

# **SOUTH JORDAN CITY PLANNING COMMISSION REPORT**

**Meeting Date: 02/27/2024**

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**Issue:** Harvest Pointe West Townhomes  
**SITE PLAN APPLICATION**

**Address:** 3773 W South Jordan Parkway, South Jordan, UT 84095  
**File No:** PLSPR202300053  
**Applicant:** Jeff Seaman

**Submitted by:** Miguel Aguilera, Planner I  
Jared Francis, Senior Engineer

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**Staff Recommendation (Motion Ready):** I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202300053**, to allow for construction of townhome residences at 3773 W South Jordan Pkwy.

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<b>ACREAGE:</b>	3.16 acres
<b>CURRENT ZONE:</b>	Residential Multi-Family with Planned Development Floating Zone (R-M(PD))
<b>CURRENT USE:</b>	Vacant Land
<b>FUTURE LAND USE PLAN:</b>	Mixed-Use (MU)
<b>NEIGHBORING ZONES/USES:</b>	North – Community Commercial (Albertsons Subdivision) South – R-M-8 Residential Multi-Family West – Harvest Pointe Drive East – Community Commercial (Albertsons Subdivision)

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## **STANDARD OF REVIEW:**

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions, or deny the site plan.

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## **BACKGROUND:**

Harvest Pointe Townhomes development is located on the vacant lot of the proposed Harvest Pointe West Subdivision near 11400 S. It is bordered by commercial parking of the Alberstons Subdivision to the north, the Rushton Meadows 4 residences to the south, the VASA Fitness center to the east, and Harvest Pointe Drive to the west.

The development will consist of six multi-family residential buildings. Each building will have 3-stories. Five of the buildings will have three attached dwellings, one building will have five attached dwellings. Elevations of the buildings show a height of 33 feet and 9 inches to the highest point. The height to the flat roof is 29 feet and 7 inches. Front elevations show balconies on the second stories.

The internal road network is designed in a grid layout. The three dead end streets will have a hammerhead turnaround for emergency vehicles. Each residence of each building will have a driveway connected to the new interior streets leading to Harvest Pointe Drive or the adjacent commercial area.

Landscaping will consist of trees, shrubs, grasses, perennial plants, and river cobble rock cover. All areas which are not road asphalt, paved walkways, and driveways will have landscape covering. Turf grass will cover 28% of the landscape area while shrub beds and rock mulch will cover 72%. There will be 42 trees planted throughout the project site, mostly along the sidewalks in the perimeter areas.

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## **STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:**

### **Findings:**

- The project's plans comply with the Harvest Pointe West Development Agreement.
- The project will create 20 new residences

### **Conclusion:**

- The proposed project meets the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus should be approved.

### **Recommendation:**

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

### **ALTERNATIVES:**

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

**SUPPORT MATERIALS:**

- Location Map
- Zoning Map
- Site Plan
- Grading Plan
- Landscape Plan
- Building Elevations

*Miguel Aguilera*  
Miguel Aguilera (Feb 21, 2024 15:49 MST)

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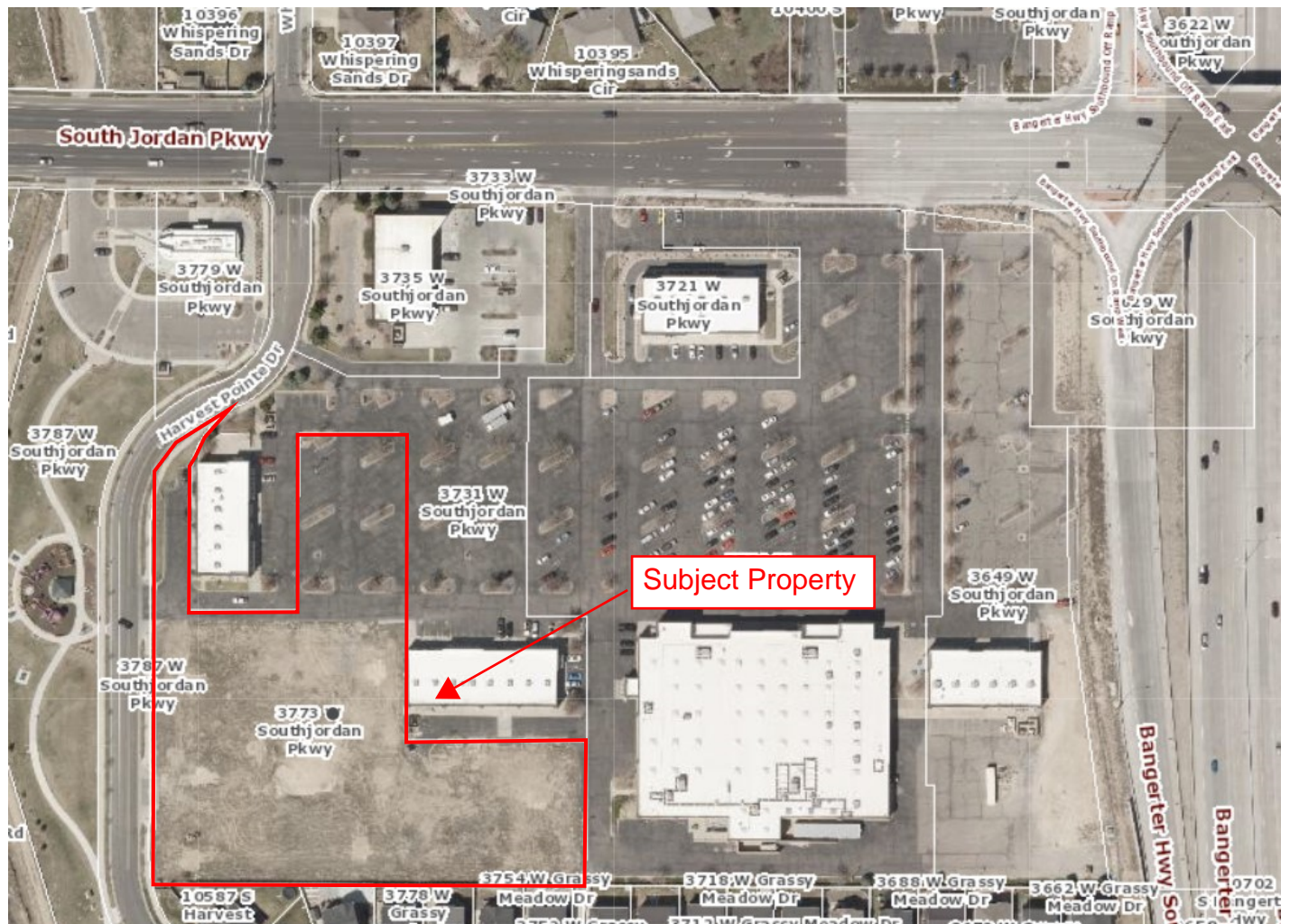
  
Miguel Aguilera  
Planner I, Planning Department

*Brad Klavano*  
Brad Klavano (Feb 21, 2024 18:55 MST)

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Brad Klavano, P.E.  
City Engineer

Location Map  
**Harvest Pointe Townhomes**  
*South Jordan City*

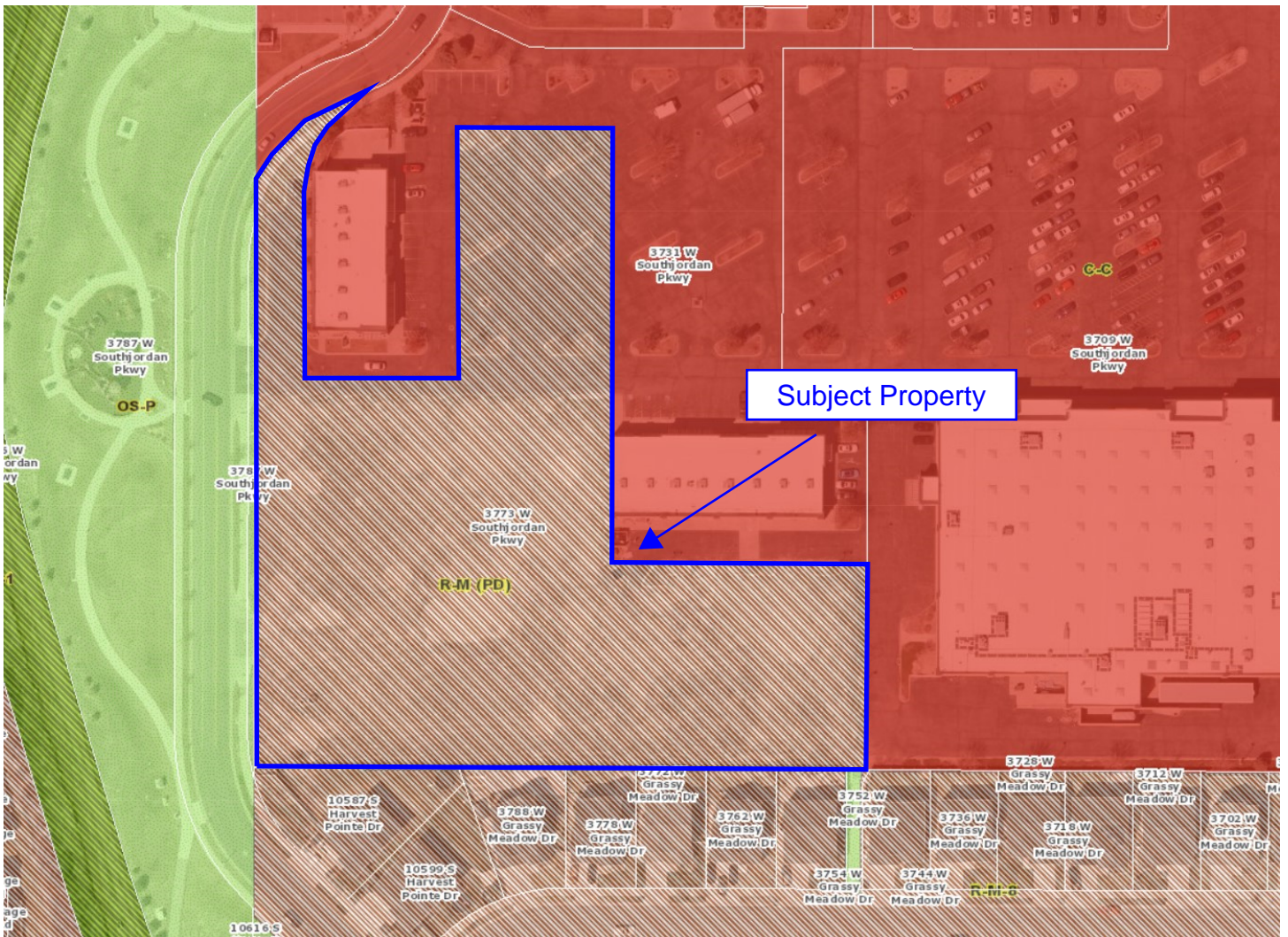




# Zoning Map

## Harvest Pointe Townhomes

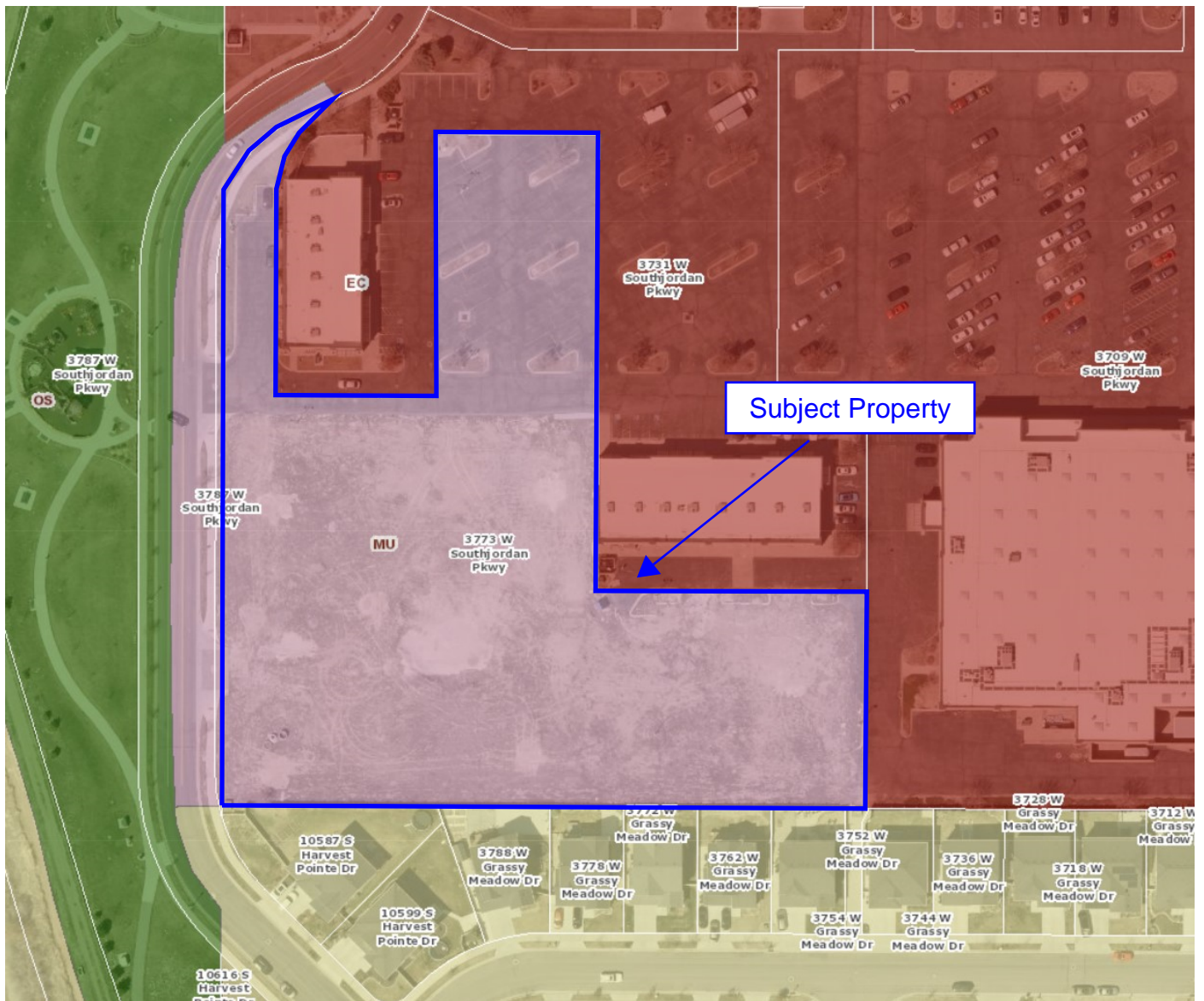
### *South Jordan City*



# Land Use Map

## Harvest Pointe Townhomes

### *South Jordan City*

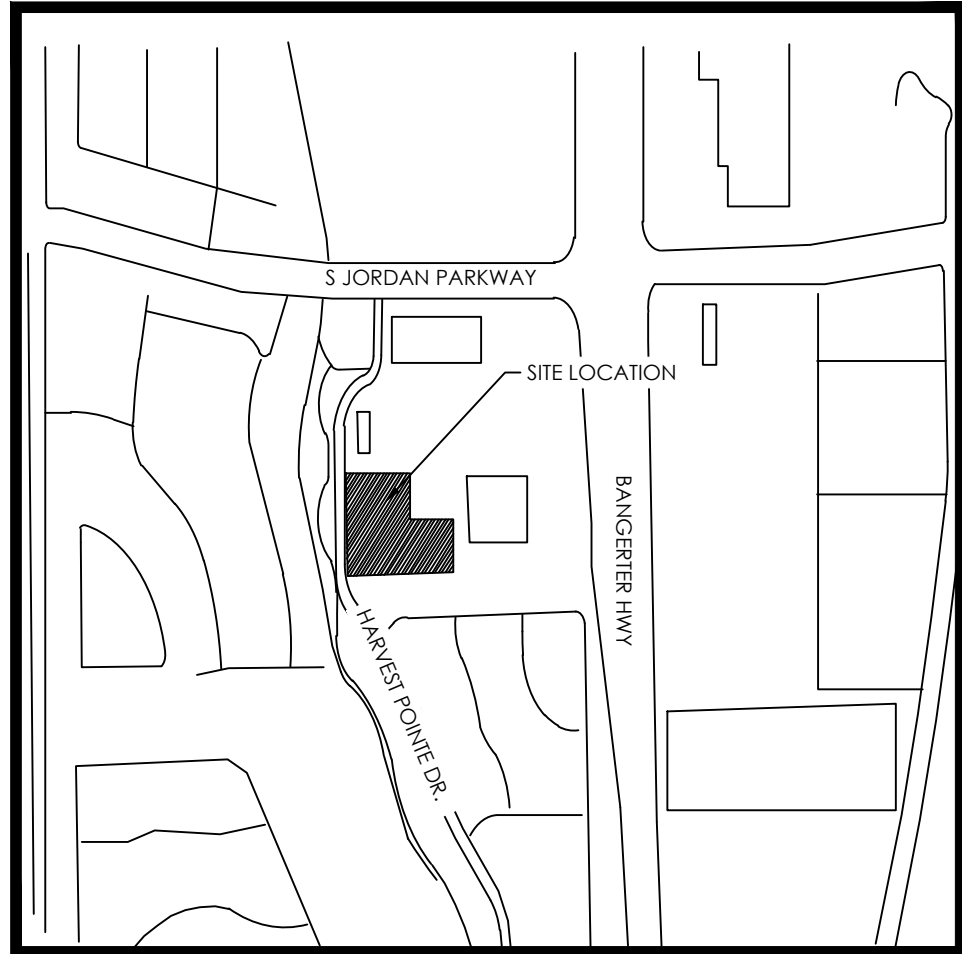




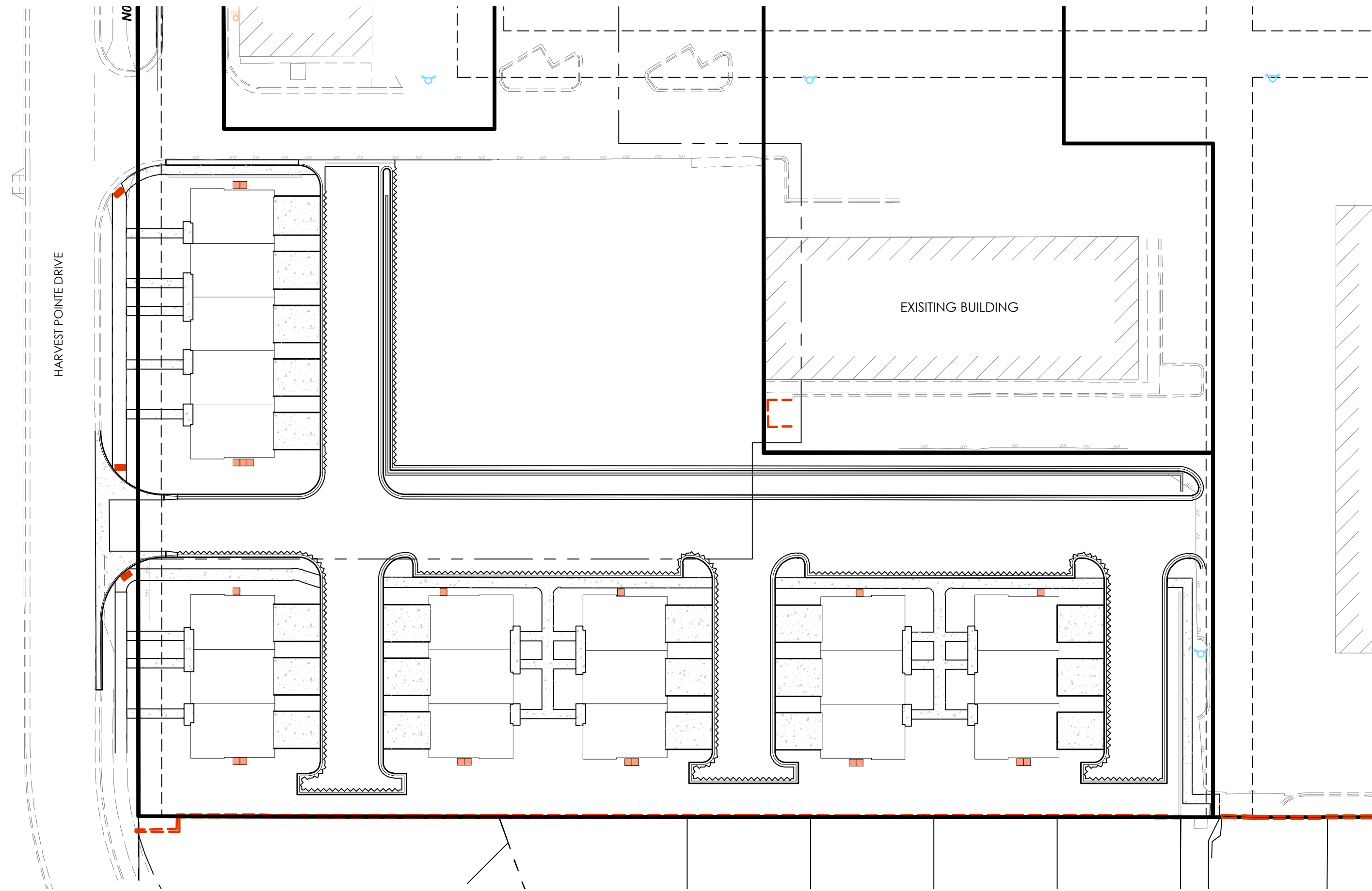
# HARVEST POINTE WEST

PREPARED FOR:  
PETERSON DEVELOPMENT

LOCATED IN:  
3773 S JORDAN PKWY, SOUTH JORDAN, UT



VICINITY MAP  
NTS



SITE MAP

## GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SOUTH JORDAN STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

## NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

## ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

## CONTACTS

ENGINEER & SURVEYOR  
FOCUS ENGINEERING & SURVEYING, LLC  
6949 S. HIGH TECH DRIVE SUITE 200  
MIDVALE, UTAH 84047  
(801) 352-0075  
PROJECT MANAGER: PARK SORENSON  
SURVEY MANAGER: JUSTIN LUNDBERG

OWNER/DEVELOPER  
PETERSON DEVELOPMENT  
225 SOUTH 200 EAST #300 SALT LAKE CITY, UTAH 84111  
(801) 870-1494  
CONTACT: JEFF SEAMAN

## BENCHMARK

NORTH WEST CORNER OF SECTION 17  
TOWNSHIP 03 SOUTH, RANGE 01 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV: 4692.36  
DATUM: NAVD 88



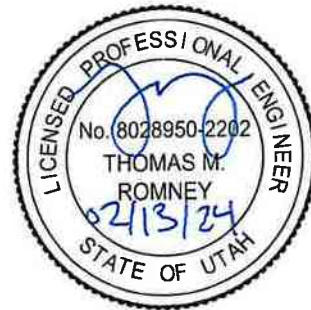
GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.



Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	SOUTH JORDAN CITY STANDARD NOTES
C2.0	PRELIMINARY PLAT
C2.1	DEMO PLAN
C3.0	SITE PLAN
C3.1	HARDSCAPE PLAN
C3.2	GARBAGE ROUTE PLAN
C4.0	OVERALL GRADING & DRAINAGE PLAN
C4.1	GRADING & DRAINAGE PLAN
C4.2	GRADING & DRAINAGE PLAN
C4.3	GRADING & DRAINAGE PLAN
C4.4	GRADING & DRAINAGE PLAN
C4.6	DRAINAGE BASINS PLAN
C5.0	SEWER PLAN
C5.1	WATER PLAN
C6.0	EROSION CONTROL PLAN
PP1.0	ROAD A PROFILE PLAN
PP1.1	ROAD A PROFILE PLAN
PP2.0	ROAD B PROFILE PLAN
PP3.0	ROAD C PROFILE PLAN
PP4.0	ROAD D PROFILE PLAN
D1.0	DETAILS
D2.0	DETAILS
D3.0	DETAILS
D4.0	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN
L2.0	OVERALL IRRIGATION PLAN
L2.1	IRRIGATION PLAN
L2.2	IRRIGATION PLAN
L2.3	IRRIGATION DETAILS



REVISION BLOCK		DESCRIPTION
#	DATE	
1	----	----
2	----	----
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## COVER SHEET

Scale: 1"=40'  
Date: 02/13/24  
Sheet: C1.0

Drawn: CO  
Job #: 22-0403



1.1 South Jordan City General Notes

1. All work done or improvements installed within South Jordan City including but not limited to excavation, construction, roadwork and utilities shall conform to the South Jordan City Construction Standards and Specifications, City Municipal Code, the latest edition of the APWA Manual of Standard Specifications and Manual of Standard Plans, the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD) and any state or federal regulations and permit requirements of various governing bodies. The contractor is responsible to have a copy of these specifications and to know and conform to the appropriate codes, regulations, drawings, standards and specifications.
2. The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records. Existing utilities are located on plans only for the convenience of the Contractor. The contractor shall bear full responsibility for the protection of utilities and the engineer bears no responsibility for utilities not shown on the plans or not in the location shown on the plans. This includes all service laterals of any kind. The Contractor shall, at his own expense, locate all underground and overhead interferences, which may affect his operation during construction and shall take all necessary precautions to avoid damage to same. The Contractor shall use extreme caution when working near overhead utilities so as to safely protect all personnel and equipment, and shall be responsible for all cost and liability in connection therewith.
3. The Contractor shall take all precautionary measures necessary to protect existing utility lines, structures, survey monuments and street improvements which are to remain in place, from damage, and all such improvements or structures damaged by the Contractor's operations shall be repaired or replaced satisfactory to the City Engineer and owning utility company at the expense of the Contractor.
4. All construction shall be as shown on these plans, any revisions shall have the prior written approval of the City Engineer.
5. Permits are required for any work in the public way. The Contractor shall secure all permits and inspections required for this construction.
6. Curb, gutter, and sidewalk, found to be unacceptable per City Standards and APWA shall be removed and replaced.
7. Contractor shall provide all necessary horizontal and vertical transitions between new construction and existing surfaces to provide for proper drainage and for ingress and egress to new construction. The extent of transitions to be as shown on plans.
8. Any survey monuments disturbed shall be replaced and adjusted per Salt Lake County Surveyors requirements.
9. All privacy walls, new or existing, are only shown on civil plans for the purpose of reviewing grading relationships; flood control and sight distance at intersections. All walls shall have a minimum 2 ft x 2 ft x 30 inch deep spot footings. Bottom of all footings on all walls shall be a minimum of 30 inches below finished grade. Walls greater than 6 feet require a separate permit and inspection by the Building Department.
10. All construction materials per APWA must be submitted and approved by the City Engineer prior to the placement of asphalt within City Right of Way.
11. Request for inspection by the City of South Jordan engineering dept. shall be made by the contractor at least 48 hours before the inspection services will be required, except in an emergency as defined by the South Jordan City Municipal Code § 12.08.010.
12. Work in public way, once begun, shall be prosecuted to completion without delay as to provide minimum inconvenience to adjacent property owners and to the traveling public.
13. The contractor shall take all necessary and proper precautions to protect adjacent properties from any and all damage that may occur from storm water runoff and/or deposition of debris resulting from any and all work in connection with construction.
14. Power poles and/or other existing facilities not in proper location based on proposed improvements shown hereon will be relocated at no expense to the City of South Jordan. Power lines and all other aerial utilities are to be buried and poles removed as determined by the City Engineer.
15. Curb and gutter with a grade of less than four-tenths of one percent shall be constructed by forming. Each joint shall be checked for a grade prior to construction and water tested as soon as possible after construction.
16. Contractor to follow Salt Lake County Noise Ordinance Standards.
17. Contractors are responsible for all OSHA requirements on the project site.
18. A UPDES (Utah Pollutant Discharge Elimination System) permit is required for all construction activities as per state law as well as providing a Storm Water Pollution Prevention Plan to the City.
19. Developer is responsible for locating and repairing all underground streetlight wires, water lines, storm drain lines and irrigation lines until 90% of the bond has been released.
20. All City maintained utilities including; waterline, fire hydrants, streetlight wiring, and storm drain must be in public right of way or in recorded easements.
21. Contractor shall work South Jordan City regular working hours of Monday through Friday 7:00 am to 4:00 pm. If Contractor permits overtime work or work on a Saturday, Sunday or any legal holiday, Contractor shall receive prior approval by City Engineer. Contractor shall obtain all permits and pay Overtime Inspection Fee's to The City of South Jordan on the Thursday prior to the Saturday, Sunday or legal holiday requested. This applies to all work within the public right of way including traffic control and access.
22. Prior to 90% bond release, a legible as-built drawing must be submitted to the City of South Jordan stamped and signed by a professional engineer. As-builts must show all changes and actual field locations of storm drainage, waterlines, irrigation, street lighting, and power. As-builts will be held to the same standard as approved design drawings, no "redlined plans" allowed. In the absence of changes, copies of the approved drawings will be required stating "installed as per drawings". As-built drawings for new developments shall be submitted to the City in the following formats and quantities prior to the 90% bond release: 1 .dxf copy, 1 .pdf copy.
23. Filter fabric wrapped around an inlet grate is not an acceptable inlet sediment barrier. See Chapter 9 of South Jordan City Construction Standards and Specifications for details of approved storm water BMPs.
24. Asphalt paving between October 15 and April 15 is not allowed without a written exception from the Engineering Department.
25. To ensure proper planting, protection and irrigation of trees, mitigating risk of tree failure or future damage to infrastructure, contractors are required to follow the standards and specifications of the ISA – International Society of Arboriculture.
26. All small cell construction must follow the South Jordan City Small Cell Infrastructure Design Guidelines.
27. All construction of Low Impact Development (LID) must follow the South Jordan City Low Impact Development Handbook 2020. With the development of any residential subdivision that proposes LID in public park strips, the developer must construct/install such to completeness, including but not limited to vegetation and landscape irrigation. The developer is responsible to maintain the LID (including landscape) until such time the developer connects any LID landscape irrigation to owner's irrigation of the respective building lot.

