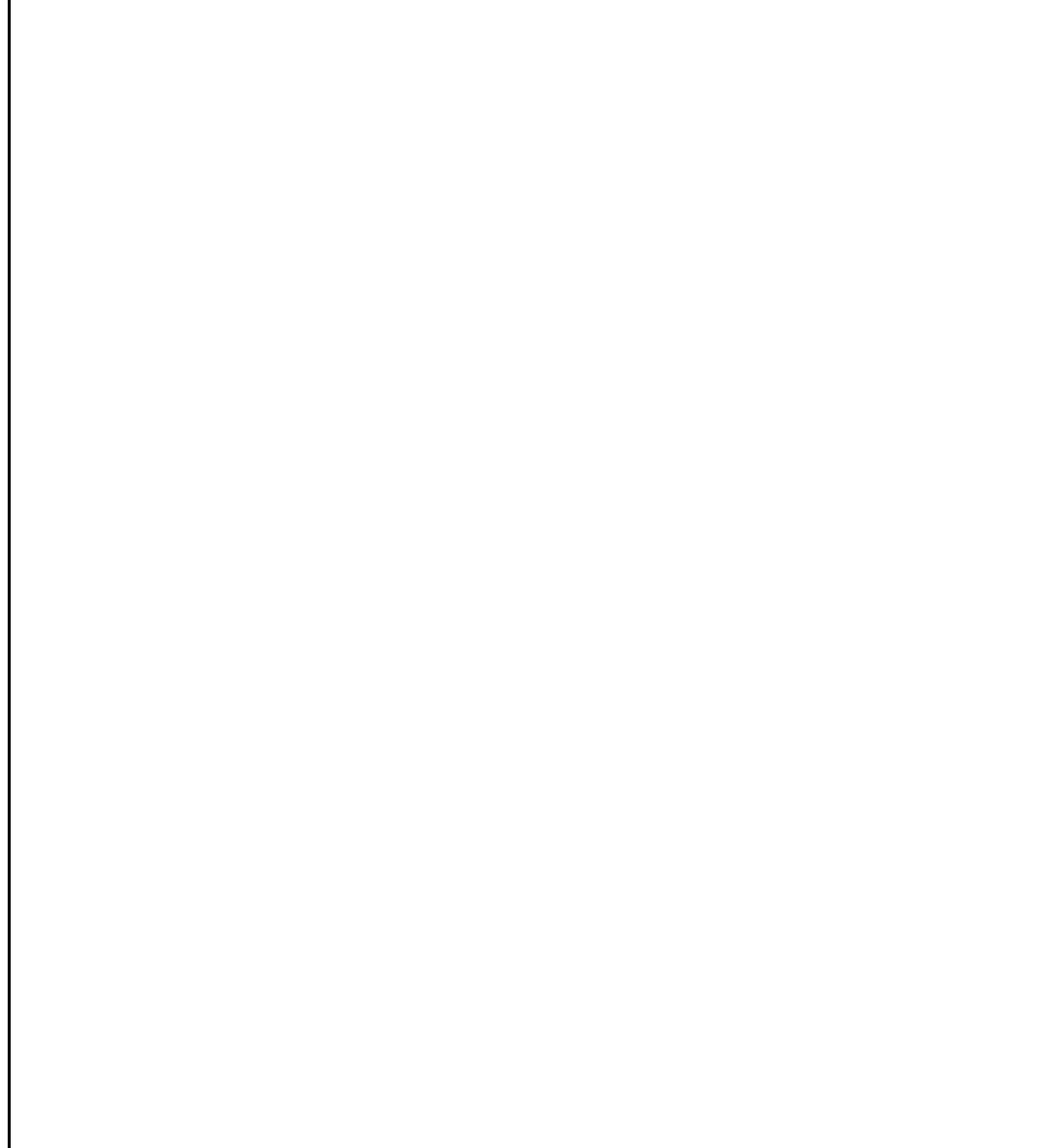
ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN 12" THRU 54" PIPE
SHEET 1 OF 2
840.02



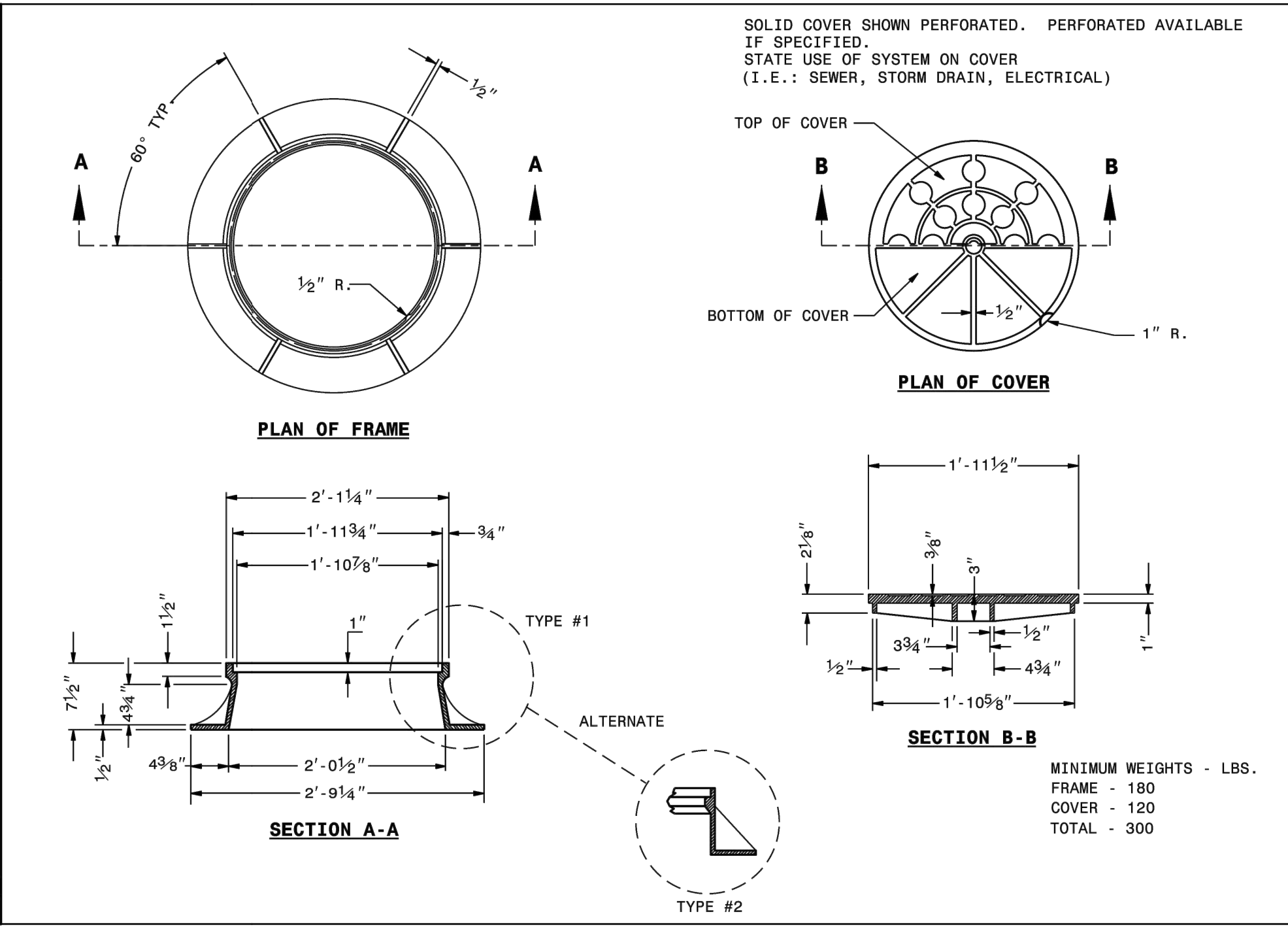
ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN
SHEET 2 OF 2
840.03



