

# **SOUTH JORDAN CITY PLANNING COMMISSION REPORT**

**Meeting Date: 01/09/2024**

---

**Issue:** Garcia Law Offices  
SITE PLAN APPLICATION

**Address:** 10931 S Beckstead Lane South Jordan, UT 84095  
**File No:** PLSPR202300173  
**Applicant:** Casey Copier

**Submitted by:** Miguel Aguilera, Planner I  
Jared Francis, Senior Engineer

---

**Staff Recommendation (Motion Ready):** I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202300173**, to allow for construction the Garcia Law Offices in the C-C zone at 10931 S Beckstead Lane.

---

<b>ACREAGE:</b>	0.62 acres
<b>CURRENT ZONE:</b>	C-C (Community Commercial) Zone
<b>CURRENT USE:</b>	Vacant Land
<b>FUTURE LAND USE PLAN:</b>	MU (Mixed-Use)
<b>NEIGHBORING ZONES/USES:</b>	North – C-C (Offices) South – C-C (Meridian Engineering) West – C-C (Multiple Restaurants) East – R-M-6 (Beckstead Lane/ Crystal Cove Subdivision Residences)

---

## **STANDARD OF REVIEW:**

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions, or deny the site plan.

---

## **BACKGROUND:**

The proposed development at 10931 S Beckstead Lane will be the Garcia Law Offices. The lot is currently vacant and is zoned community commercial (C-C). The proposed office use is a permitted use in the zone.

The project will be a 33 foot tall, 11,257 square foot building. The two-story building will be built in the middle of the property with the front oriented towards the west facing the neighboring property of 10949 S Redwood Rd. Parking stalls will be located on the south, north, and west sides of the building with Beckstead Lane located on the east. The parking requirement for office use is 1 per 300 square feet of floor area. For this project, the city parking requirement is 38 stalls. The site plan is designed with only 34 parking stalls; however, a shared parking agreement with the property owner at 10949 S Redwood Rd has provided an additional 4 shared stalls. Vehicles will be able to access the Garcia Law Offices via Beckstead Lane and Redwood Road.

Building façades will be of grey old style brick with smaller sections consisting of metal horizontal siding with wood pattern and Charcoal color metal panels. There will be windows of varied size on both stories of each facade of the Garcia Law Offices, providing ample natural light to the building's interior.

Landscaping will consist of trees, shrubs, rock mulch, and lawn cover. A mix of 19 trees and 220 shrubs will be planted throughout all landscaped areas. Lawn area will be 2,023 square feet, or 17.43%, of the landscape area (max coverage of lawn is 20%). Decorative rock will be the ground cover on all non-lawn covered areas. The landscaping plans meet city landscaping requirements for commercial zones.

---

## **STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:**

### **Findings:**

- There will be only one building on this property with the intended use being office
- The Architectural Review Committee reviewed the proposed building on October 11, 2023. The project received a positive recommendation from the committee.
- The development's parking requirement will be met with the included parking agreement

### **Conclusion:**

- The proposed project will meet the requirements of the Site Plan Review (Title 16) and the Planning and Zoning (Title 17) Codes and thus should be approved.

### **Recommendation:**

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

**ALTERNATIVES:**

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

**SUPPORT MATERIALS:**

- Location Map
- Zoning Map
- Site Plan
- Landscape Plan
- Photometric Plan
- Building Elevations
- Parking Agreement

*Miguel Aguilera*

---

Miguel Aguilera  
Planner I, Planning Department

*Brad Klavano*

---

Brad Klavano (Jan 3, 2024 14:41 MST)

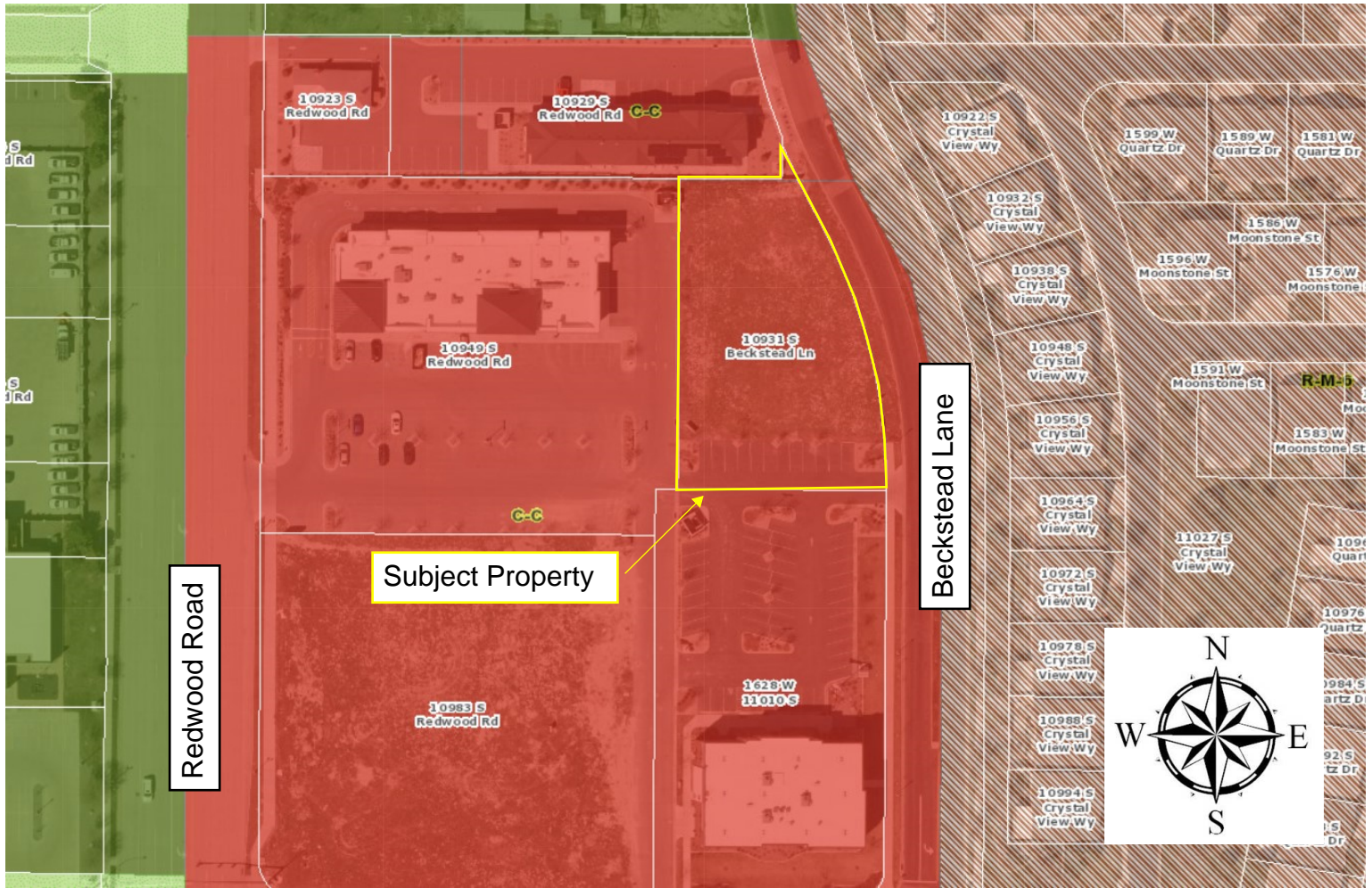
---

Brad Klavano, P.E.  
City Engineer



# Zoning Map

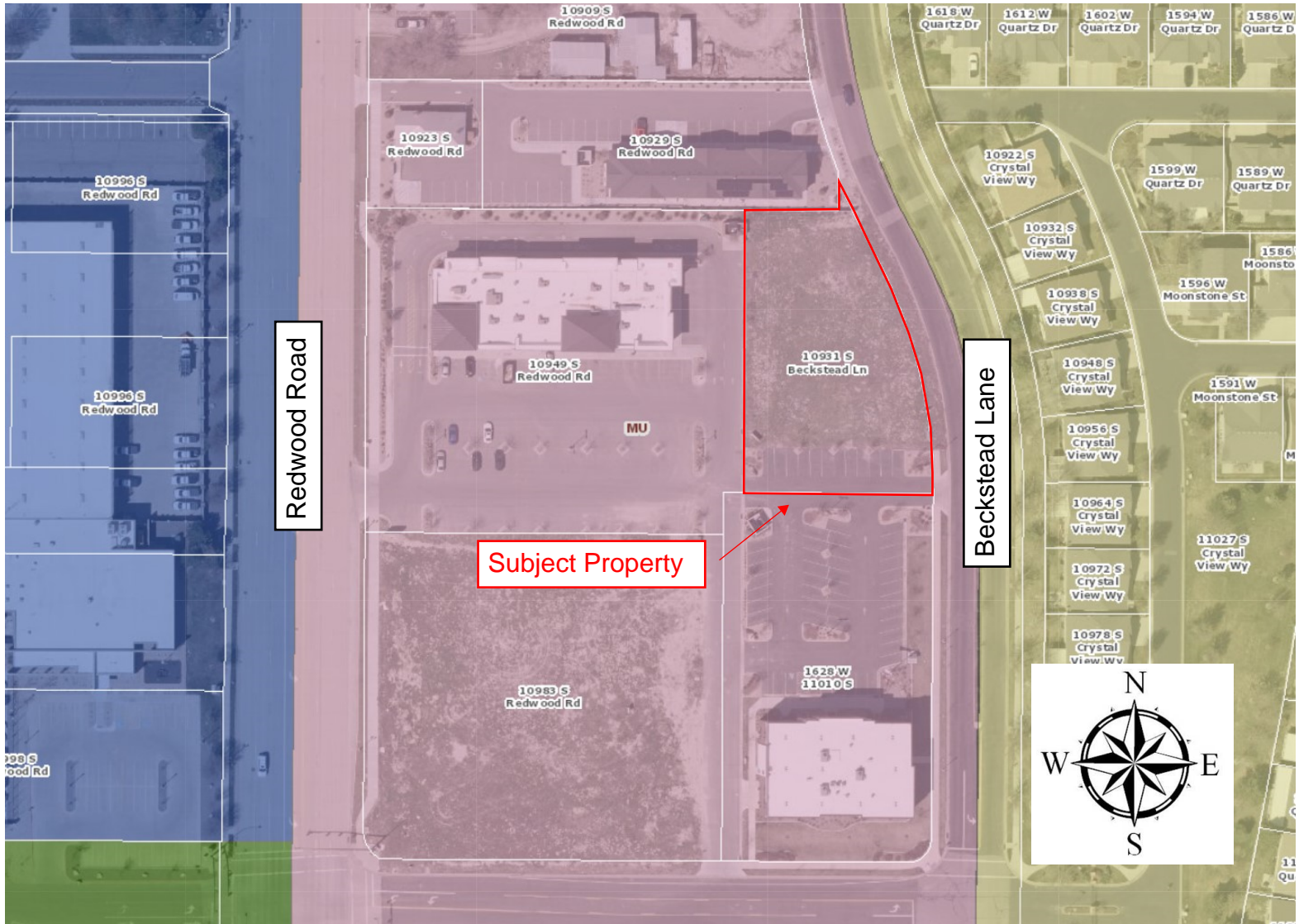
South Jordan City  
Garcia Law Offices



# Land Use Map

## South Jordan City

### Garcia Law Offices



NO.	REVISIONS	DATE
DESIGNER: TLH PROJECT ENGINEER: TLH		

CHAPTER 1  
STANDARD NOTES

(Updated 4-2-19)

The South Jordan City Standard Notes are required to be included as part of all construction plans for residential or commercial development. Plans submitted by public or private entities for all other types of projects within City right-of-way, its easements or property shall reference the South Jordan City Standard Notes and Specifications.

1.1 South Jordan City General Notes

- All work done or improvements installed within South Jordan City including but not limited to excavation, construction, roadway and utilities shall conform to the South Jordan City Construction Standards and Specifications, City Municipal Code, the latest edition of the APWA Manual of Standard Specifications and Manual of Standard Plans, the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD) and any state or federal regulations and permit requirements of various governing bodies. The contractor is responsible to have a copy of these specifications and to know and conform to the appropriate codes, regulations, drawings, standards and specifications.
- The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records. Existing utilities are located on plans only for the convenience of the Contractor. The contractor shall bear full responsibility for the protection of utilities and the engineer bears no responsibility for utilities not shown on the plans or not in the location shown on the plans. This includes all service laterals of any kind. The Contractor shall, at his own expense, locate all underground and overhead interferences, which may affect his operation during construction and shall take all necessary precautions to avoid damage to same. The Contractor shall use extreme caution when working near overhead utilities so as to safely protect all personnel and equipment, and shall be responsible for all cost and liability in connection therewith.
- The Contractor shall take all precautionary measures necessary to protect existing utility lines, structures, survey monuments and street improvements which are to remain in place, from damage, and all such structures or structures damaged by the Contractor's operations shall be repaired or replaced satisfactory to the City Engineer and owning utility company at the expense of the Contractor.
- All construction shall be as shown on these plans, any revisions shall have the prior written approval of the City Engineer.
- Permits are required for any work in the public way. The Contractor shall secure all permits and inspections required for this construction.
- Curb, gutter, and sidewalk, found to be unacceptable per City Standards and APWA shall be removed and replaced.
- Contractor shall provide all necessary horizontal and vertical transitions between new construction and existing surfaces to provide for proper drainage and for ingress and egress to new construction. The extent of transitions to be as shown on plans.
- Any survey monuments disturbed shall be replaced and adjusted per Salt Lake County Surveyors requirements.
- All privacy walls, new or existing, are only shown on civil plans for the purpose of reviewing grading relationships; flood control and sight distance at intersections. All walls shall have a minimum 2 ft. x 2 ft. x 30 inch deep spot footings. Bottom of all footings on all walls shall be a minimum of 30 inches below finished grade. Walls greater than 6 feet require a separate permit and inspection by the Building Department.
- All construction materials per APWA must be submitted and approved by the City Engineer prior to the placement of asphalt within City Right of Way.
- Request for inspection by the City of South Jordan engineering dept. shall be made by the contractor at least 48 hours before the inspection services will be required, except in an emergency as defined by the South Jordan City Municipal Code § 12.08.010.
- Work in public way, once begun, shall be prosecuted to completion without delay as to provide minimum inconvenience to adjacent property owners and to the traveling public.
- The contractor shall take all necessary and proper precautions to protect adjacent properties from any and all damage that may occur from storm water runoff and/or deposition of debris resulting from any and all work in connection with construction.
- Power poles and/or other existing facilities not in proper location based on proposed improvements shown hereon will be relocated at no expense to the City of South Jordan. Power lines and all other aerial utilities are to be buried and poles removed as determined by the City Engineer.
- Curb and gutter with a grade of less than four-tenths of one percent shall be constructed by forming. Each joint shall be checked for a grade prior to construction and water tested as soon as possible after construction.
- Contractor to follow Salt Lake County Noise Ordinance Standards.
- Contractors are responsible for all OSHA requirements on the project site.
- A UPDES (Utah Pollutant Discharge Elimination System) permit is required for all construction activities as per state law as well as providing a Storm Water Pollution Prevention Plan to the City.
- Developer is responsible for locating and repairing all underground streetlight wires, water lines, storm drain lines and irrigation lines until 90% of the bond has been released.
- All City maintained utilities including; waterline, fire hydrants, streetlight wiring, and storm drain must be in public right of way or in recorded easements.
- Contractor shall work South Jordan City regular working hours of Monday through Friday. If Contractor permits overtime work or work on a Saturday, Sunday or any legal holiday, Contractor shall receive prior approval by City Engineer. Contractor shall obtain all permits and pay Overtime Inspection Fee's to the City of South Jordan on the Thursday prior to the Saturday, Sunday or legal holiday requested.
- Prior to 90% bond release, a legible as-built drawing must be submitted to the City of South Jordan stamped and signed by a professional engineer. As-builts must show all changes and actual field locations of storm drainage, waterlines, irrigation, street lighting, and power. As-builts will be held to the same standard as approved design drawings, no "redlined plans" allowed. In the absence of changes, copies of the approved drawings will be required stating "Installed as per drawings". As-built drawings for new developments shall be submitted to the City in the following formats and quantities prior to the 90% bond release: 1 .dxf copy, 1 .pdf copy.
- Filter fabric wrapped around an inlet grate is not an acceptable inlet sediment barrier. See Chapter 9 of South Jordan City Construction Standards and Specifications for details of approved storm water BMPs.
- Asphalt paving between October 15 and March 15 is not allowed without a written exception from the Engineering Department.
- No More than 15 percent RAP (recycled asphalt pavement) by weight will be allowed in the asphalt mix design for the paving of public and private streets. Up to the 15 percent will be allowed with no change in the specified binder grade.
- To ensure proper planting, protection and irrigation of trees, mitigating risk of tree failure or future damage to infrastructure, contractors are required to follow the standards and specifications of the ISA – International Society of Arboriculture.
- All small cell construction must follow the South Jordan City Small Cell Infrastructure Design Guidelines.