- Developer's LID maintenance responsibilities include but not limited to cleaning, repairing, protecting and clear of any debris. The building lot owner shall maintain in perpetuity any LID constructed anywhere on the building lot, including the park strip area within public right of way.
28. When a proposed development borders a collector, minor collector or arterial street and is required to construct collector street fencing along the back of sidewalk, the development shall also be required put in a concrete mow strip from the back of sidewalk to underneath the fence panels. Concrete mow strips shall also be required between the sidewalk and fencing along the rear of double frontage lots.
29. One-way valves are required on residential land drain lines that go from a foundation drain on a home to a public storm drain system.
- 1.2 City of South Jordan Traffic Notes
1. When a designated "Safe Route To School" is encroached upon by a construction work zone the safe route shall be maintained in a manner acceptable to South Jordan City and the Jordan School District.
2. If the improvements necessitate the obliteration, temporary obstruction, temporary removal or relocation of any existing traffic pavement marking, such pavement marking shall be restored or replaced with like materials to the satisfaction of the City Engineer, Public Works Director or designee.
3. The street Sign Contractor shall obtain street names and block numbering from the Planning Department prior to construction.
4. The Contractor shall be responsible for providing and installing all permanent signs shown on the plans. Street name signs shall conform in their entirety to current City Standards. All other signs shall be standard size unless otherwise specified on the plans. All sign posts shall be installed in accordance with the current City Standards.
5. All permanent traffic control devices called for hereon shall be in place and in final position prior to allowing any public traffic onto the portions of the road(s) being improved hereunder, regardless of the status of completion of paving or other off-site improvements called for per approved construction drawings unless approved by the City Engineer.
6. The Contractor shall be responsible for notifying Utah Transit Authority (UTA) if the construction interrupts or relocates a bus stop or has an adverse effect on bus service on that street to arrange for temporary relocation of stop.
7. Before any work is started in the right-of-way, the contractor shall install all advance warning signs for the construction zone. The contractor shall install temporary stop signs at all new street encroachments into existing public streets. All construction signing, barricading, and traffic delineation shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) per the current edition adopted by UDOT and be approved by the City of South Jordan before construction begins.
8. All signs larger than 36" X 36" or 1296 square inches per sign pole shall be mounted on a Slip Base system per UDOT standard drawing SN 108 (detail drawing attached to standard drawings) with a "Z" bar backing. Signs of this size are not allowed to be mounted on a yielding pole.
9. Sign components such as sheeting, EC film, inks, letters and borders are all required to be from the same manufacturer. Only EC film may be used to achieve color. Vinyl EC film is not accepted.
10. All new roundabouts, crosswalks, stop bars and legends shall be installed with 90 mil preformed thermo plastic.
11. Paving asphalt binder grade shall be PG 58-28 unless otherwise approved by the City Engineer. Asphalt aggregate size shall be ½ inch for residential and collector roads. No more than 15% RAP (reclaimed asphalt pavement) by weight will be allowed in the asphalt mix design for the paving of public and private streets. Up to the 15 percent will be allowed with no change in the specific binder grade. The asphalt mix design shall have no more than 3½ % air voids.
12. Potholing: All potholes must be saw cut square and have a minimum size of 1 square foot. When repairing a pothole, sand or pea gravel meeting South Jordan City standards shall be placed over the exposed utility to a depth of 6 inches. Following the pea gravel will be flowable fill up to 1 inch below the bottom edge of the existing asphalt. The remaining portion of the hole shall be filled with asphalt, which will have an overall thickness of the existing asphalt plus 1 inch.
13. All fill within the public right of way shall be A-1-A to A-3, with the exception of top soil in the park strip for landscaping and trench backfill. Trench backfill material under pavements or surface improvements shall be clean, nonclumping, granular and flowable, 2" minus, A-1-a to A-2-7 soils according to AASHTO 145 soil Classification System. Lime treated flowable fills, if approved, shall have a 28-day strength of 65 PSI.
14. All traffic road closures involving 1 or more lanes of traffic must receive prior approval from the City Engineer or his/her representative. VMS PCMS boards must be placed a minimum of 7 days in advance of any lane closure on collector, minor collector or arterial street. VMS PCMS boards must also be placed in advance of any lane closures on a subdivision street per the City Engineer's direction.
15. Roundabouts, including their ingress and egress, shall be constructed with concrete pavement. Engineer shall design cross section and submit to the City for review and approval.
16. Alleyways and Lanes are to have 6 feet maximum spacing for control joints in straight sections and are to have an expansion joint every 60 feet and at all pc's and pt's.
17. Construction of any public street requires a sign off checklist prior to the road being opened to traffic for use by the general public. The checklist must be requested by the Developer. The city's assigned project engineer will prepare the checklist and provide it to the developer/contractor.
18. Trees are not allowed to be planted within 30' of a stop sign.
- 1.3 City of South Jordan Street Light Notes
- All work shall be installed in accordance with the most current South Jordan City Standards and N.E.C. (National Electric Code). A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction. No deviation of streetlight, pull boxes, conduits, etc., locations shall be permitted without prior WRITTEN APPROVAL from the City Engineer or his/her representative.
- An electronic copy of the street light redlines, showing the same items listed above for the street light plan, shall be submitted to the South Jordan City Engineering Department after the street lights have been installed but prior to them being connected by Rocky Mountain Power.
1. Location of the Street light pole.
- a. Shall not be installed within 5 feet of a fire hydrant. The location shall be such that it does not hinder the operation of the fire hydrant and water line operation valves.
- b. Shall be a minimum of 5 feet from any tree, unless written approval is received from the City Engineer. Branches may need to be pruned as determined by the Engineering Inspector in the field at the time of installation.
- c. Shall not be installed within 5 feet from the edge of any driveway.
2. Anti-seize lubricant shall be used on all cover bolts and ground box bolts.

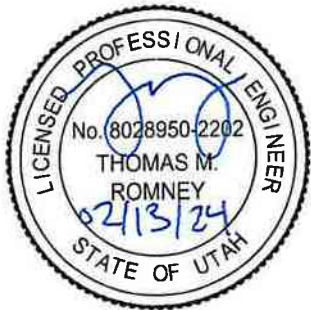
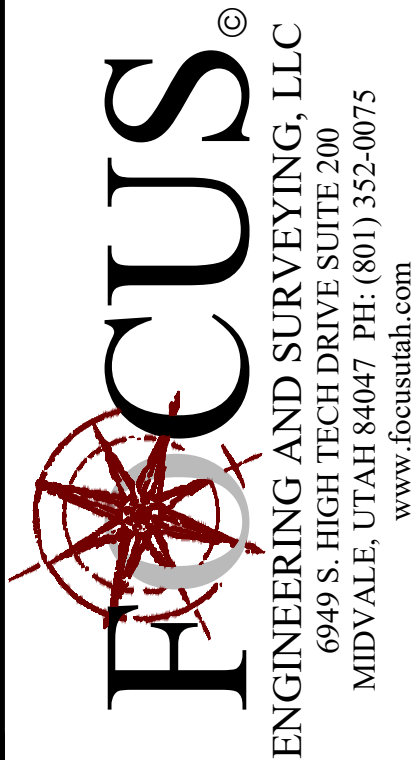
3. All existing street lighting shall remain operational during construction.
4. Any structure such as block walls, chain link fences, retaining walls, etc. shall leave a minimum of eighteen (18) inches to the face of the street light pole on all sides.
5. All service point(s) shall be coordinated with Rocky Mountain Power and whenever possible be located near the center of the circuit. Service point(s) shall be shown on the plans with a schematic from Rocky Mountain Power. Pole locations as shown on the approved plans may be adjusted in the field by the Engineering Inspector at time of installation at no additional cost to the City.
6. It shall be required that in the absence of an existing workable circuit to attach to, that all installations shall require a new service for operation of the circuits in this case developer and or his engineer shall contact Rocky Mountain Power.
7. Wherever there is an overhead utility that may conflict with the installation of the street light circuits and/or streetlight poles, those conflicts must be resolved between the developer and the utilities involved before the street light bases are constructed at no expense to the City of South Jordan or Rocky Mountain Power. The resolution must be approved by the City of South Jordan and Rocky Mountain Power.
8. The contractor shall furnish a complete service to the transformers and control systems if required on the plans and/or is deemed necessary by Rocky Mountain Power and/or South Jordan City.
9. A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction.
10. The contractor shall be required to perform a 10 day burn test of the street lights after they are connected and energized by Rocky Mountain Power. This test shall be coordinated and witnessed by a South Jordan Engineering Inspector.
11. Each streetlight pole shall have its own photo cell independent of a master control. On double head fixtures a single photo cell shall be installed on the north most facing head and be wired to energize both heads.
- 1.4 City of South Jordan Grading Notes
1. In the event that any unforeseen conditions not covered by these notes are encountered during grading operations, the Owner and City Engineer shall be immediately notified for direction.
2. It shall be the responsibility of the Contractor to perform all necessary cuts and fills within the limits of this project and the related off-site work, so as to generate the desired subgrade, finish grades and slopes shown.
3. Contractor shall take full responsibility for all excavation. Adequate shoring shall be designed and provided by the Contractor to prevent undermining of any adjacent features or facilities and/or caving of the excavation.
4. The Contractor is warned that an earthwork balance was not necessarily the intent of this project. Any additional material required or leftover material following earthwork operations becomes the responsibility of the Contractor.
5. Contractor shall grade to the lines and elevations shown on the plans within the following horizontal and vertical tolerances and degrees of compaction, in the areas indicated:
- Horizontal Vertical Compaction
- a. Pavement Area Subgrade 0.1"+ +0.0" to -0.1" See soils Report
- b. Engineered Fill 0.5"+ +0.1" to -0.1" See Soils Report

Compaction Testing will be performed by the developer or his representative.

6. All cut and fill slopes shall be protected until effective erosion control has been established.
7. The use of potable water without a special permit for building or construction purposes including consolidation of backfill or dust control is prohibited. The Contractor shall obtain all necessary permits for construction water from the Public Works Department.
8. The Contractor shall maintain the streets, sidewalks and all other public right-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be promptly removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.
9. In the event that any temporary construction item is required that is not shown on these drawings, the Developer agrees to provide and install such item at his own expense and at the direction of the City Engineer. Temporary construction includes ditches, berms, road signs and barricades, etc.
10. All grading work shall conform to the soils report as prepared by the Soils Engineer and approved by the City Engineer, and as shown on these plans.
- 1.5 City of South Jordan Fire Department Notes
1. On any new home or building installation, accessible fire hydrants shall be installed before combustible construction commences and said fire hydrants shall be in good working order with an adequate water supply.
2. Contractor shall call the Public Works Department and Engineering Inspector for underground inspection, pressure and flush verification of all fire hydrants and fire lines before back filling.
3. Painting of the curbs and hydrant and any work necessary for protection of hydrants from physical damage shall be approved before being constructed.
4. A flow test must be witnessed by the Fire Department prior to occupancy for verification of required on-site water supply.
5. All on-site fire main materials must be U.L. listed and A.W.W.A. approved.
6. The turning radius for any fire apparatus access road and/or fire lane, public or private, shall be not less than forty-five feet (45') outside radius and twenty-two feet (22') inside radius and shall be paved.
7. A fire apparatus road shall be required when any portion of an exterior wall of the first story is located more than one-hundred fifty feet (150') from Fire Department vehicle access roads and/or fire lanes, public or private, in excess of onehundred fifty feet (150') in length shall be provided with an approved turn around area.
8. Access roads shall be marked by placing approved signs at the start of the designated fire lane, one sign at the end of the fire lane and width signs at intervals of one-hundred feet (100) along all designated fire lanes. Signs to be placed on both sides of an access roadway if needed to prevent parking on either side. Signs shall be installed at least 5', measured from the bottom edge of the sign to the near edge of pavement. Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7'. The curb along or on the pavement or cement if curb is not present, shall be painted with red weather resistant paint in addition to the signs.
9. Electrically controlled access gates shall be provided with an approved emergency vehicle detector/receiver system. Said system shall be installed in accordance with the South Jordan City F.D. approval. Gates are only allowed with prior approval.
10. All underground fire lines that service automatic fire sprinkler systems shall be no smaller than six (6) inches in diameter and have a PIV between the water main and the building. If a PIV isn't feasible due to site constraints, a WIV may be used with the approval of the City Engineer or Fire Code Official. For a WIV to be allowed, another valve must be installed on the fire service line back at the connection to the water main, which will be maintained by the City as part of it's culinary water system. All fire lines material shall be Ductile Iron. (Ductile Iron from the PIV to the building shall be permitted or Ductile Iron from the main water line to the WIV).

11. Post Indicator Valves (PIV) shall be between 6 and 40 feet from buildings not exceeding three stories or equivalent in height and between 30 and 40 feet on buildings in excess of three or more stories in height or equivalent.
12. Roads and accesses shall be designed and maintained to support the imposed loads of fire apparatus. Surface shall be paved before the application of combustible material.

13. All new buildings equipped with a Fire Department Connection (FDC) must have inlets secured with Knox brand locking FDC cap(s) with a swivel collar. All new buildings are also required to have a Knox brand key lock box mounted on the exterior building, such that Fire Department personnel may gain access in case of an emergency.
- 1.6 South Jordan City Water Notes
1. The following South Jordan City Water Notes are intended for general water standards only and are not all inclusive. The City has included the Culinary Water Design and Construction Standards within the City Construction Standards and Specifications.
2. No work shall begin until the water plans have been released for construction by the Engineering Department. Following water plan approval, forty-eight (48) hour notice shall be given to the Engineering Inspector and the Public Works Department (253- 5230) prior to the start of construction. Notice must be given by 2:00 P.M. the business day prior to an inspection.
3. All work within South Jordan City shall conform to South Jordan City Standards and Specifications, AWWA and APWA.
4. For Residential Developments - The developer shall purchase and install meter boxes and setters according to City Standards on newly developed lots and real property at the time of water main installation. Water meters will be supplied and installed by the South Jordan Public Works Department (at Developer's expense). The developer shall also provide the site address, lot number, meter size and pay meter fees prior to building permit approval.
5. For Commercial and Condominium Developments - The developer shall purchase and install meter boxes and setters according to City Standards. Water meters will be supplied by South Jordan Public Works Department (at Developer's expense) and installed by Developer.
6. All water facilities shall be filled, disinfected, pressure tested, flushed, filled and an acceptable water sample obtained prior to commissioning the new water line to the South Jordan City Culinary Water Distribution System.
7. South Jordan Public Works Department must approve water shut down which may require evening and weekend shut down as deemed necessary, requiring the contractor to be billed for overtime. 48 hour notice is required.
8. Water stub-out installations will not be construed as a commitment for water service.
9. Conditional Approval of Valved Outlet (6" and Larger): In the event the water plans show one or more valved outlets extending out of paved areas, installations of these outlets is acceptable, however, if the outlets are incorrectly located or not used for any reason when the property is developed, the developer shall abandon the outlets at the connection to the active main in accordance with the city standards and at the developer's expense.
10. All lines to be pressure tested according to South Jordan City and AWWA standards and chlorinated prior to use and final acceptance.
11. All fittings to be coated with poly fm grease and wrapped with 8-mil thick polyethylene.
12. No other utility lines may be placed in the same trench with water line unless approved by the City Engineer.
13. Any conflict with existing utilities shall be immediately called to the attention of the City Engineer or designee.
14. All water vaults will be constructed per City of South Jordan standard drawings and specifications. No vaults are allowed in traffic areas without prior approval of the City Engineer.
15. Landscaping and irrigation adjacent to vaults shall drain away from vaults.
16. Once the waterline has been tested, approved and city water is flowing through the pipe, only City personnel are authorized to shut down and charge the waterline.
17. Megalug following ring or an approved equivalent shall be used on all fittings.
18. APWA plan 562, City requires stainless steel tie-down restraints with turnbuckles only. 5/8" rebar is not acceptable. Megalug followers required on all fittings and all dimensions of thrust blocking still apply. Thrust blocks may be eliminated if horizontal tie down restraints have been pre-engineered and receive prior City approval.
19. Water mains will be hot tapped as called out on the approved plans. Under special circumstances, when a contractor submits a request for a shutdown contrary to the approved plans and the request is approved at the discretion of the City Engineer or designee, the contractor must provide 48-hour notice to neighbors and those affected. If businesses are impacted by the shutdown it will be done after hours and all overtime fees for City personnel, equipment and vehicles must be paid in advance.
20. Contractors are required to write the lot number with a black permanent marker on the inside of the water meter barrels as they are installed.



HARVEST PONTE WEST

3773 S JORDAN PKWY, SOUTH JORDAN, UT

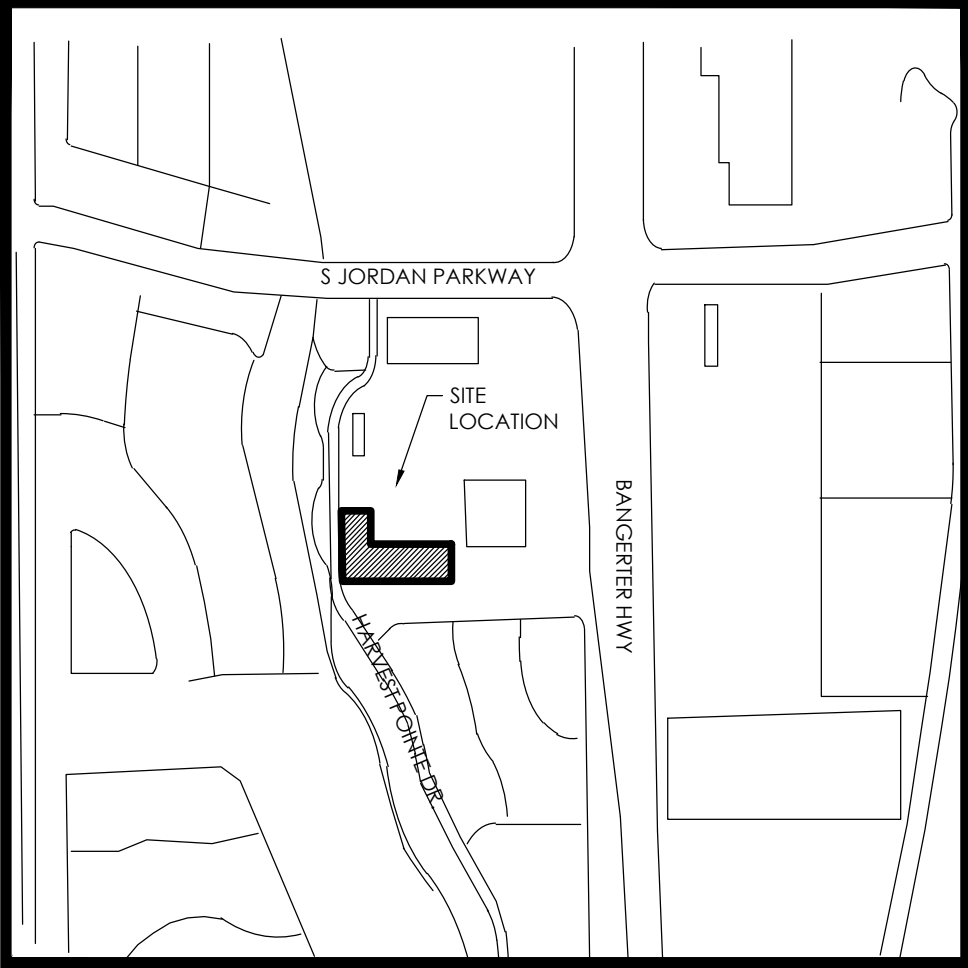
SOUTH JORDAN CITY STANDARD NOTES

REVISION BLOCK		DESCRIPTION
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SOUTH JORDAN CITY STANDARD NOTES	
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Date: 02/13/24	Job #: 22-0403
Sheet:	C1.1







VICINITY MAP

N.T.S.

LEGEND

- BOUNDARY  
SECTION LINE  
EASEMENT  
RIGHT-OF-WAY LINE  
CENTERLINE  
BUILDING SETBACK  
EXISTING PROPERTY LINE
- SECTION MONUMENT (FOUND)  
STREET MONUMENT (TO BE SET)  
BOUNDARY MARKERS  
PRIVATE AREA  
LIMITED COMMON  
COMMON AREA

NOTES:

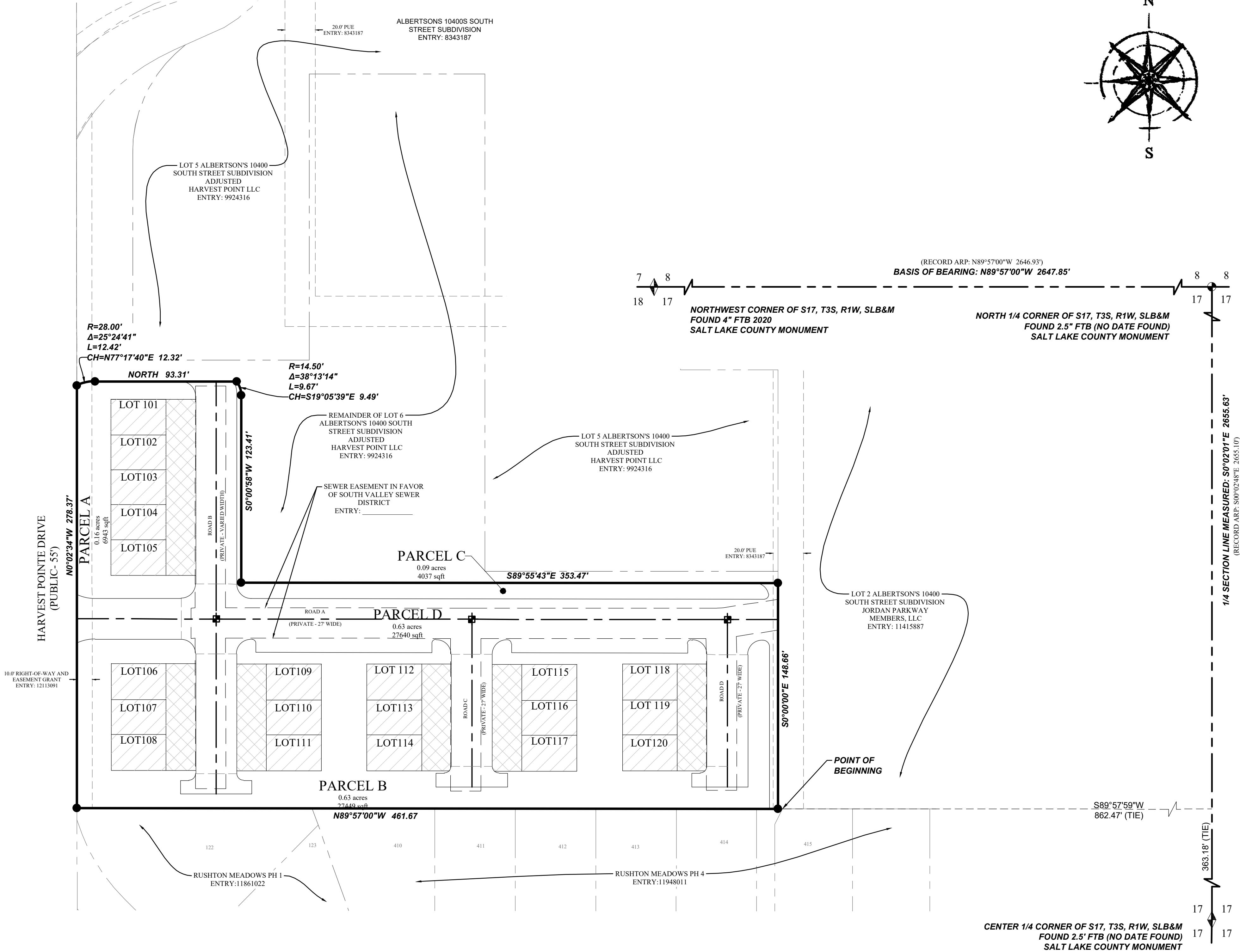
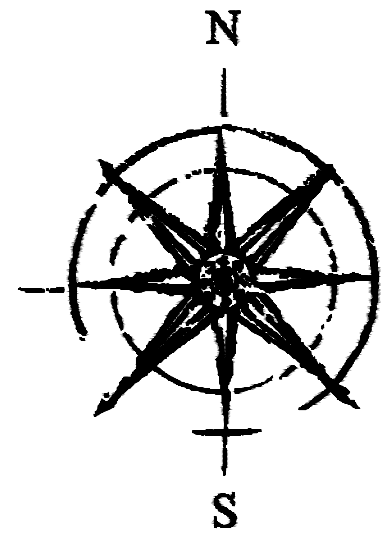
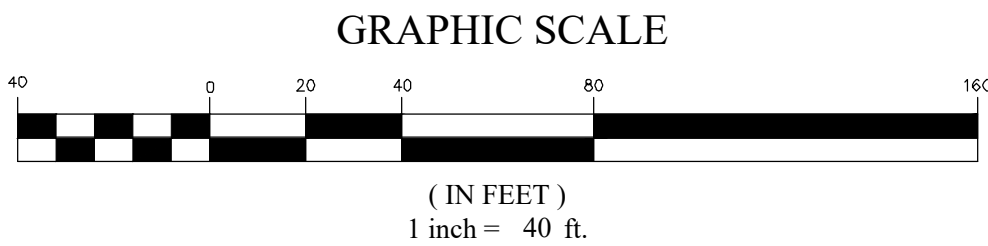
- #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS. NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
- PARCELS A, B, AND C ARE HEREBY DEDICATED AS COMMON AREA AND TO BE MAINTAINED BY THE HARVEST POINTE TOWNHOMES OWNERS ASSOCIATION, A UTAH NONPROFIT CORPORATION, WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH
- ALL COMMON AREAS, LIMITED COMMON AREAS AND PRIVATE ROADS ARE TO SERVE AS A PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- ALL UNITS BUILDING WALLS ARE PARALLEL WITH, PERPENDICULAR TO, OR AT 45° ANGLE TO REFERENCE BEARING SHOWN ON BUILDING.
- OWNERS AND POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED BY THIS PLAT (THE "PROPERTY") SHOULD FAMILIARIZE THEMSELVES WITH ALL NOTES, LOT INFORMATION, EASEMENTS, AND OTHER PERTINENT INFORMATION CONTAINED WITH THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) DOCUMENTS THAT MAY BE RECORDED AGAINST THE PROPERTY. OWNERS AND POTENTIAL PURCHASERS OF THE PROPERTY MUST COMPLY WITH ALL NOTES, EASEMENTS, CC&RS, AND OTHER RECORDED DOCUMENTS RELATED TO HIS PLAT, TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER RECORDED DOCUMENTS RELATED TO THIS PLAT, AS CURRENTLY EXISTING OR AS MAY FROM TIME TO TIME BE CHANGED AND/OR AMENDED. FAILURE TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER DOCUMENTS RECORDED AGAINST THE PROPERTY COULD RESULT IN FINANCIAL LOSS OR CHANGES IN EXPECTED PROPERTY USE.
- MANY AREAS IN THE CITY OF SOUTH JORDAN HAVE GROUNDWATER PROBLEMS DUE TO A HIGH OR FLUCTUATING WATER TABLE. CITY APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUNDWATER PROBLEMS, IF ANY.
- APPROVAL OF THIS PLAT BY SOUTH JORDAN CITY DOES NOT MEAN THAT INDIVIDUAL LOT DRAINAGE TO A ROAD OR RETENTION FACILITY IS ASSURED. DEVELOPMENT AND GRADING MAY NECESSITATE SWALES AND OTHER DRAINAGE FACILITIES TO PROTECT INDIVIDUAL PROPERTIES. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT SWALES AND OTHER DRAINAGE FACILITIES ARE APPROPRIATE AND MAINTAINED NOR THAT DRAINAGE FROM ADJACENT PROPERTIES IS PREVENTED.
- THE OWNER CERTIFIES THAT THE TITLE REPORT DATED \_\_\_\_\_, WHICH WAS PREPARED BY \_\_\_\_\_, WAS PROVIDED TO OWNER'S SURVEYOR AND THAT THE PLAT SHOWS ALL EASEMENTS AND ENCUMBRANCES LISTED IN SAID TITLE REPORT.
- THIS PLAT IS SUBJECT TO THAT CERTAIN DEVELOPMENT AGREEMENT DATED JANUARY 30, 2023, BY AND BETWEEN THE CITY OF SOUTH JORDAN AND HARVEST POINTE LLC, INCLUDING ALL PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS, LIENS OR RIGHTS, IF ANY, CREATED THEREIN AND RECORDED ON JANUARY 30, 2023 AS ENTRY NO. 14067211, IN BOOK 11398, AT PAGE 2762 OF THE OFFICIAL RECORDS OF SALT LAKE COUNTY.
- THE FINISH FLOOR ELEVATION ON EACH LOT WILL NOT EXCEED 4' ABOVE THE TOP BACK OF CURB ELEVATION ACROSS THE FRONTAGE OF THE LOT.
- PARCEL D CONVEYED AS PRIVATE RIGHT-OF-WAY TO BE OWNED AND MAINTAINED BY THE HOA.

HARVEST POINTE WEST TOWNHOMES

AMENDMENT PLAT

VACATING AND AMENDING PART OF ADJUSTED LOT 6 OF ALBERTSON'S 10400 SOUTH STREET SUBDIVISION

LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,  
SALT LAKE BASE & MERIDIAN  
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH



SHEET 1 of 2

PLAT PREPARED BY



SALT LAKE VALLEY HEALTH DEPARTMENT

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

SALT LAKE VALLEY HEALTH DEPARTMENT

SOUTH VALLEY SEWER DISTRICT

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

GENERAL MANAGER

SOUTH JORDAN CITY PLANNR

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_ BY THE SOUTH JORDAN CITY PLANNER.