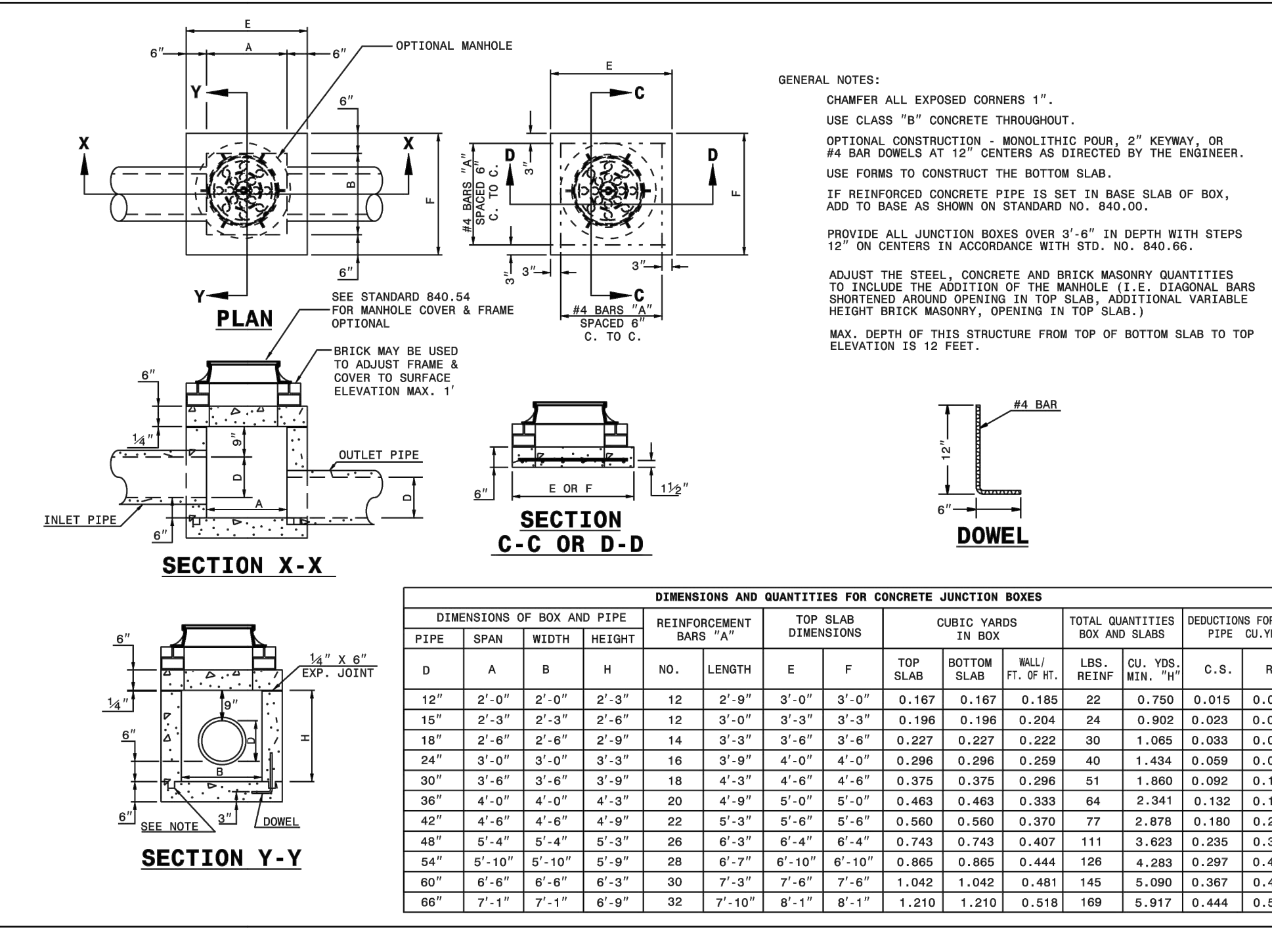
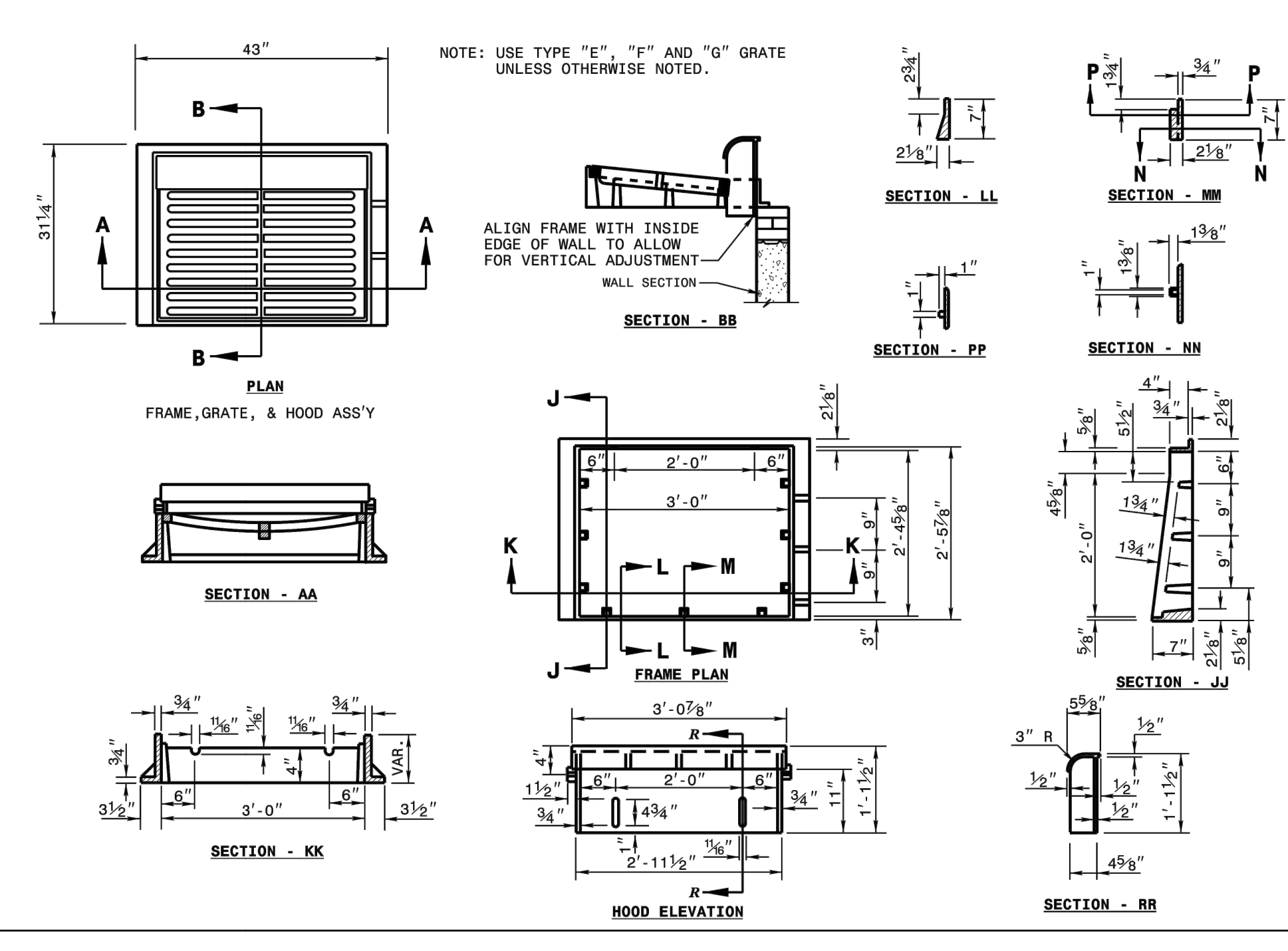
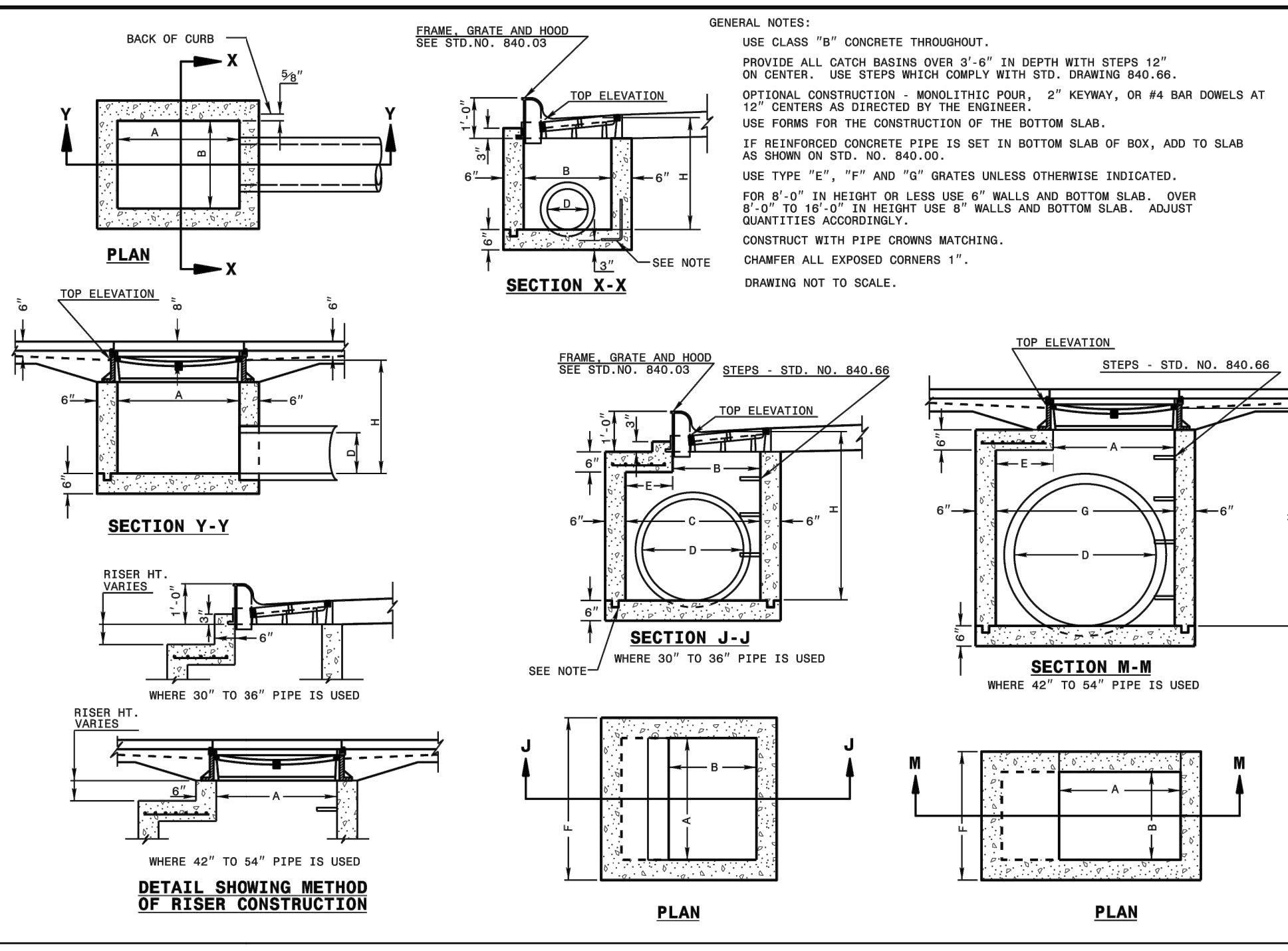
ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN
SHEET 1 OF 2
840.03