1.2 City of South Jordan Traffic Notes

- When a designated "Safe Route To School" is encroached upon by a construction work zone the safe route shall be maintained in a manner acceptable to South Jordan City and the Jordan School District.
- If the improvements necessitate the obliteration, temporary obstruction, temporary removal or relocation of any existing traffic pavement marking, such pavement marking shall be restored or replaced with like materials to the satisfaction of the City Engineer, Public Works Director or designee.
- The street Sign Contractor shall obtain street names and block numbering from the Planning Department prior to construction.
- The Contractor shall be responsible for providing and installing all permanent signs shown on the plans. Street name signs shall conform in their entirety to current City Standards. All other signs shall be standard size unless otherwise specified on the plans. All sign posts shall be installed in accordance with the current City Standards.
- All permanent traffic control devices called for hereon shall be in place and in final position prior to allowing any public traffic onto the portions of the road(s) being improved hereunder, regardless of the status of completion of paving or other off-site improvements called for per approved construction drawings unless approved by the City Engineer.
- The Contractor shall be responsible for notifying Utah Transit Authority (UTA) if construction interrupts or relocates a bus stop or has an adverse effect on bus service on that street to arrange for temporary relocation of stop.
- Before any work is started in the right-of-way, the contractor shall install all advance warning signs for the construction zone. The contractor shall install temporary stop signs at all new street encroachments into existing public streets. All construction signing, barricading, and traffic delineation shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) per the current edition adopted by UDOT and be approved by the City of South Jordan before construction begins.
- All signs larger than 36" X 36" or 1296 square inches per sign pole shall be mounted on a Sip Base system per UDOT standard drawing SN 108 (detail drawing attached to standard drawings) with a "Z" bar backing. Signs of this size are not allowed to be mounted on a yielding pole.
- Sign components such as sheeting, EC film, inks, letters and borders are all required to be from the same manufacturer. Only EC film may be used to achieve color. Vinyl EC film is not accepted.
- All new roundabouts, crosswalks, stop bars and legends shall be installed with 90 mil preformed thermoplastic.
- Paving asphalt binder grade shall be PG 64-22 unless otherwise approved by the City Engineer.
- Asphalt aggregate size shall be ½ inch for residential roads and ¾ inch for collector roads.
- Potholing: All potholes must be saw cut square and have a minimum size of 1 square foot. When repairing a pothole, sand or pea gravel meeting South Jordan City standards shall be placed over the exposed utility to a depth of 6 inches. Following the pea gravel will be flowable fill up to 1 inch below the bottom edge of the existing asphalt. The remaining portion of the hole shall be filled with asphalt, which will have an overall thickness of the existing asphalt plus 1 inch.
- All fill within the public right of way shall be A-1-A to A-3, with the exception of top soil in the park strip for landscaping and french backfill. Trench backfill material under pavements or surface improvements shall be clean, non-clumping, granular and flowable, 2" minus, A-1-a to A-2-7 soils according to AASHTO 145 soil Classification System. Lime treated flowable fills, if approved, shall have a 28-day strength of 65 PSI.
- All traffic road closures involving 1 or more lanes of traffic must receive prior approval from the City Engineer or his/her representative. PCMS boards must be placed a minimum of 7 days in advance of any lane closure unless otherwise approved by the City Engineer.

1.3 City of South Jordan Street Light Notes

- All work shall be installed in accordance with the most current South Jordan City Standards and N.E.C. (National Electric Code). A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction. No deviation of streetlight, pull boxes, conduits, etc. locations shall be permitted without prior **WRITTEN APPROVAL** from the City Engineer or his/her representative.
- An electronic copy of the street light redlines, showing the same items listed above for the street light plan, shall be submitted to the South Jordan City Engineering Department after the street lights have been installed but prior to them being connected by Rocky Mountain Power.
- Location of the Street light pole.
    - Shall not be installed within 5 feet of a fire hydrant. The location shall be such that it does not hinder the operation of the fire hydrant and water line operation valves.
    - Shall be a minimum of 5 feet from any tree, unless written approval is received from the City Engineer. Branches may need to be pruned as determined by the Engineering Inspector in the field at the time of installation.
    - Shall not be installed within 5 feet from the edge of any driveway.
  - Anti-seize lubricant shall be used on all cover bolts and ground box bolts.
  - All existing street lighting shall remain operational during construction.
  - Any structure such as block walls, chain link fences, retaining walls, etc. shall leave a minimum of eighteen (18) inches to the face of the street light pole on all sides.
  - All service point(s) shall be coordinated with Rocky Mountain Power and whenever possible be located near the center of the circuit. Service point(s) shall be shown on the plans with a schematic from Rocky Mountain Power. Pole locations as shown on the approved plans may be adjusted in the field by the Engineering Inspector at time of installation at no additional cost to the City.
  - It shall be required that in the absence of an existing workable circuit to attach to, that all installations shall require a new service for operation of the circuit in this case developer and or his engineer shall contact Rocky Mountain Power.
  - Wherever there is an overhead utility that may conflict with the installation of the street light circuits and/or streetlight poles, those conflicts must be resolved between the developer and the utilities involved before the street light bases are constructed at no expense to the City of South Jordan or Rocky Mountain Power. The resolution must be approved by the City of South Jordan and Rocky Mountain Power.
  - The contractor shall furnish a complete service to the transformers and control systems if required on the plans and/or is deemed necessary by Rocky Mountain Power and/or South Jordan City.
  - A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction.
  - The contractor shall be required to perform a 10 day burn test of the street lights after they are connected and energized by Rocky Mountain Power. This test shall be coordinated and witnessed by a South Jordan Engineering Inspector.
  - Each streetlight pole shall have its own photo cell independent of a master control. On double head fixtures a single photo cell shall be installed on the north most facing head and be wired to energize both heads.

1.4 City of South Jordan Grading Notes

- In the event that any unforeseen conditions not covered by these notes are encountered during grading operations, the Owner and City Engineer shall be immediately notified for direction.
- It shall be the responsibility of the Contractor to perform all necessary cuts and fills within the limits of this project and the related off-site work, so as to generate the desired subgrade, finish grades and slopes shown.
- Contractor shall take full responsibility for all excavation. Adequate shoring shall be designed and provided by the Contractor to prevent undermining of any adjacent features or facilities and/or caving of the excavation.
- The Contractor is warned that an earthwork balance was not necessarily the intent of this project. Any additional material required or leftover material following earthwork operations becomes the responsibility of the Contractor.
- Contractor shall grade to the lines and elevations shown on the plans within the following horizontal and vertical tolerances and degrees of compaction, in the areas indicated:

	Horizontal	Vertical	Compaction
a. Pavement Area Subgrade	0.1'±	+0.0' to -0.1'	See soils Report
b. Engineered Fill	0.5'±	+0.1' to -0.1'	See Soils Report

Compaction Testing will be performed by the developer or his representative.
- All cut and fill slopes shall be protected until effective erosion control has been established.
- The use of potable water without a special permit for building or construction purposes including consolidation of backfill or dust control is prohibited. The Contractor shall obtain all necessary permits for construction water from the Public Works Department.
- The Contractor shall maintain the streets, sidewalks and all other public right-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be promptly removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.
- In the event that any temporary construction item is required that is not shown on these drawings, the Developer agrees to provide and install such item at his own expense and at the direction of the City Engineer. Temporary construction includes ditches, berms, road signs and barricades, etc.
- All grading work shall conform to the soils report as prepared by the Soils Engineer and approved by the City Engineer, and as shown on these plans.

1.5 City of South Jordan Fire Department Notes

- On any new home or building installation, accessible fire hydrants shall be installed before combustible construction commences and said fire hydrants shall be in good working order with an adequate water supply.
- Contractor shall call the Public Works Department and Engineering Inspector for underground inspection, pressure and flush verification of all fire hydrants and fire lines before back filling.
- Painting of the curbs and hydrant and any work necessary for protection of hydrants from physical damage shall be approved before being constructed.
- A flow test must be witnessed by the Fire Department prior to occupancy for verification of required on-site water supply.
- All on-site fire main materials must be U.L. listed and A.W.W.A. approved.
- The turning radius for any fire apparatus access road and/or fire lane, public or private, shall be not less than forty-five feet (45') outside radius and twenty-two feet (22') inside radius and shall be paved.
- A fire apparatus road shall be required when any portion of an exterior wall of the first story is located more than one-hundred fifty feet (150') from Fire Department vehicle access roads and/or fire lanes, public or private, in excess of one-hundred fifty feet (150') in length shall be provided with an approved turn around area.
- Access roads shall be marked by placing approved signs at the start of the designated fire lane, one sign at the end of the fire lane and width signs at intervals of one-hundred feet (100') along all designated fire lanes. Signs to be placed on both sides of an access roadway if needed to prevent parking on either side. Signs shall be installed at least 5' measured from the bottom edge of the sign to the near edge of pavement. Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7'. The curb along or on the pavement or cement if curb is not present, shall be painted with red weather resistant paint in addition to the signs.
- Electrically controlled access gates shall be provided with an approved emergency vehicle detector/receiver system. Said system shall be installed in accordance with the South Jordan City F.D. approval. Gates are only allowed with prior approval.
- All underground fire lines that service automatic fire sprinkler systems shall be no smaller than six (6) inches in diameter. All fire lines material shall be Ductile Iron. (Ductile Iron from the PIV to the building shall be permitted or Ductile Iron from the main water line to the WIV).
- Post Indicator Valves (PIV) shall be between 6 and 40 feet from buildings not exceeding three stories or equivalent in height and between 30 and 40 feet on buildings in excess of three or more stories in height or equivalent.
- Roads and accesses shall be designed and maintained to support the imposed loads of fire apparatus. Surface shall be paved before the application of combustible material.

1.6 South Jordan City Water Notes

- The following South Jordan City Water Notes are intended for general water standards only and are not all inclusive. The City has included the Culinary Water Design and Construction Standards within the City Construction Standards and Specifications.
- No work shall begin until the water plans have been released for construction by the Engineering Department. Following water plan approval, forty-eight (48) hour notice shall be given to the Engineering Inspector and the Public Works Department (255- 5230) prior to the start of construction. Notice must be given by 2:00 P.M. the business day prior to an inspection.
- All work within South Jordan City shall conform to South Jordan City Standards and Specifications, AWWA and APWA.
- For Residential Developments - The developer shall purchase and install meter boxes and setters according to City Standards on newly developed lots and real property at the time of water main installation. Water meters will be supplied and installed by the South Jordan Public Works Department (at Developer's expense). The developer shall also provide the site address, lot number, meter size and pay meter fees prior to building permit approval.

CHAPTER 2  
AMENDMENTS TO APWA  
STANDARD PLANS AND SPECIFICATIONS

(Updated 3-6-18)

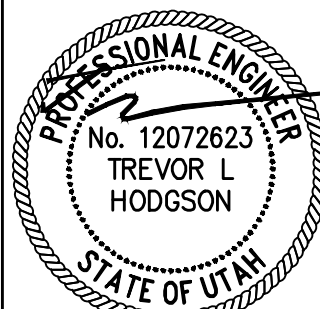
2.1 GENERAL

This document modifies the APWA 2012 editions of the "Manual of Standard Specifications". Affected paragraphs or articles are noted by section number, additions or changes to text follow the section numbers. All other provisions in the manual remain in full force and effect.

2.2 SUPPLEMENTS TO APWA

Sec. 01 31 13	Add the following to 1.3: A. Modifications to existing utilities shall conform to the owner's utility standards and specifications.												
Sec. 02 41 14	Add the following to 3.5: C. Exact location of all sawcut lines may be adjusted or determined in the field by the City Engineer if location on plans is not clearly shown, or existing pavement conditions require relocation.												
Sec. 03 30 04	Delete 2.5.D.2.b and replace with the following: 2.5.C.2.b. Replace up to 15 percent of the cement by weight on a minimum basis of 1 part fly ash to 1 part cement.												
Sec. 31 05 13	Delete and replace 2.2.A and add sections 2.2.C and 2.2.D: 2.2.A. Classifications A-1-a. 2.2.C Well graded material with 100% passing 3" sieve and 70%-90% passing 2" sieve. 2.2.D. No river rock or round aggregate.												
Sec. 31 05 13	Delete and replace 2.3.A and 2.3.C and add section 2.3.E: 2.3.A. 100% passing 2" sieve and 70%-90% passing 1" sieve. 2.3.E. No river rock or round aggregate.												
Sec. 31 05 13	Delete paragraph 2.7.A and replace with the following: A. All sand shall be clean sand mixture free from clods of earth debris, alkali, salt, petroleum products, vegetative matter or other deleterious or decomposable matter. Frozen material, slag, cinders, ashes and rubbish or other material that in the opinion of ENGINEER may be objectionable or deleterious. "Squeeze" or any other flowable material shall not be permitted. Sand shall conform to the following gradation: <table><tr><th>US Standard Sieve Size (Square Opening)</th><th>Percent By Weight Passing Screen</th></tr><tr><td>¾ - inch</td><td>100</td></tr><tr><td>No. 4</td><td>80 - 100</td></tr><tr><td>No. 10</td><td>30 - 50</td></tr><tr><td>No. 40</td><td>10 - 30</td></tr><tr><td>No. 200</td><td>0 - 15</td></tr></table>	US Standard Sieve Size (Square Opening)	Percent By Weight Passing Screen	¾ - inch	100	No. 4	80 - 100	No. 10	30 - 50	No. 40	10 - 30	No. 200	0 - 15
US Standard Sieve Size (Square Opening)	Percent By Weight Passing Screen												
¾ - inch	100												
No. 4	80 - 100												
No. 10	30 - 50												
No. 40	10 - 30												
No. 200	0 - 15												
Sec. 31 05 13	Add the following to 2.3: F. Trench backfill material shall be borrow, unless approved otherwise by South Jordan City Engineering												
Sec. 32 12 05	Remove the following from 2.3.D: 2. Allowed from 15 to 30 percent by weight of RAP or binder, whichever is lesser. If the binder grade is adjusted according to AASHTO M 323 to meet the specified binder grade.												
Sec. 32 12 16	Add the following to 3.2.A: 6. All utilities including water, sewer, storm drain, gas, phone, and cable (including laterals) in roadways must be installed prior to pavement construction.												
Sec. 32 12 16	Add the following to 3.7.A: 3. AC pavement to be one-half inch (1/2") above lip of all gutters after compaction, except at sidewalk ramps or waterways.												
Sec. 32 12 16	Add the following to 3.7.E: 5. Marriages of asphalt shall be vertical, with complete marriage and with no gaps. Marriage will be crack sealed.												
Sec. 32 16 13	Add the following to 3.2: E. No structures, including utility company boxes, manhole lids, valve covers, water service meters, vents, etc., shall be located in driveways, driveway aprons, curbs, gutters or waterways unless written approval is granted by the utility company and the City Engineer.												
Sec. 32 16 13	Add the following to 3.9.B: 3. All sidewalks and curb and gutter shall be completely backfilled to within 3 inches of the top back of curb (TBC) and within 3 inches of the top of sidewalk.												
Sec. 33 05 14	Add the following to 3.1: E. Contractor shall adjust all new and existing inlets, valve boxes, manhole rims, and sewer clean outs, etc. to finish grade as applicable whether or not they are shown on the plans.												
Plan 315.1	Delete and replace item 3.B with: "3.B No hooded grates are allowed unless approved by the City Engineer"												
Plan 315.2	Delete and replace item 3.B with: "3.B No hooded grates are allowed unless approved by the City Engineer"												
Plan 316	Delete and replace item 3.B with: "3.B No hooded grates are allowed unless approved by the City Engineer"												
Plan 802	Add the following to Note: Concrete replacement shall be from cold joint to cold joint.												
Plan 802	Modify the following Note: "Vertical or horizontal displacement of ¼" or more, replacement is required." shall be changed to read "Vertical or horizontal displacement more than ¼ inch shall be replaced. ¼ inch expansion joint vertical hazard shall be cut down."												