CITY PLANNER

SOUTH JORDAN CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE \_\_\_\_\_ SOUTH JORDAN CITY ENGINEER \_\_\_\_\_

OFFICE OF THE CITY ATTORNEY

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

ATTORNEY FOR SOUTH JORDAN CITY

EASEMENT APPROVAL

CENTURYLINK DATE \_\_\_\_\_

ROCKY MOUNTAIN POWER DATE \_\_\_\_\_

QUESTAR GAS CO. DATE \_\_\_\_\_

COMCAST CABLE CO. DATE \_\_\_\_\_

SOUTH JORDAN CITY MAYOR

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

ATTEST: \_\_\_\_\_ CITY CLERK \_\_\_\_\_ MAYOR \_\_\_\_\_

SURVEYOR'S CERTIFICATE

I, JUSTIN LUNDBERG, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NUMBER 12554439 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND PARCELS, HEREAFTER TO BE KNOWN AS:

HARVEST POINTE WEST TOWNHOMES  
AMENDMENT PLAT

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

FOR REVIEW

JUSTIN LUNDBERG  
Professional Land Surveyor  
License No. 12554439

Date

BOUNDARY DESCRIPTION

A part of Lot 6 of ALBERTSON'S 10400 SOUTH STREET SUBDIVISION according to the official plat thereof recorded September 15, 2002 as Entry No. 8343187 in Book 2002P at Page 243 in the Salt Lake County Recorder's Office, Being a part of the Northwest Quarter of Section 17, Township 3 South, Range 1 West, Salt Lake Base and Meridian (Basis of Bearing: N89°57'00"W between the Northwest Corner and the North Quarter 1/4 of Section 17), located in South Jordan City, Salt Lake County, Utah, being more particularly described as follows:

Beginning at a point located on the south boundary line of Albertson's 10400 South Street Subdivision, said point being N0°02'01"W 363.18 feet along the 1/4 section line and S89°57'59"W 862.47 feet from the Center Quarter Corner of Section 17, Township 3 South, Range 1 West, Salt Lake Base and Meridian; thence along said subdivision the following two (2) courses: (1) N89°57'00"W 461.67 feet; thence (2) N00°02'34"W 278.37 feet; thence Easterly along the arc of a non-tangent curve to the right having a radius of 28.00 feet (radius bears: S25°24'41"E) a distance of 12.42 feet through a central angle of 25°24'41"; Chord: N77°17'40"E 12.32 feet; thence East 93.31 feet; thence Southerly along the arc of a non-tangent curve to the right having a radius of 14.50 feet (radius bears: S51°47'44"W) a distance of 9.67 feet through a central angle of 38°13'14"; Chord: S19°05'39"E 9.49 feet; thence S00°00'58"W 123.41 feet; thence S89°55'43"E 353.47 feet; thence South 148.66 feet to the point of beginning.

Containing 1.91 acres +/-  
20 Lots and 4 Parcels

OWNER'S DEDICATION

KNOWN ALL BY THESE PRESENT THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS

HARVEST POINTE WEST TOWNHOMES  
AMENDMENT PLAT

DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES. PURSUANT TO UTAH CODE 10-9A-604(1)(D) THE OWNER HEREBY CONVEYS PRIVATE STREETS, PARCELS A, B, C, AND E, AS INDICATED HEREON, TO HARVEST POINTE TOWNHOMES HOMEOWNERS ASSOCIATION INC., WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH  
S.S.  
COUNTY OF \_\_\_\_\_

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF \_\_\_\_\_, IN SAID STATE OF UTAH, \_\_\_\_\_, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_, L.L.C., A UTAH L.L.C. AND THAT HE/SHE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: \_\_\_\_\_

A NOTARY PUBLIC COMMISSIONED IN  
UTAH RESIDING IN \_\_\_\_\_ COUNTY

MY COMMISSION No. \_\_\_\_\_

PRINTED FULL NAME OF NOTARY

HARVEST POINTE WEST TOWNHOMES  
AMENDMENT PLAT

VACATING AND AMENDING PART OF LOT 6  
OF ALBERTSON'S 10400

LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,  
SALT LAKE BASE & MERIDIAN  
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

RECORDED #

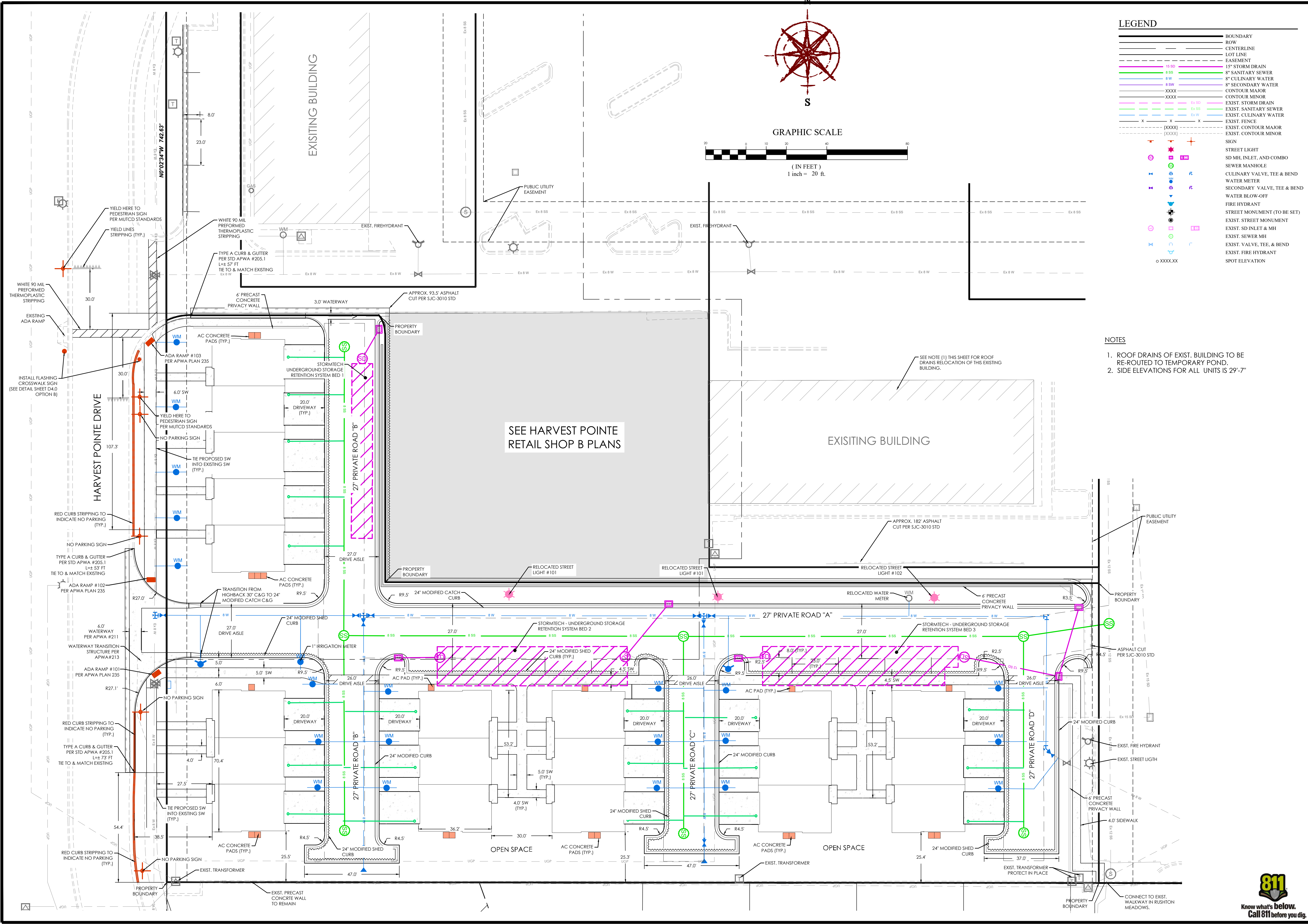
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF:

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

\$ \_\_\_\_\_  
FEE \_\_\_\_\_ SALT LAKE COUNTY DEPUTY RECORDER

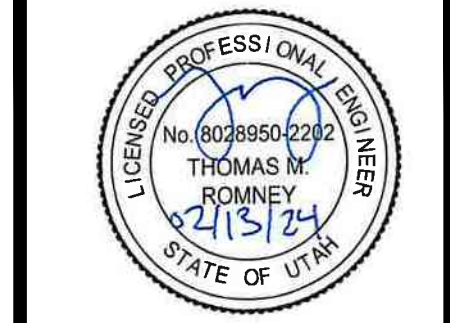






LEGEND	
[Symbol]	BOUNDARY
[Symbol]	ROW
[Symbol]	CENTERLINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT
[Symbol]	15" SD
[Symbol]	8" SS
[Symbol]	8" SANITARY SEWER
[Symbol]	8" CULINARY WATER
[Symbol]	8" SW
[Symbol]	8" SECONDARY WATER
[Symbol]	CONTOUR MAJOR
[Symbol]	CONTOUR MINOR
[Symbol]	EXIST. STORM DRAIN
[Symbol]	EXIST. SANITARY SEWER
[Symbol]	EXIST. CULINARY WATER
[Symbol]	EXIST. FENCE
[Symbol]	EXIST. CONTOUR MAJOR
[Symbol]	EXIST. CONTOUR MINOR
[Symbol]	SIGN
[Symbol]	STREET LIGHT
[Symbol]	SD MH, INLET, AND COMBO
[Symbol]	SEWER MANHOLE
[Symbol]	CULINARY VALVE, TEE & BEND
[Symbol]	WATER METER
[Symbol]	SECONDARY VALVE, TEE & BEND
[Symbol]	WATER BLOW-OFF
[Symbol]	FIRE HYDRANT
[Symbol]	STREET MONUMENT (TO BE SET)
[Symbol]	EXIST. STREET MONUMENT
[Symbol]	EXIST. SD INLET & MH
[Symbol]	EXIST. SEWER MH
[Symbol]	EXIST. VALVE, TEE, & BEND
[Symbol]	EXIST. FIRE HYDRANT
[Symbol]	SPOT ELEVATION

- NOTES
1. ROOF DRAINS OF EXIST. BUILDING TO BE RE-ROUTED TO TEMPORARY POND.
  2. SIDE ELEVATIONS FOR ALL UNITS IS 29'-7"



HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
SITE PLAN

REVISION BLOCK	
NO.	DESCRIPTION
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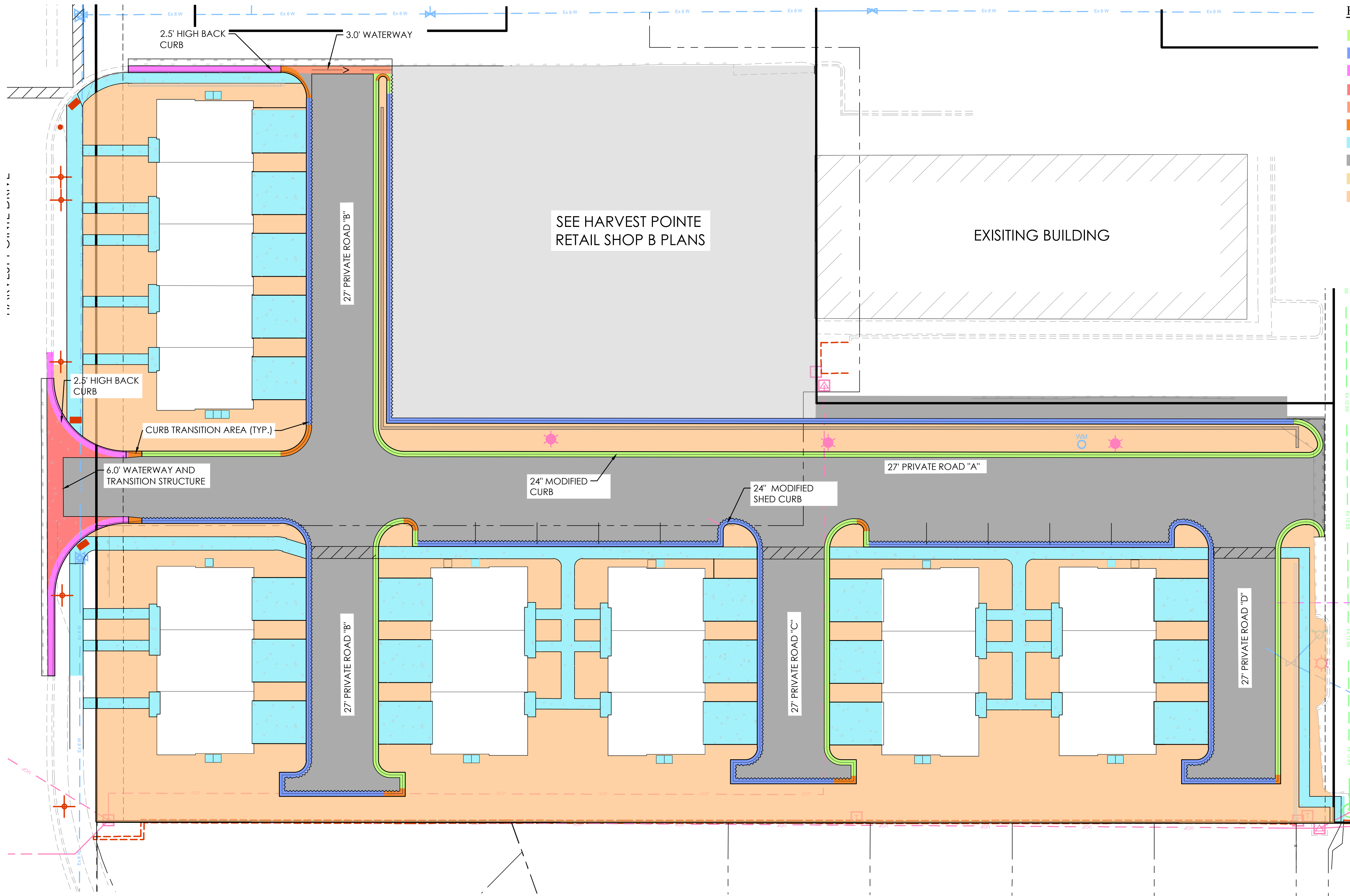
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Date: 02/13/24  
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Job #: 22-0403  
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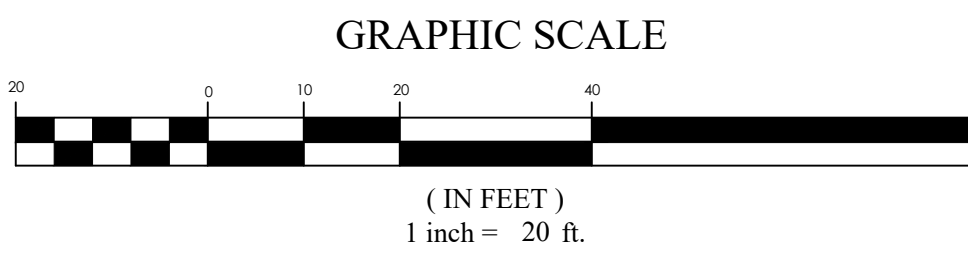
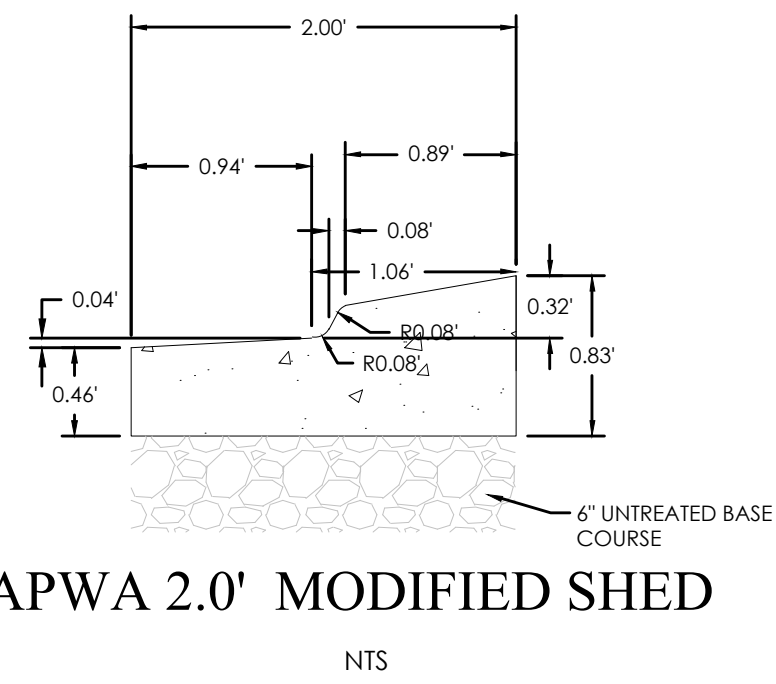
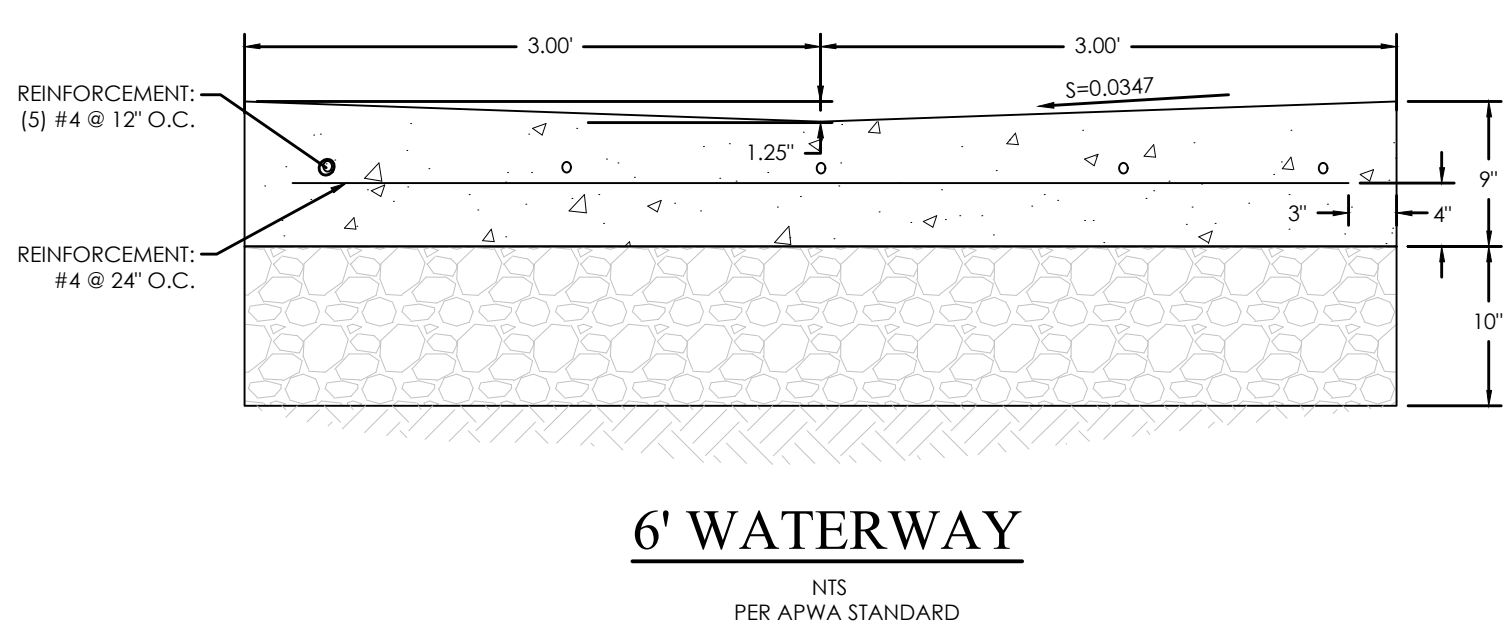
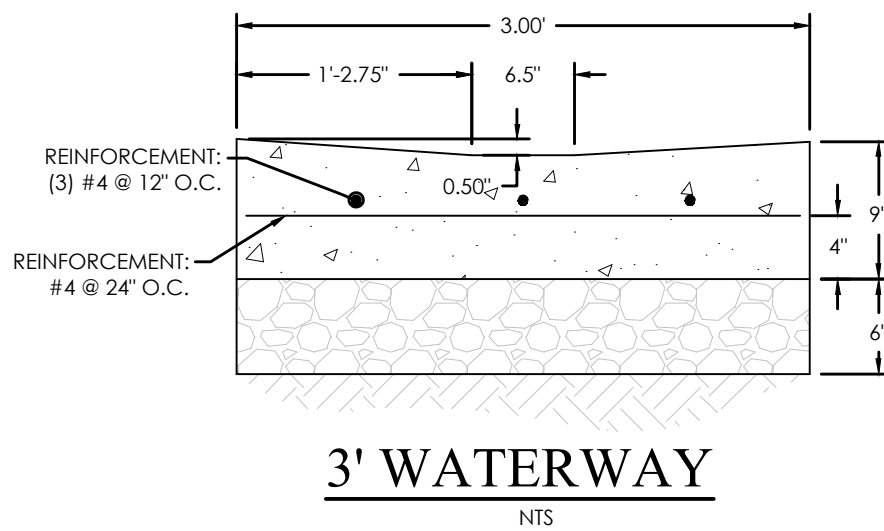
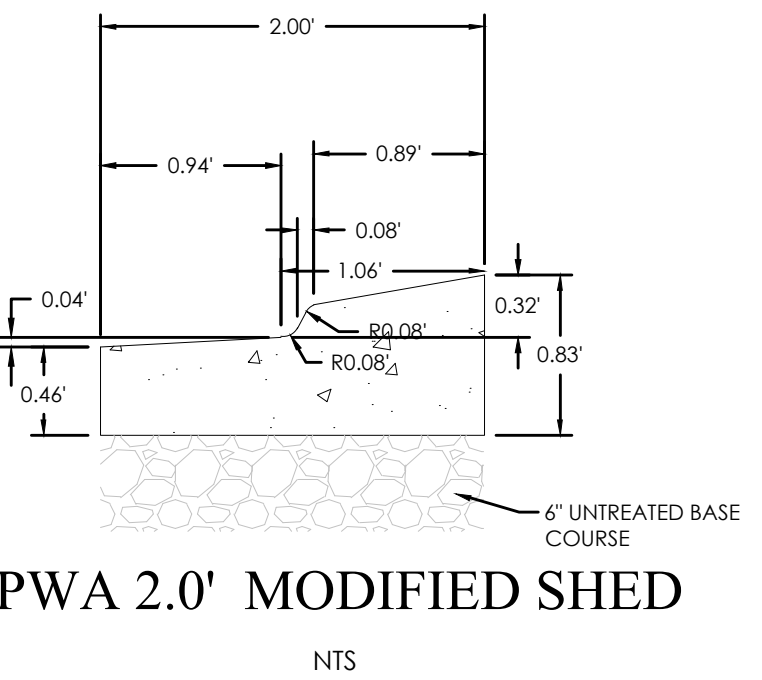
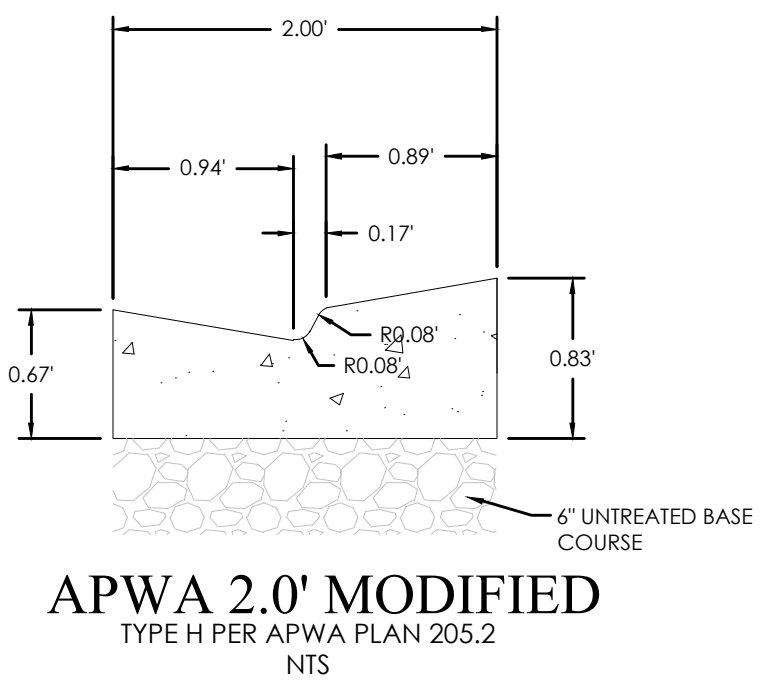






HARDSCAPE LEGEND	
[Green Line]	APWA 2.0' MODIFIED CURB
[Blue Line]	APWA 2.0' MODIFIED SHED CURB
[Pink Line]	2.5' HIGH BACK CURB
[Red Line]	6' WATERWAY AND TRANSITION STRUCTURE
[Orange Line]	3' WATERWAY
[Light Blue Line]	TRANSITION ZONE
[Light Blue Area]	SIDEWALK 6" CONCRETE OVER 5" ROAD BASE
[Grey Area]	DRIVE AISLE 3.5" ASPHALT OVER 12" ROADBASE
[Yellow Area]	CONCRETE DRIVEWAYS & ADA PARKING 5.0" CONCRETE OVER 10" ROADBASE
[Light Orange Area]	LANDSCAPE AREA

- NOTES
1. FOR ALL PAVEMENT CROSS SECTIONS, SEE GEOTECHNICAL STUDY BY IGES, INC. DATED 03/22/2023 (PROJECT NUMBER 01721-032), FOR ADDITIONAL RECOMMENDATIONS.
  2. ALL PROPOSED CURB & WATERWAYS PER APWA STANDARDS
  3. BASE COURSE SHOULD EXTEND 6" PAST BACK OF CURB PER APWA STANDARDS.



**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
6949 S. HIGH TECH DRIVE SUITE 200  
MIDVALE, UTAH 84047 PH: (801) 352-0075  
www.focusuh.com

**HARVEST POINTE WEST**  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
**HARDSCAPE PLAN**

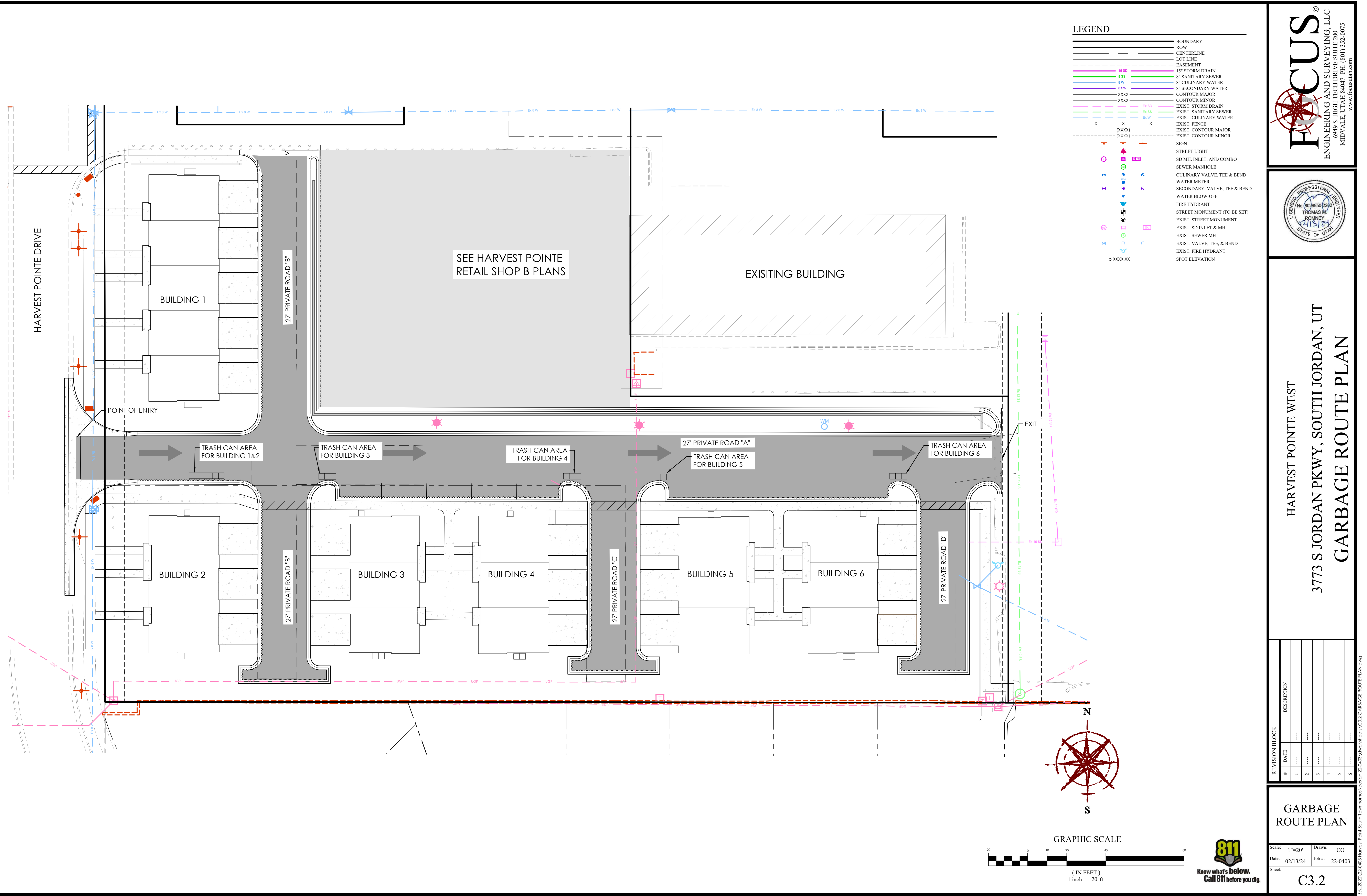
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**HARDSCAPE PLAN**

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**LEGEND**

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
—	15" SD
—	8" SANITARY SEWER
—	8" CULINARY WATER
—	8" SECONDARY WATER
—	CONTOUR MAJOR
—	CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. FENCE
—	EXIST. CONTOUR MAJOR
—	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	WATER METER
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
6949 S. HIGH TECH DRIVE, SUITE 200  
MIDVALE, UTAH 84047 PH: (801) 352-0075  
www.focusnh.com

LICENSED PROFESSIONAL ENGINEER  
No. 6038850-2282  
THOMAS M. ROMNEY  
2/15/24  
STATE OF UTAH

HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
GARBAGE ROUTE PLAN

REVISION BLOCK	
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**GARBAGE ROUTE PLAN**