ROADWAY STANDARD DRAWING FOR MANHOLE FRAME AND COVER
SHEET 1 OF 1
840.54



ROADWAY STANDARD DRAWING FOR CONCRETE JUNCTION BOX (WITH OPTIONAL MANHOLE) 12" THRU 66" PIPE
SHEET 1 OF 1
840.31



DIMENSIONS AND QUANTITIES FOR CONCRETE JUNCTION BOXES

PIPE	DIMENSIONS OF BOX AND PIPE			REINFORCEMENT BARS "A"			TOP SLAB DIMENSIONS			CUBIC YARDS IN BOX			TOTAL QUANTITIES FOR BOX AND SLABS			DEDUCTIONS FOR ONE PIPE		
	D	A	B	NO.	LENGTH	E	F	TOP SLAB	BOTTOM SLAB	WALL	REINFORCING	CU. YDS. CONCRETE	CU. YDS. SLAB	CU. YDS. CURB	R.C.			
12"	2'-0"	2'-0"	2'-3"	12	2'-9"	3'-0"	3'-0"	0.167	0.167	0.185	32	0.750	0.015	0.024				
15"	2'-3"	2'-3"	2'-6"	12	3'-0"	3'-3"	3'-3"	0.196	0.196	0.204	24	0.922	0.023	0.036				
18"	2'-6"	2'-6"	2'-9"	14	3'-3"	3'-6"	3'-6"	0.227	0.227	0.222	30	1.065	0.033	0.049				
24"	3'-0"	3'-0"	3'-3"	16	3'-9"	4'-0"	4'-0"	0.296	0.296	0.259	40	1.434	0.059	0.085				
30"	3'-6"	3'-6"	3'-9"	18	4'-3"	4'-6"	4'-6"	0.375	0.375	0.296	51	1.860	0.092	0.127				
36"	4'-0"	4'-0"	4'-3"	20	4'-9"	5'-0"	5'-0"	0.463	0.463	0.333	64	2.341	0.132	0.178				
42"	4'-6"	4'-6"	4'-9"	22	5'-3"	5'-6"	5'-6"	0.560	0.560	0.370	77	2.878	0.180	0.243				
48"	5'-0"	5'-0"	5'-3"	26	6'-0"	6'-4"	6'-4"	0.743	0.743	0.407	111	3.623	0.235	0.317				
54"	5'-10"	5'-10"	5'-9"	28	6'-7"	6'-10"	6'-10"	0.865	0.865	0.444	126	4.283	0.297	0.401				
60"	6'-6"	6'-6"	6'-3"	30	7'-3"	7'-6"	7'-6"	1.042	1.042	0.481	145	5.090	0.367	0.495				
66"	7'-1"	7'-1"	6'-9"	32	7'-10"	8'-1"	8'-1"	1.210	1.210	0.518	169	5.917	0.444	0.589				

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THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED ON ALL AREAS OF THE SITE WHICH ALL DISTURBED OR GRADED.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY FOR SLOPES 3:1 OR FLATTER AND LESS THAN 50' IN LENGTH, FOR SLOPES 4:1 OR FLATTER OF ANY LENGTH (EXCEPT FOR PERIMETERS AND HWZ ZONES), AND SLOPES NO STEEPER THAN 2:1 AND LESS THAN 10' IN LENGTH.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON EXPOSED SLOPES WITHIN 7 CALENDAR DAYS FOR SLOPES STEEPER THAN 3:1 OR SLOPES 3:1 OR FLATTER GREATER THAN 50' IN LENGTH, FOR HIGH QUALITY WATER (HWQ) ZONES, AND PERIMETER DIKES, SWALES, DITCHES AND SLOPES.

PROVIDE GROUND COVER (TEMPORARY OR PERMANENT) ON ALL EXPOSED SLOPES WITHIN 21 CALENDAR DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, AND A PERMANENT GROUND COVER FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

THE CONTROL MEASURES SHALL BEGIN PRIOR TO ANY LAND DISTURBING ACTIVITY INCLUDING CLEARING; SHALL CONTINUE DURING CONSTRUCTION AND SHALL CONTINUE WITH THE NECESSARY MAINTENANCE UNTIL THE DISTURBED LAND IS STABILIZED. COMPLIANCE WITH LOCAL AND/OR STATE SOIL EROSION AND SEDIMENTATION CONTROL LAWS SHALL BE THE ENTIRE RESPONSIBILITY OF THE CONTRACTOR. THIS PARAGRAPH IS INTENDED TO SERVE ONLY AS A GUIDE TO THE CONTRACTOR FOR COMPLIANCE WITH SUCH LAWS, ORDERS, RULES AND REGULATIONS CONCERNING EROSION AND SEDIMENTATION CONTROL PROTECTION OF EXISTING STRUCTURES AND FACILITIES FROM SEDIMENTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ITEMS TO BE PROTECTED SHALL INCLUDE, BUT ARE NOT LIMITED TO, CATCH BASINS, NATURAL WATERWAYS, DRAINAGE DITCHES, WALKS, DRIVES, ROADS, LAWNS, AND STREAMS.

EROSION CONTROL MEASURES

NO SCALE

SEEDBED PREPARATION

CONSTRUCTION SPECIFICATIONS

1. PREPARE SOIL AS NECESSARY TO ESTABLISH AN ADEQUATE SEEDBED FOR RECEIVING SEED USING TILLAGE AND/OR REMOVAL OF DEBRIS (ROCKS, ROOTS, OBSTRUCTIONS), CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. SOIL SHALL RECEIVE LIME, FERTILIZER AND/OR SUPERPHOSPHATE UNIFORMLY AS NEEDED PER RECOMMENDATIONS FROM NORTH CAROLINA DEPARTMENT OF AGRICULTURE OR OTHER COMMERCIAL LABORATORY.
3. SEED ON A FRESHLY PREPARED SEEDBED AND ENSURE SEED IS LIGHTLY COVERED FOLLOWING INSTALLATION.
4. MULCH IMMEDIATELY AFTER SEEDING.
5. CONTRACTOR SHALL SEED ALL AREAS THAT ARE DISTURBED WITHIN TWO DAYS. INSPECT ALL SEEDED AREAS AND MAKE SURE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETE, AN INSPECTION WILL BE COMPLETED TO DETERMINE IF ADDITIONAL SEEDING WILL BE REQUIRED.

*APPLY: FERTILIZER, LIME, AND MULCH SHALL BE APPLIED AT RATES RECOMMENDED BY NCDA (OR OTHERS). OTHERWISE, APPLY AS DESCRIBED BELOW.

AGRICULTURAL LIMESTONE - 1-1.5 TONS/ACRE ON COURSE TEXTURED SOILS AND 2-3 TONS/ACRE IN FINE-TEXTURED SOILS.
SOILS WITH PH OF 6 OR HIGHER NEED NOT BE LIMED.
FERTILIZER - 700/1000 LBS/ACRE (10-10-10)
MULCH - 2 TONS/ACRE (SMALL GRAIN STRAW)
ANCHOR - ASPHALT EMULSION AT 450 GAL/ACRE

CONSTRUCTION SEQUENCING

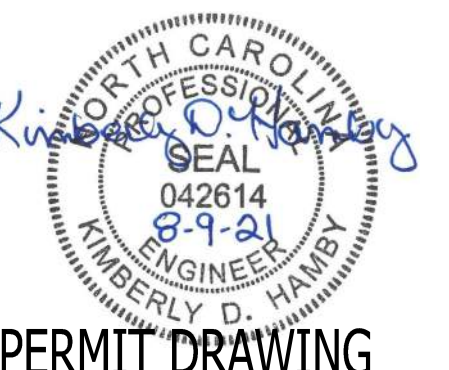
1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE PADS. (SEE DETAIL)
2. INSTALL EROSION CONTROL DEVICES AT SITE DISCHARGE POINTS AND ALL SILT FENCE TO PREVENT OFF SITE SEDIMENTATION.
3. PERFORM DEMOLITION WORK.
4. INSTALL THE REMAINING SEDIMENT AND EROSION CONTROL PROTECTION.
5. PERFORM GRADE WORK, INSTALL UTILITIES AND THE STONE BASE AND ASPHALT FOR THE PROPOSED STREET.
6. PROVIDE GROUND COVER IN ACCORDANCE WITH DETAIL MARKED 'EROSION CONTROL MEASURES', THIS SHEET.
7. MONITOR AND MAINTAIN THE INSTALLED EROSION CONTROL MEASURES AND REPAIR AS NECESSARY.
8. ONCE VEGETATION IS ESTABLISHED THROUGHOUT DEVELOPMENT, REMOVE POROUS BARRIERS AND SEDIMENT FROM DETENTION POND AND RESTORE TO DESIGN DEPTHS. REMOVE SKIMMER FROM DRAWDOWN ORIFICE.
9. REMOVE ANY REMAINING CONTROL DEVICES.

PERMANENT SEEDING SCHEDULE FOR COASTAL PLAIN

DATE	TYPE	BROADCAST SEEDING RATES
OCT 1 - APR 1	SERICA LESPEDEZA	15 LBS/ACRE
AUG 30 - MAR 15	KY 31 TALL FESCUE	200-250 LBS/ACRE
AUG 15 - APR 15	RYE GRAIN	40 LBS/ACRE
APR 15 - AUG 15	GERMAN MILLET	10 LBS/ACRE

TEMPORARY SEEDING SCHEDULE

DATE	TYPE	PLANTING RATES
DEC 1 - APR 15	ANNUAL LESPEDEZA (KOBÉ IN PIEDMONT AND COASTAL PLAIN)	50 LBS/ACRE
APR 15 - AUG 15 (COASTAL PLAIN)	GERMAN MILLET	40 LBS/ACRE
AUG 15 - DEC 30 (COASTAL PLAIN)	RYE	120 LBS/ACRE



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REVISION DESCRIPTION

YOUR VISION ACHIEVED THROUGH OURS.