City Engineer  
City of South Jordan  
Approved 01/03/2024  
B. Klawns City Engineer



SHEET NO. GN  
PROJECT ID: E23-101  
DATE: 08/31/23  
FILE NAME: PRJ-GLO  
SCALE:

CIVIL ENGINEERING + SURVEYING  
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 801-948-6286

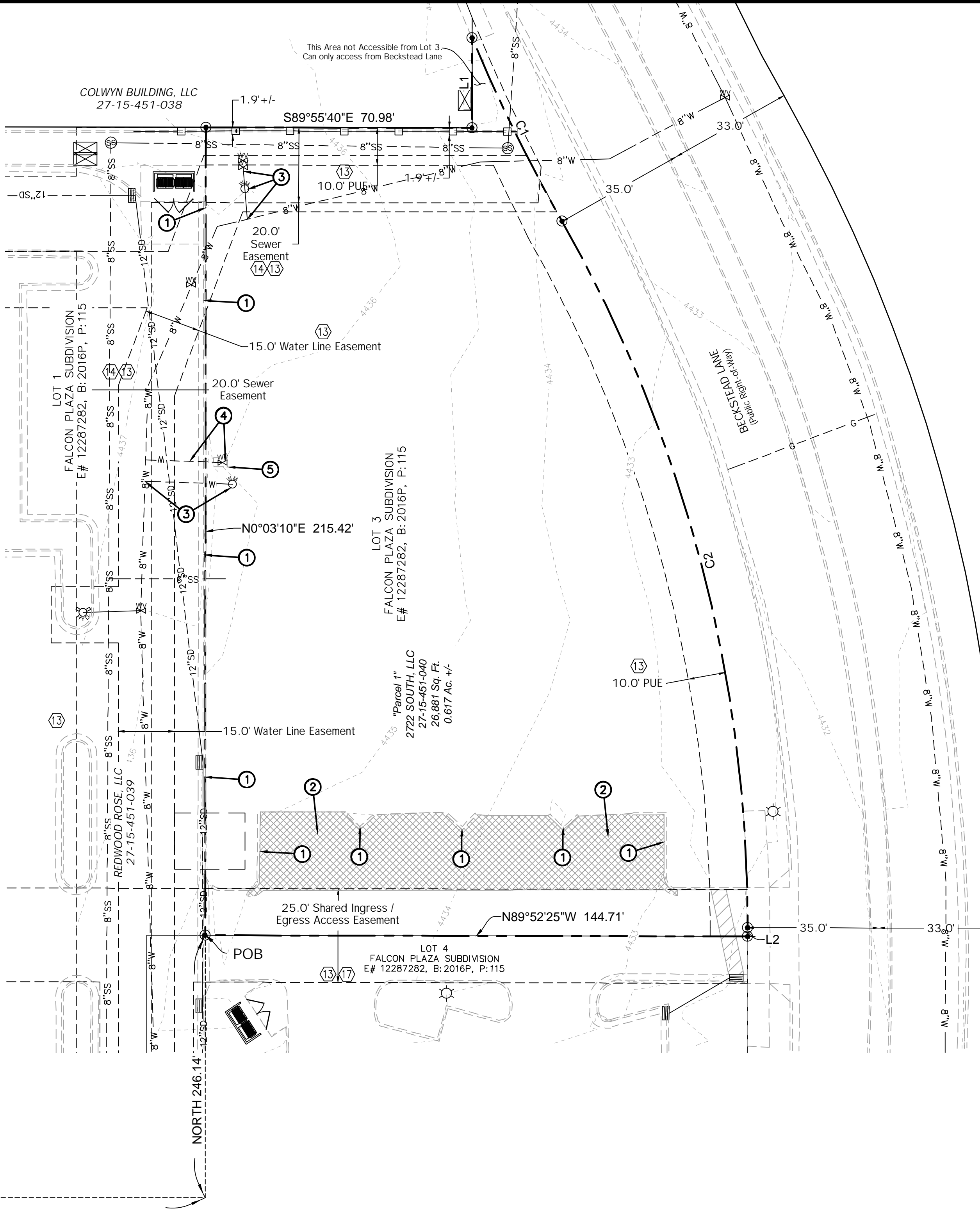
SOUTH JORDAN GARCIA LAW OFFICES  
10931 BECKSTEAD LANE, SOUTH JORDAN UT 84095  
GENERAL NOTES

1	COMMENTS	2	COMMENTS	3	COMMENTS	4	COMMENTS	5	COMMENTS	6	COMMENTS	7	COMMENTS	8	COMMENTS	9	COMMENTS	10	COMMENTS	11	COMMENTS	12	COMMENTS	13	COMMENTS	14	COMMENTS	15	COMMENTS	16	COMMENTS	17	COMMENTS	18	COMMENTS	19	COMMENTS	20	COMMENTS	21	COMMENTS	22	COMMENTS	23	COMMENTS	24	COMMENTS	25	COMMENTS	26	COMMENTS	27	COMMENTS	28	COMMENTS	29	COMMENTS	30	COMMENTS	31	COMMENTS	32	COMMENTS	33	COMMENTS	34	COMMENTS	35	COMMENTS	36	COMMENTS	37	COMMENTS	38	COMMENTS	39	COMMENTS	40	COMMENTS	41	COMMENTS	42	COMMENTS	43	COMMENTS	44	COMMENTS	45	COMMENTS	46	COMMENTS	47	COMMENTS	48	COMMENTS	49	COMMENTS	50	COMMENTS	51	COMMENTS	52	COMMENTS	53	COMMENTS	54	COMMENTS	55	COMMENTS	56	COMMENTS	57	COMMENTS	58	COMMENTS	59	COMMENTS	60	COMMENTS	61	COMMENTS	62	COMMENTS	63	COMMENTS	64	COMMENTS	65	COMMENTS	66	COMMENTS	67	COMMENTS	68	COMMENTS	69	COMMENTS	70	COMMENTS	71	COMMENTS	72	COMMENTS	73	COMMENTS	74	COMMENTS	75	COMMENTS	76	COMMENTS	77	COMMENTS	78	COMMENTS	79	COMMENTS	80	COMMENTS	81	COMMENTS	82	COMMENTS	83	COMMENTS	84	COMMENTS	85	COMMENTS	86	COMMENTS	87	COMMENTS	88	COMMENTS	89	COMMENTS	90	COMMENTS	91	COMMENTS	92	COMMENTS	93	COMMENTS	94	COMMENTS	95	COMMENTS	96	COMMENTS	97	COMMENTS	98	COMMENTS	99	COMMENTS	100	COMMENTS
1	COMMENTS	2	COMMENTS	3	COMMENTS	4	COMMENTS	5	COMMENTS	6	COMMENTS	7	COMMENTS	8	COMMENTS	9	COMMENTS	10	COMMENTS	11	COMMENTS	12	COMMENTS	13	COMMENTS	14	COMMENTS	15	COMMENTS	16	COMMENTS	17	COMMENTS	18	COMMENTS	19	COMMENTS	20	COMMENTS	21	COMMENTS	22	COMMENTS	23	COMMENTS	24	COMMENTS	25	COMMENTS	26	COMMENTS	27	COMMENTS	28	COMMENTS	29	COMMENTS	30	COMMENTS	31	COMMENTS	32	COMMENTS	33	COMMENTS	34	COMMENTS	35	COMMENTS	36	COMMENTS	37	COMMENTS	38	COMMENTS	39	COMMENTS	40	COMMENTS	41	COMMENTS	42	COMMENTS	43	COMMENTS	44	COMMENTS	45	COMMENTS	46	COMMENTS	47	COMMENTS	48	COMMENTS	49	COMMENTS	50	COMMENTS	51	COMMENTS	52	COMMENTS	53	COMMENTS	54	COMMENTS	55	COMMENTS	56	COMMENTS	57	COMMENTS	58	COMMENTS	59	COMMENTS	60	COMMENTS	61	COMMENTS	62	COMMENTS	63	COMMENTS	64	COMMENTS	65	COMMENTS	66	COMMENTS	67	COMMENTS	68	COMMENTS	69	COMMENTS	70	COMMENTS	71	COMMENTS	72	COMMENTS	73	COMMENTS	74	COMMENTS	75	COMMENTS	76	COMMENTS	77	COMMENTS	78	COMMENTS	79	COMMENTS	80	COMMENTS	81	COMMENTS	82	COMMENTS	83	COMMENTS	84	COMMENTS	85	COMMENTS	86	COMMENTS	87	COMMENTS	88	COMMENTS	89	COMMENTS	90	COMMENTS	91	COMMENTS	92	COMMENTS	93	COMMENTS	94	COMMENTS	95	COMMENTS	96	COMMENTS	97	COMMENTS	98	COMMENTS	99	COMMENTS	100	COMMENTS

1	COMMENTS	2	COMMENTS	3	COMMENTS	4	COMMENTS	5	COMMENTS	6	COMMENTS	7	COMMENTS	8	COMMENTS	9	COMMENTS	10	COMMENTS	11	COMMENTS	12	COMMENTS	13	COMMENTS	14	COMMENTS	15	COMMENTS	16	COMMENTS	17	COMMENTS	18	COMMENTS	19	COMMENTS	20	COMMENTS	21	COMMENTS	22	COMMENTS	23	COMMENTS	24	COMMENTS	25	COMMENTS	26	COMMENTS	27	COMMENTS	28	COMMENTS	29	COMMENTS	30	COMMENTS	31	COMMENTS	32	COMMENTS	33	COMMENTS	34	COMMENTS	35	COMMENTS	36	COMMENTS	37	COMMENTS	38	COMMENTS	39	COMMENTS	40	COMMENTS	41	COMMENTS	42	COMMENTS	43	COMMENTS	44	COMMENTS	45	COMMENTS	46	COMMENTS	47	COMMENTS	48	COMMENTS	49	COMMENTS	50	COMMENTS	51	COMMENTS	52	COMMENTS	53	COMMENTS	54	COMMENTS	55	COMMENTS	56	COMMENTS	57	COMMENTS	58	COMMENTS	59	COMMENTS	60	COMMENTS	61	COMMENTS	62	COMMENTS	63	COMMENTS	64	COMMENTS	65	COMMENTS	66	COMMENTS	67	COMMENTS	68	COMMENTS	69	COMMENTS	70	COMMENTS	71	COMMENTS	72	COMMENTS	73	COMMENTS	74	COMMENTS	75	COMMENTS	76	COMMENTS	77	COMMENTS	78	COMMENTS	79	COMMENTS	80	COMMENTS	81	COMMENTS	82	COMMENTS	83	COMMENTS	84	COMMENTS	85	COMMENTS	86	COMMENTS	87	COMMENTS	88	COMMENTS	89	COMMENTS	90	COMMENTS	91	COMMENTS	92	COMMENTS	93	COMMENTS	94	COMMENTS	95	COMMENTS	96	COMMENTS	97	COMMENTS	98	COMMENTS	99	COMMENTS	100	COMMENTS
1	COMMENTS	2	COMMENTS	3	COMMENTS	4	COMMENTS	5	COMMENTS	6	COMMENTS	7	COMMENTS	8	COMMENTS	9	COMMENTS	10	COMMENTS	11	COMMENTS	12	COMMENTS	13	COMMENTS	14	COMMENTS	15	COMMENTS	16	COMMENTS	17	COMMENTS	18	COMMENTS	19	COMMENTS	20	COMMENTS	21	COMMENTS	22	COMMENTS	23	COMMENTS	24	COMMENTS	25	COMMENTS	26	COMMENTS	27	COMMENTS	28	COMMENTS	29	COMMENTS	30	COMMENTS	31	COMMENTS	32	COMMENTS	33	COMMENTS	34	COMMENTS	35	COMMENTS	36	COMMENTS	37	COMMENTS	38	COMMENTS	39	COMMENTS	40	COMMENTS	41	COMMENTS	42	COMMENTS	43	COMMENTS	44	COMMENTS	45	COMMENTS	46	COMMENTS	47	COMMENTS	48	COMMENTS	49	COMMENTS	50	COMMENTS	51	COMMENTS	52	COMMENTS	53	COMMENTS	54	COMMENTS	55	COMMENTS	56	COMMENTS	57	COMMENTS	58	COMMENTS	59	COMMENTS	60	COMMENTS	61	COMMENTS	62	COMMENTS	63	COMMENTS	64	COMMENTS	65	COMMENTS	66	COMMENTS	67	COMMENTS	68	COMMENTS	69	COMMENTS	70	COMMENTS	71	COMMENTS	72	COMMENTS	73	COMMENTS	74	COMMENTS	75	COMMENTS	76	COMMENTS	77	COMMENTS	78	COMMENTS	79	COMMENTS	80	COMMENTS	81	COMMENTS	82	COMMENTS	83	COMMENTS	84	COMMENTS	85	COMMENTS	86	COMMENTS	87	COMMENTS	88	COMMENTS	89	COMMENTS	90	COMMENTS	91	COMMENTS	92	COMMENTS	93	COMMENTS	94	COMMENTS	95	COMMENTS	96	COMMENTS	97	COMMENTS	98	COMMENTS	99	COMMENTS	100	COMMENTS