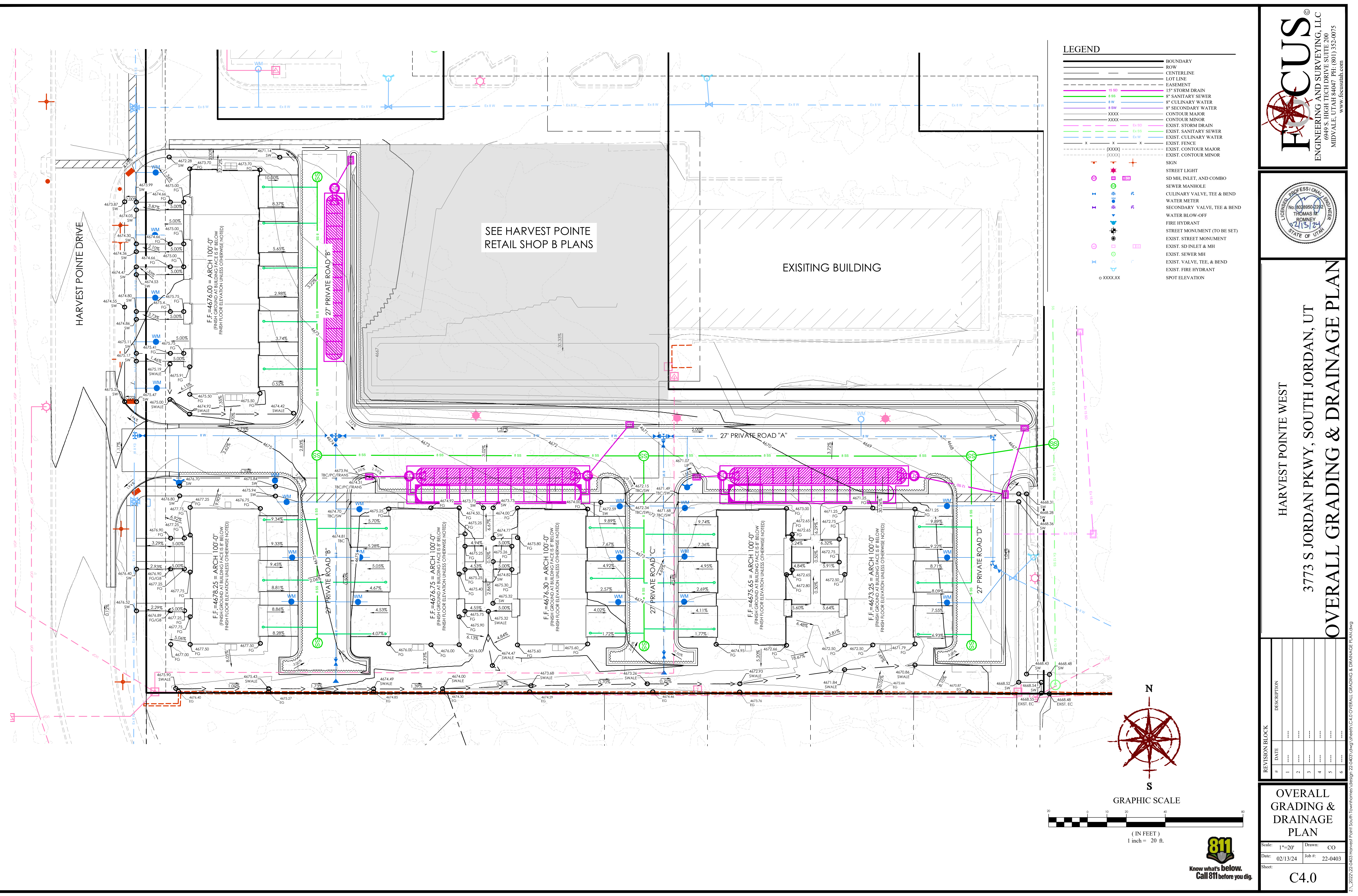
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Sheet: C3.2

Drawn: CO  
Job #: 22-0403

**811**  
Know what's below.  
Call 811 before you dig.

Z:\2022\22-0403 Harvest Point South Townhomes Design\22-0403 Long View\811 C3.2 GARBAGE ROUTE PLAN.dwg





**LEGEND**

BOUNDARY	15" STORM DRAIN
ROW	8" SANITARY SEWER
CENTERLINE	8" CULINARY WATER
LOT LINE	8" SECONDARY WATER
EASEMENT	CONTOUR MAJOR
XXXX	CONTOUR MINOR
XXXX	EXIST. STORM DRAIN
XXXX	EXIST. SANITARY SEWER
XXXX	EXIST. CULINARY WATER
XXXX	EXIST. FENCE
XXXX	EXIST. CONTOUR MAJOR
XXXX	EXIST. CONTOUR MINOR
XXXX	SIGN
XXXX	STREET LIGHT
XXXX	SD MH, INLET, AND COMBO
XXXX	SEWER MANHOLE
XXXX	CULINARY VALVE, TEE & BEND
XXXX	WATER METER
XXXX	SECONDARY VALVE, TEE & BEND
XXXX	WATER BLOW-OFF
XXXX	FIRE HYDRANT
XXXX	STREET MONUMENT (TO BE SET)
XXXX	EXIST. STREET MONUMENT
XXXX	EXIST. SD INLET & MH
XXXX	EXIST. SEWER MH
XXXX	EXIST. VALVE, TEE, & BEND
XXXX	EXIST. FIRE HYDRANT
XXXX	SPOT ELEVATION



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6949 S. HIGH TECH DRIVE, SUITE 200  
MIDVALE, UTAH 84047 PH: (801) 352-0075  
www.focusnh.com

PROFESSIONAL ENGINEER  
No. 6038850-2222  
THOMAS M. ROMNEY  
215124  
STATE OF UTAH

HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
OVERALL GRADING & DRAINAGE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

**OVERALL GRADING & DRAINAGE PLAN**

Scale: 1"=20'  
Date: 02/13/24  
Job #: 22-0403

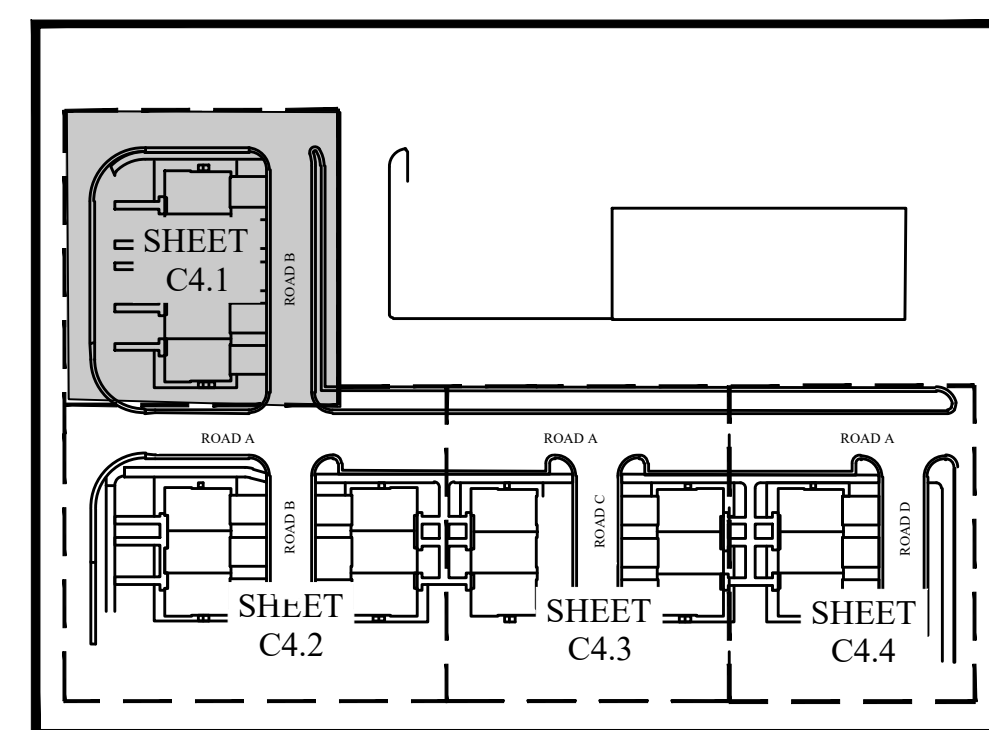
Drawn: CO  
Job #: 22-0403

Sheet: **C4.0**

811  
Know what's below.  
Call 811 before you dig.

Z:\2022\22-0403\Harvest Point South Townhomes Design\22-0403\ong\sheet\C4.0 OVERALL GRADING & DRAINAGE PLAN.dwg





HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
GRADING & DRAINAGE PLAN

REVISION BLOCK		
#	DATE	DESCRIPTION
1	04-08-00	04-08-00
2	04-08-00	04-08-00
3	04-08-00	04-08-00
4	04-08-00	04-08-00
5	04-08-00	04-08-00
6	04-08-00	04-08-00

## GRADING & DRAINAGE PLAN

Scale: 1"=10'	Drawn: CO
Date: 02/13/24	Job #: 22-0403

C4.1





# GRADING & DRAINAGE PLAN

Scale:	1"=10'	Drawn:	CO
Date:	02/13/24	Job #:	22-0403

Sheet:

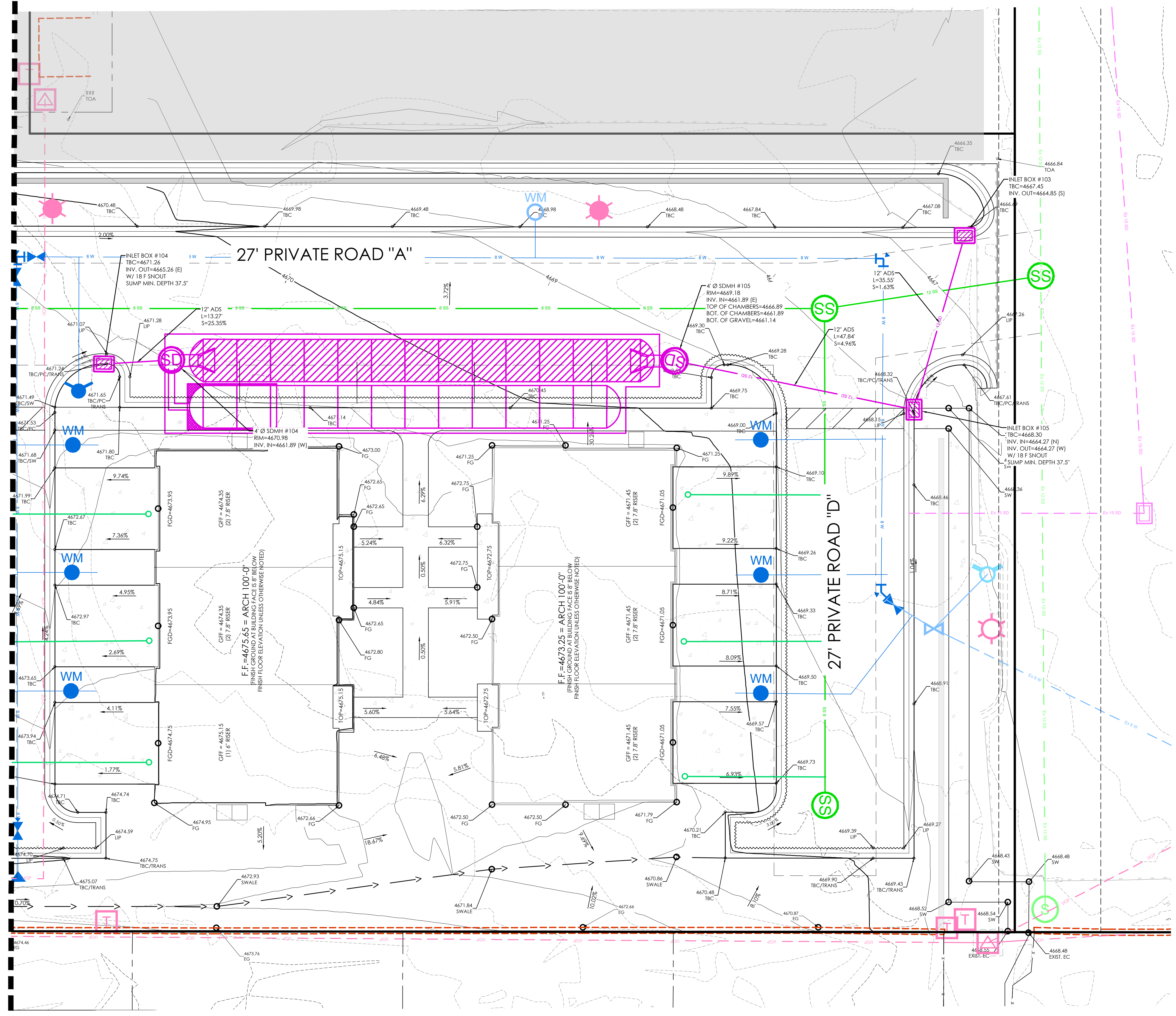
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HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
GRADING & DRAINAGE PLAN

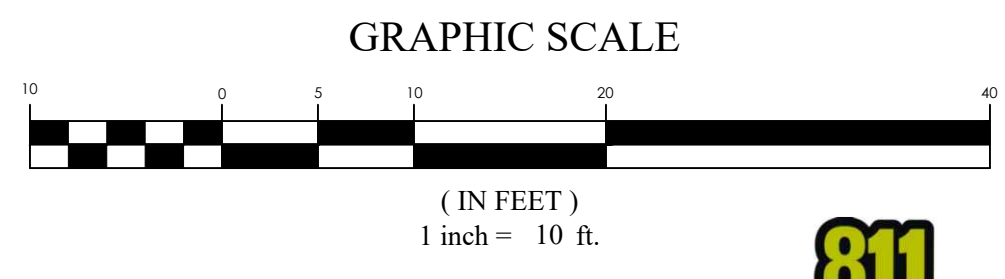
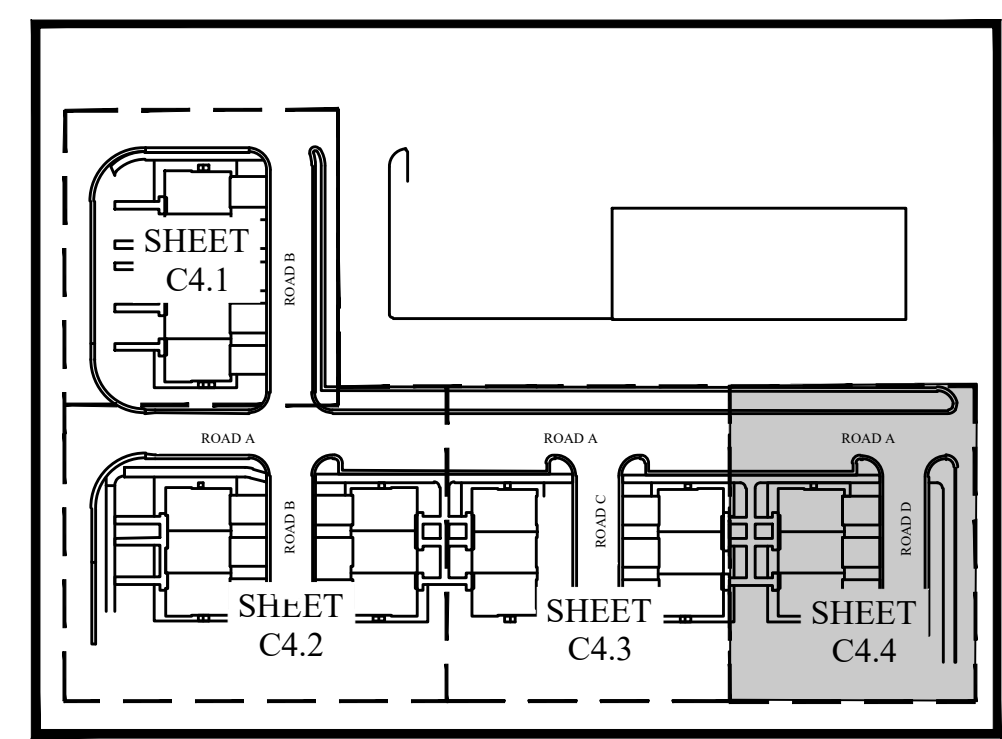








- LEGEND**
- BOUNDARY
  - ROW
  - CENTERLINE
  - LOT LINE
  - EASEMENT
  - 15" STORM DRAIN
  - 8" SS
  - 8" W
  - 8" SW
  - 8" CONTOUR MAJOR
  - 8" CONTOUR MINOR
  - 8" EXIST. STORM DRAIN
  - 8" EXIST. SANITARY SEWER
  - 8" EXIST. CULINARY WATER
  - 8" EXIST. FENCE
  - 8" EXIST. CONTOUR MAJOR
  - 8" EXIST. CONTOUR MINOR
  - 8" SIGN
  - 8" STREET LIGHT
  - 8" SD MH, INLET, AND COMBO
  - 8" SEWER MANHOLE
  - 8" CULINARY VALVE, TEE & BEND
  - 8" WATER METER
  - 8" SECONDARY VALVE, TEE & BEND
  - 8" FIRE HYDRANT
  - 8" STREET MONUMENT (TO BE SET)
  - 8" EXIST. STREET MONUMENT
  - 8" EXIST. SD INLET & MH
  - 8" EXIST. SEWER MH
  - 8" EXIST. VALVE, TEE, & BEND
  - 8" EXIST. FIRE HYDRANT
  - 8" SPOT ELEVATION



HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
**GRADING & DRAINAGE PLAN**

REVISION BLOCK	DATE	DESCRIPTION
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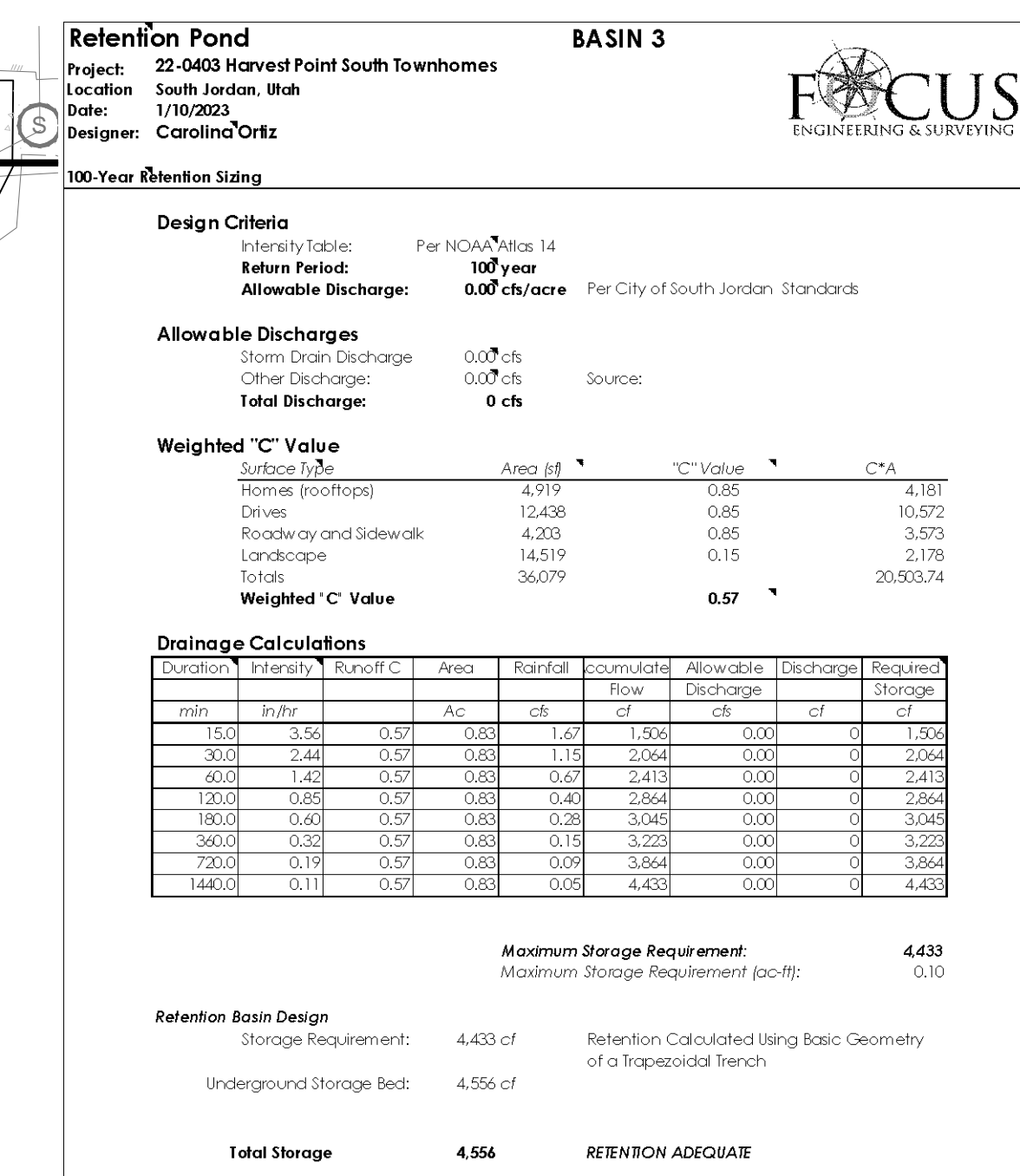
**GRADING & DRAINAGE PLAN**

Scale: 1"=10'  
Date: 02/13/24  
Sheet: C4.4

Drawn: CO  
Job #: 22-0403

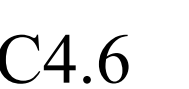
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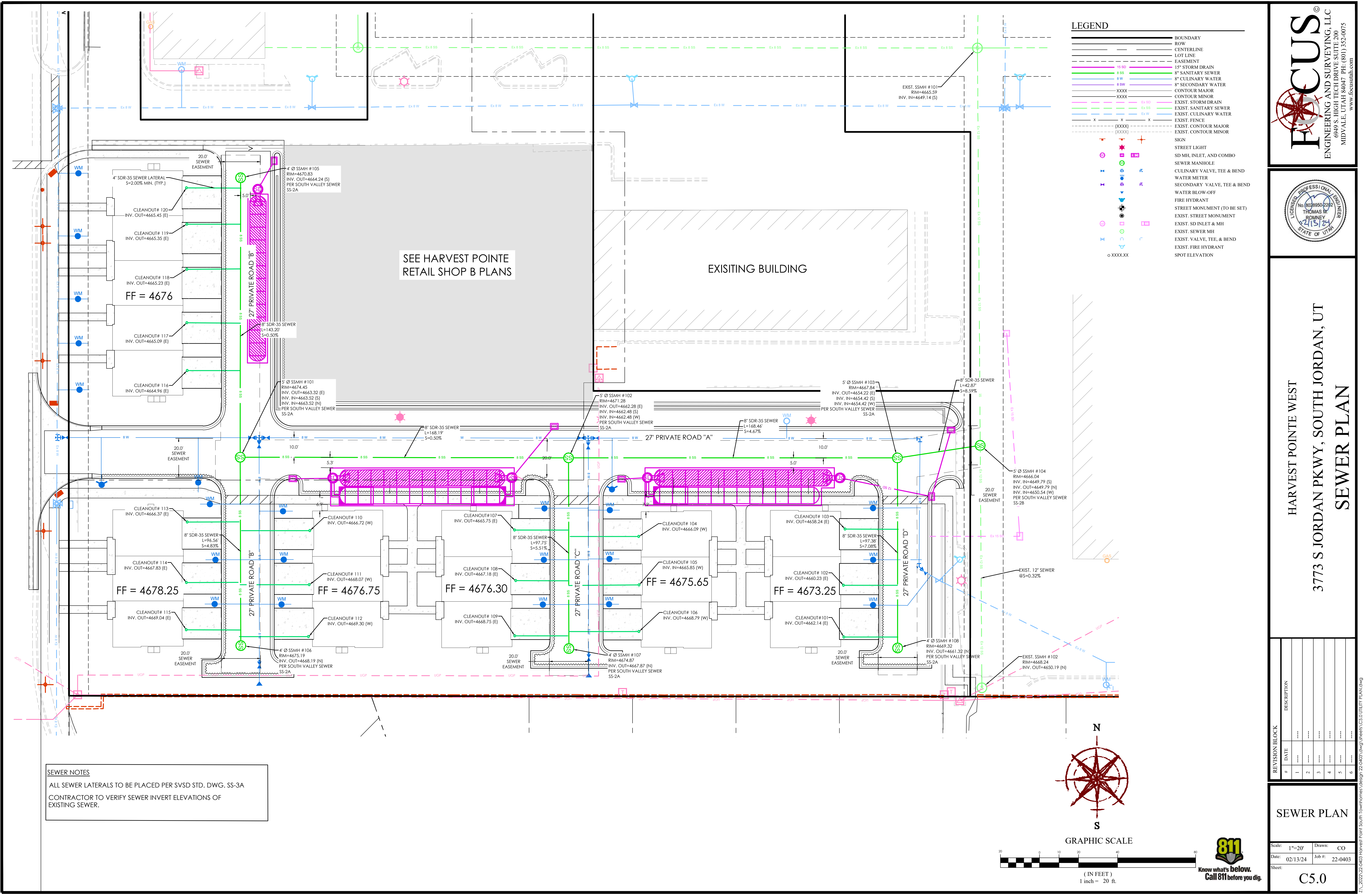
BASIN 3  
A=0.83 AC

Total Storage	4,556	RETENTION ADEQUATE
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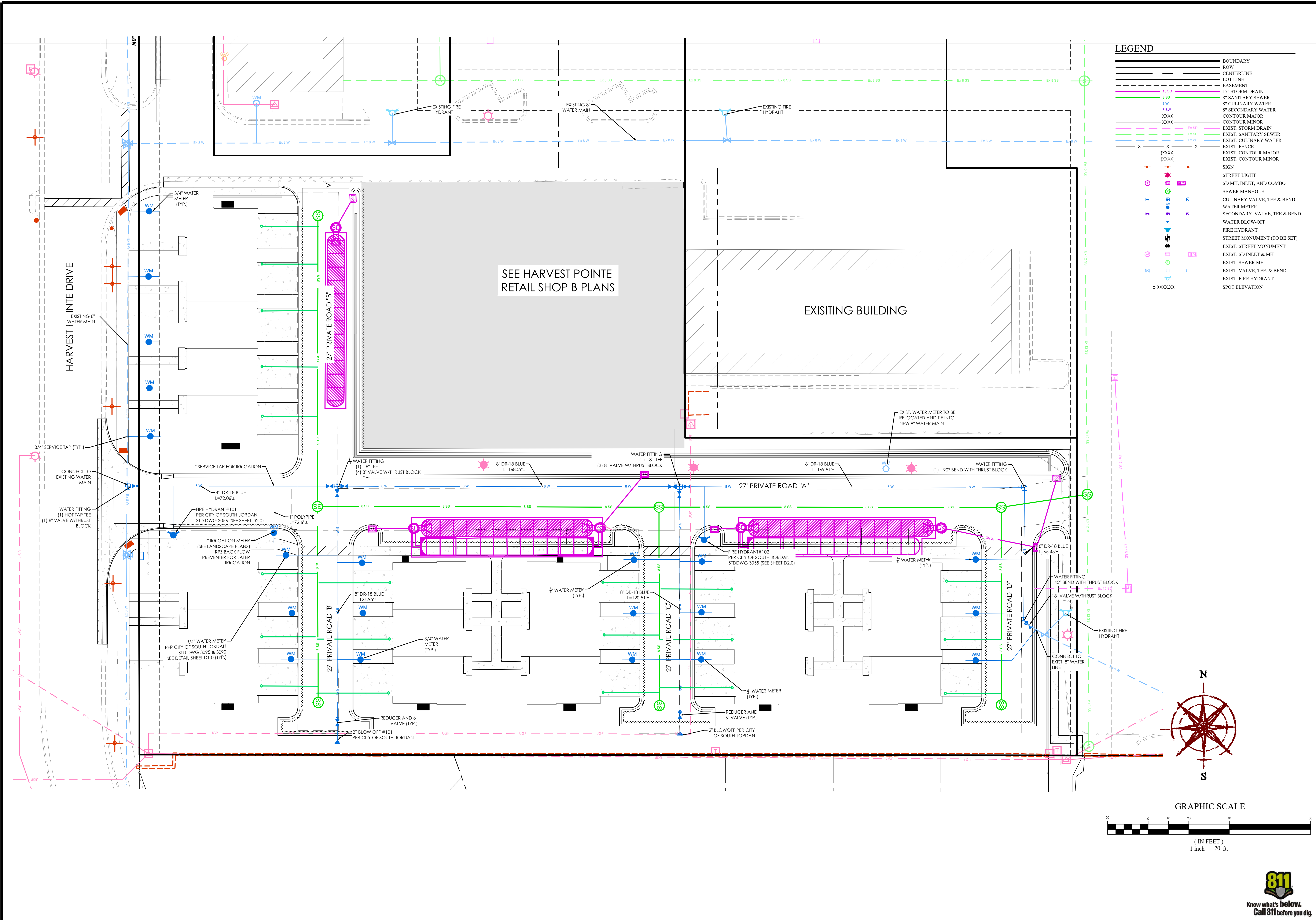