DATE 08/09/2021

DATE 06/15/21

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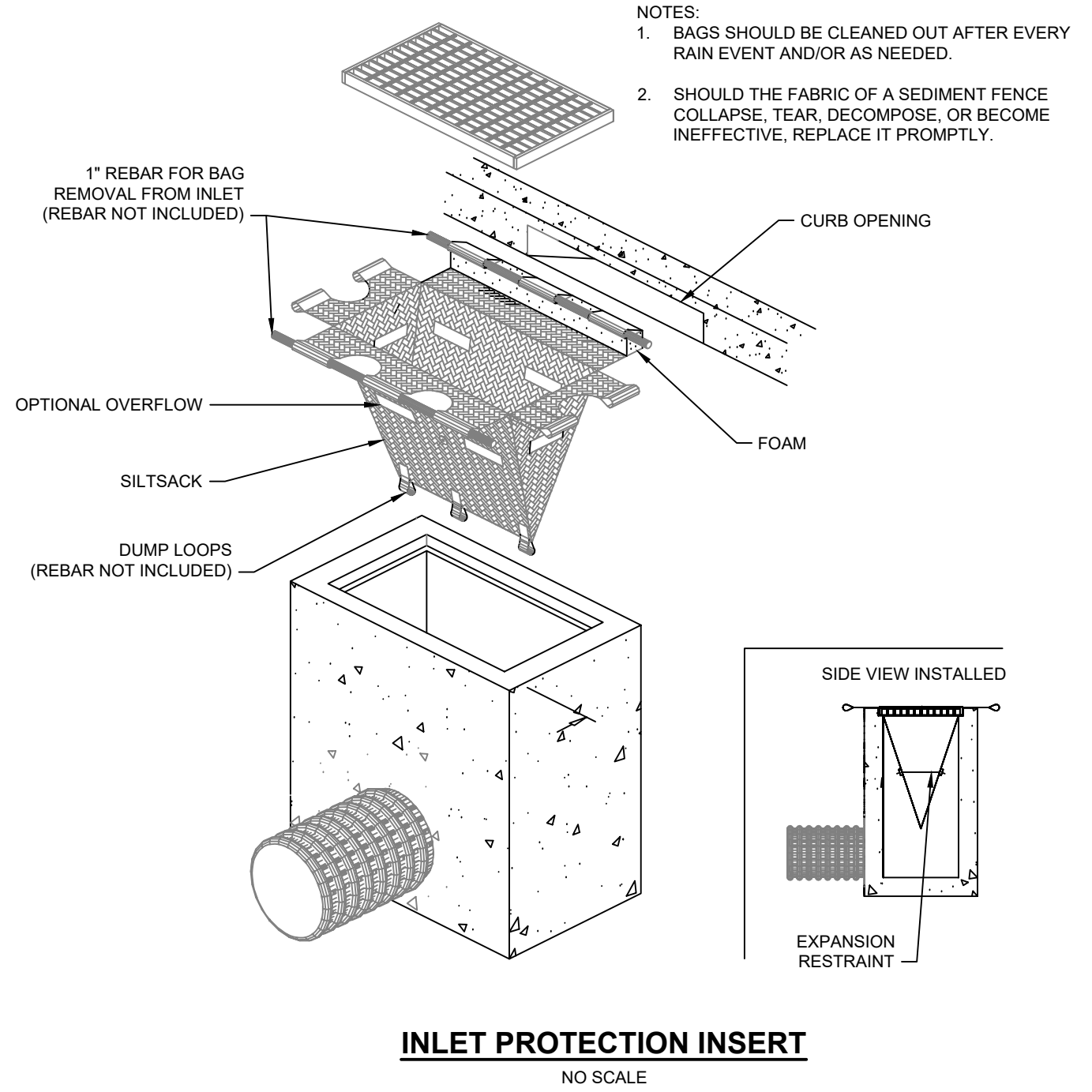
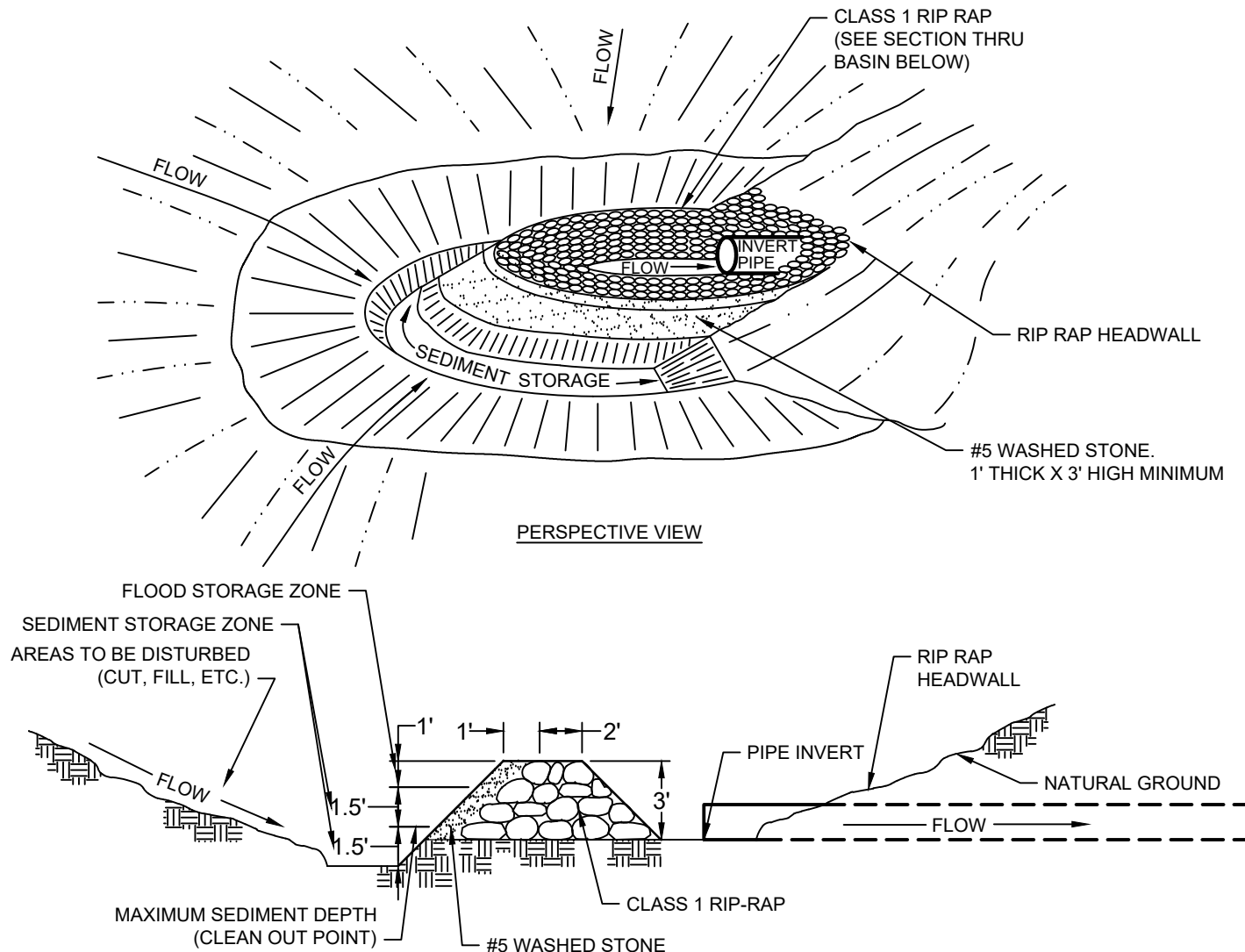
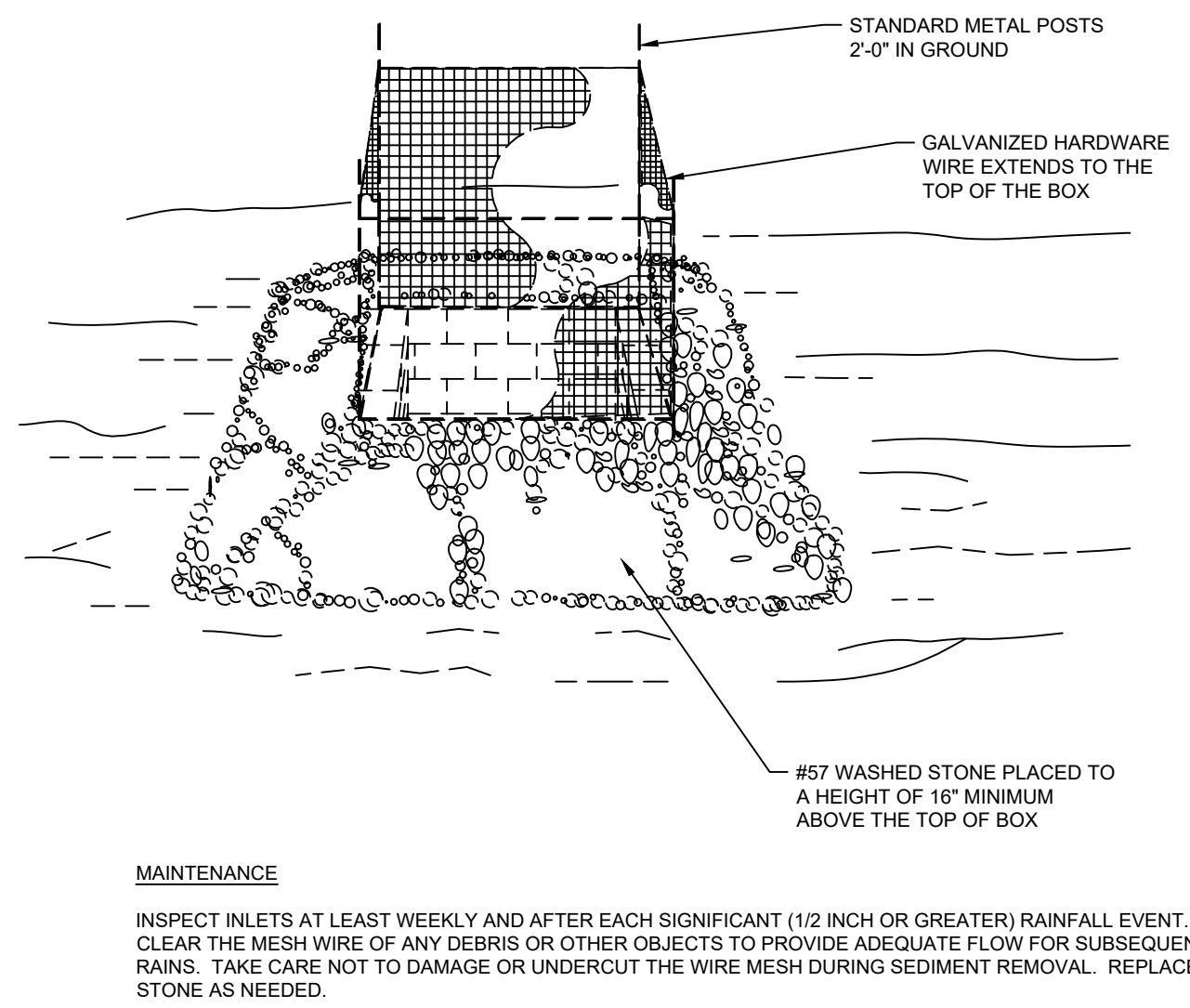
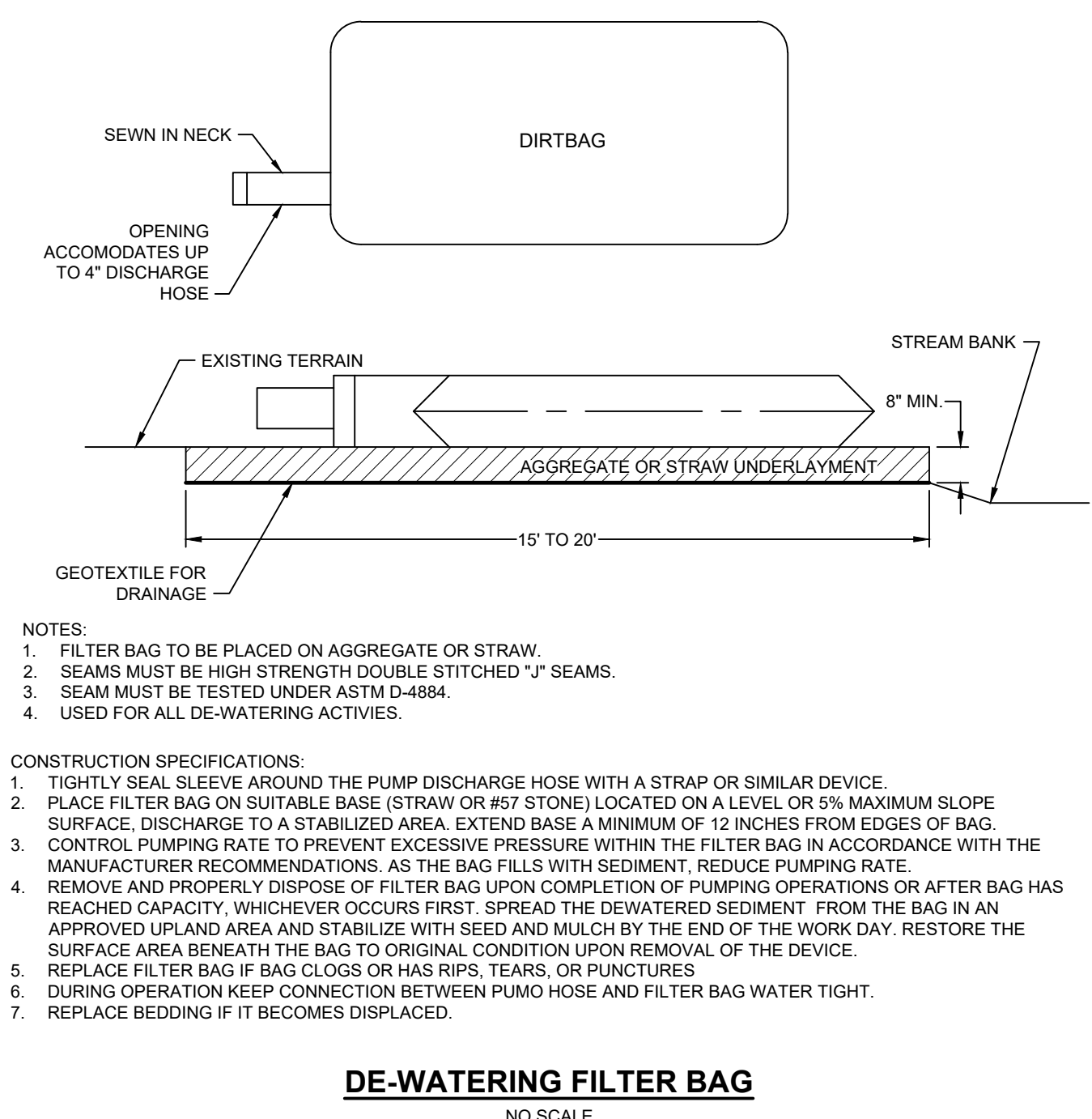
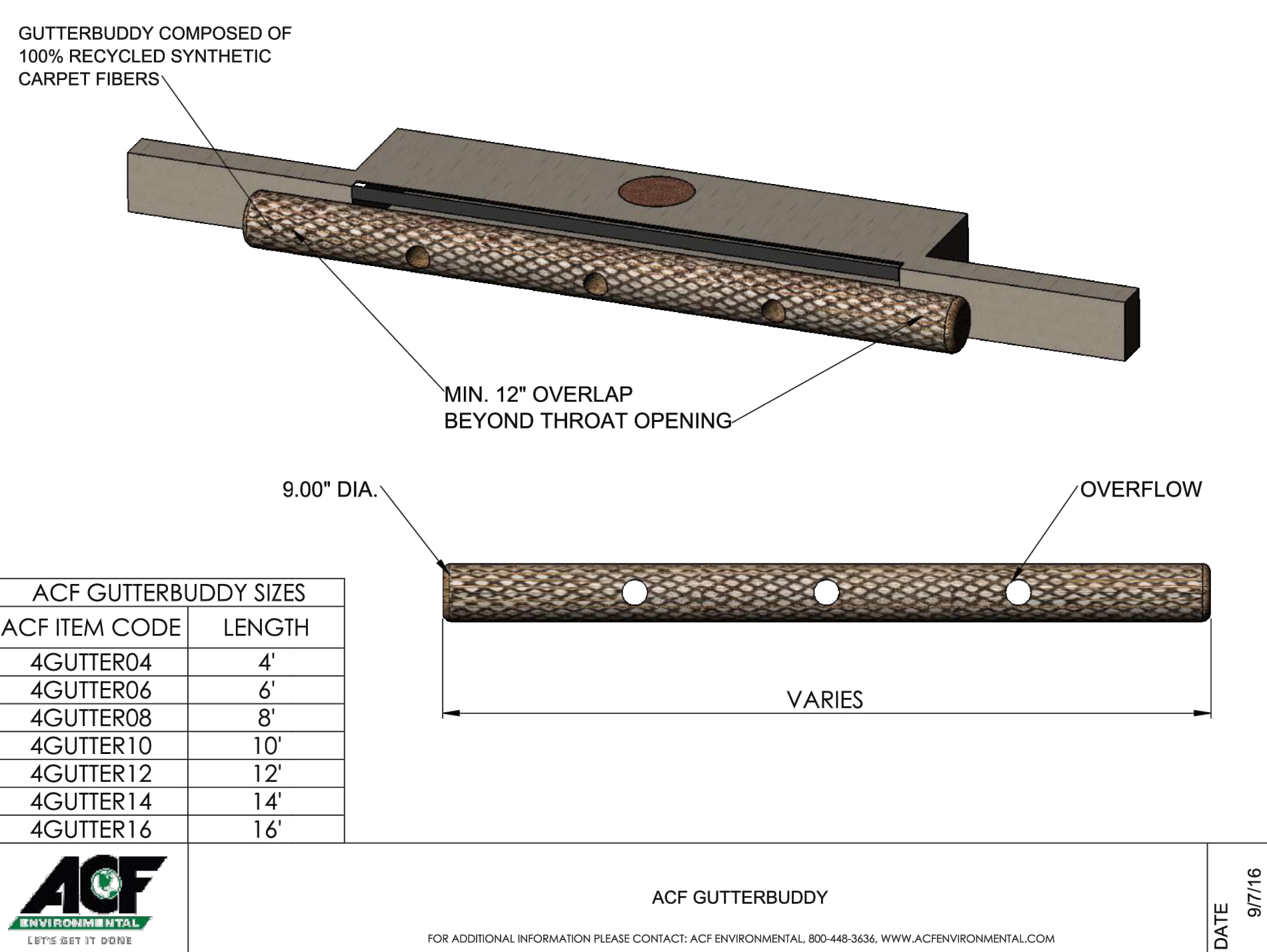