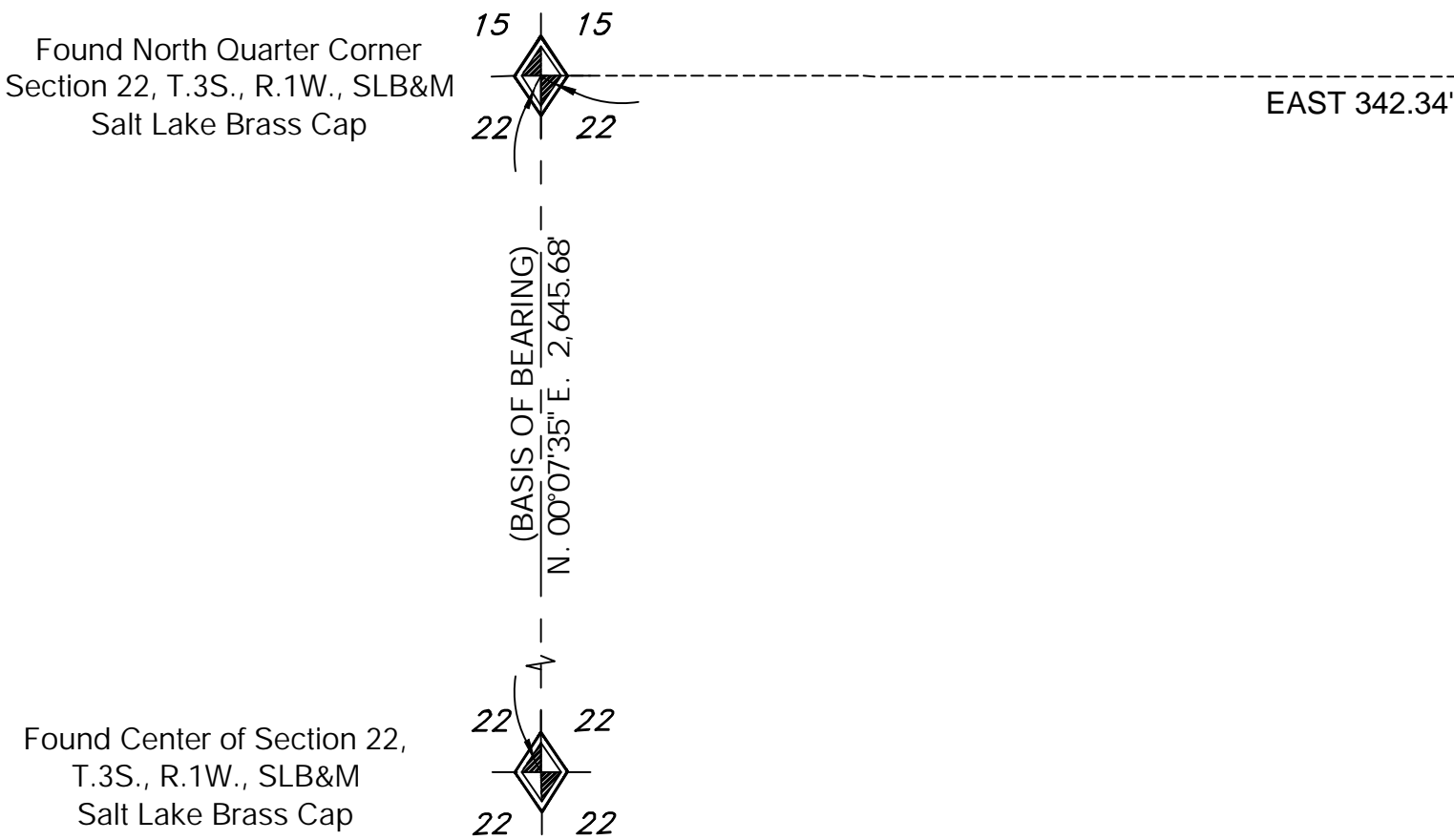
LINE TABLE		
LINE #	LENGTH	BEARING
L1	24.02	N0° 07' 35" E
L2	2.33	S0° 07' 35" W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	54.58	450.00	6°56'59"	S26° 05' 38"E	54.55
C2	196.94	380.00	29°41'40"	S14° 43' 16"E	194.75



**SHEET NOTES:**

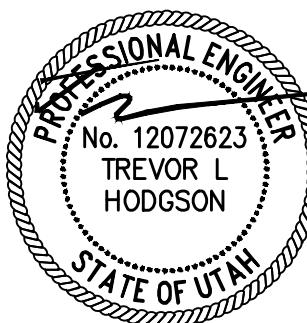
- EXISTING CURB TO BE REMOVED.
- EXISTING ASPHALT TO BE REMOVED.
- EXISTING WATER METER TO BE RELOCATED (SEE C3.0 FOR PROPOSED LOCATION) AND EXISTING LOCATION ABANDONED AT THE MAIN PER SOUTH JORDAN CITY STANDARDS.
- EXISTING WATER LATERAL TO BE ABANDONED AT THE MAIN PER SOUTH JORDAN CITY STANDARDS.
- EXISTING CONCRETE PAD TO BE REMOVED.



**City Engineer**  
City of South Jordan  
Approved 01/03/2024  
*Ben Klawns* City Engineer

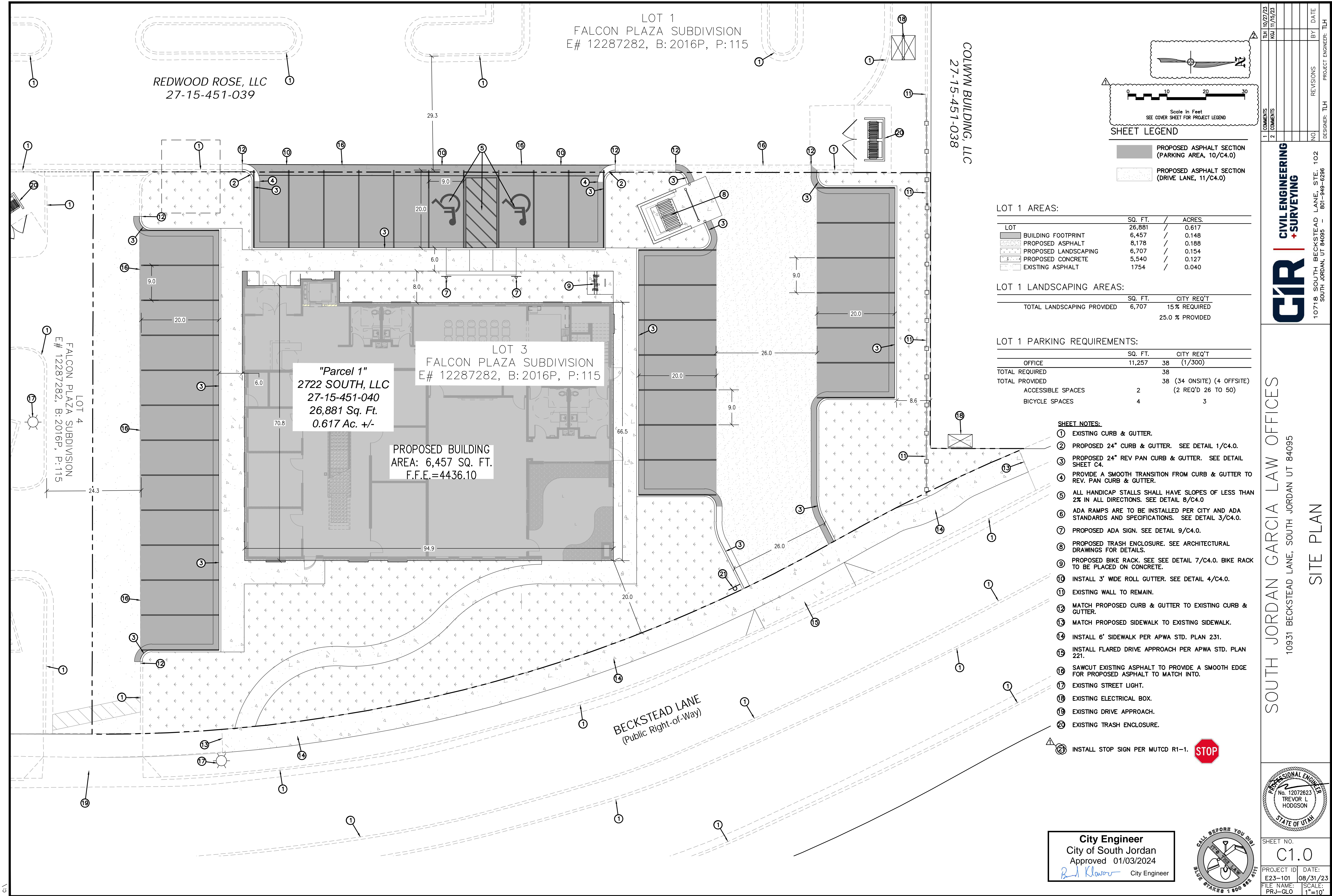


**SOUTH JORDAN GARCIA LAW OFFICES**  
10931 BECKSTEAD LANE, SOUTH JORDAN UT 84095  
**EXISTING SITE/DEMOLITION PLAN**



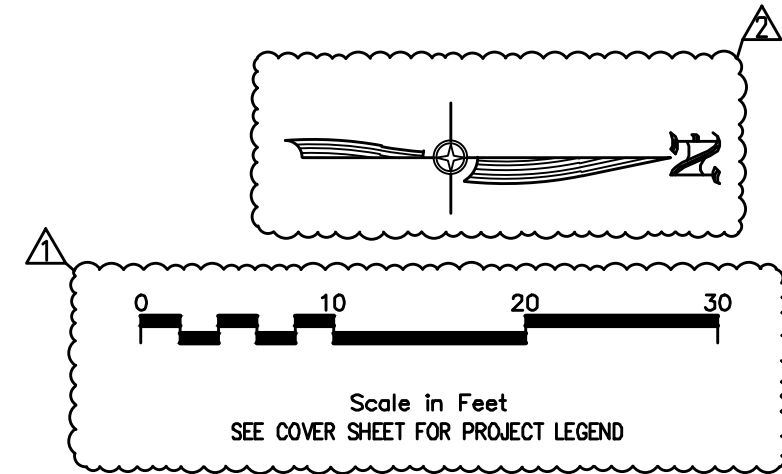
SHEET NO. **C0.1**  
PROJECT ID: E23-101  
DATE: 08/31/23  
FILE NAME: PRJ-CLO  
SCALE: 1"=20'

NO.	REVISIONS	BY	DATE
1	COMMENTS	TLH	10/27/23
2	COMMENTS	KGJ	11/15/23

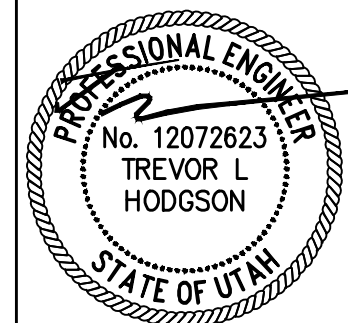
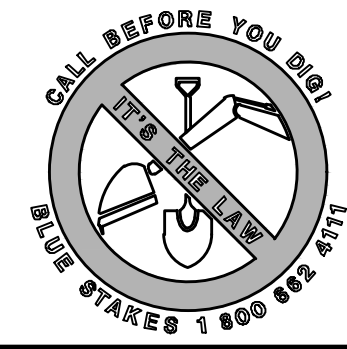


PROPOSED BUILDING  
AREA: 6,457 SQ. FT.  
F.F.E.=4436.10

BECKSTEAD LANE  
(Public Right-of-Way)



City Engineer  
City of South Jordan  
Approved 01/03/2024  
*B. Klauer* City Engineer



SHEET NO.  
C2.0  
PROJECT ID: E23-101  
DATE: 08/31/23  
FILE NAME: PRJ-GLO  
SCALE: 1"=10'

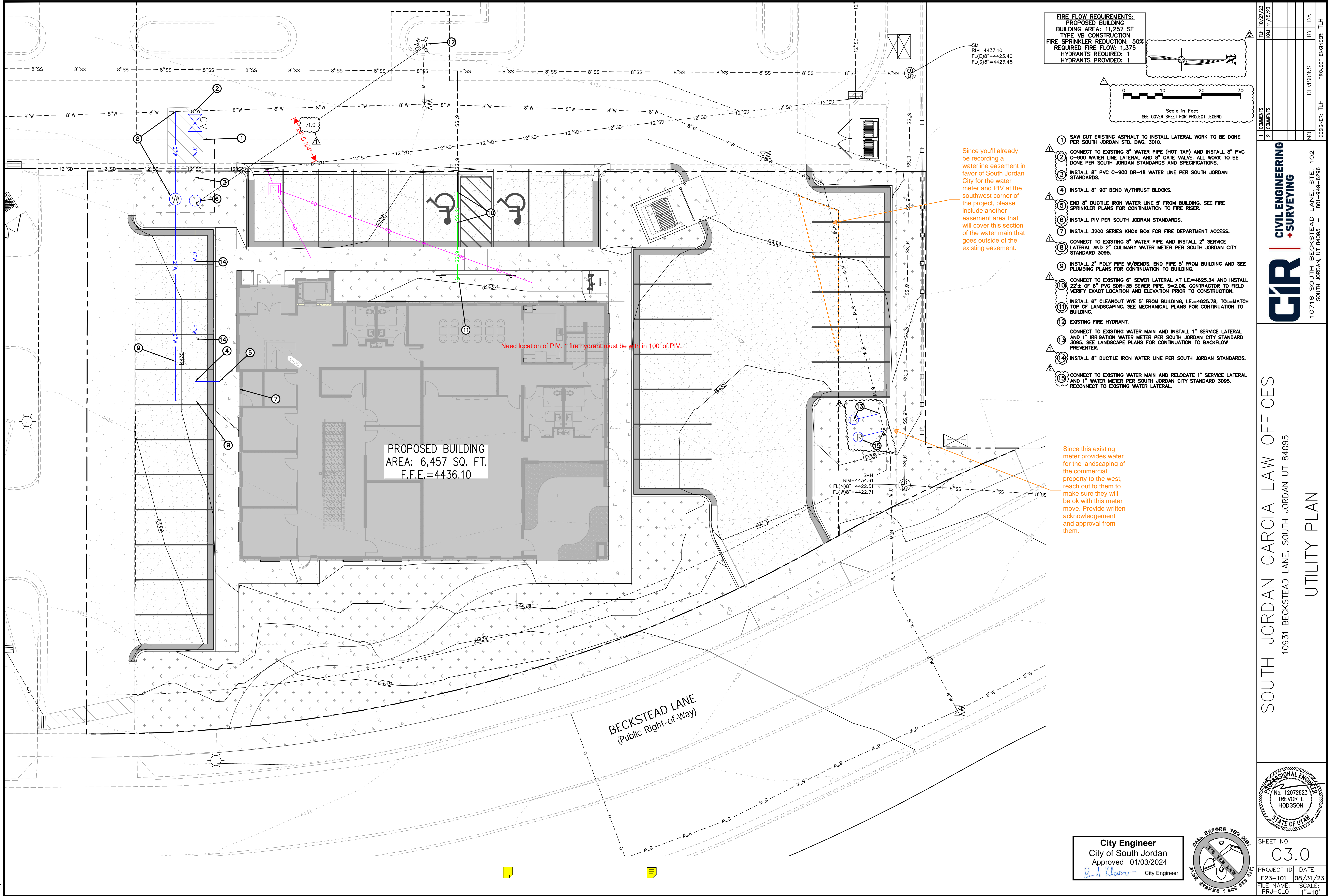
SOUTH JORDAN GARCIA LAW OFFICES  
10931 BECKSTEAD LANE, SOUTH JORDAN UT 84095  
GRADING PLAN