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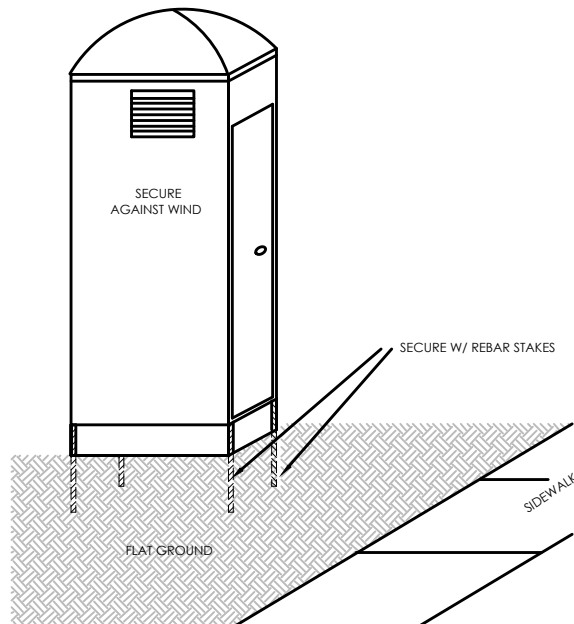
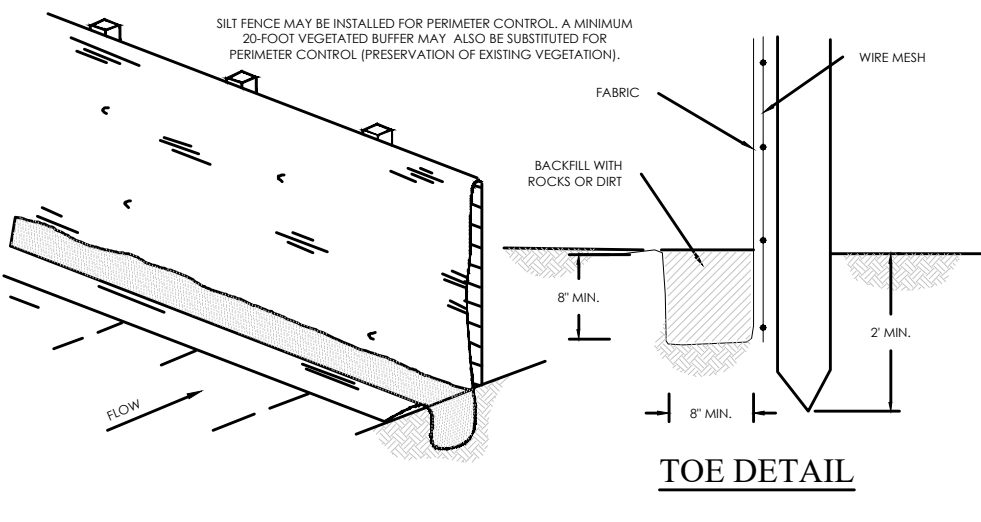
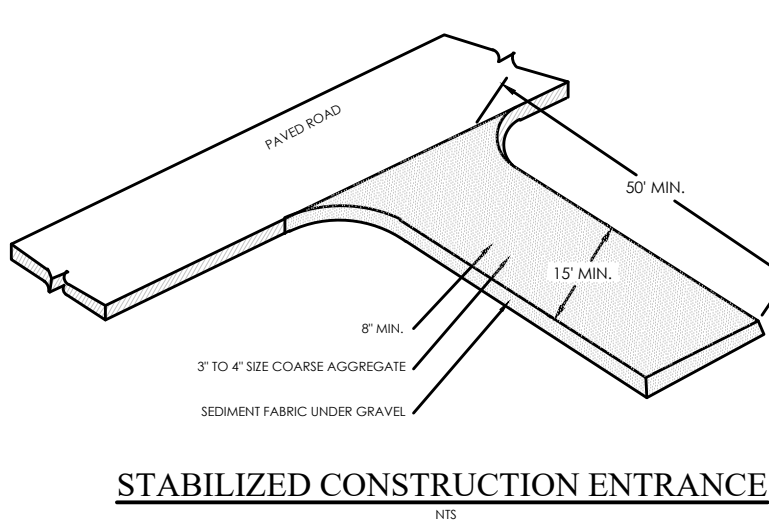
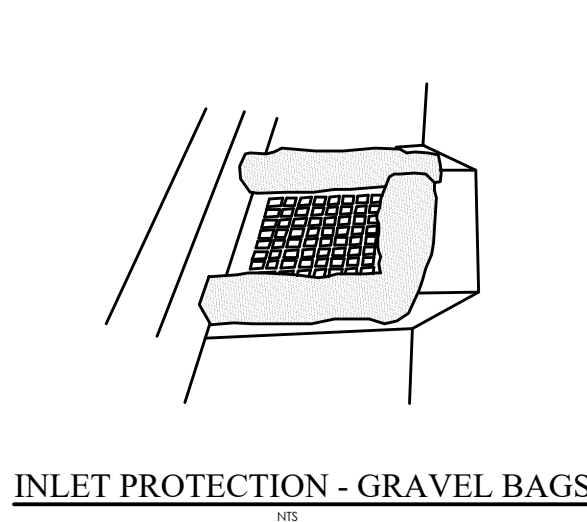
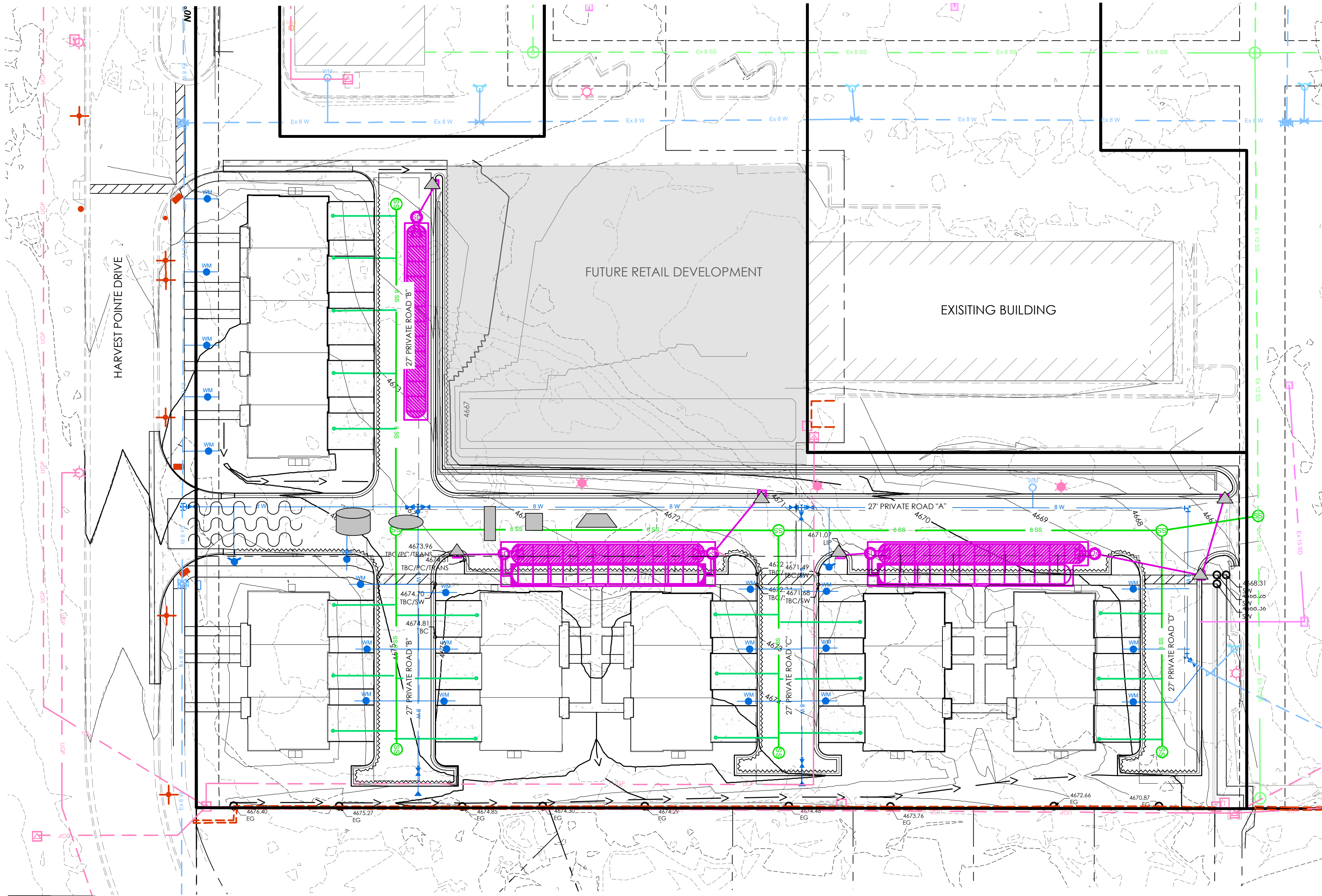






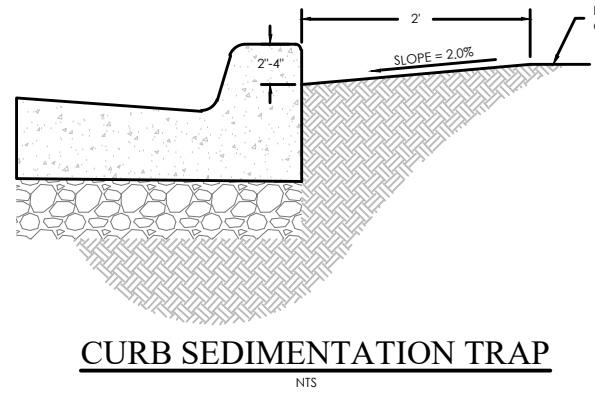
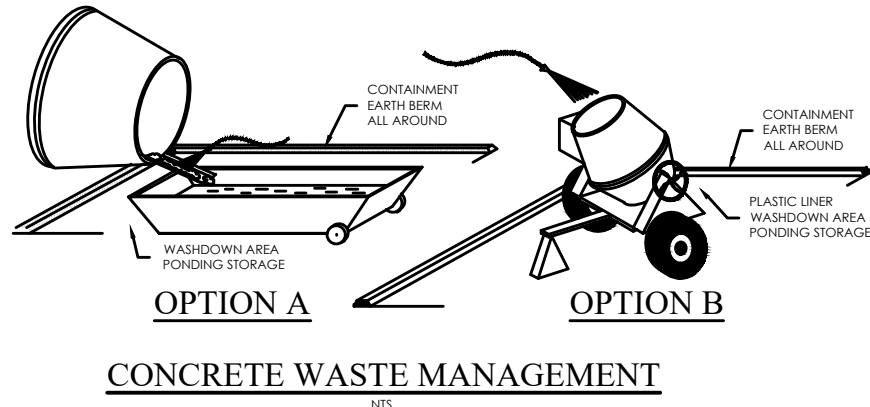
REVISION BLOCK	
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EROSION CONTROL LEGEND

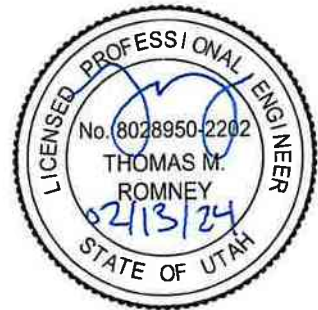
- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE OR BERM
- CUTBACK CURB
- FIBER ROLL



GRAPHIC SCALE



(IN FEET)  
1 inch = 30 ft.



HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
EROSION CONTROL PLAN

REVISION BLOCK	DATE	DESCRIPTION
1	02/13/24	Initial Design
2	02/13/24	Revised Design
3	02/13/24	Final Design
4	02/13/24	As-Built
5	02/13/24	As-Built
6	02/13/24	As-Built

EROSION CONTROL PLAN

Scale: 1"=30'  
Date: 02/13/24  
Job #: 22-0403

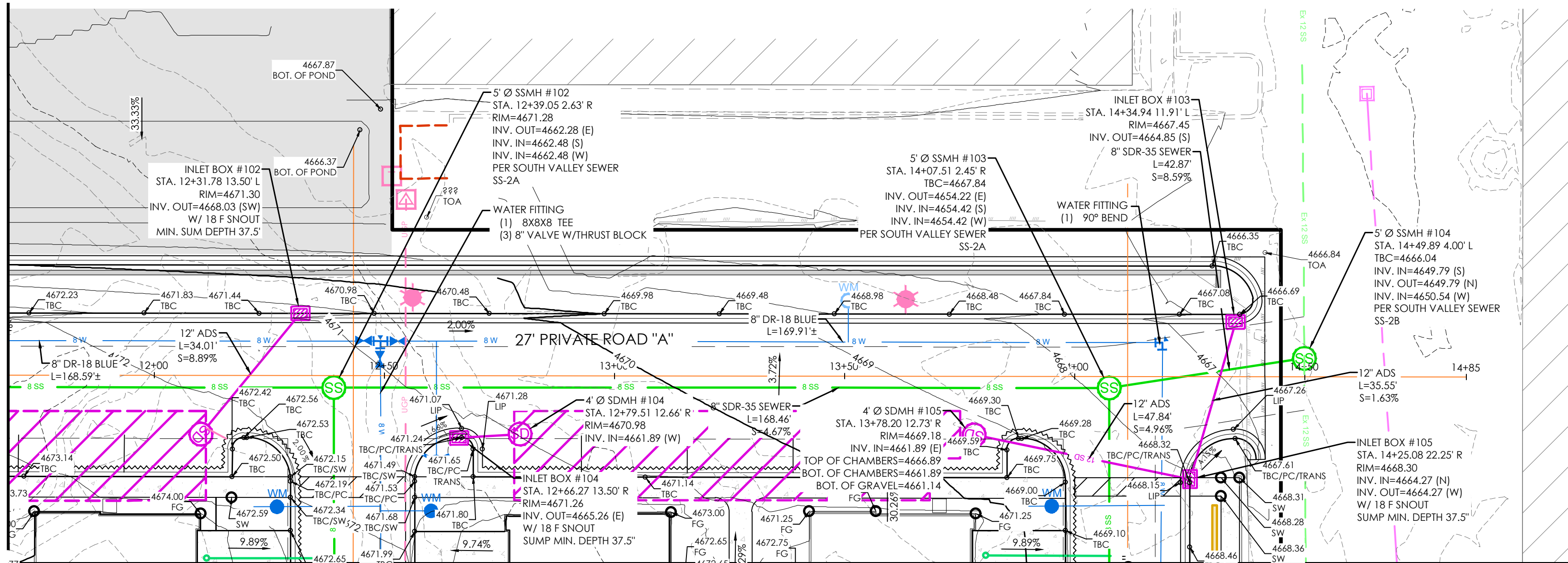
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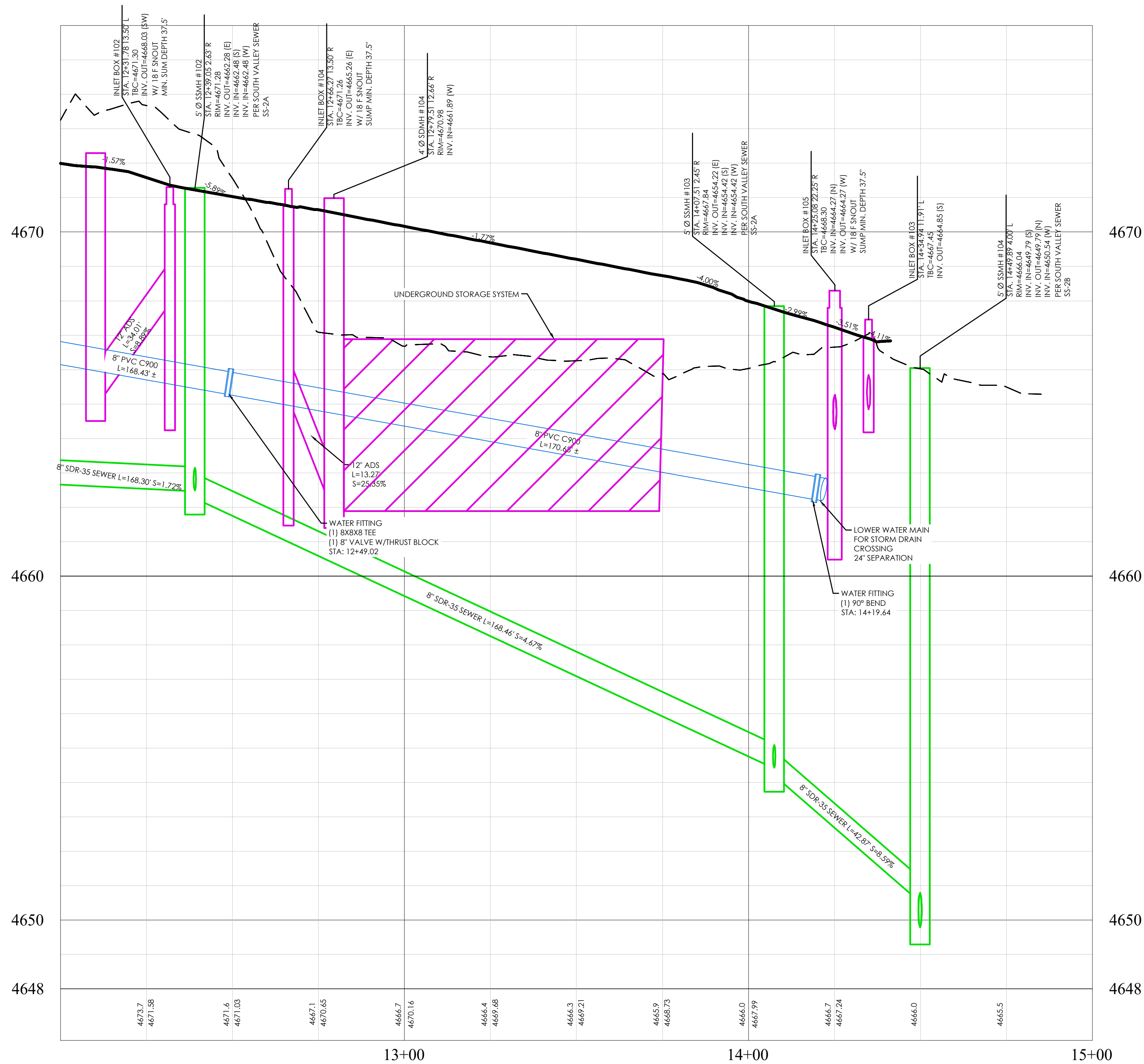




MATCHLINE  
STA. 13.00+00  
SEE SHEET PP1.0

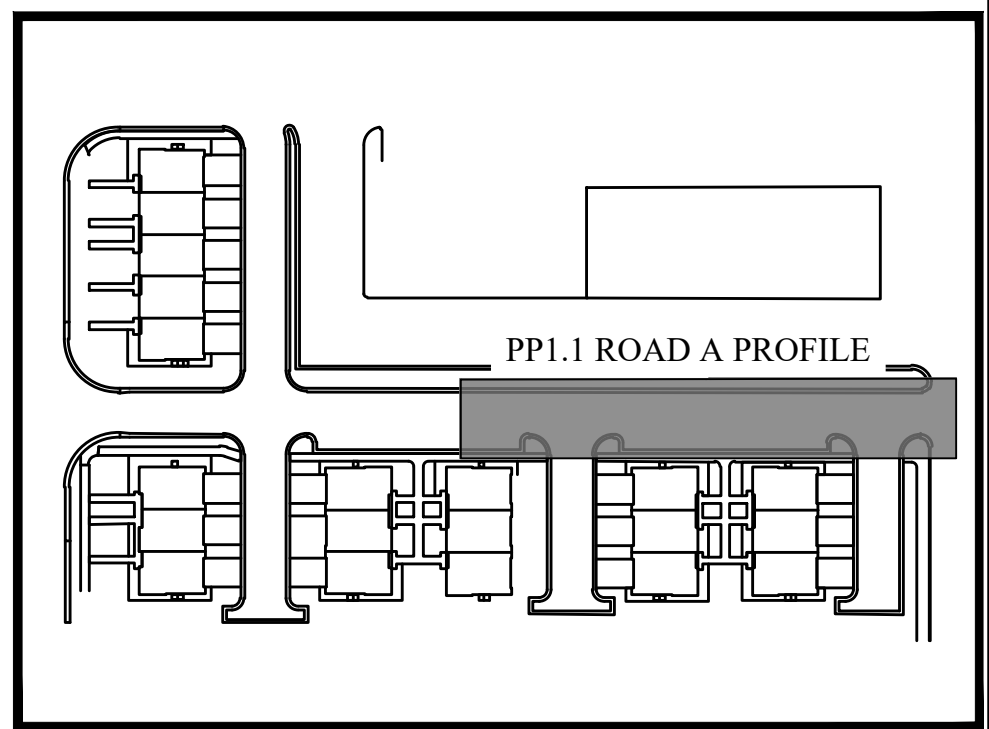


PRIVATE ROAD A PLAN



PRIVATE ROAD A PROFILE

LEGEND	
	BOUNDARY
	CENTERLINE
	EASEMENT
	LOT LINE
	15" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH, INLET, AND COMBO
	SEWER MANHOLE
	CULINARY VALVE, TEE, & BEND
	WATER METER
	SECONDARY VALVE, TEE, & BEND
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION



KEY MAP  
N.T.S.

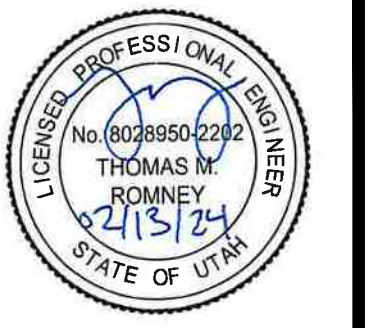
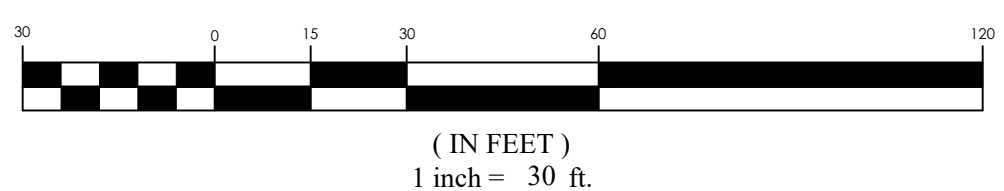
- SOUTH VALLEY SEWER DISTRICT NOTES:
1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
  4. SHALLOW SEWER DEPTHS! CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

**BENCHMARK**

NORTH WEST CORNER OF SECTION 17  
TOWNSHIP 03 SOUTH RANGE 01 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV: 4692.36  
DATUM: NAVD 88



GRAPHIC SCALE



HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
ROAD A PROFILE PLAN

REVISION BLOCK	
#	DESCRIPTION
1	
2	
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ROAD A  
PROFILE PLAN

Scale: 1"=30'  
Date: 02/13/24  
Sheet:

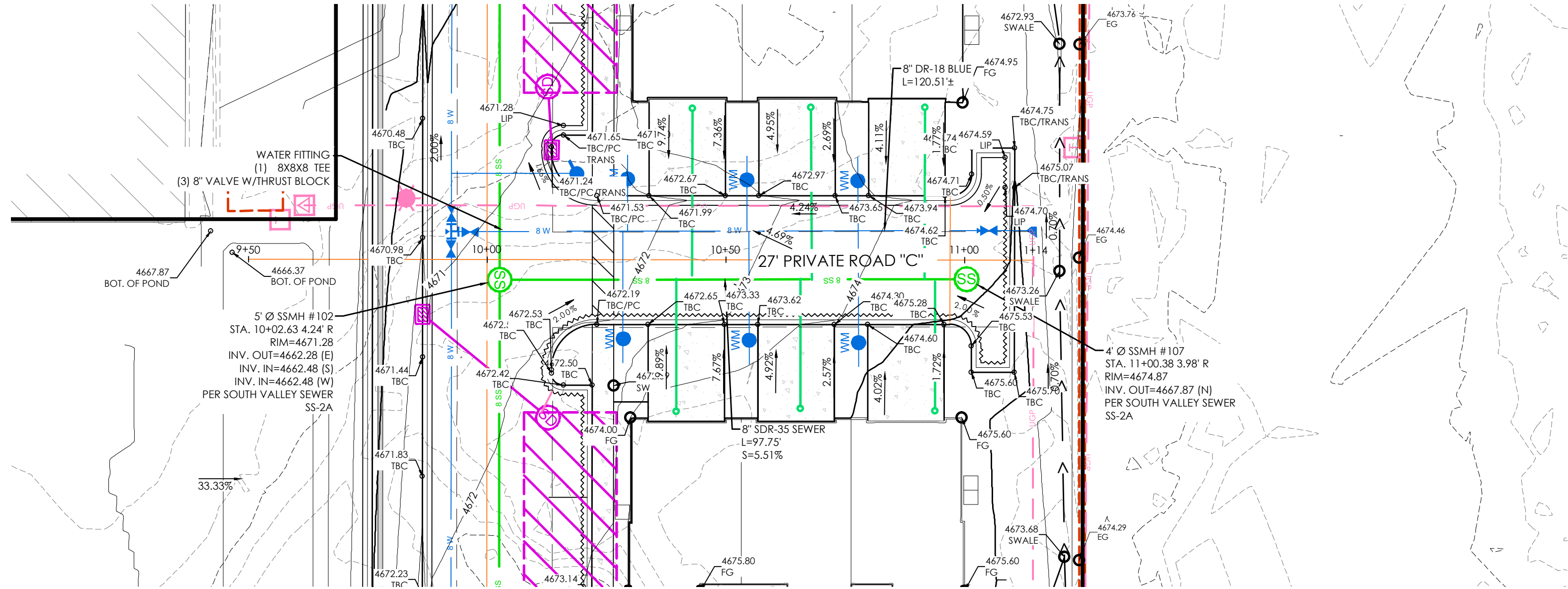
Drawn: CO  
Job #: 22-0403

PP1.1

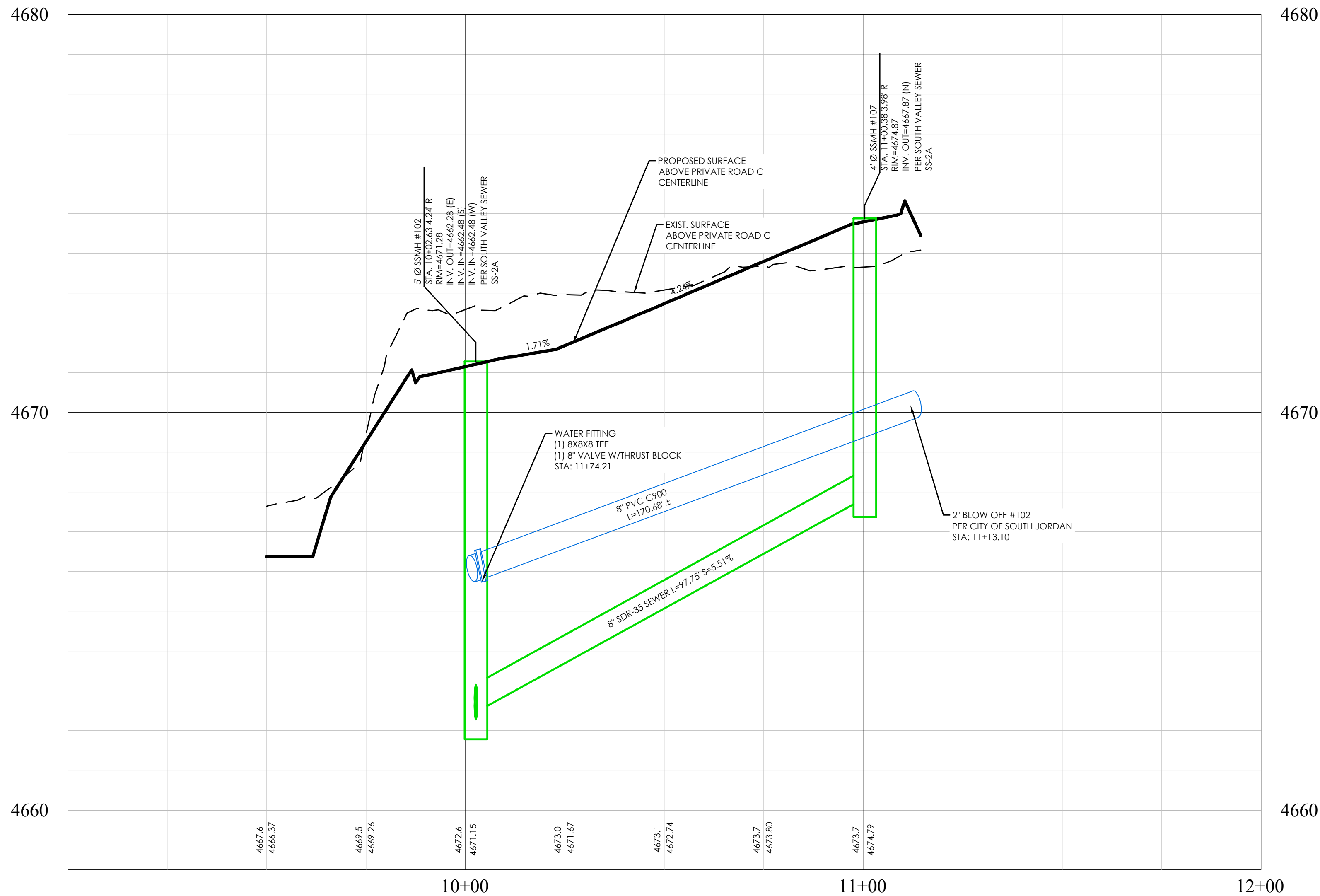






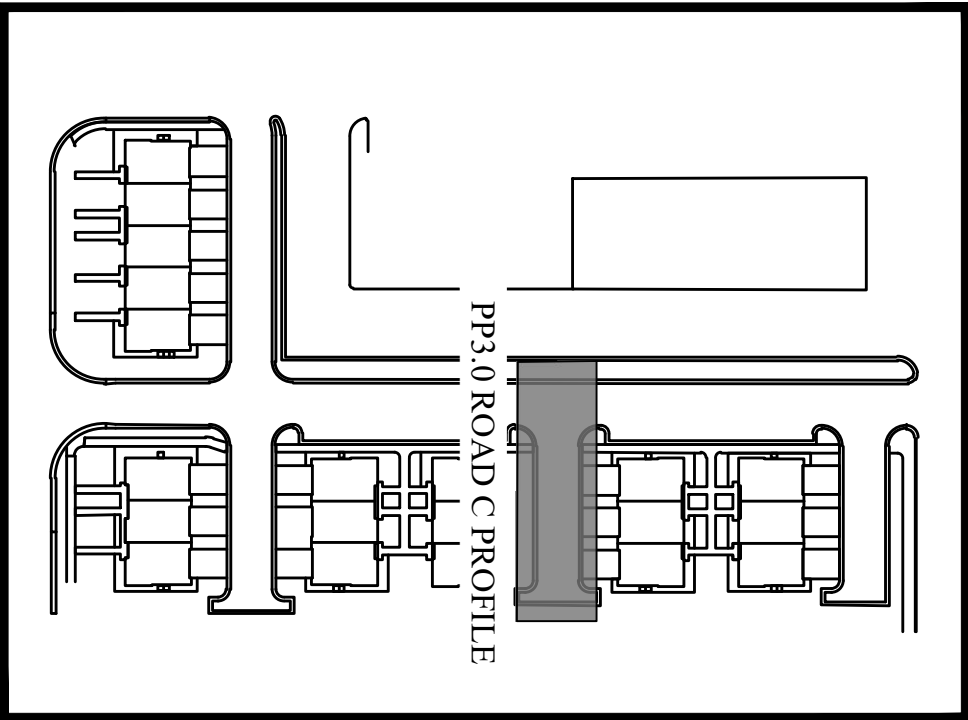


PRIVATE ROAD C PLAN



PRIVATE ROAD C PROFILE

LEGEND	
	BOUNDARY
	CENTERLINE
	LOT LINE
	EASEMENT
	15" STORM DRAIN
	8" SANITARY SEWER
	8" CULINARY WATER
	8" SECONDARY WATER
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH, INLET, AND COMBO
	SEWER MANHOLE
	CULINARY VALVE, TEE & BEND
	WATER METER
	SECONDARY VALVE, TEE & BEND
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION