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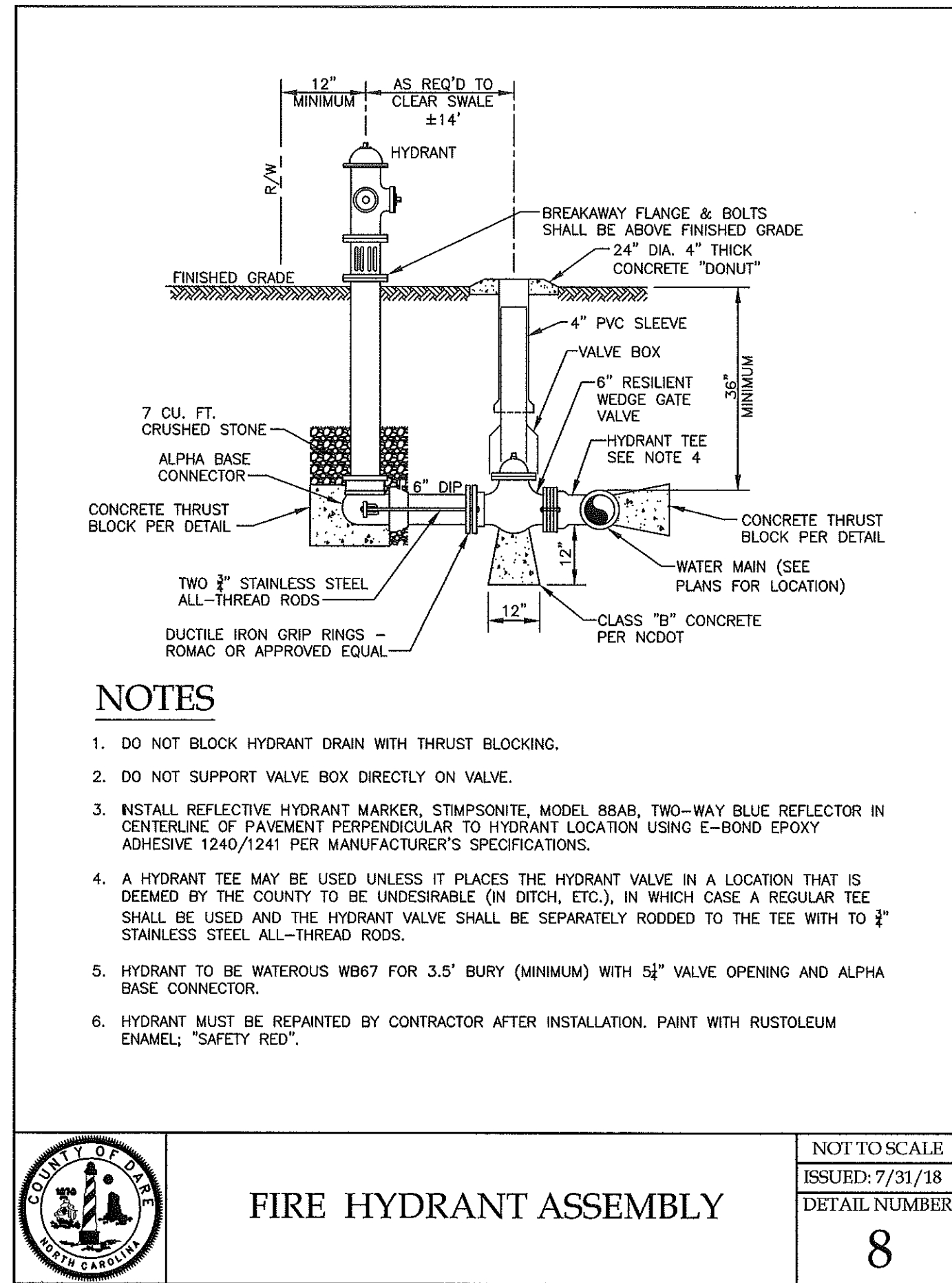
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
MODIFICATIONS TO THE MARKETPLACE
SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
EROSION CONTROL DETAILS