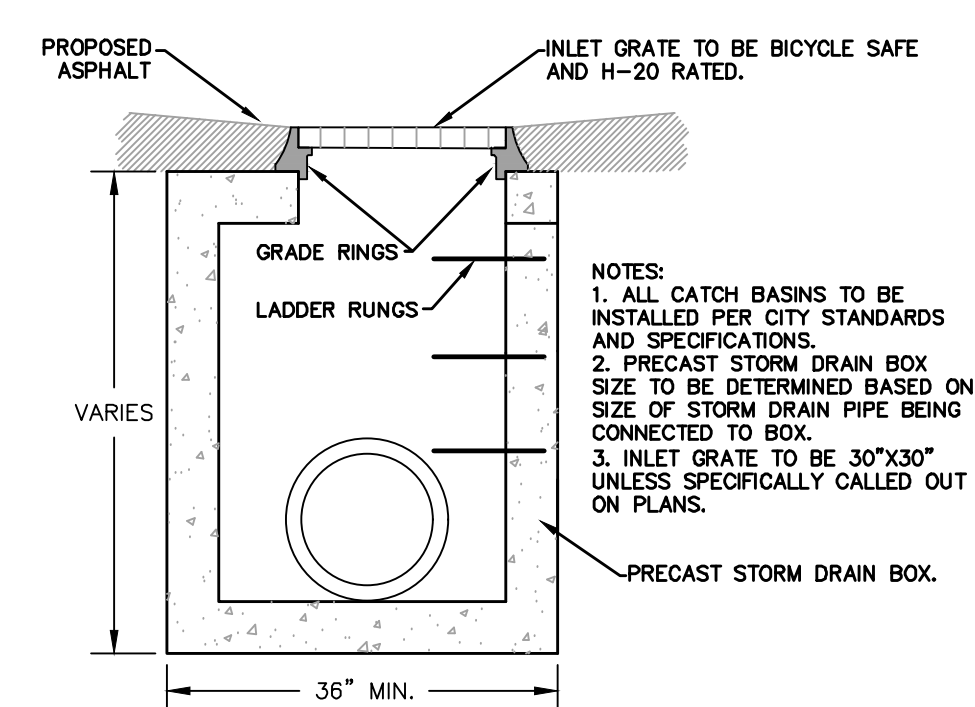
**CJR** CIVIL ENGINEERING + SURVEYING  
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 801-948-6296  
DESIGNER: TLH PROJECT ENGINEER: TLH

NO	REVISIONS	BY	DATE
1	COMMENTS		
2	COMMENTS		

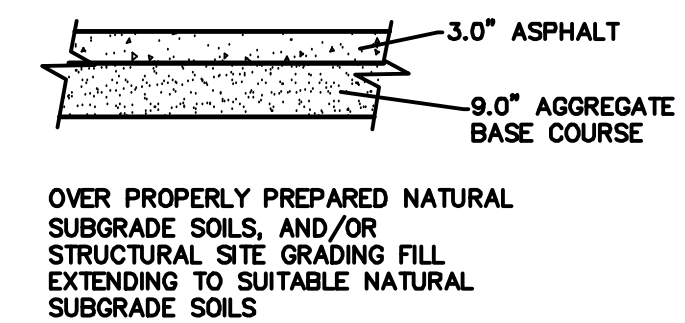
TLH	10/27/23
KGJ	11/15/23







6	STANDARD STORM DRAIN INLET BOX N.T.S.
---	--



PAVEMENT SECTIONS ARE PER THE AUGUST 31, 2023 GEOTECHNICAL STUDY BY GSH (JOB NO 0230-013-15). CONTRACTOR TO INSTALL ALL PAVEMENT PER THE GEOTECH REPORT.

9	HANDICAPPED PARKING SIGN NTS
---	---------------------------------

ASPHALT PAVEMENT SECTION (DRIVE LANE)  
N.T.S.



Plan  
**221.1**  
December 2009

A circular professional engineer seal for the State of Utah. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "STATE OF UTAH" at the bottom. The inner circle contains the text "No. 12072623", "TREVOR L", and "HODGSON". A signature is written across the seal.

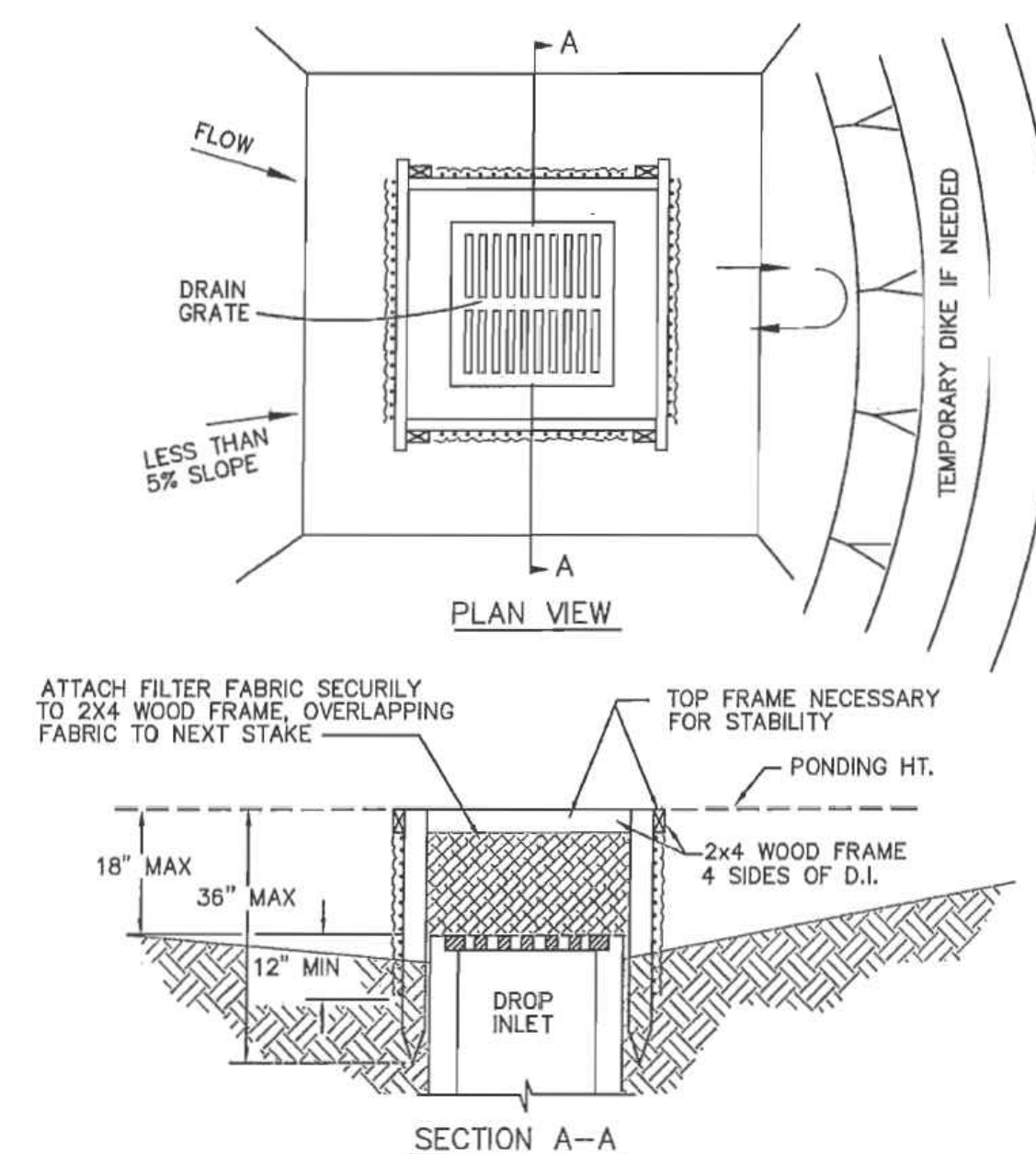
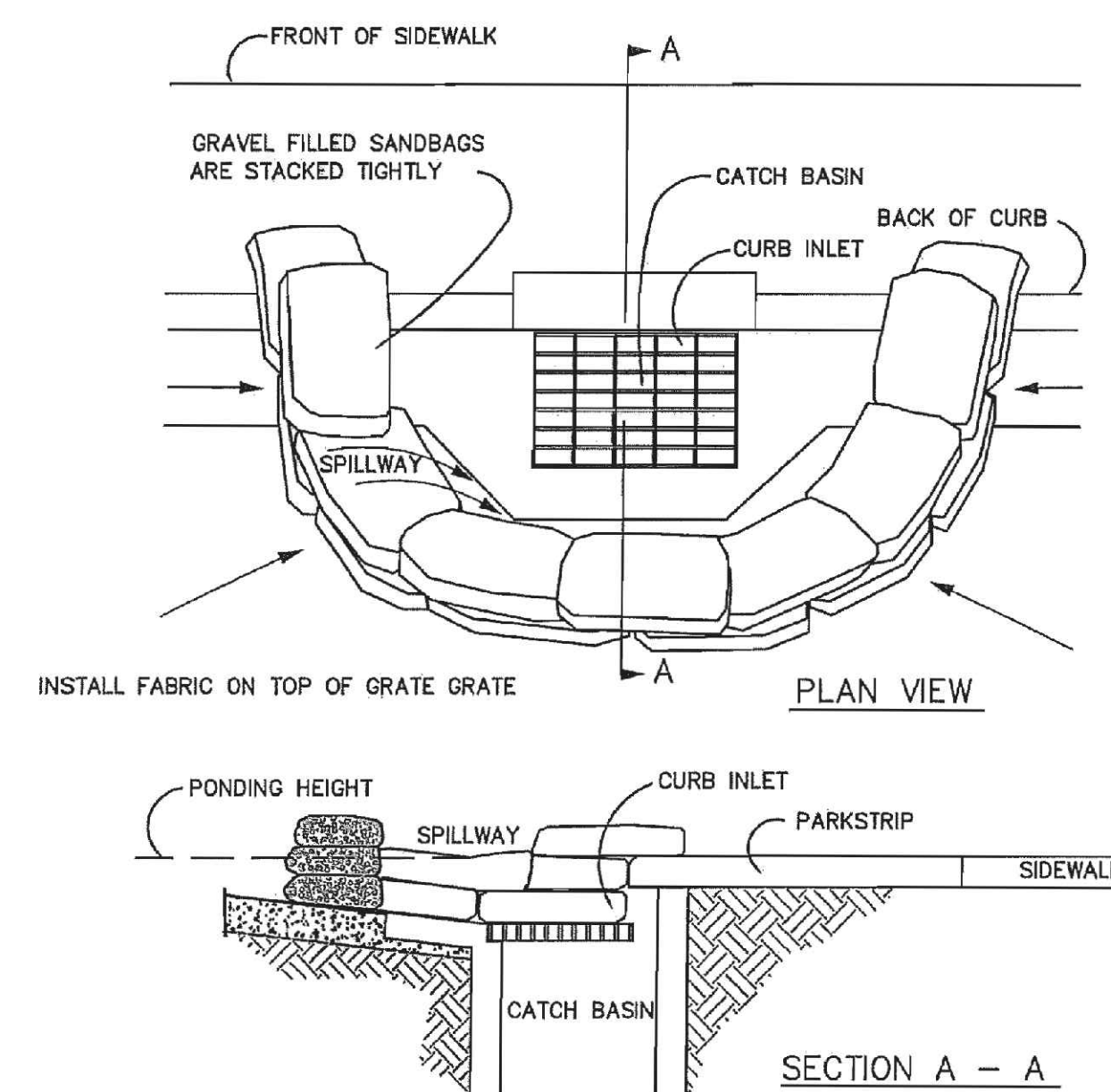
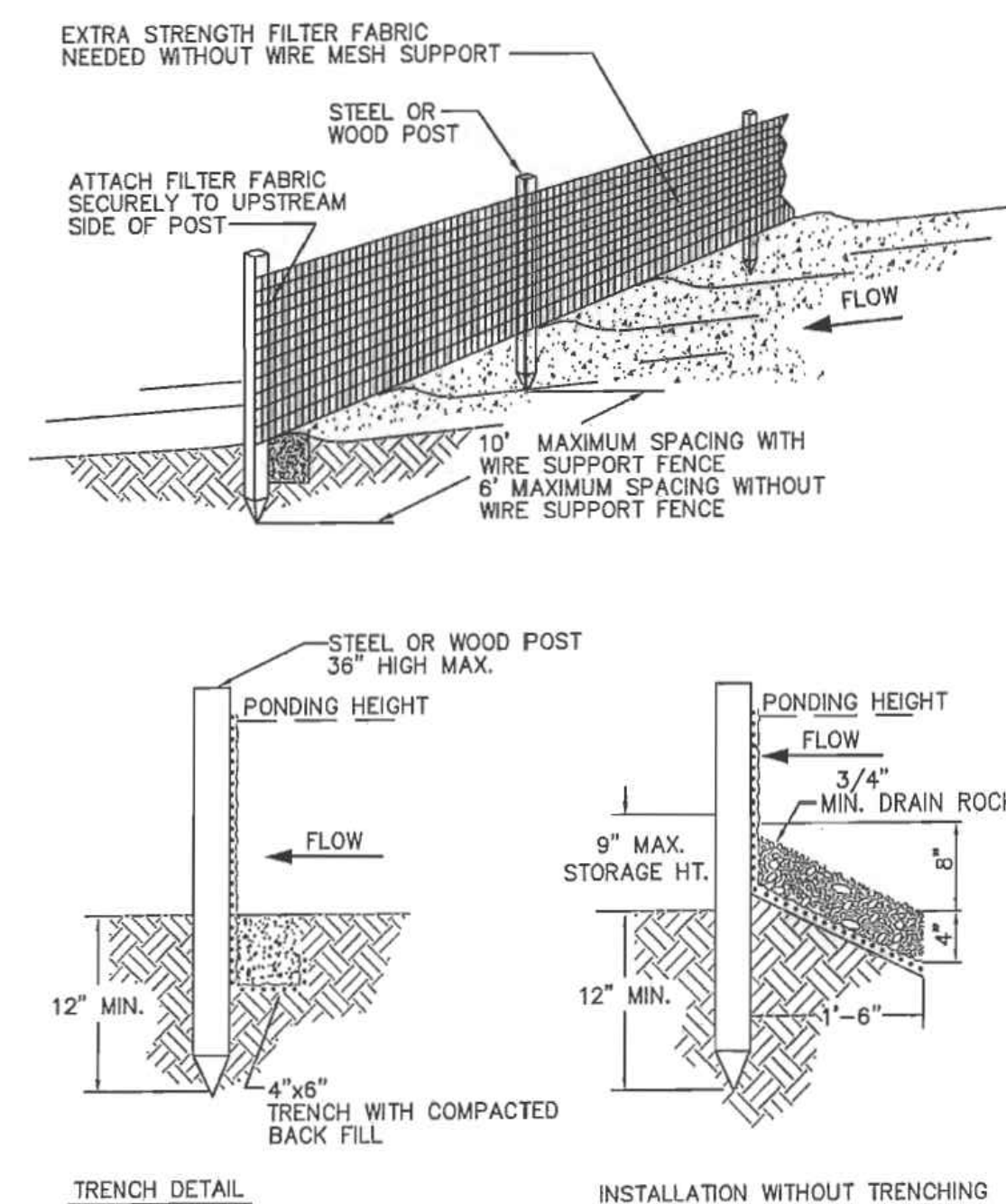
SHEET NO.  
C4.0