KEY MAP  
N.T.S

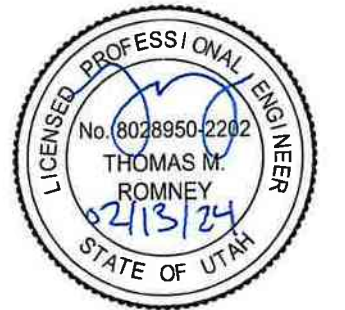
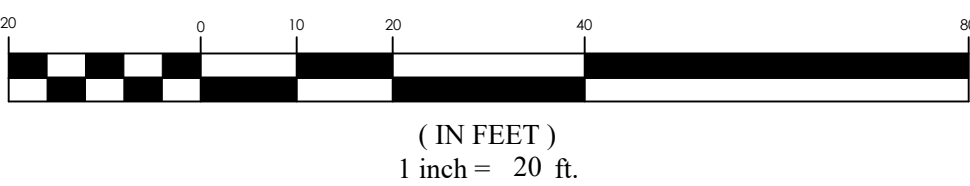
- SOUTH VALLEY SEWER DISTRICT NOTES:
1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
  4. SHALLOW SEWER DEPTHS! CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

**BENCHMARK**

NORTH WEST CORNER OF SECTION 17  
TOWNSHIP 03 SOUTH, RANGE 01 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV: 4692.36  
DATUM: NAVD 88



**GRAPHIC SCALE**



HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
ROAD C PROFILE PLAN

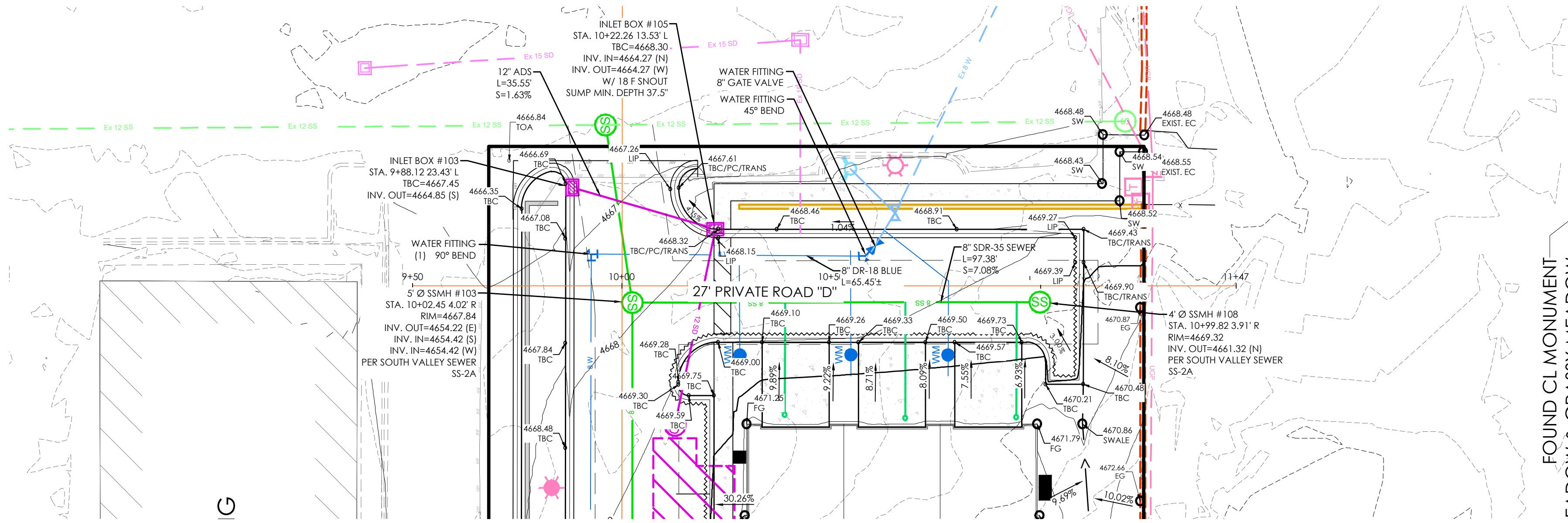
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ROAD C  
PROFILE PLAN

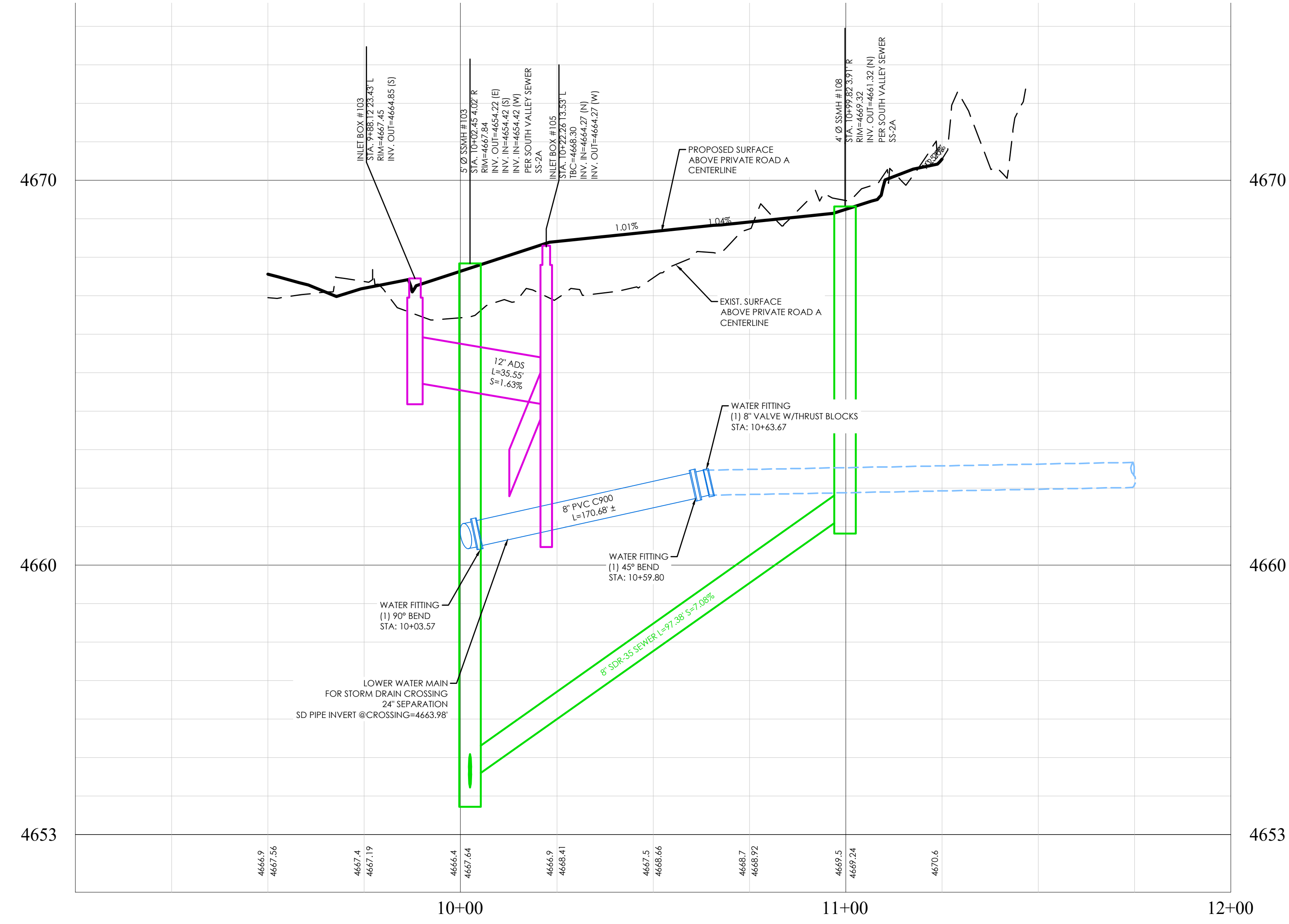
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Date: 02/13/24  
Job #: 22-0403

Sheet: PP3.0





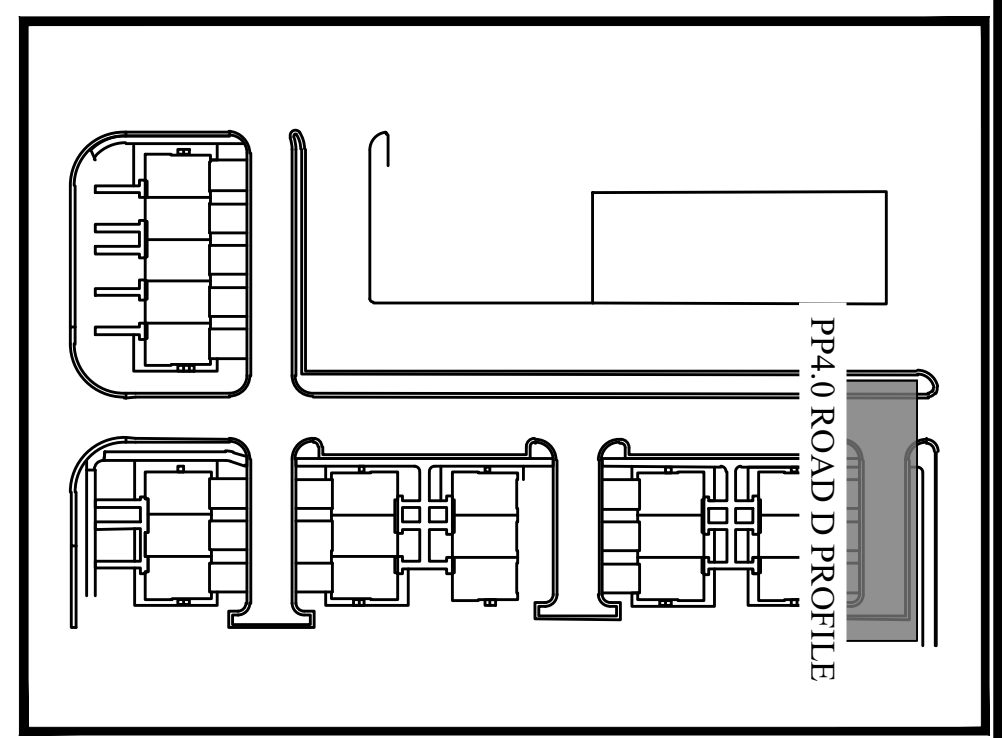
PRIVATE ROAD D PLAN



PRIVATE ROAD D PROFILE

**LEGEND**

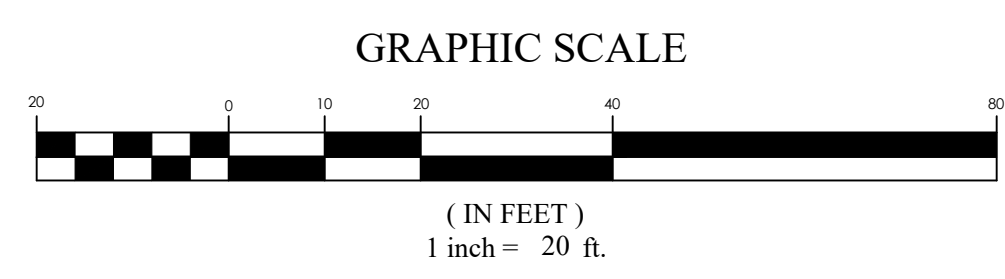
BOUNDARY	15" SD	15" STORM DRAIN
ROW	8" SS	8" SANITARY SEWER
CENTERLINE	8" W	8" CULINARY WATER
LOT LINE	8" SW	8" SECONDARY WATER
EASEMENT	XXXX	CONTOUR MAJOR
CONTOUR MAJOR	XXXX	CONTOUR MINOR
CONTOUR MINOR	XXXX	EXIST. STORM DRAIN
EXIST. STORM DRAIN	XXXX	EXIST. SANITARY SEWER
EXIST. SANITARY SEWER	XXXX	EXIST. CULINARY WATER
EXIST. CULINARY WATER	XXXX	EXIST. CONTOUR MAJOR
EXIST. CONTOUR MAJOR	XXXX	EXIST. CONTOUR MINOR
EXIST. CONTOUR MINOR	XXXX	SIGN
SIGN	XXXX	STREET LIGHT
STREET LIGHT	XXXX	SD MH, INLET, AND COMBO
SD MH, INLET, AND COMBO	XXXX	SEWER MANHOLE
SEWER MANHOLE	XXXX	CULINARY VALVE, TEE & BEND
CULINARY VALVE, TEE & BEND	XXXX	WATER METER
WATER METER	XXXX	SECONDARY VALVE, TEE & BEND
SECONDARY VALVE, TEE & BEND	XXXX	WATER BLOW-OFF
WATER BLOW-OFF	XXXX	FIRE HYDRANT
FIRE HYDRANT	XXXX	STREET MONUMENT (TO BE SET)
STREET MONUMENT (TO BE SET)	XXXX	EXIST. STREET MONUMENT
EXIST. STREET MONUMENT	XXXX	EXIST. SD INLET & MH
EXIST. SD INLET & MH	XXXX	EXIST. SEWER MH
EXIST. SEWER MH	XXXX	EXIST. VALVE, TEE, & BEND
EXIST. VALVE, TEE, & BEND	XXXX	EXIST. FIRE HYDRANT
EXIST. FIRE HYDRANT	XXXX	SPOT ELEVATION



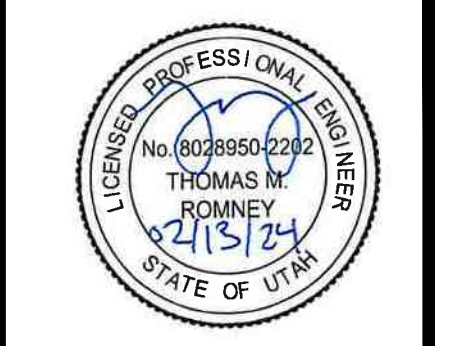
KEY MAP  
N.T.S.

- SOUTH VALLEY SEWER DISTRICT NOTES:**
1. ALL SEWER CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  3. FOUR FEET MIN. OF COVER IS REQUIRED OVER ALL SEWER LINES.
  4. SHALLOW SEWER DEPTHS! CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.

**BENCHMARK**  
NORTH WEST CORNER OF SECTION 17  
TOWNSHIP 03 SOUTH, RANGE 01 WEST  
SALT LAKE BASE AND MERIDIAN  
ELEV: 4692.36  
DATUM: NAVD 88



**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
6949 S. HIGH TECH DRIVE, SUITE 200  
MIDVALE, UTAH 84047 PH: (801) 552-0075  
www.focusnh.com



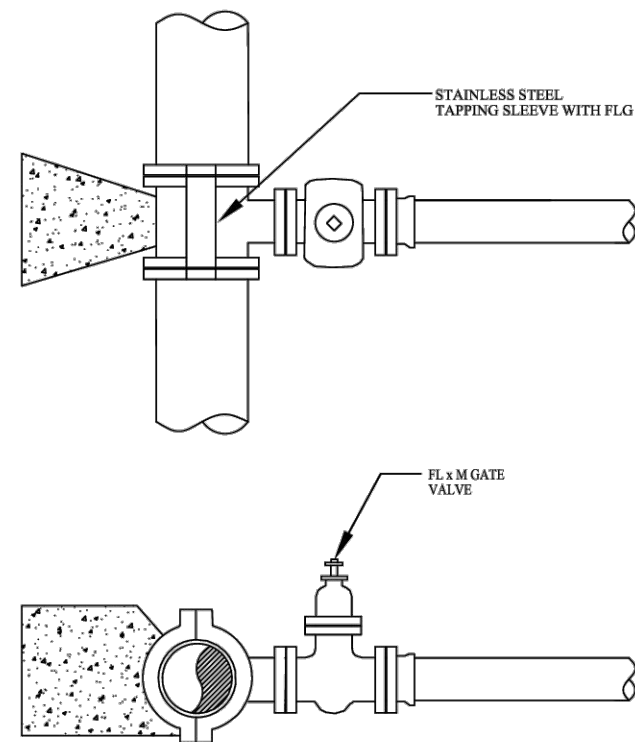
HARVEST POINTE WEST  
3773 S JORDAN PKWY, SOUTH JORDAN, UT  
ROAD D PROFILE PLAN

#	DATE	DESCRIPTION
1		
2		
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4		
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ROAD D  
PROFILE PLAN

Scale: 1"=20'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	PP4.0

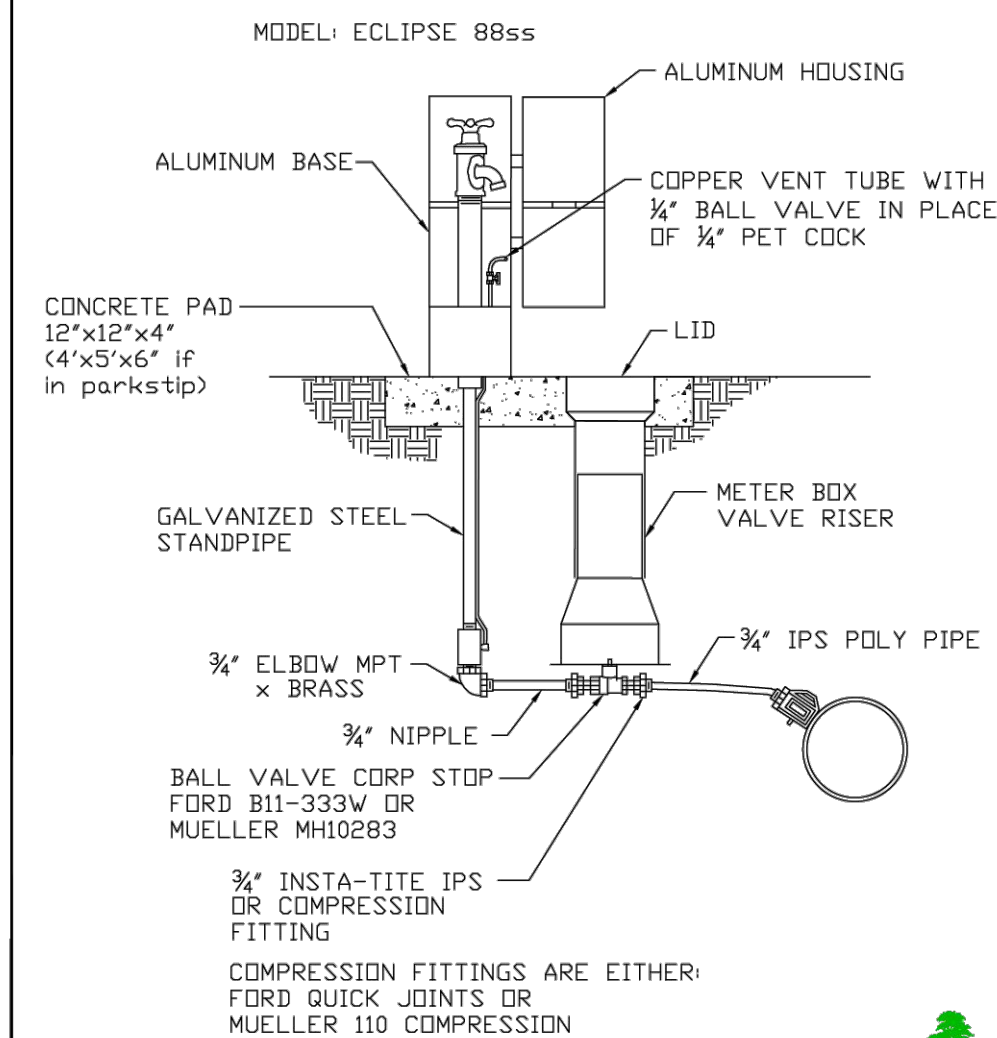




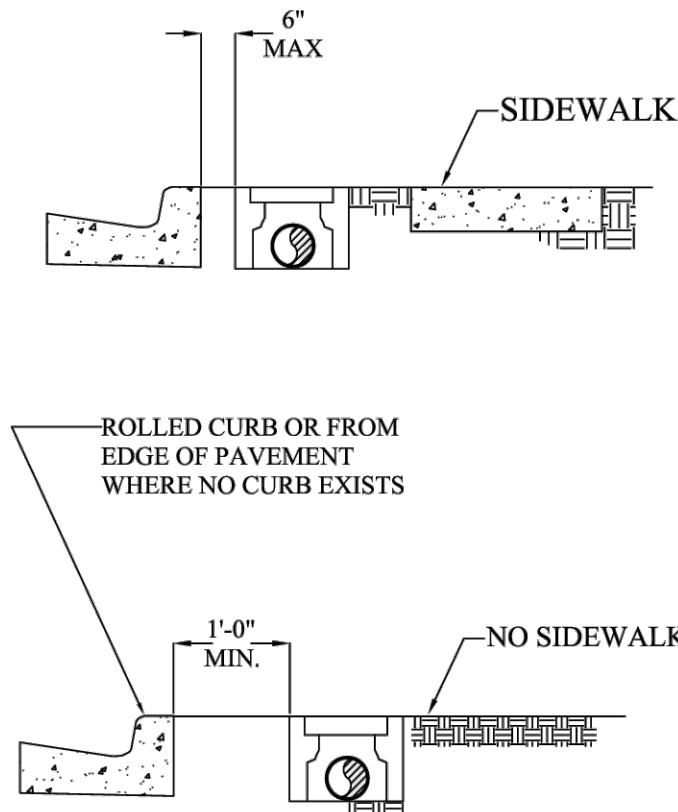
- NOTES:
1. REFER TO SECTION 3.3 MAIN LINE VALVES FOR TAPPING SLEEVE AND VALVE REQUIREMENTS, AND SECTION 3.3.9 TAPPING FOR INSTALLATION INSTRUCTIONS. INTERSECTIONS MAY BE OMITTED.
  2. SEE SECTION 3.4 MAIN LINE FITTING AND SECTION 3.3.11 INSTALLATION OF VALVES AND FITTINGS FOR INSTALLATION AND WRAPPING FOR BOLTED CONNECTIONS. THURST BLOCK DETAILS.

RECOMMENDED MATERIALS - STAINLESS STEEL TAPPING SLEEVE WITH FLG MANUFACTURER TO BE AWWA APPROVED.

PREPARED BY:		SOUTH JORDAN CITY	
		MECHANICAL JOINT TAPPING SLEEVE	
		STANDARD DRAWING 3045	
DATE	APPROVED	BY	

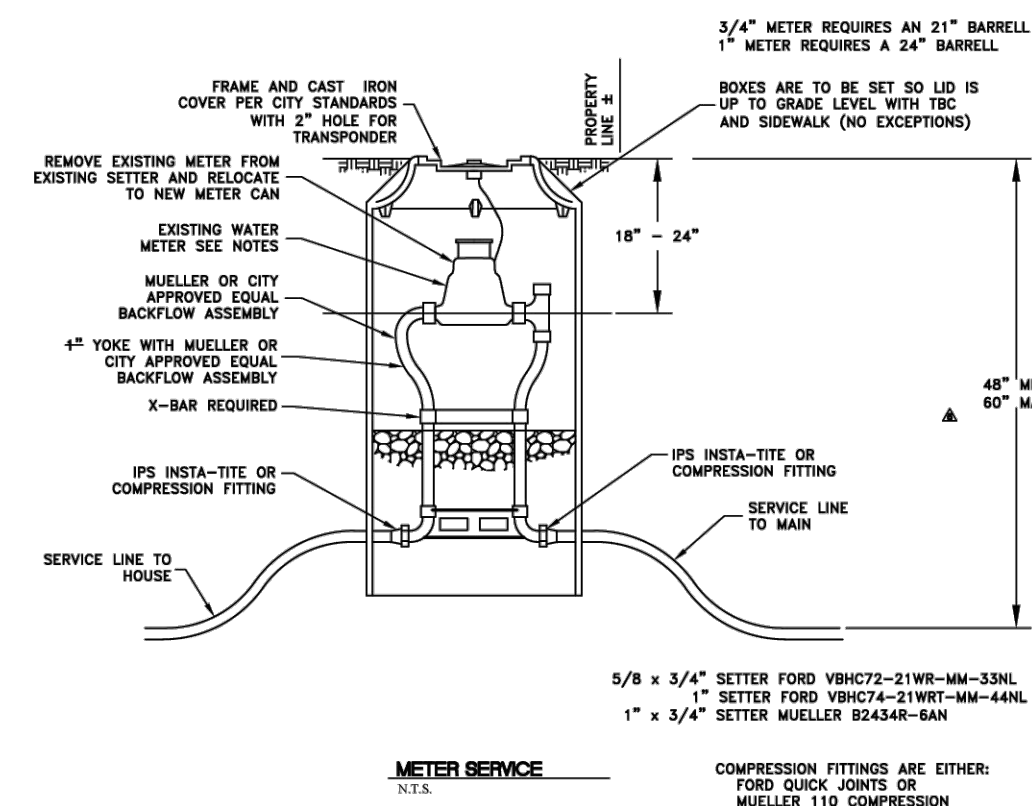


PREPARED BY:		SOUTH JORDAN CITY	
		SAMPLING TAP FOR RESIDENTIAL SUBDIVISIONS	
		STANDARD DRAWING 3110	
DATE	APPROVED	BY	



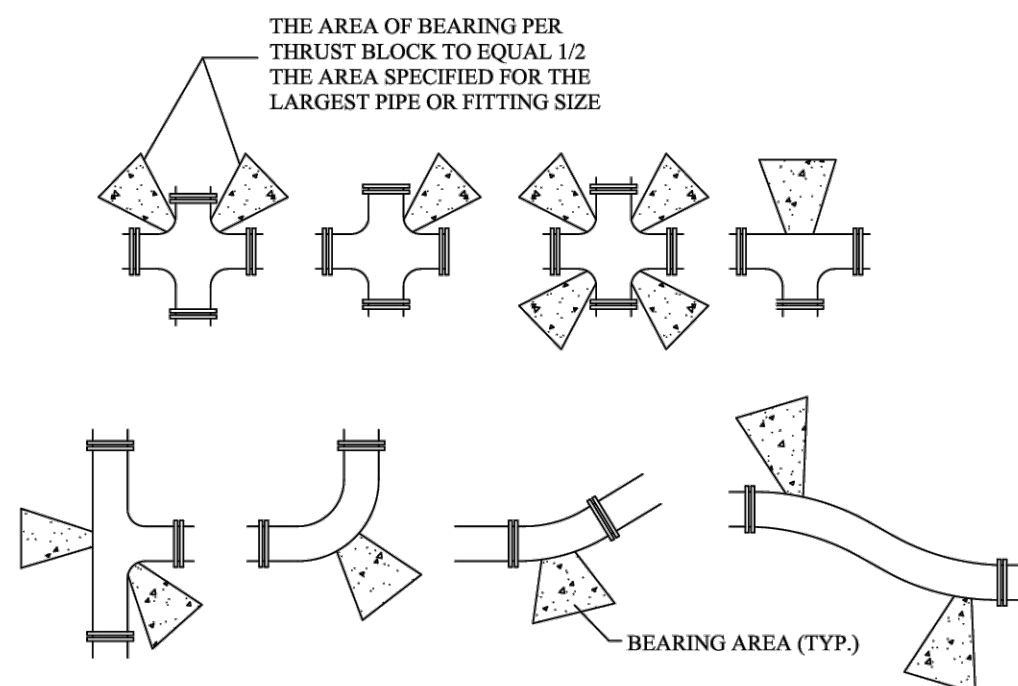
- NOTES:
1. METER BOXES SHALL BE LOCATED WITHIN 6" FROM THE BACK OF CURB. LONGITUDINAL AXIS PERPENDICULAR TO AND DIRECTLY BEHIND CURB.
  2. METER BOXES SHALL NOT BE LOCATED IN DRIVEWAYS.
  3. COMBINATION AIR RELEASE AND VACUUM VALVE ASSEMBLIES SHALL BE LOCATED BEHIND THE SIDEWALK BUT WITHIN THE PUBLIC SERVICES EASEMENTS (PSE).
  4. NO CONCRETE SHALL BE INSTALLED WITHIN 2' OF THE WATER METER.

PREPARED BY:		SOUTH JORDAN CITY	
		WATER METER LOCATION	
		STANDARD DRAWING 3065	
DATE	APPROVED	BY	



- NOTES:
1. INSPECTION: PRIOR TO BACKFILLING AROUND THE METER BOX, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
  2. BACKFILLING: INSTALL ALL BACKFILL MATERIAL PER AWWA SECTION C202 IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTING. COMPACT EACH LIFT TO A MINIMUM RELATIVE DENSITY OF 90 PERCENT.
  3. PLACEMENT:
    - A. 3/4" METER: INSTALL METERS IN HAND SLOPE AT 2 FEET MINIMUM FROM L.S.
    - B. IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
    - C. ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE) AND OUTSIDE OF HARD SURFACE.