JOB NO. 44588
SHEET NO. C5.2

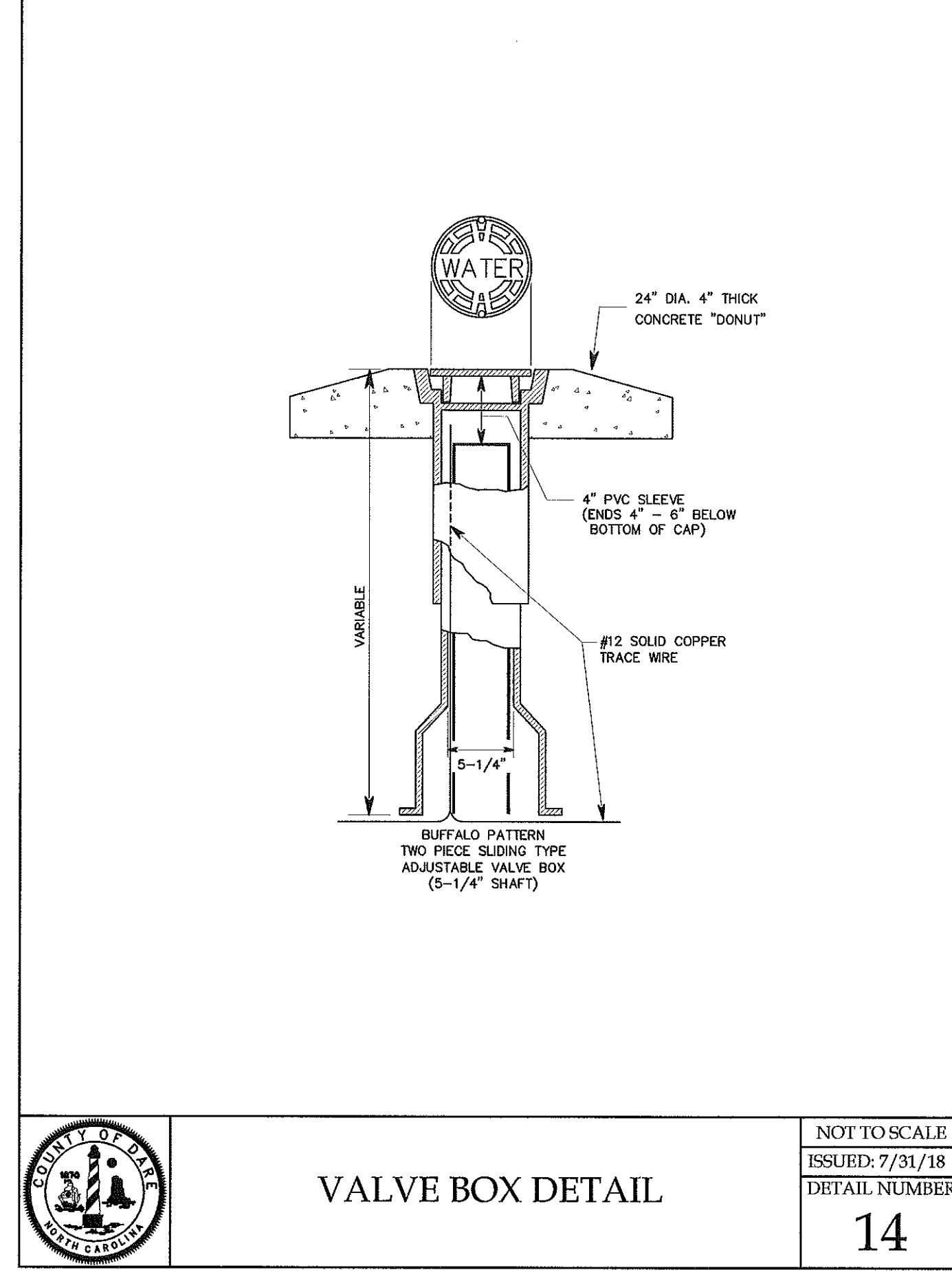


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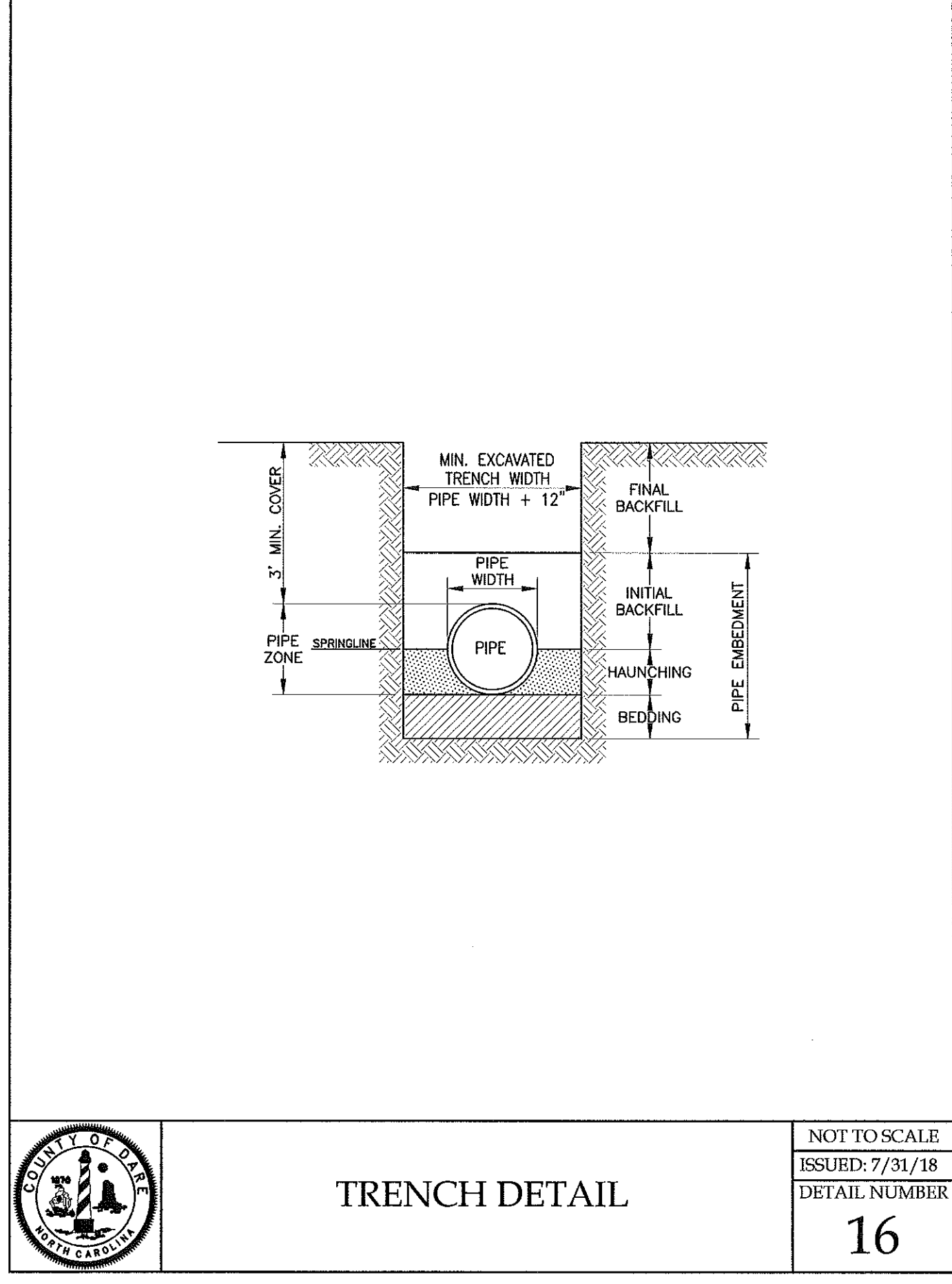
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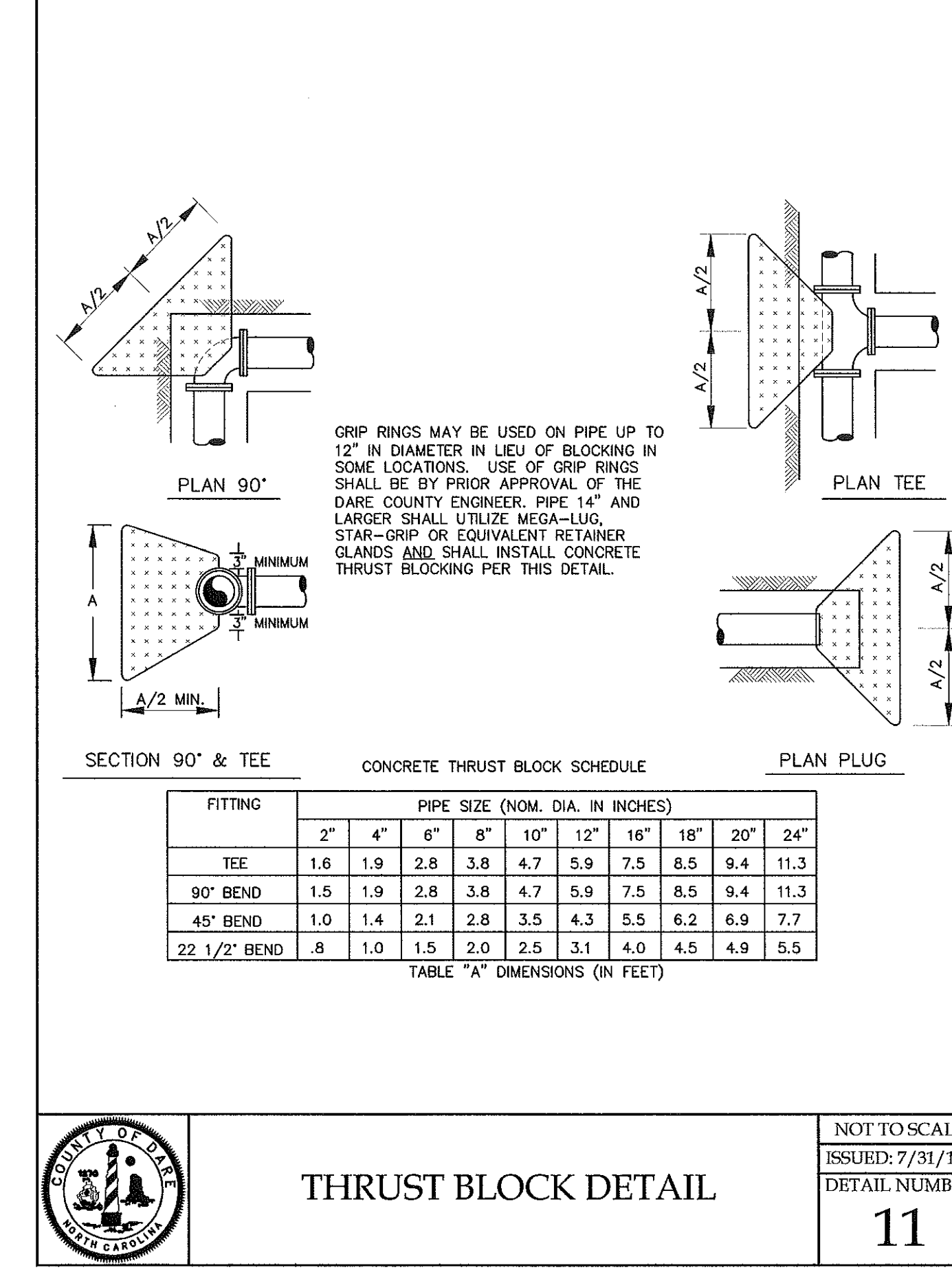
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 ISSUED: 7/31/18
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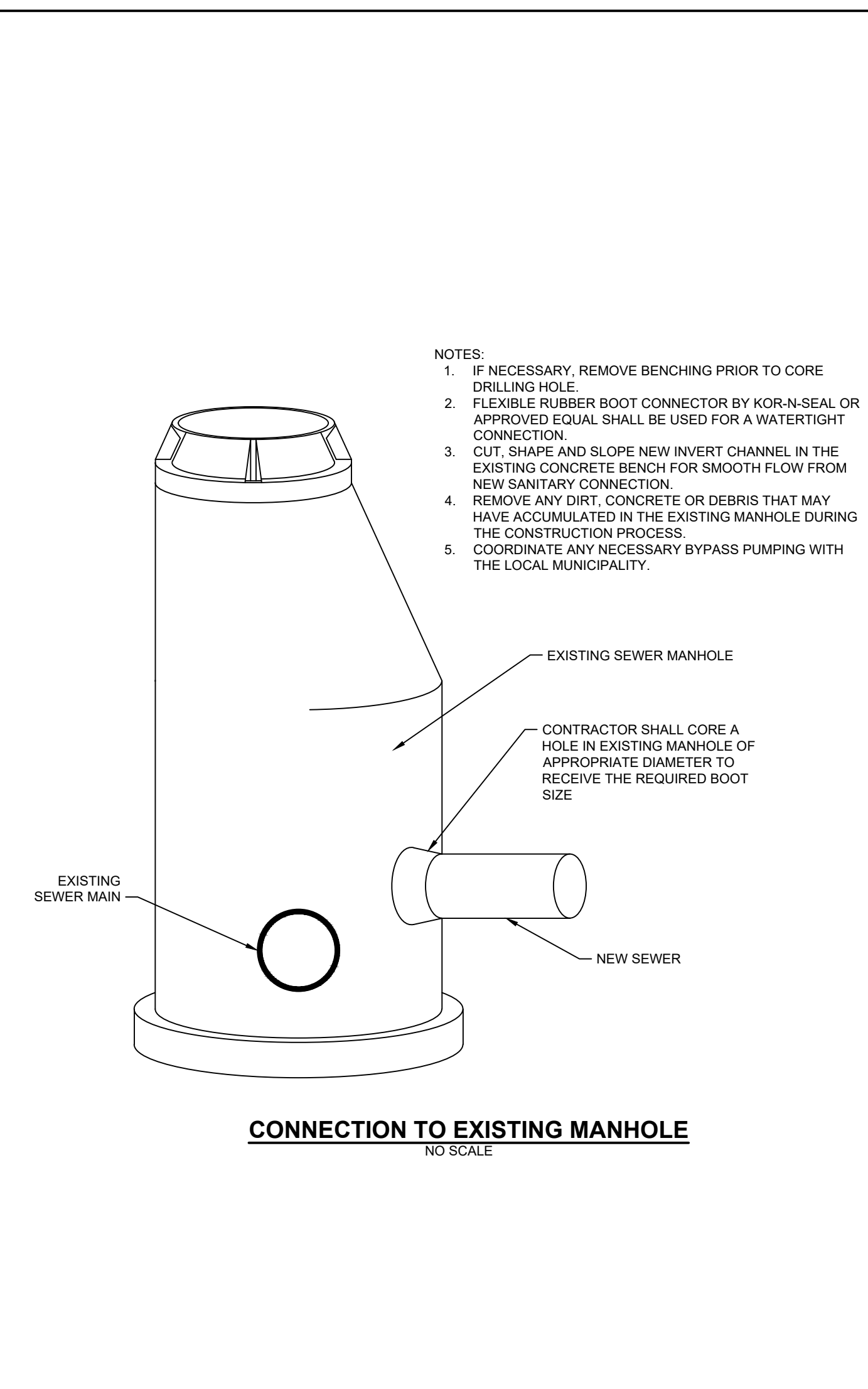
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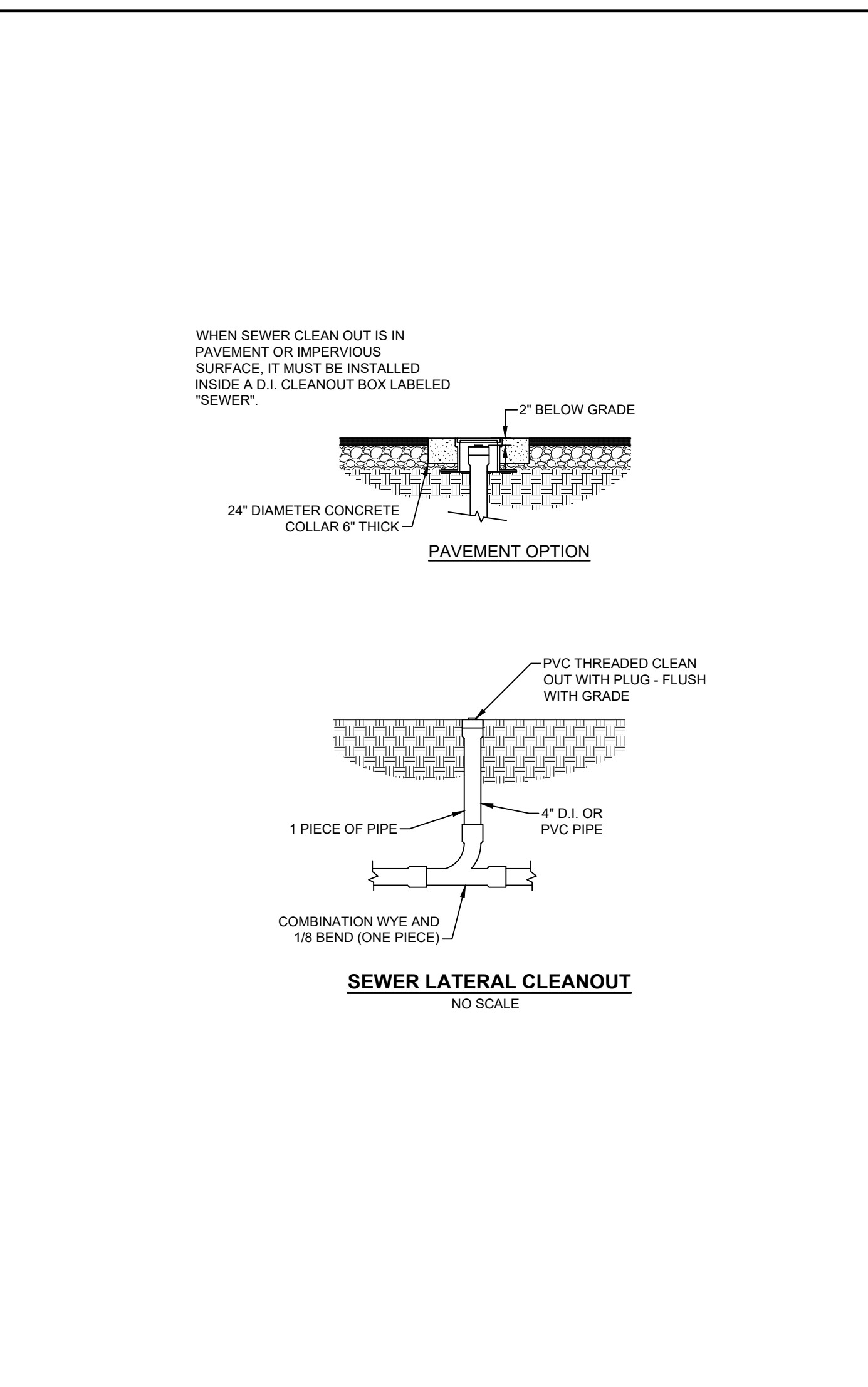