PROJECT ID E23-101	DATE: 08/31/23
FILE NAME: PRJ-GLO	SCALE:

10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 801-949-6296







**City Engineer**  
City of South Jordan  
Approved 01/03/2024  
 City Engineer







SOUTH JORDAN GARCIA LAW OFFICES  
10931 BECKSTEAD LANE, SOUTH JORDAN UT 84095  
EROSION CONTROL DETAIL SHEET

[illegible]

LANDSCAPE DESIGN

PLANTING PLAN

TREES:

SYMBOL:	BOTANICAL NAME:	COMMON NAME:	CONTAINER:	SIZE:	QUANTITY:
	GLEDITSIA TRIACANTHOS 'INTERMIS'	THORNLESS COMMON HONEY LOCUST 'SHADE MASTER'	CAGED, BALL AND BURLAP	2" CALIPER	(3)
	CARPINUS BETULUS 'FASTIGIATA'	EUROPEAN HORNBEAM var. COLUMNAR	CAGED, BALL AND BURLAP	2" CALIPER	(5)
	CORNUS FLORIDA 'CHEROKEE CHIEF'	FLOWERING DOGWOOD 'CHEROKEE CHIEF'	CAGED, BALL AND BURLAP	2" CALIPER	(3)
	PICEA GLAUCA var. 'PENDULA'	WEeping WHITE SPRUCE	CAGED, BAL 8' - 10' FROM TOP AND BURLAP OF ROOT BALL		(8)

SHRUBS:

	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	PLASTIC CONTAINER	3 GALLON CONTAINER	(54)
	HEMEROCALLIS FULVA 'DHEMCOARL'	ENDLESSLILY CORAL DAYLILY	PLASTIC CONTAINER	3 GALLON CONTAINER	(64)
	PRUNUS ROTUNDIFOLIA EVERGREEN	ENGLISH LAUREL	PLASTIC CONTAINER	5 GALLON CONTAINER	(38)
	PRUNUS CERASIFERA	PURPLE LEAF FLOWERING PLUMB SHRUB	PLASTIC CONTAINER	5 GALLON CONTAINER	(34)
	PINUS MUGO var. PUMILIO	DWARF MUGO PINE	PLASTIC CONTAINER	3 GALLON CONTAINER	(30)
	DECORATIVE BOULDERS	OWNER / CONTRACTOR TO SELECT	1 LOAD OF 18" TO 3'-0" TO 4'-0"		
	WEED FABRIC W/ 4" OF DECORATIVE ROCK	OWNER / CONTRACTOR TO SELECT			

TOTAL AREA TO BE LANDSCAPED: 7,956 SQ'

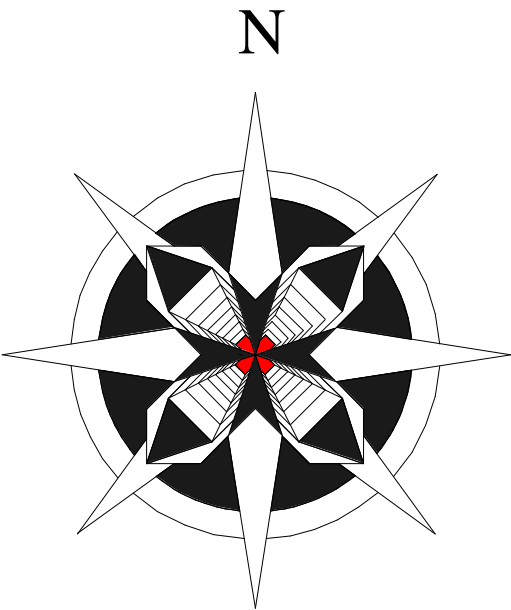
TOTAL AREA TO BE GRASS NOT TO EXCEED 20%  
TOTAL AREA WE ARE GRASSING IS: 17.43%

A: 2,023 SQ' G: 111 SQ'  
B: 176 SQ' H: 1,387 SQ'  
C: 515 SQ' I: 1,301 SQ'  
D: 413 SQ' J: 575 SQ'  
E: 368 SQ' K: 285 SQ'  
F: 802 SQ'

TOTAL NUMBER OF SHRUBS MUST HAVE A MINIMUM CANOPY COVERAGE OF 50% TO MEET CITY ORDINANCE.

TOTAL NUMBER OF SHRUBS IS 220 @ 25 SQ' PER SHRUB @ 75% MATURITY = 5,500 SQ'

TOTAL CANOPY COVERAGE OF SHRUBS @ 75% MATURITY IS 69%.



SCALE: 1" = 16'



The landscaping plan needs to include the full project boundary.

REVISIONS  
DATE

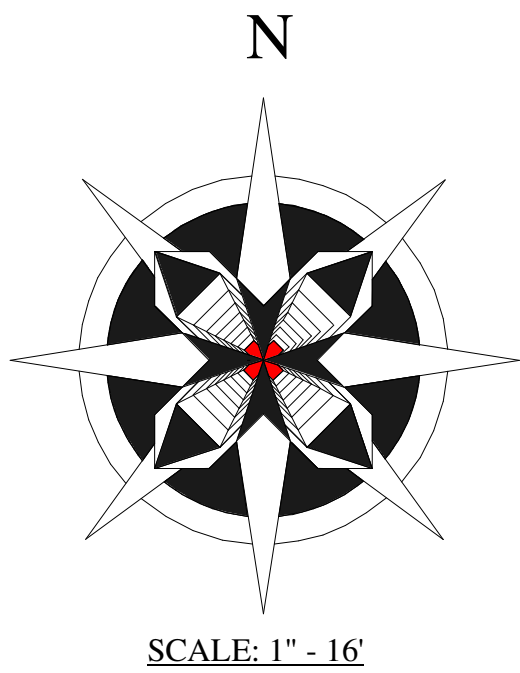
ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

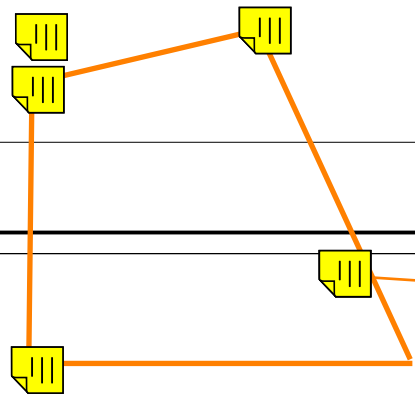
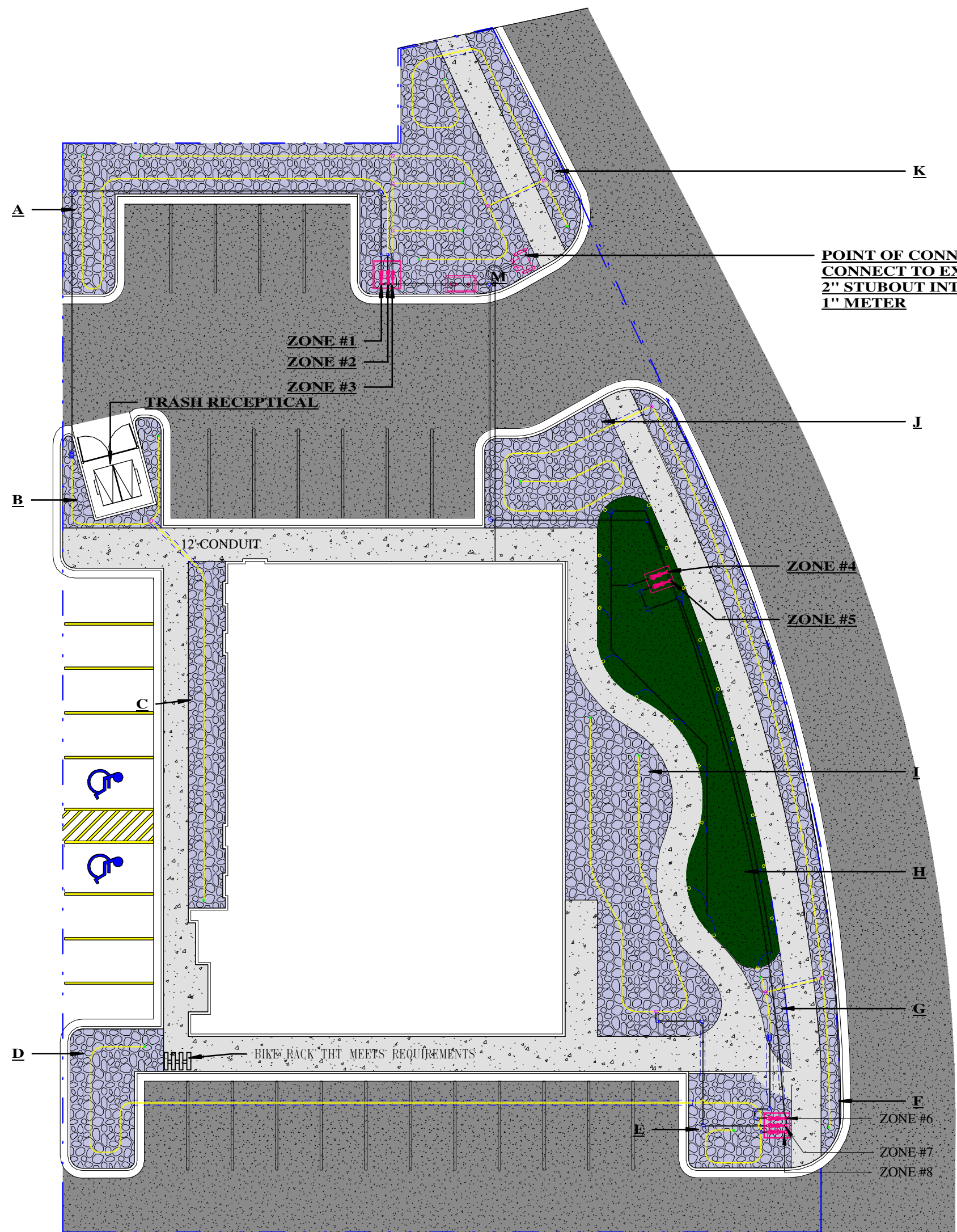
© Copyright 2021. Architectural Coalition  
THE PURCHASER IS GRANTED A SINGLE USE LICENSE FOR CONSTRUCTION ONLY. UNAUTHORIZED USE AND/OR FURTHER DISTRIBUTION IS PROHIBITED WITHOUT WRITTEN APPROVAL OF THE ARCHITECTURAL COALITION.

Garcia Law Offices  
Landscape Irrigation Plan  
909 West South Jordan Parkway, South Jordan, UT, 84095

SHEET NO.  
L-1.0  
DATE  
11/07/2023



SCALE: 1" = 16'



The irrigation plan needs to include the full project boundary.

# IRRIGATION PLAN

## LEGEND:

- 

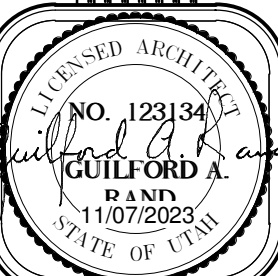
NOTE: CONTRACTOR SHALL USE SCHEDULE 40 PVC LEAVING THE VALVE / FILTER / PRESSURE / REGULATOR THEN SHALL USE A ST (SLIP THREAD) ELLBOW OR SST (SLIP SLIP THREAD) TEE TO TRANSITION INTO THE XT800100 XT - 800 XERI TUBE DISTRIBUTION TUBING, REFER TO THE IRRIGATION DESIGN TO SEE WHERE TRANSITIONS ARE MADE. THEN USE 1/4\"/>

NOTES: ALL MEASUREMENTS SHALL BE CONFIRMED BY CONTRACTOR.

ZONE #1	1" PVC 110' - 6'	1/2" DISTRIBUTION TUBING 120'
ZONE #2	1" PVC 5'	1/2" DISTRIBUTION TUBING 110'
ZONE #3	1" PVC 5'	3/4" DISTRIBUTION TUBING 170'
ZONE #4	1" PVC 80'	HUNTER PGJ ROTOR W/ SWING JOINT 11'
ZONE #5	1" PVC 5'	3/4" DISTRIBUTION TUBING 210'
ZONE #6	1" PVC 20'	3/4" DISTRIBUTION TUBING 210'
ZONE #7	1" PVC 30'	3/4" DISTRIBUTION TUBING 110'
ZONE #8	1" PVC 5'	1/2" DISTRIBUTION TUBING 170'

REVISIONS  
DATE

ARCHITECTURAL COALITION



© Copyright 2021.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY. UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Garcia Law Offices