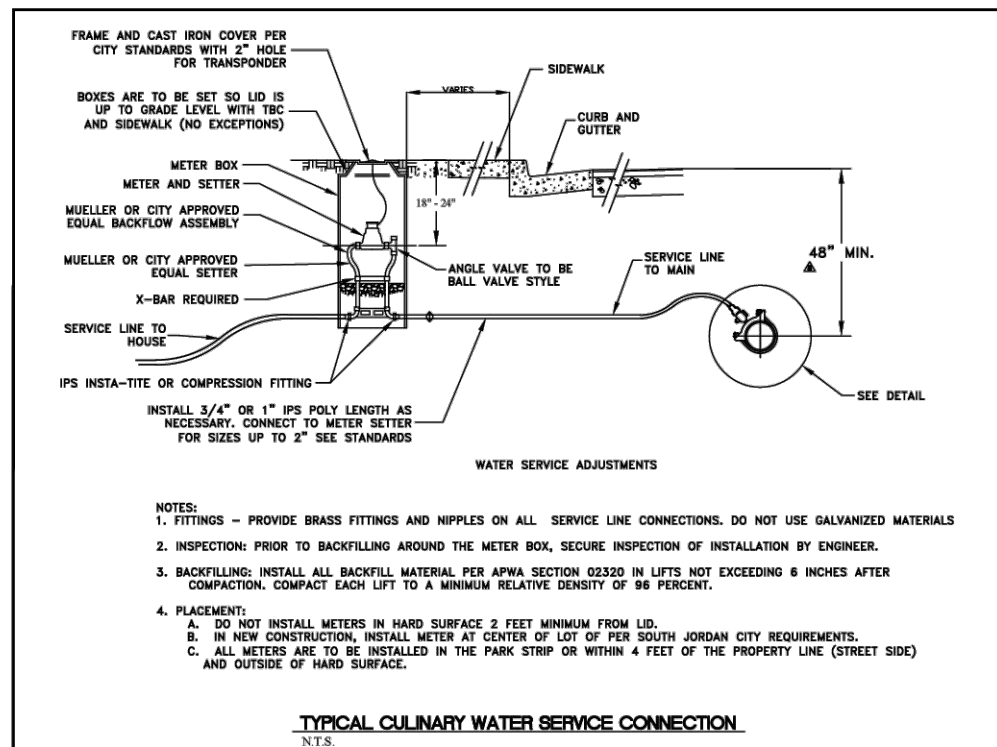
PREPARED BY:		SOUTH JORDAN CITY	
		3/4" AND 1" METER SERVICE	
		STANDARD DRAWING 3090	
DATE	APPROVED	BY	



- NOTES:
1. INSPECTION: PRIOR TO BACKFILLING AROUND THRUST BLOCK, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
  2. BACKFILL: INSTALL ALL BACKFILL MATERIAL PER AWWA SECTION C202 IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTING. COMPACT EACH LIFT TO A MINIMUM RELATIVE DENSITY OF 90 PERCENT.
  3. PLACEMENT:
    - A. 3/4" METER: INSTALL METERS IN HAND SLOPE AT 2 FEET MINIMUM FROM L.S.
    - B. IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
    - C. ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE) AND OUTSIDE OF HARD SURFACE.

MINIMUM BEARING AREA (IN SQ. FT.)	
SIZE OF PIPE (IN)	MINIMUM BEARING AREA (IN SQ. FT.)
1/2"	1.0
3/4"	1.5
1"	2.0
1 1/4"	3.0
1 1/2"	4.0
1 3/4"	5.0
2"	6.0
2 1/4"	8.0
2 1/2"	10.0
2 3/4"	12.0
3"	15.0
3 1/4"	18.0
3 1/2"	20.0
3 3/4"	22.0
4"	25.0

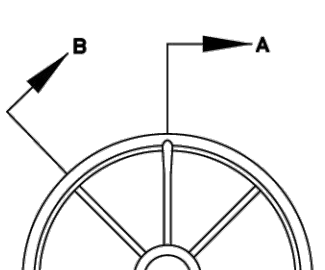
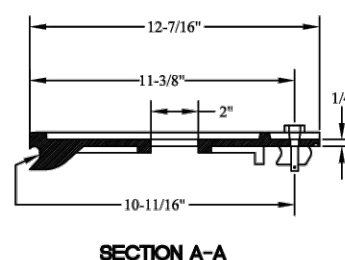
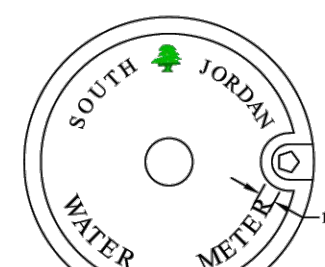
PREPARED BY:		SOUTH JORDAN CITY	
		DIRECT BEARING THRUST BLOCKS	
		STANDARD DRAWING 3080	
DATE	APPROVED	BY	



- NOTES:
1. INSPECTION: PRIOR TO BACKFILLING AROUND TAPS, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
  2. BACKFILL: INSTALL ALL BACKFILL MATERIAL PER AWWA SECTION C202 IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTING. COMPACT EACH LIFT TO A MINIMUM RELATIVE DENSITY OF 90 PERCENT.
  3. PLACEMENT:
    - A. 3/4" METER: INSTALL METERS IN HAND SLOPE AT 2 FEET MINIMUM FROM L.S.
    - B. IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
    - C. ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE) AND OUTSIDE OF HARD SURFACE.

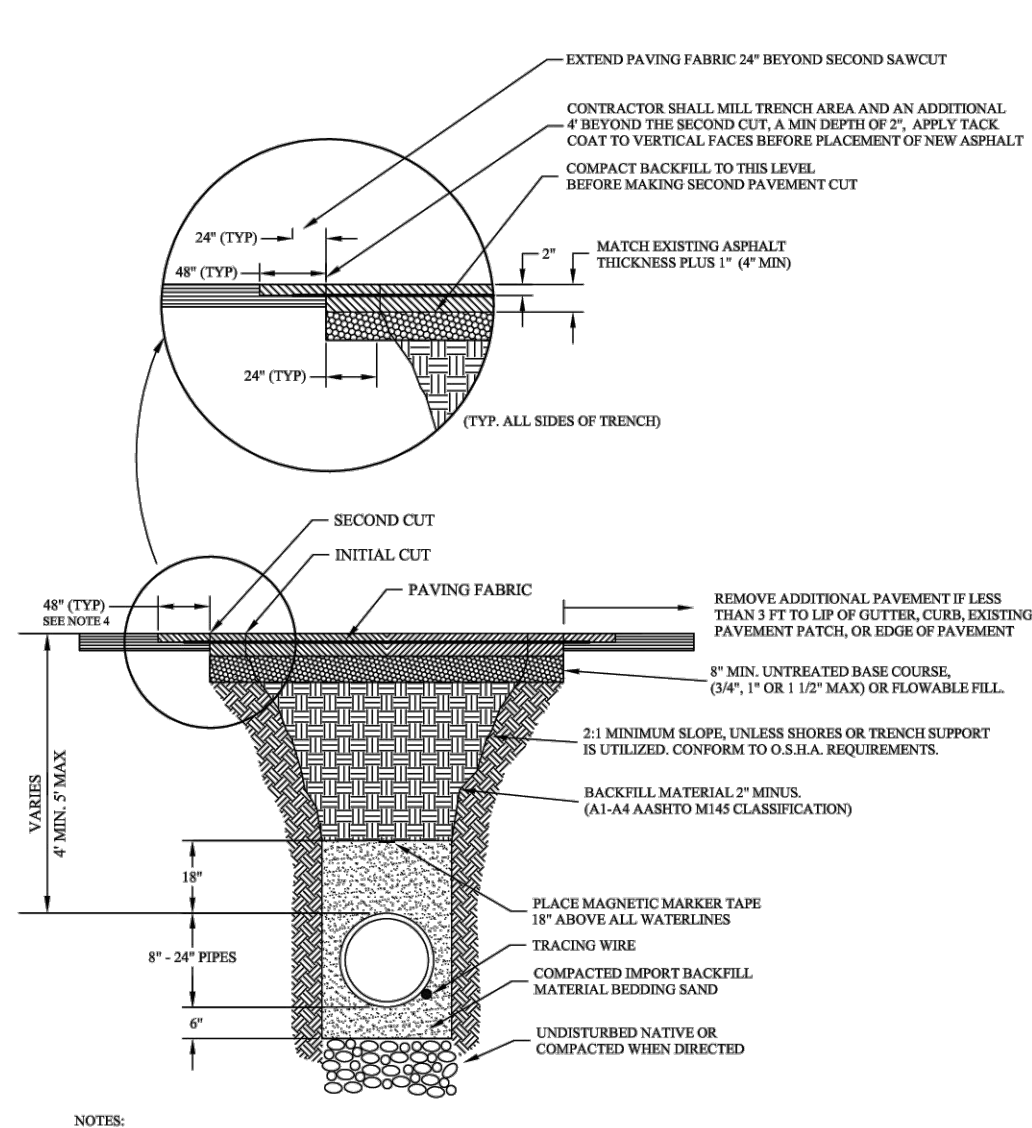
COMPRESSION FITTINGS ARE EITHER:  
FORD QUICK JOINTS OR  
MUELLER 110 COMPRESSION

PREPARED BY:		SOUTH JORDAN CITY	
		3/4" - 2" WATER METER PLAN SERVICE INSTALLATION	
		STANDARD DRAWING 3095	
DATE	APPROVED	BY	



2-1/2" DIA. FLANGY & SUPPLY HOLES: 1/2" DIA. 14-16 LBS.

PREPARED BY:		SOUTH JORDAN CITY	
		METER SERVICE	
		STANDARD DRAWING 3092	
DATE	APPROVED	BY	



- NOTES:
1. NO SAW CUTS TO END UP IN THE WHEEL PATH.
  2. AFTER THE SECOND CUT, PATCH TRENCH UP TO THE EXISTING ROAD SURFACE.
  3. THEN SEAL THE TRENCH AREA AND AN ADDITIONAL 4 FT BEYOND THE SECOND CUT OR AS DIRECTED BY THE CITY ENGINEER ACCORDING TO CITY STANDARDS.
  4. PAVING FABRIC PER AWWA STANDARD BEHIND A VACUUM DETECTABLE NON-WOVEN 4" IF THE GRADING OF THE ROAD IS BETWEEN 10" AND 16" THE 4" WILL BE INCREASED TO 12" WITHIN 10' OF ROAD OR AS DETERMINED BY THE CITY ENGINEER OR DESIGNER.

PREPARED BY:		SOUTH JORDAN CITY	
		TRENCH CROSS SECTION TERMINOLOGY & STANDARD SIZES	
		STANDARD DRAWING 3010	
DATE	APPROVED	BY	



GRAPHIC SCALE



(IN FEET)  
1 inch = 20 ft.



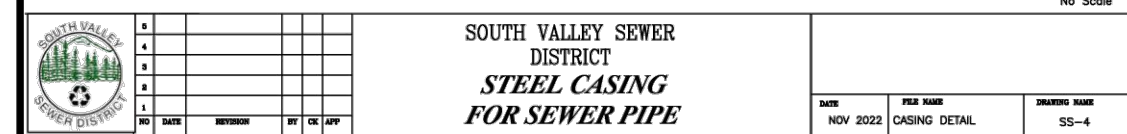
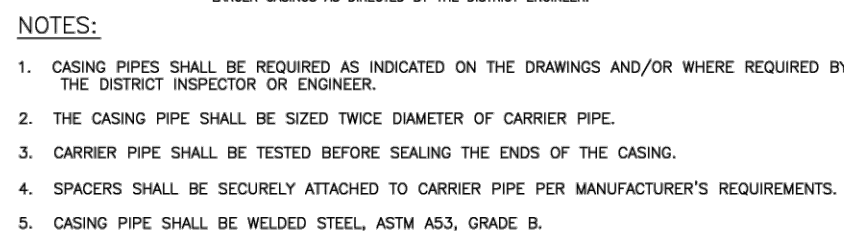
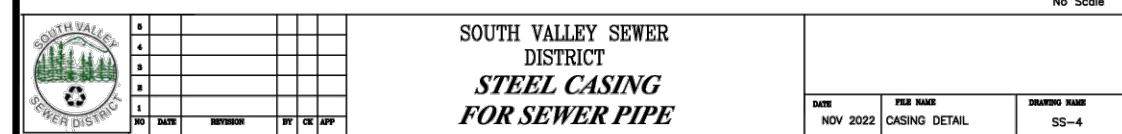
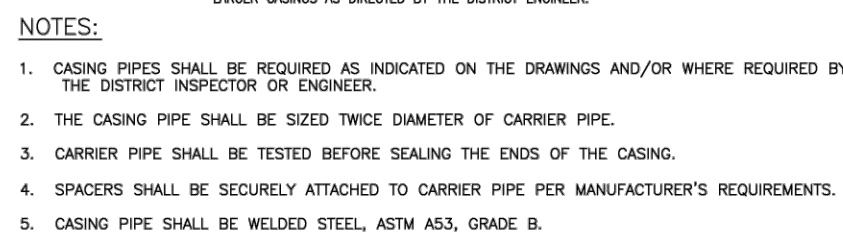
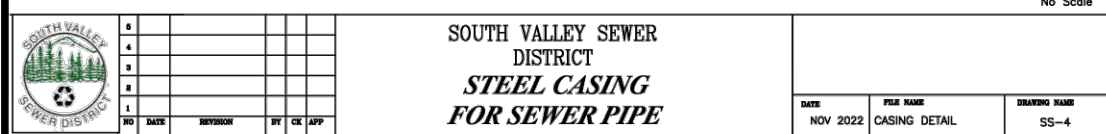
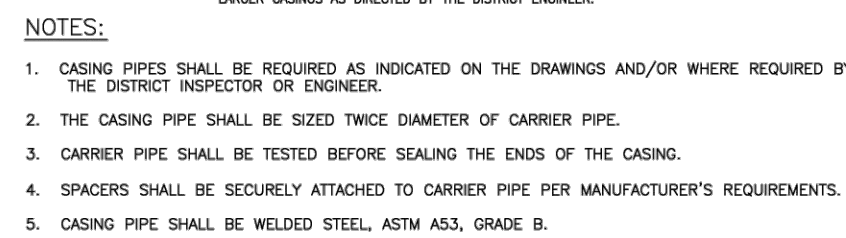
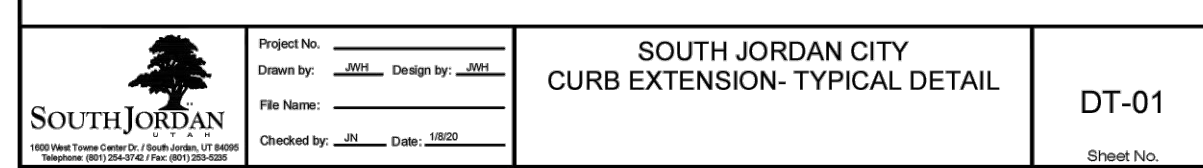
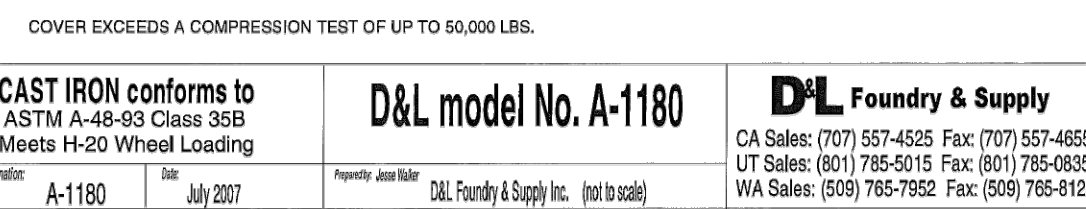
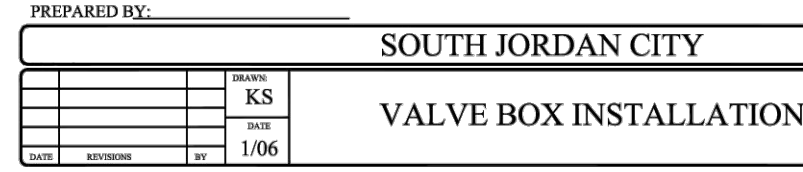
REVISION BLOCK		DESCRIPTION
#	DATE	
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DETAILS

Scale: 1"=XX'	Drawn: CO
Date: 02/13/24	Job #: 22-0403
Sheet:	

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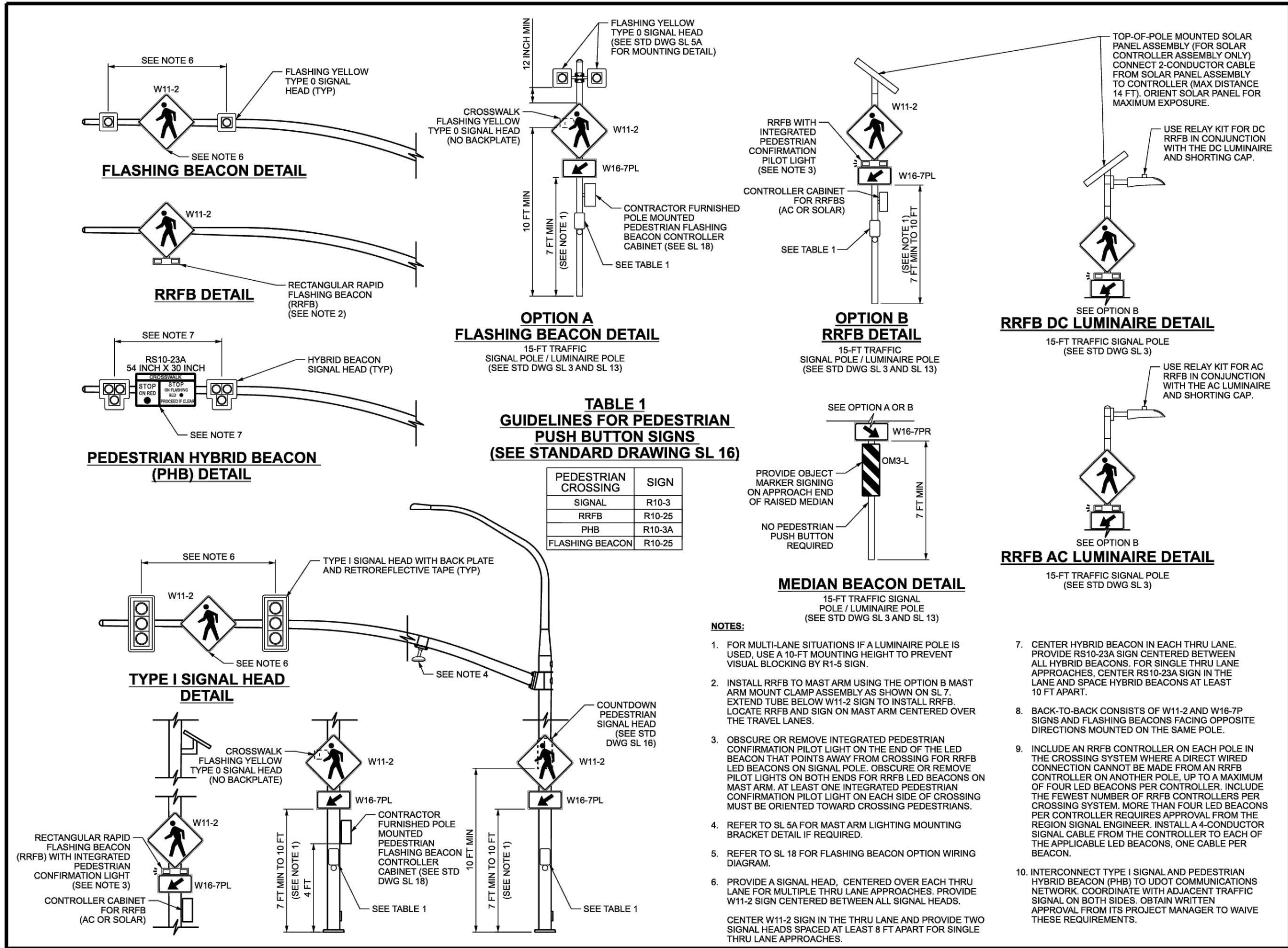
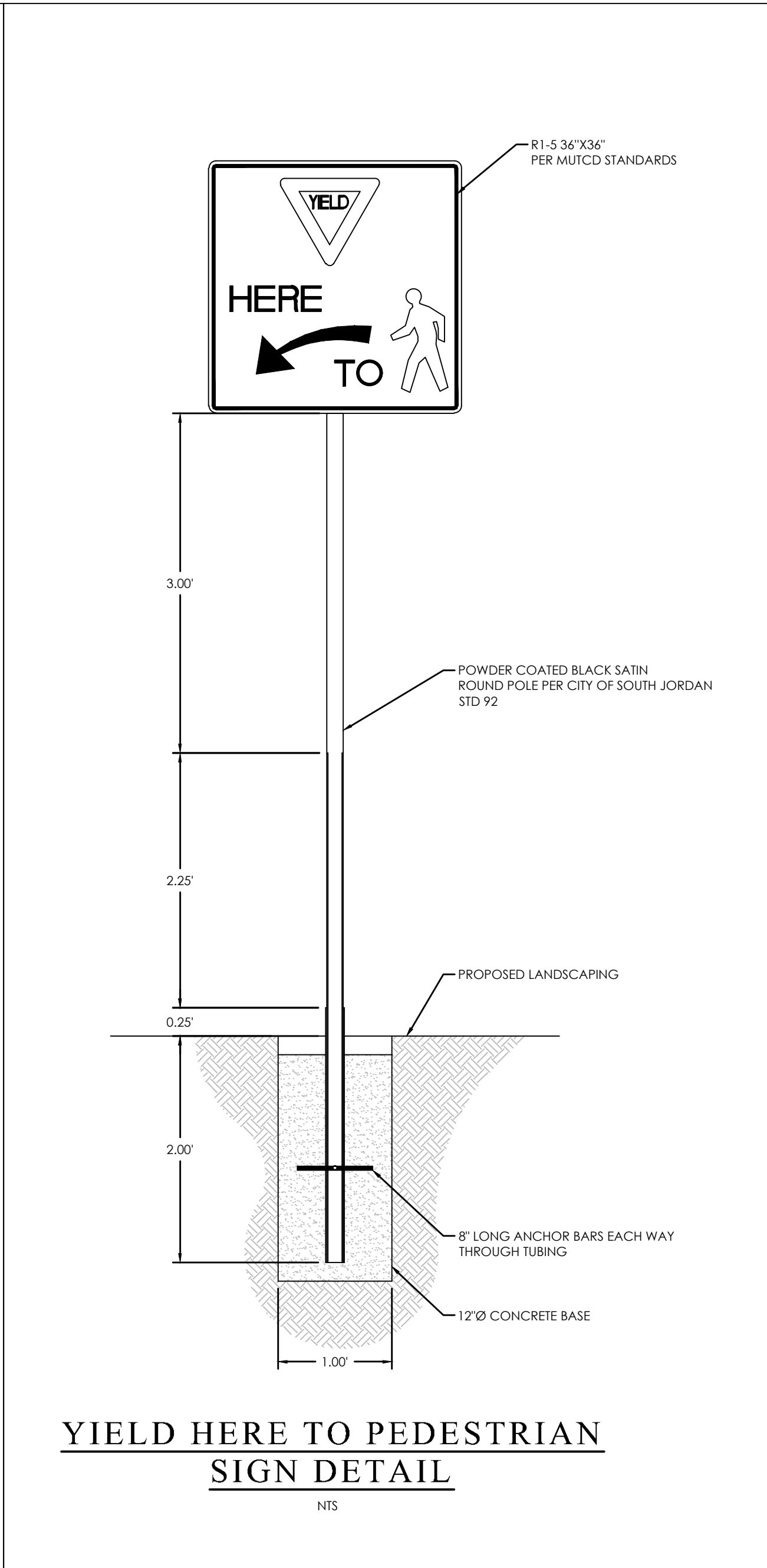
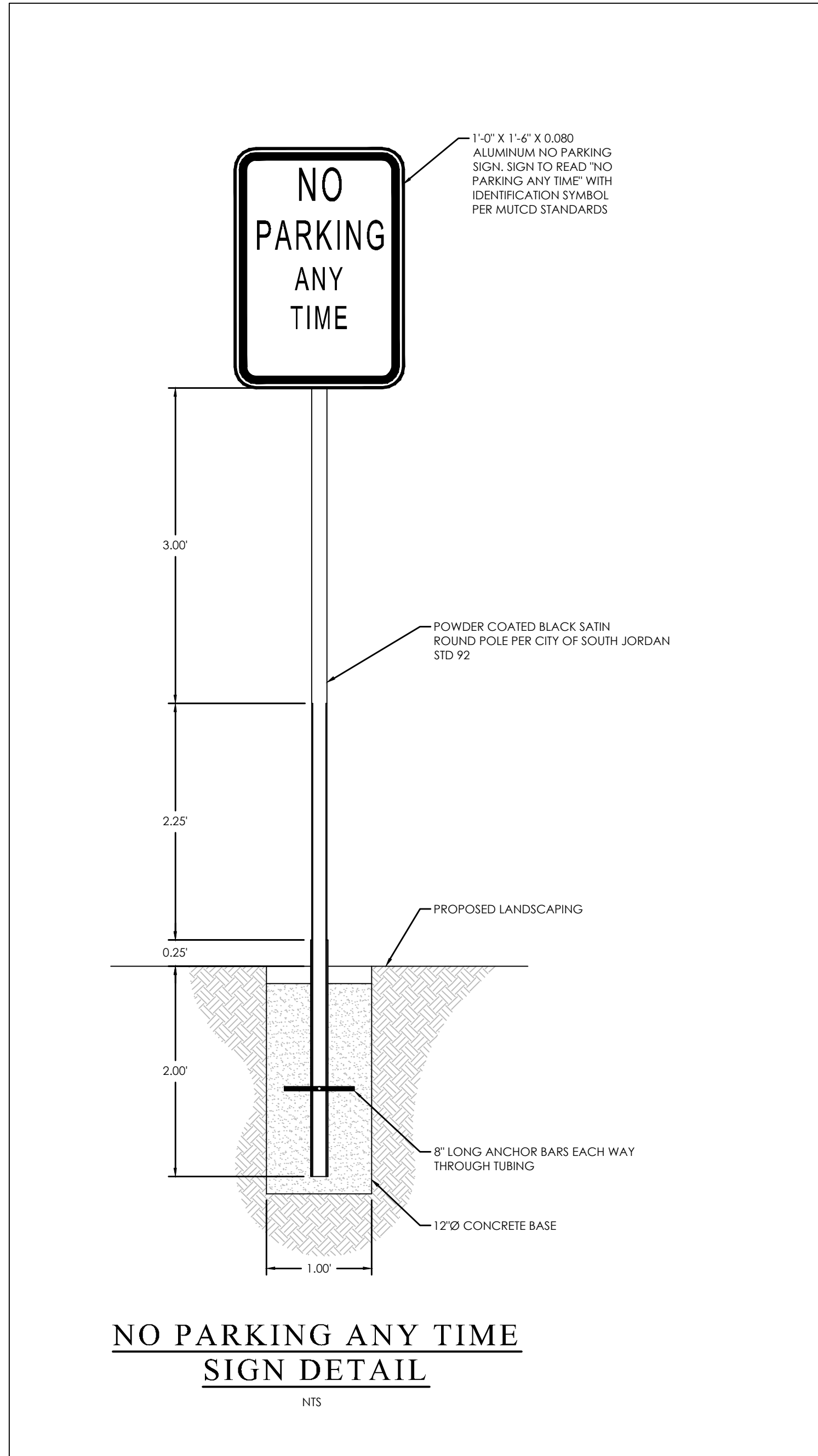