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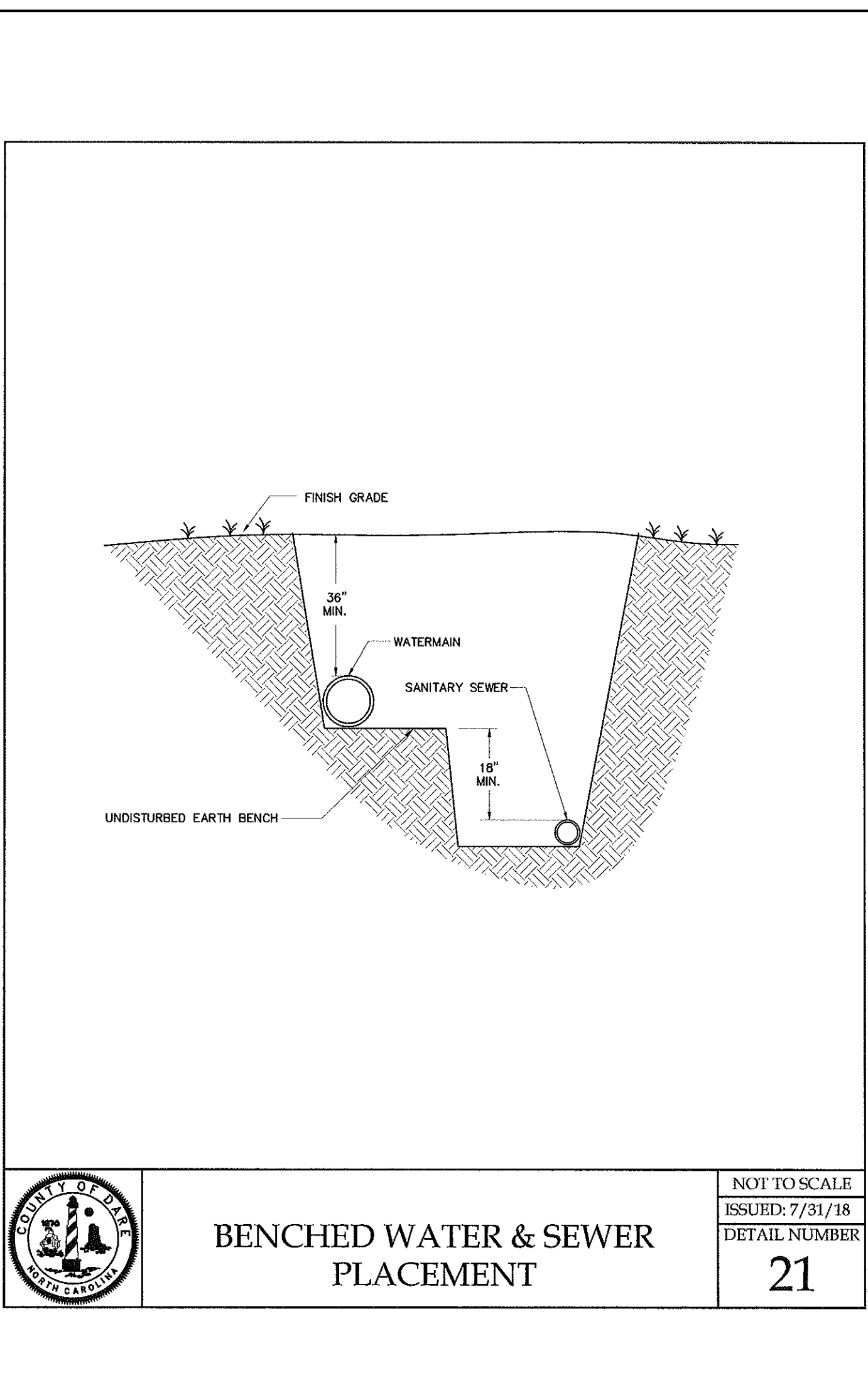
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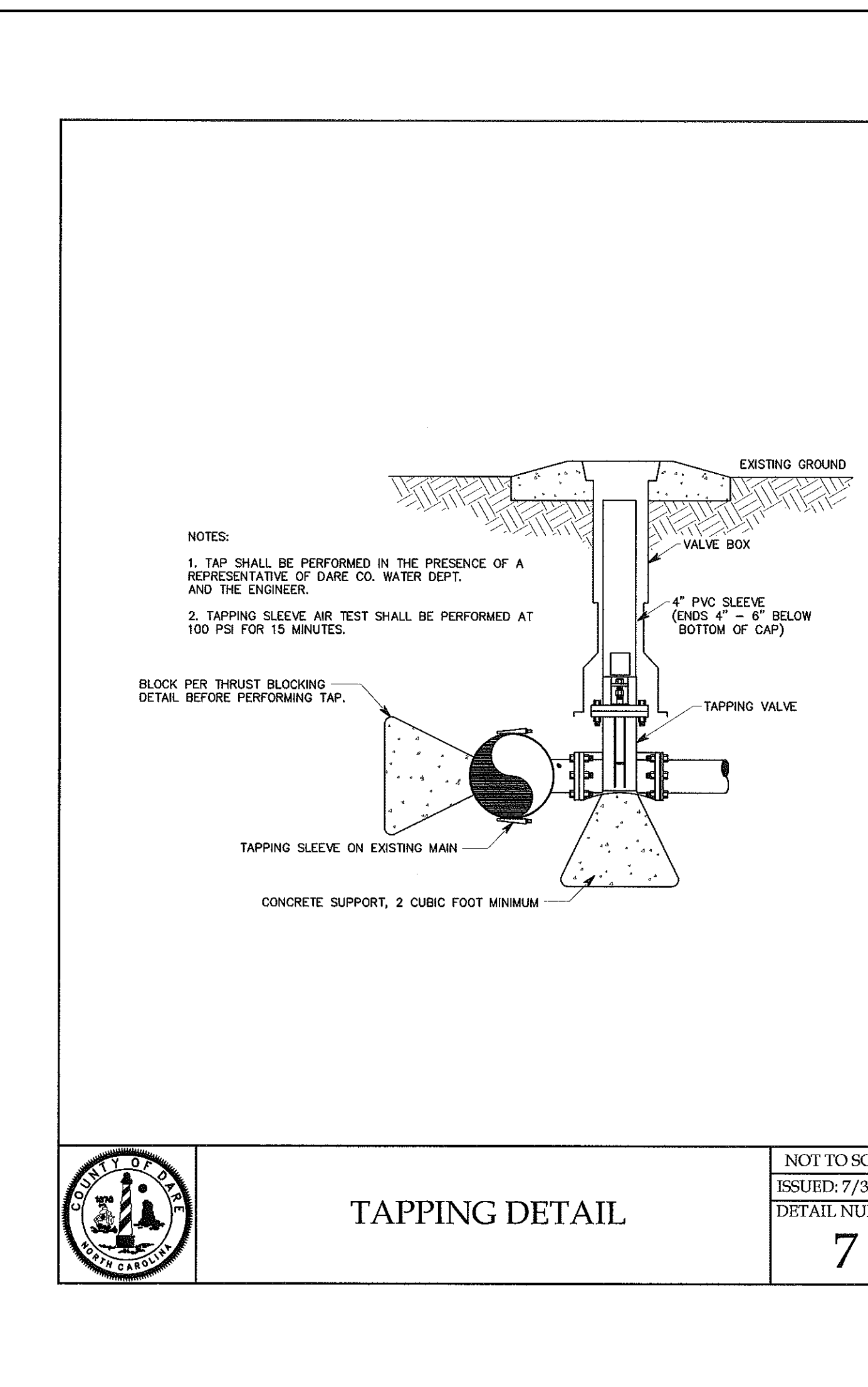
CONNECTION TO EXISTING MANHOLE
 NO SCALE



SEWER LATERAL CLEANOUT
 NO SCALE



BENCHED WATER & SEWER PLACEMENT
 NOT TO SCALE
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 DETAIL NUMBER
21



TAPPING DETAIL
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 DETAIL NUMBER
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TIMMONS GROUP
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 MODIFICATIONS TO THE MARKETPLACE
 SOUTHERN SHORES TNSP - DARE COUNTY - NORTH CAROLINA
 UTILITY DETAILS

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YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
08/09/2021	REVISED PER TRAC/TOWN COMMENTS

DATE
06/15/21

DRAWN BY
BCD

DESIGNED BY
KDH

CHECKED BY
KDH

SCALE
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