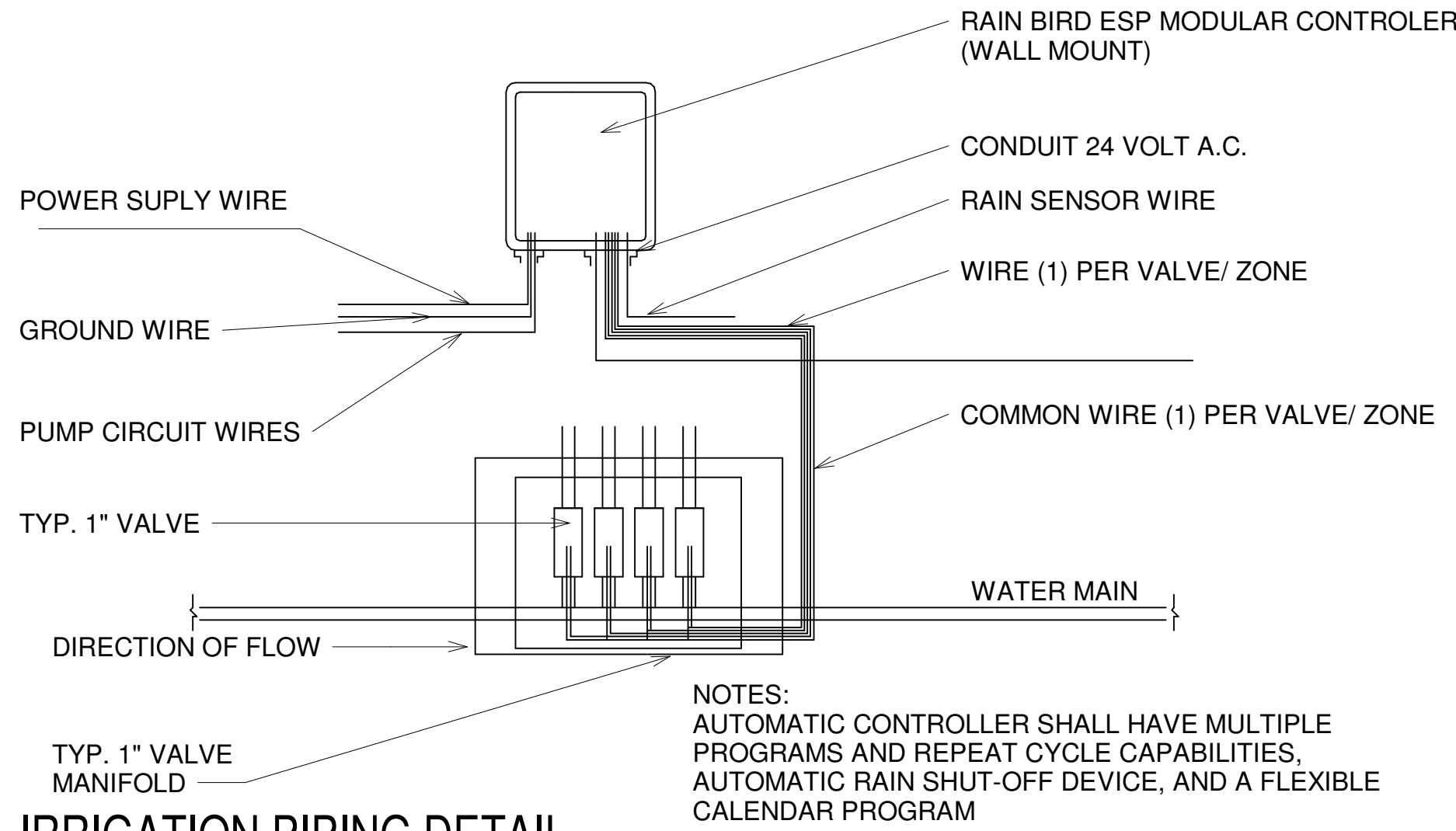
Landscape Irrigation Plan

909 West Jordan Parkway, South Jordan, UT, 84095

SHEET NO.  
L-2.0

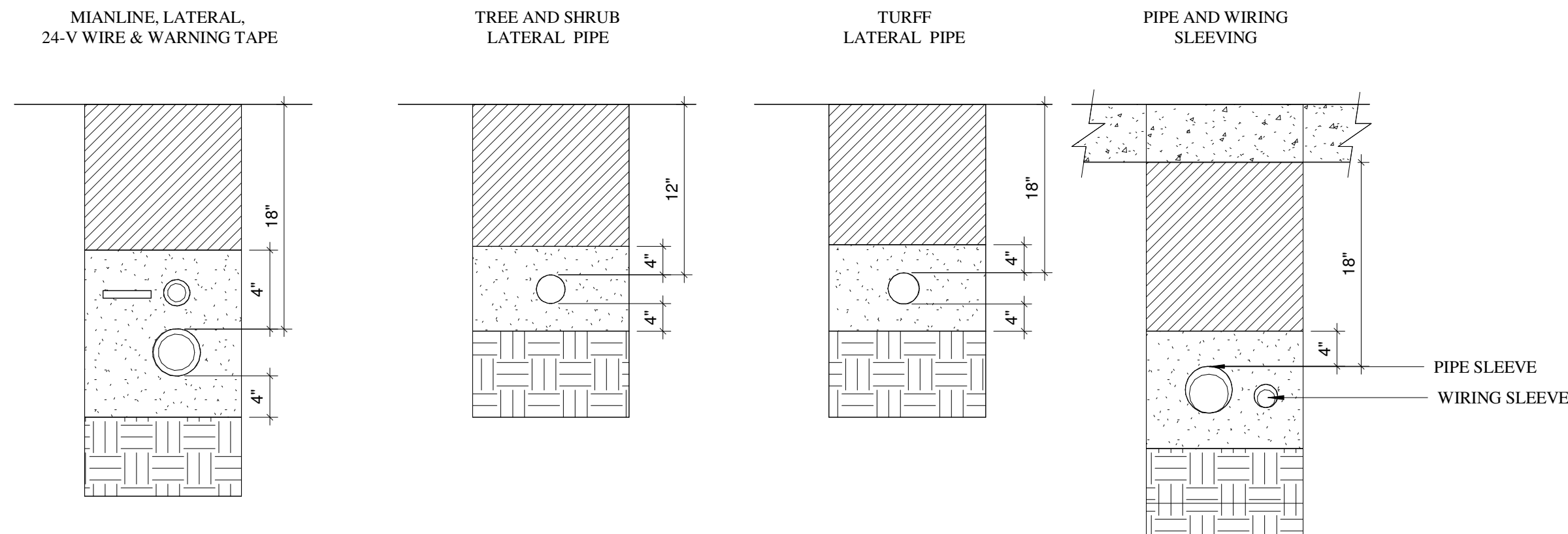
DATE  
11/07/2023

11/6/2023 12:00:46 PM C:\Users\Sobek\Downloads\EXISTING SITE PLAN 3 (1).rvt

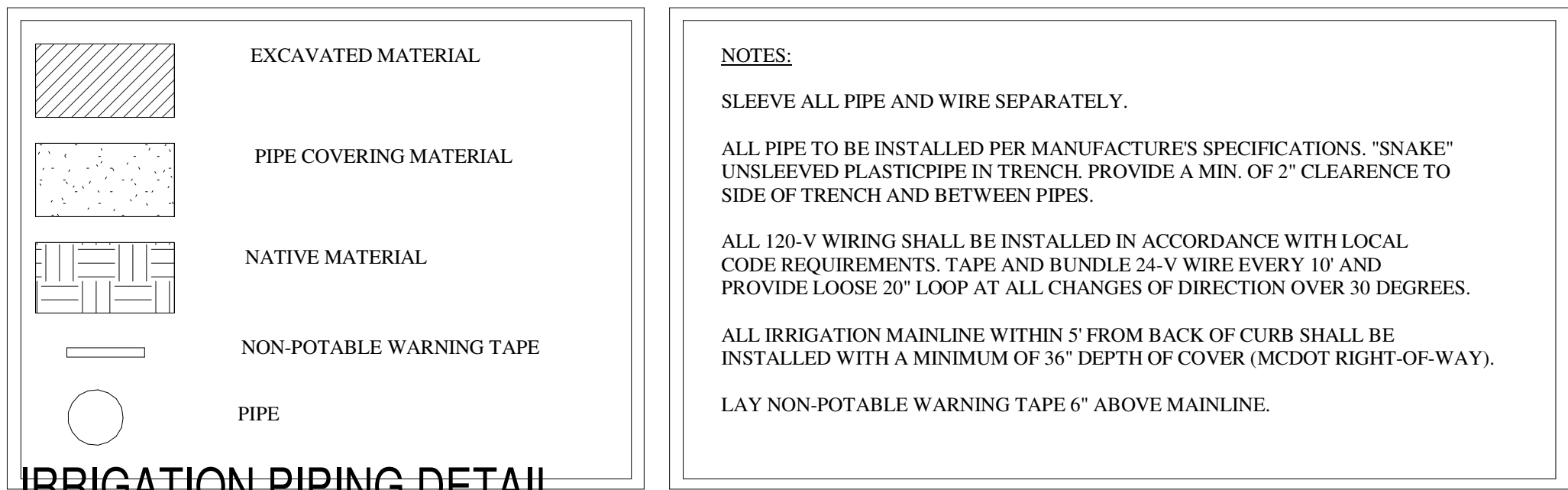


### IRRIGATION PIPING DETAIL

SCALE 1/4" = 1'-0"

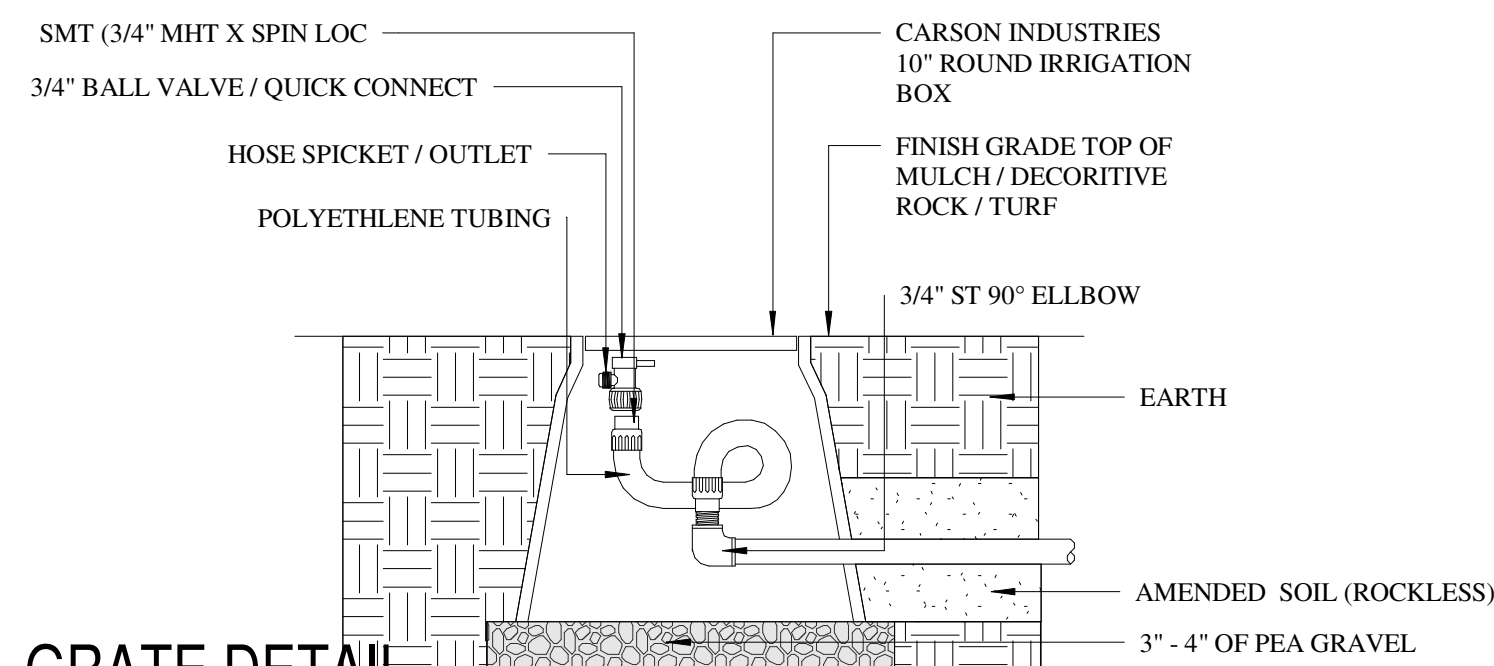


#### LEGEND:



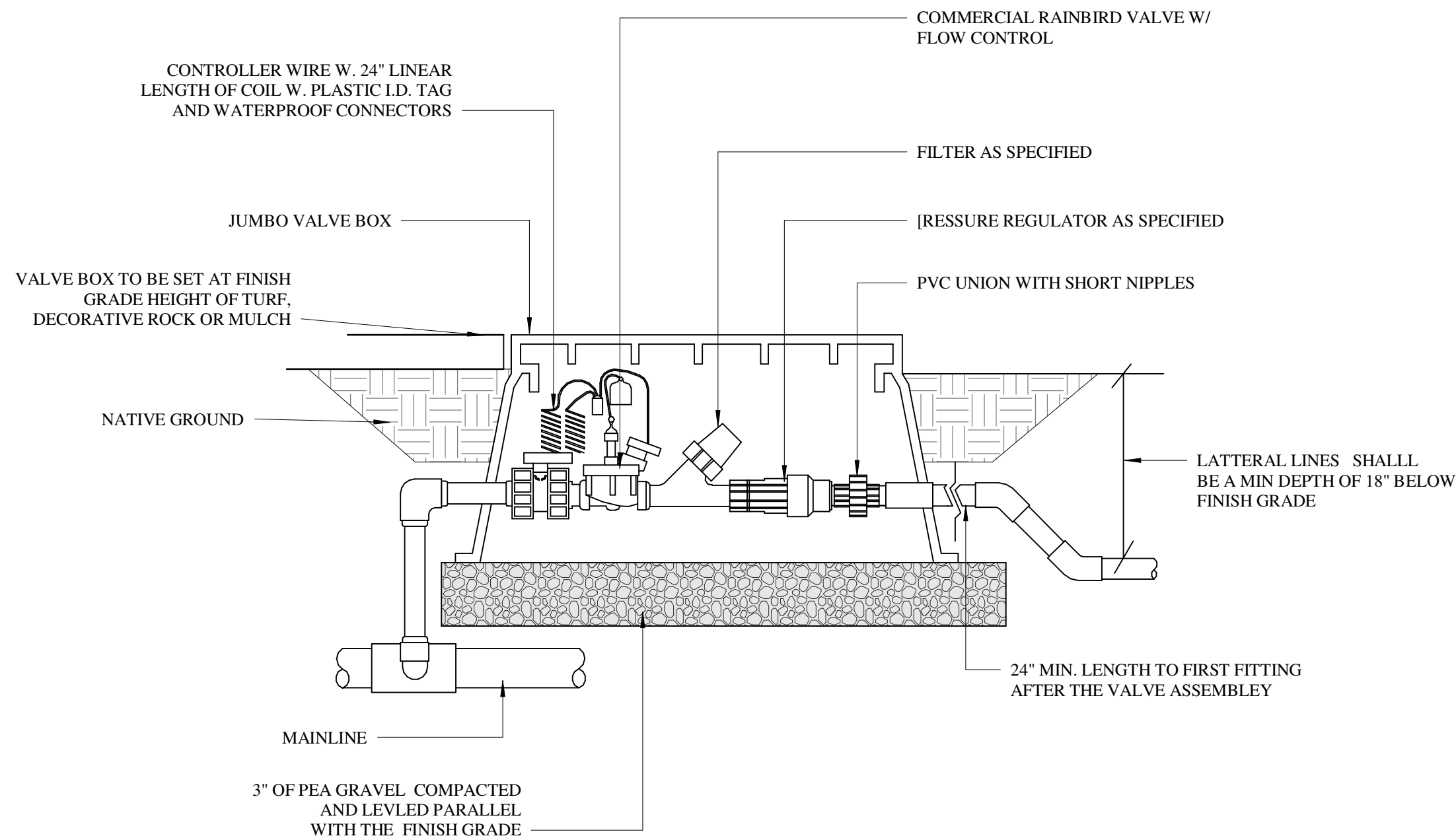
### IRRIGATION PIPING DETAIL

SCALE 1/16" = 1'-0"



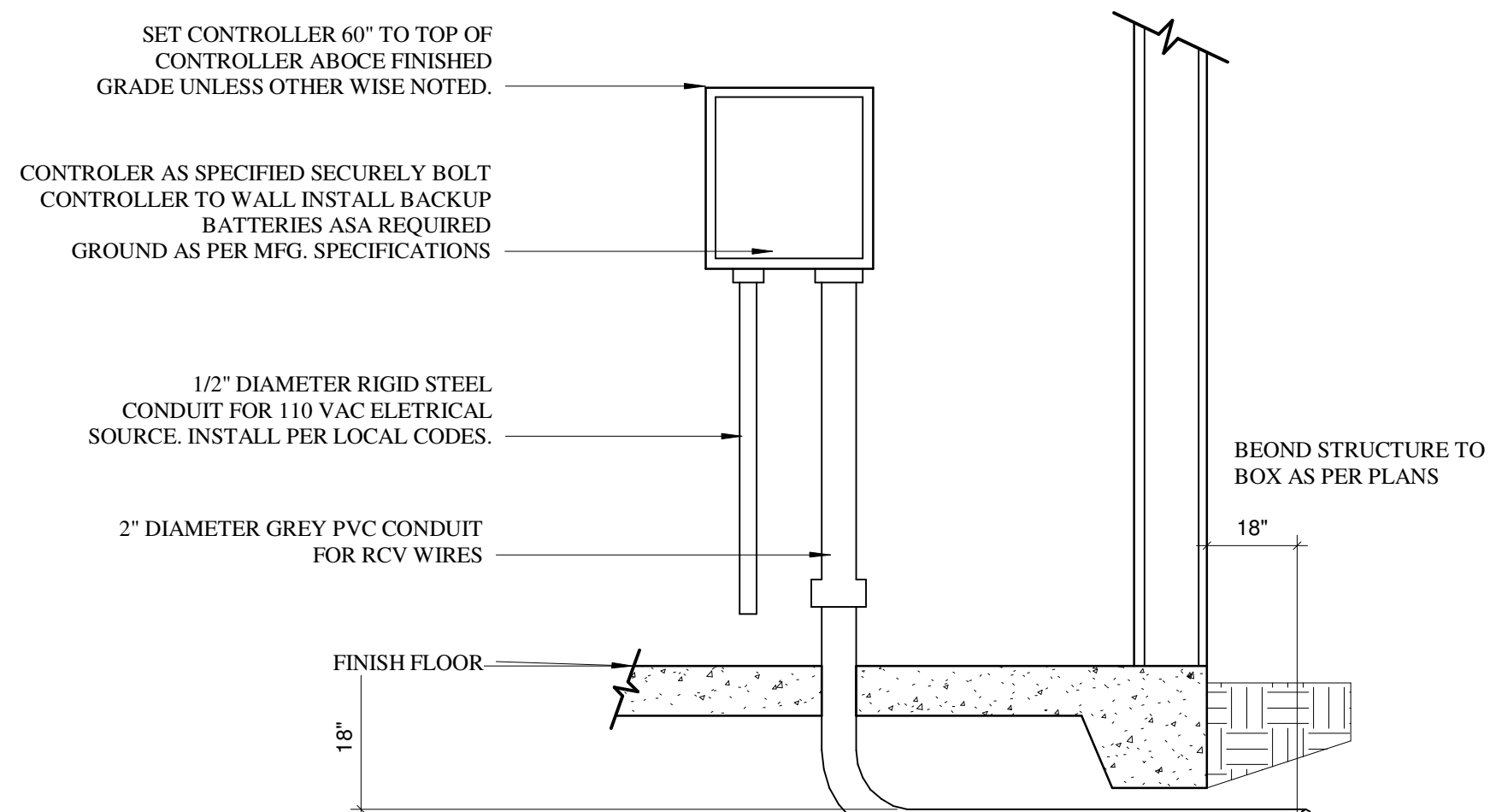
### GRATE DETAIL

SCALE 1" = 40'-0"



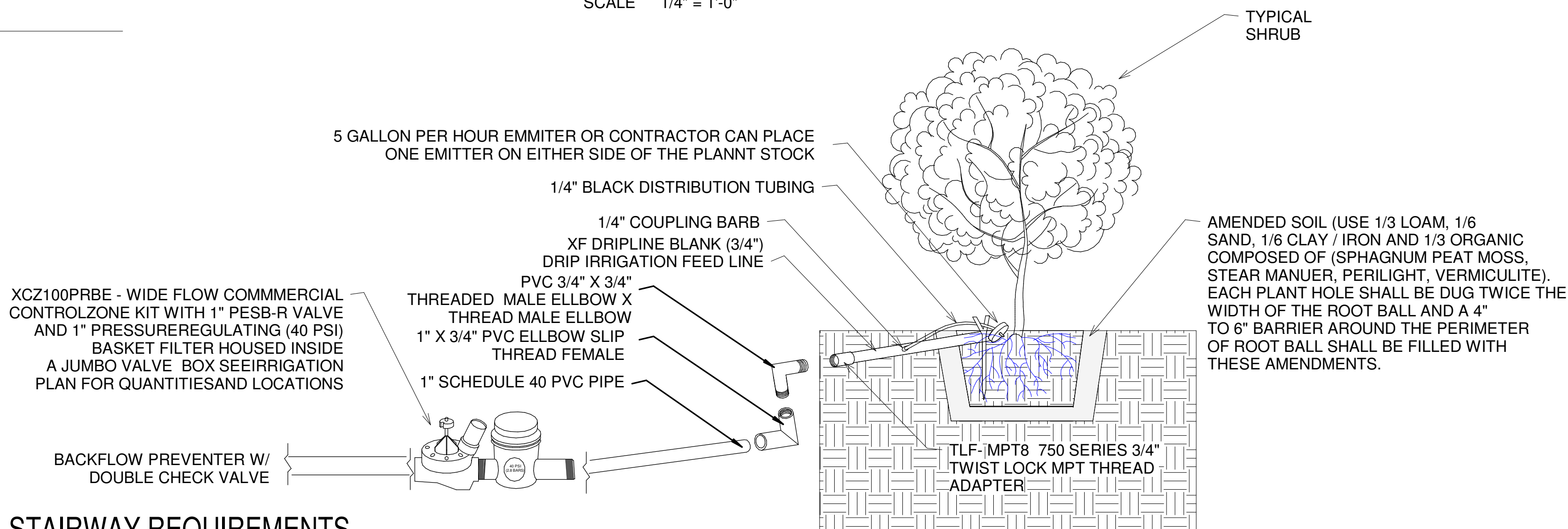
### VALVE BOX DETAIL WITH INLINE FILTER AND PRESSURE REDUCER

SCALE 1/4" = 1'-0"



### IRRIGATION PIPING DETAIL

SCALE 1/4" = 1'-0"



### STAIRWAY REQUIREMENTS

SCALE 1" = 10'-0"

REVISIONS  
DATE

ARCHITECTURAL COALITION

962 West 800 North, Orem Utah, 84057  
Ph: 801-491-0275

NO. 123134  
GUILFORD A  
RAND  
STATE OF UTAH

© Copyright 2021,  
Architectural Coalition  
THE PURCHASER IS  
GRANTED A SINGLE USE  
LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Garcia Law offices  
Landscape Details

909 West South Jordan Parkway, South Jordan 84095

SHEET NO.  
L-3.0

DATE  
07/05/2023



1. THIS IRRIGATION DESIGNS DIAGRAMMATIC. IT IS DESIGNED USING AN ASSUMED MINIMUM PRESSURE AT THE POINT OF CONNECTION OF 75 PSI. THE CONTRACTOR SHALL VERIFY THE PRESSURE PRIOR TO CONSTRUCTION AND INFORM OWNER IF PRESSURE IS LOWER THAN DESIGN PRESSURE.
2. DRIP LATERAL LINES ARE NOT SHOWN GOING TO EVERY PLANT FOR DESIGN CLARIFICATION ONLY. THE CONTRACTOR SHALL ENSURE ALL PLANTS RECEIVE DRIP IRRIGATION. EQUIPMENT, PIPING AND VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE SHOWN FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN THE PLANTING AREAS. LOCATE VALVES AND BFPS WITHIN SHRUB AREAS SO THAT THEY ARE VISUALLY UNOBTUSIVE.
3. ALL PVC PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 P.S.I. ALL POLYETHYLENE PIPE TO BE MANUFACTURED BY RAINBIRD.
4. ALL CONDUIT/SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE. REFER TO LONG SWEEP NOTE.
5. CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE BUNDLED AND TIED OR WRAPPED EVERY TEN FEET DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED AT ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNTIED PRIOR TO TRENCH FILL IN.
6. FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL LANDSCAPE LATERALS.
7. ALL VALVES, PRESSURE REFULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF 3" OF PEA GRAVEL.
8. THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMNT TO THE WRITTEN SPECIFICATIONS, APPROVEDD ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.
9. A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
10. BEFORE WORK BEGINS ON THE PROJECT THE IRRIGATION CONTRACTOR SHALL REVIEW THE PROJECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER.
11. IRRIGATION CONTRACTORS SHALL INSPECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND / OR OWNER. ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT TO REPAIR AND OR REPLACE AT THEIR EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS ARE AS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNERSAUTHORIZED REPRESENTATIVE AND / OR OWNER.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL IRRIGATION LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. PRIOR TO THE START OF WORK ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKES AT 811.
13. ALL HARDSCAPE, WALLS AND SIGNAGE MUST BE STAKED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
14. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. NOTIFY THE OWNER AND LANDSCAPE ARCHITECT SHOULD CONFLICTS ARISE.
15. IRRIGATION CONTRACTOR SHALL PROCIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.



2 NORTH ELEVATION  
3/16" = 1'-0"

METAL HORIZONTAL SIDING WITH WOOD PATTERN

ACM OR METAL PANEL

GREY OLD STYLE BRICK - STYLE AND COLOR TO BE DETERMINED

STEEL FIN PROTUSIONS PAINTED BLACK 4" MAX PROTUSION



3 SOUTH ELEVATION  
3/16" = 1'-0"



1 EAST ELEVATION  
3/16" = 1'-0"

ACM OR METAL PANEL

METAL HORIZONTAL SIDING WITH WOOD PATTERN

GREY OLD STYLE BRICK STYLE AND COLOR TO BE DETERMINED

STEEL FIN PROTUSIONS PAINTED BLACK 4" MAX PROTUSION

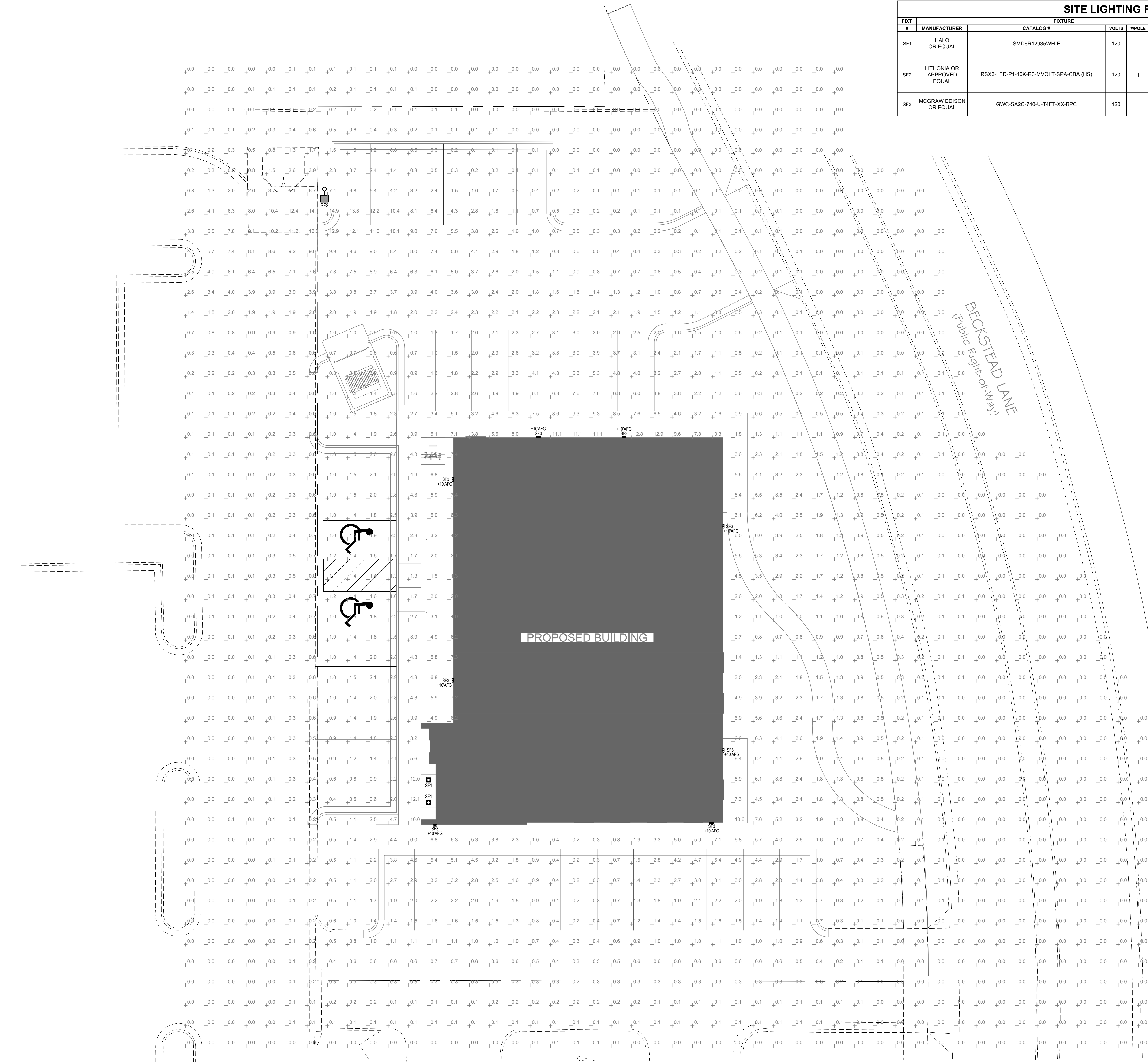
ACM OR METAL PANEL

METAL HORIZONTAL SIDING WITH WOOD PATTERN



4 WEST ELEVATION  
3/16" = 1'-0"

STEEL FIN PROTUSIONS PAINTED BLACK 4" MAX PROTUSION




SITE LIGHTING FIXTURE SCHEDULE									
FIXT #	MANUFACTURER	CATALOG #	VOLTS	#POLE	WATTS	MOUNTING	LAMPS TYPE	POLE HEIGHT	REMARKS
SF1	HALO OR EQUAL	SMD6R12935WH-E	120		17	SURFACE CEILING	LED 1200LM 3500 K 90 CRI		DAMP RATED DOWNLIGHT ONLY
SF2	LITHONIA OR APPROVED EQUAL	RSX3-LED-P1-40K-R3-MVOLT-SPA-CBA (HS)	120	1	194	POLE	LED	16'-0"	COLOR BY ARCHITECT
SF3	MCGRAW EDISON OR EQUAL	GW-SA2C-740-U-T4FT-XX-BPC	120		50	SURFACE WALL	LED - 5715LM 4000 K 70 CRI		PHOTOCELL BUTTON CONTROL

Revision Schedule	Revision Date
1	09/18/2023

**SITE PHOTOMETRIC**  
DRAWN BY: DMW  
REVIEWED BY: RB  
DATE: 10.09.2023  
SHEET NO.

**E102**

**ROYAL**  
ENGINEERING  
ELECTRICAL MECHANICAL  
1837 S. EAST BAY BLVD. PROVO, UTAH 84606  
PHONE: 801.375.2228 FAX: 801.375.2876  
COPYRIGHT © J08# J23245.00 DATE PLOTTED: 09/18/2023



**1 SITE PHOTOMETRIC PLAN**  
1" = 10'-0"

### Shared Parking Agreement

Owner(s) of the property to be built at 10931 S Beckstead Ln. South Jordan UT 84095,  
"Garcia Law, LLC", east of "Mi Ranchito Mexican Restaurant" located at 10949 S Redwood Rd  
#200, South Jordan UT 84095, enter into this agreement to share 4 parking spaces.

#### Site Plan

See attached diagram of the entire parking lot, enumerated spaces to be shared per this agreement.

Sergio Garcia for Garcia Law:

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

9/8/2023

Xochilt Arias for Mi Ranchito Mexican Restaurant:

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

9/21/2023