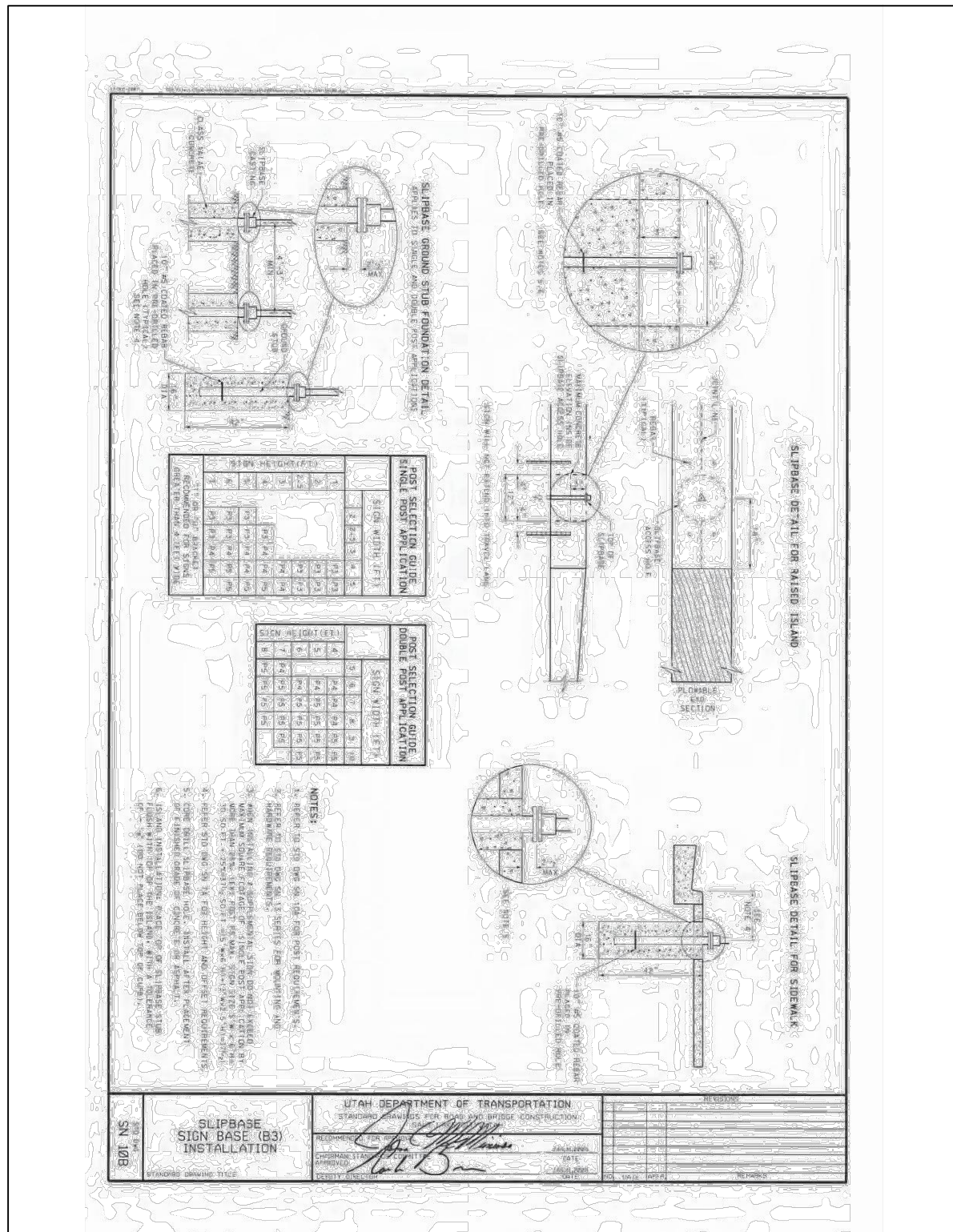
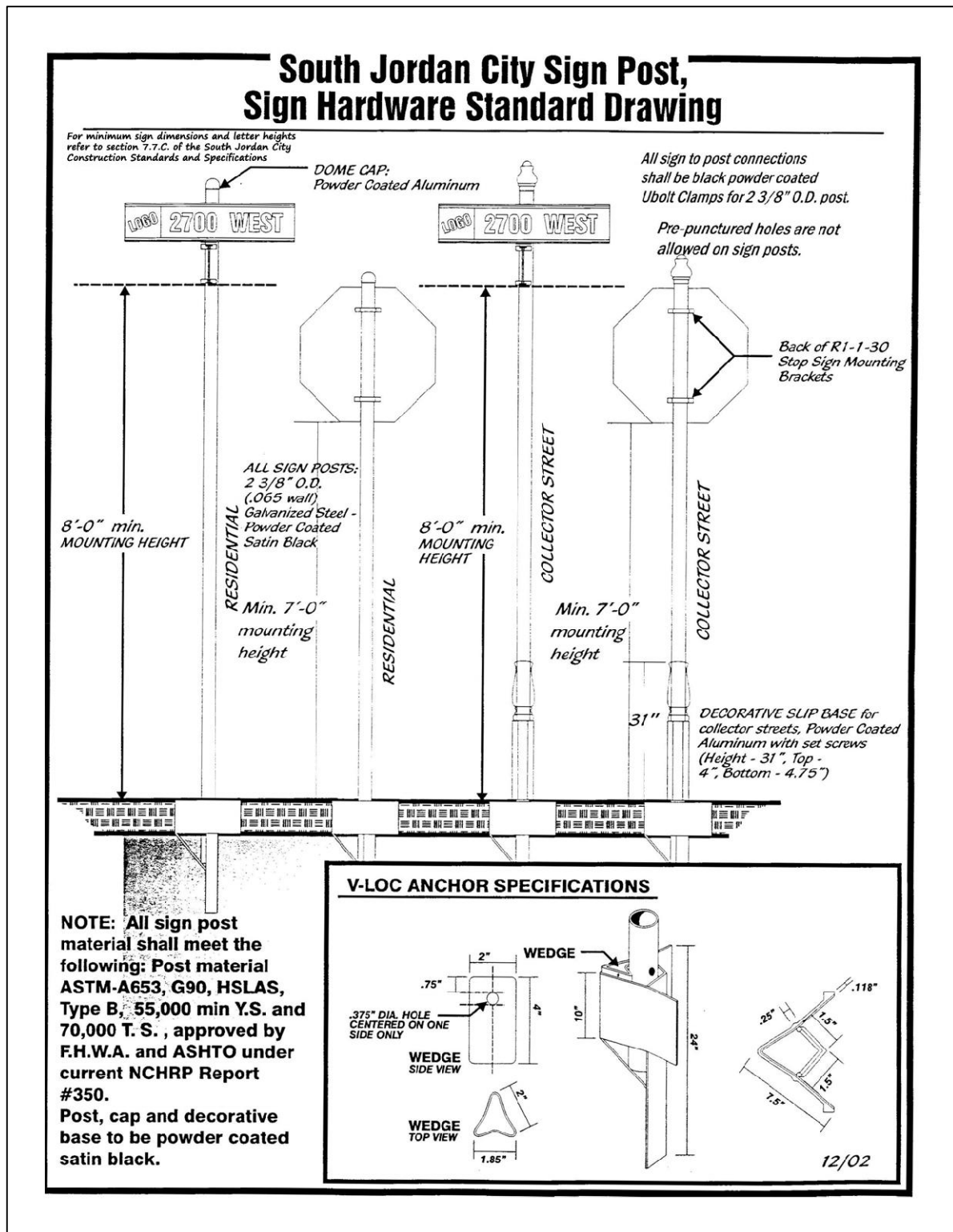


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- NOTES**
- SEE DETAIL FOR FLASHING BEACON OPTION B.
  - SEE CITY OF SOUTH JORDAN STD 92 FOR SIGN POLE SPECIFICATIONS.



REVISION BLOCK		DESCRIPTION
#	DATE	
1	----	----
2	----	----
3	----	----
4	----	----
5	----	----
6	----	----



FOR  
REVIEW  
ONLY

HARVEST POINTE WEST  
SOUTH JORDAN, UTAH  
OVERALL LANDSCAPE PLAN


REVISION BLOCK		DESCRIPTION
#	DATE	
1	01/18/2024	ISSUED FOR PERMIT
2	01/18/2024	REVISED PER COMMENTS
3	01/18/2024	REVISED PER COMMENTS
4	01/18/2024	REVISED PER COMMENTS
5	01/18/2024	REVISED PER COMMENTS
6	01/18/2024	REVISED PER COMMENTS

OVERALL  
LANDSCAPE  
PLAN

Scale: 1"=40'  
Date: 01/18/2024  
Sheet: L1.0

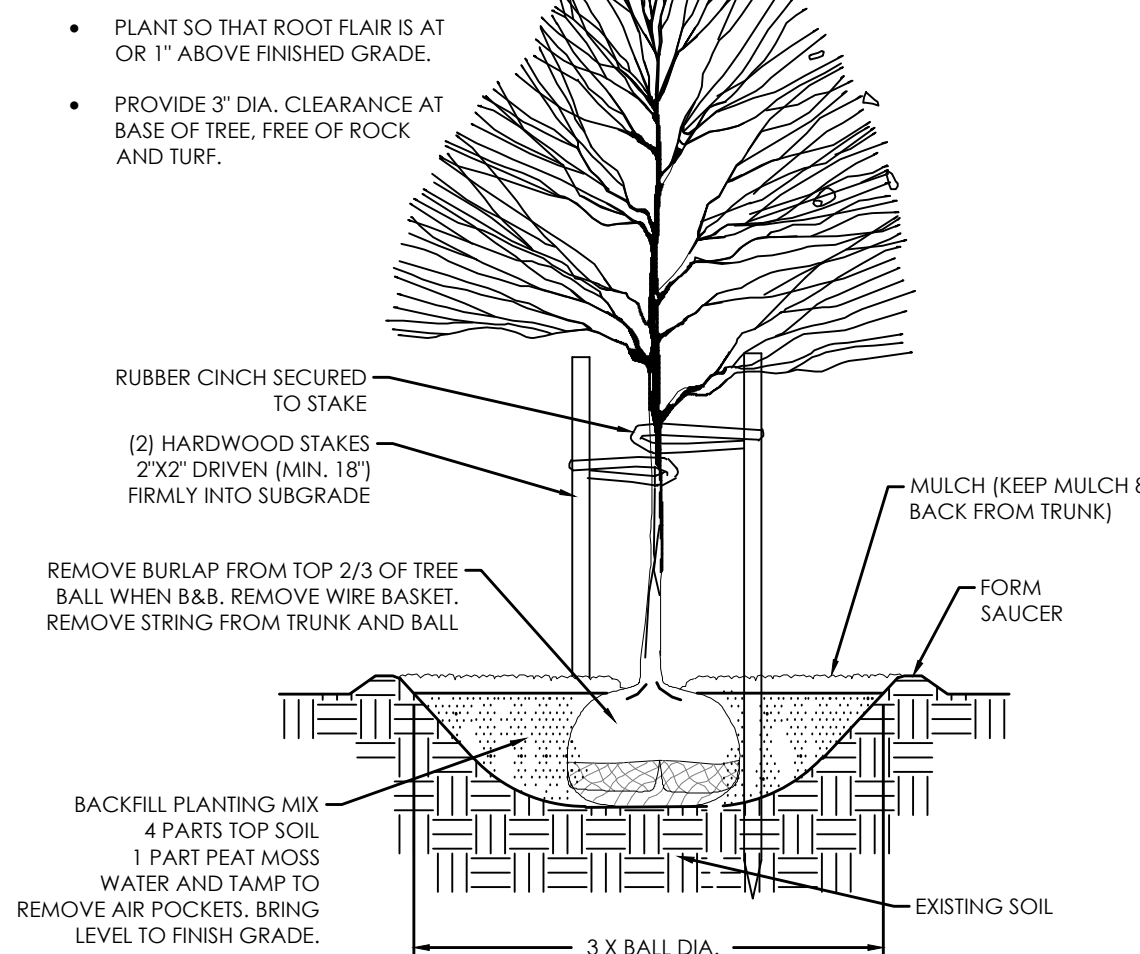
Drawn: BW  
Job #: 22-0403

PLANT SCHEDULE

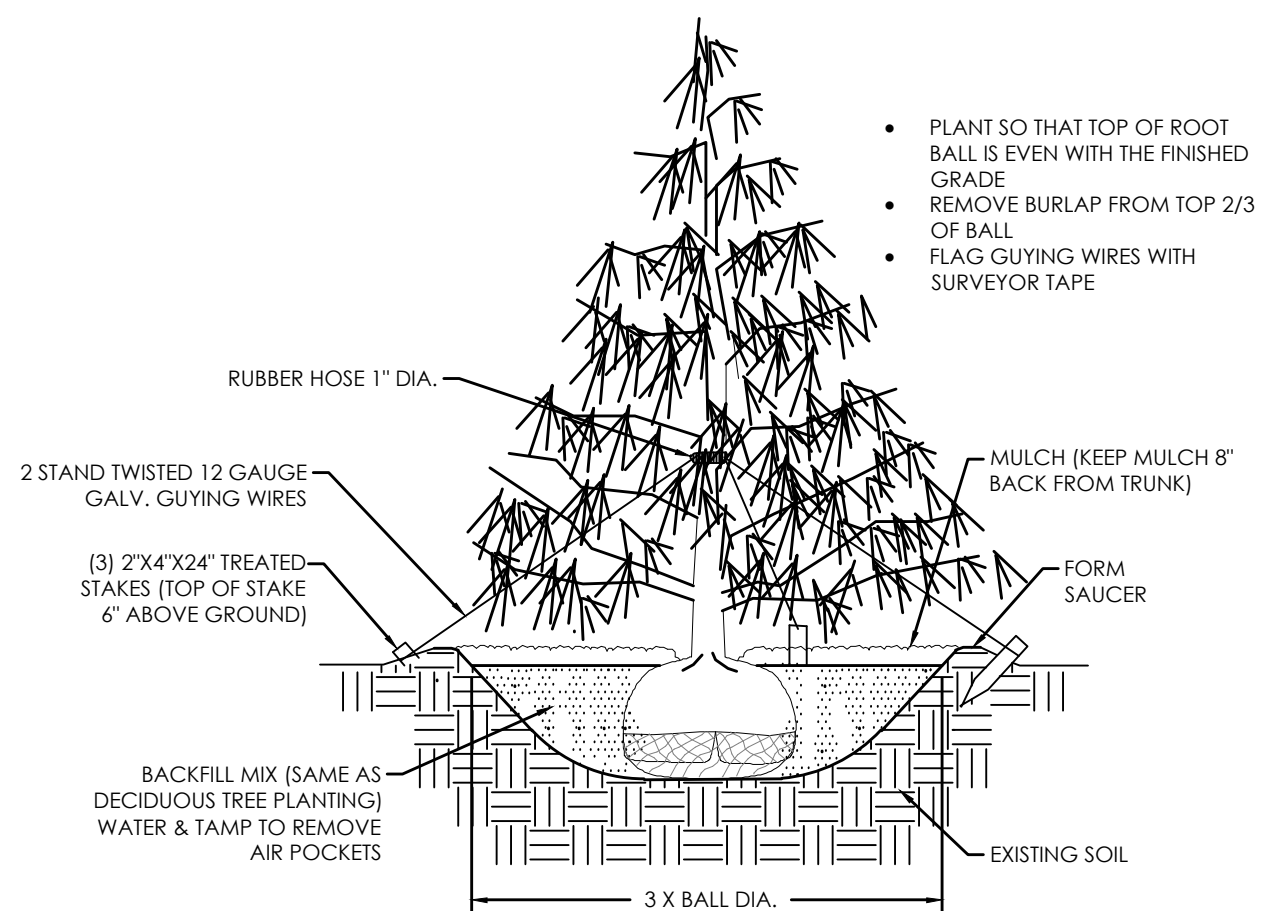
TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
AC3	Abies concolor 'Candicans'	Candicans White Fir	7' Ht.	3	
CP	Crataegus phaenopyrum	Washington Hawthorn	2" Cal.	6	
MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal.	25	
PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	7' Ht.	4	
ZG	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	2" Cal.	4	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
AMG	Aronia melanocarpa 'UCCONNAMO 12' TM	Ground Hug Black Chokeberry	5 gal.	12	
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	31	
CG2	Caragana frutex 'Globosa'	Globe Russian Peashrub	5 gal.	9	
CAB	Cornus alba 'Bailhali' TM	Ivory Halo Dogwood	5 gal.	13	
CSK	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	5 gal.	20	
EAC	Euonymus alatus 'Grove Compactus'	Grove Compact Burning Bush	5 gal.	7	
EFC	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper	5 gal.	26	
JPM	Juniperus x pfitzeriana 'Monsari' TM	Sea of Gold Pfitzer Juniper	5 gal.	12	
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	14	
PMM	Pinus mugo 'Mops'	Mugo Pine	5 gal.	12	
PLC	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	12	
SSS	Sorbaria sorbifolia 'Sem'	Sem Ash Leaf Spirea	5 gal.	9	
SJD	Spiraea japonica 'Double Play Doozie'	Doozie Spirea	5 gal.	14	
VRR	Viburnum x rhytidophylloides 'Redell' TM	Red Balloon Viburnum	5 gal.	9	
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
CAK2	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	69	
H592	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	69	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
H50	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	49	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PP2	Poa pratensis	Kentucky Bluegrass	sod	8,069 sf

LANDSCAPE TABLE

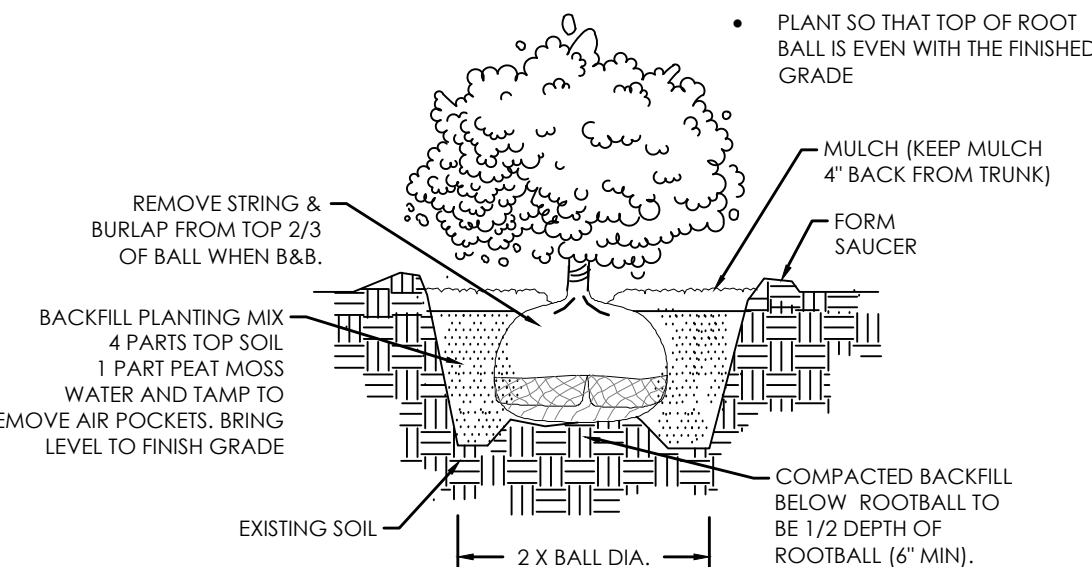
ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	29,132 SQ.FT.	100
LAWN (TURF GRASS)	8,069 SQ.FT.	28
SHRUB BEDS W/ ROCK MULCH	21,063 SQ.FT.	72



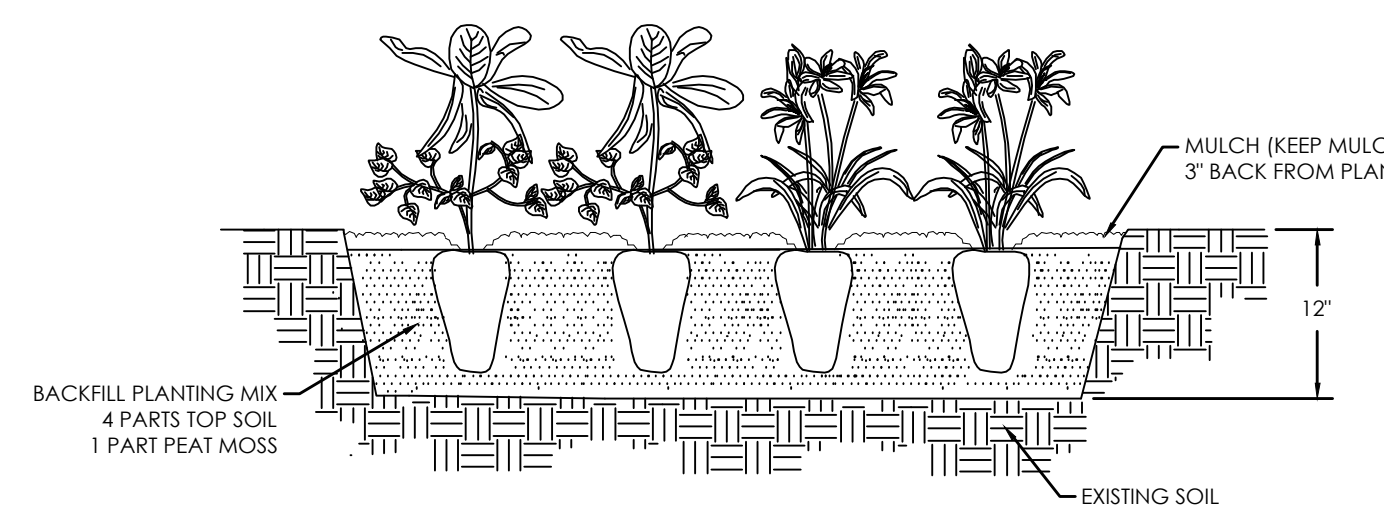
**(A)** TREE PLANTING & STAKING  
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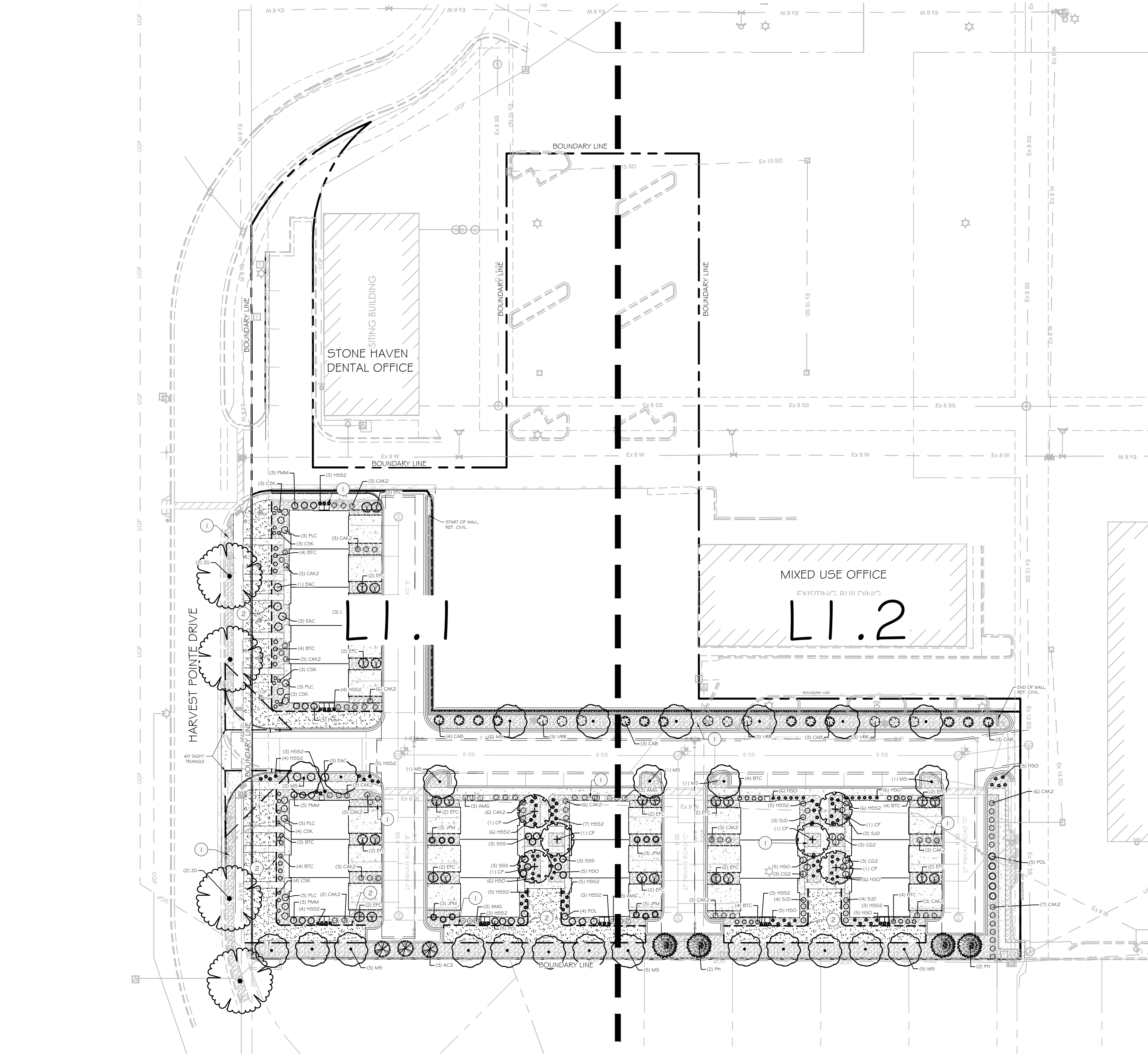
**(B)** EVERGREEN PLANTING & GUYING  
NOT TO SCALE



**(C)** SHRUB PLANTING  
NOT TO SCALE



**(D)** PERENNIAL PLANTING  
NOT TO SCALE



REFERENCE NOTES SCHEDULE

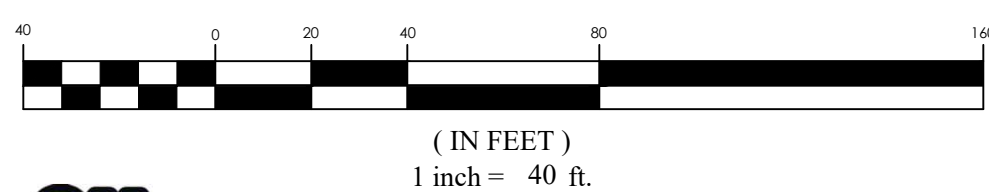
SYMBOL	DESCRIPTION	QTY
1	RIVER COBBLE, 2" VEGAS GRAVEL, FROM ROCK UTAH OR APPROVED EQUAL.	21,063 sf
2	STEEL EDGING	

LANDSCAPE NOTES

- LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
- TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEPTH OF 2" TO 4" ROCK MULCH OVER DEWITT PRO-S WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED. SEE REF. NOTES FOR SPECIFICATIONS.
- INSTALL STEEL EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.
- CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.



GRAPHIC SCALE





FOR  
REVIEW  
ONLY

HARVEST POINTE WEST  
SOUTH JORDAN, UTAH  
LANDSCAPE PLAN

REVISION BLOCK

#	DATE	DESCRIPTION
1	01/18/2024	ISSUED FOR PERMIT
2	01/18/2024	REVISED PER COMMENTS
3	01/18/2024	REVISED PER COMMENTS
4	01/18/2024	REVISED PER COMMENTS
5	01/18/2024	REVISED PER COMMENTS
6	01/18/2024	REVISED PER COMMENTS

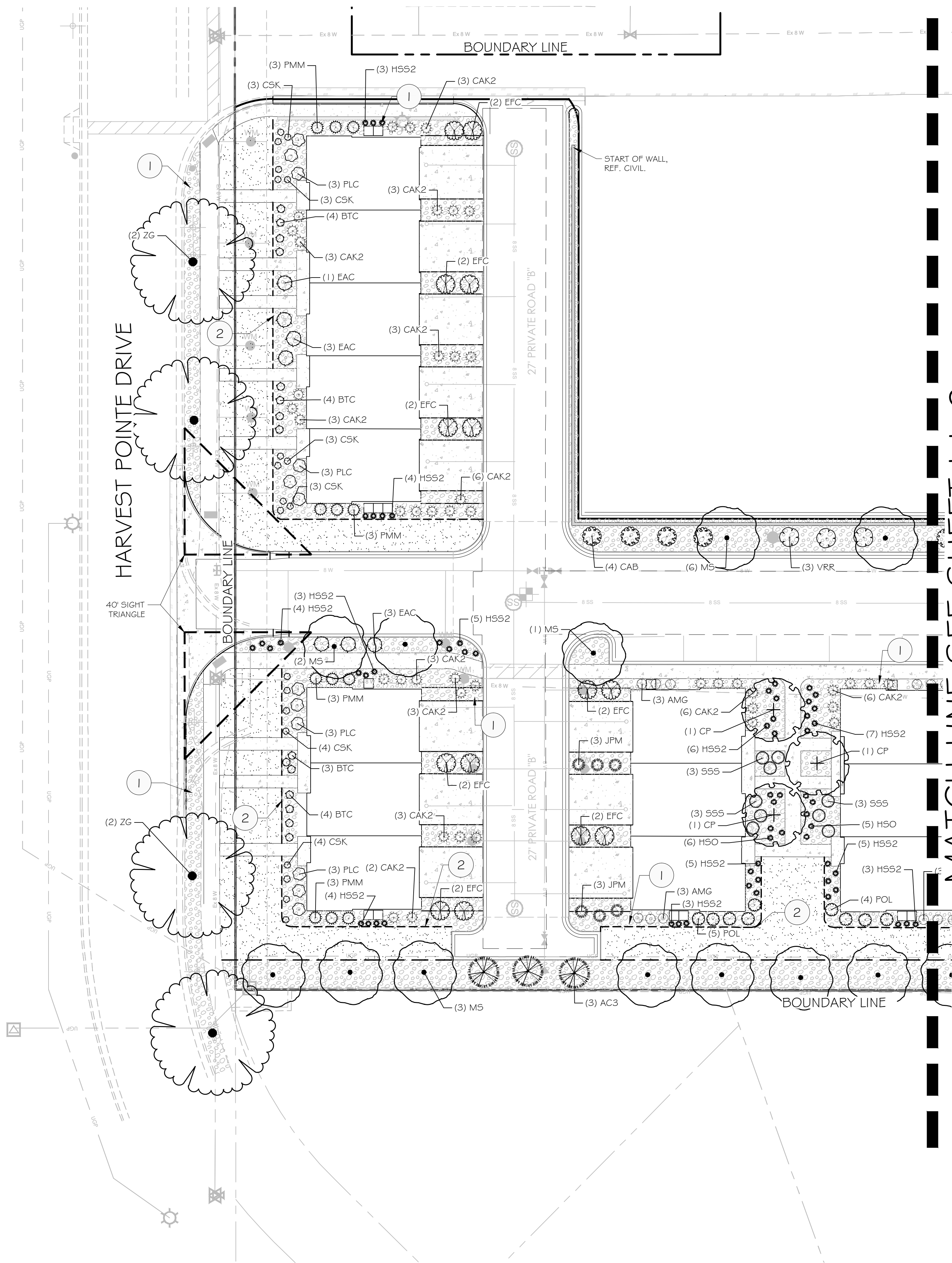
LANDSCAPE  
PLAN

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Date: 01/18/2024  
Sheet:

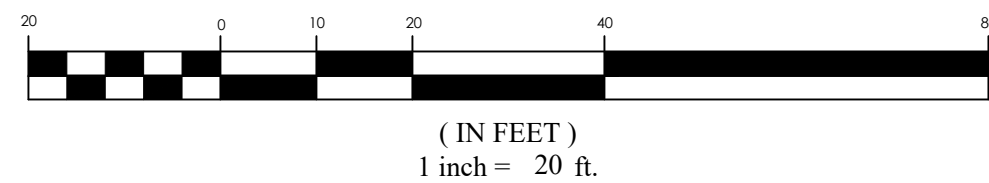
Drawn: BW  
Job #: 22-0403

L1.1


Z:\2022\22-0403 Harvest Point South Townhomes.dgn 22-0403.dwg User:RKL 01-11-24 LANDSCAPE PLAN.dwg



GRAPHIC SCALE



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
AC3	Abies concolor 'Candicans'	Candicans White Fir	7' Ht.	3	
CP	Crataegus phaenopyrum	Washington Hawthorn	2" Cal.	6	
MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal.	25	
PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	7' Ht.	4	
ZG	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	2" Cal.	4	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
AMG	Aronia melanocarpa 'UCONNAMO12' TM	Ground Hug Black Chokeberry	5 gal.	12	
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	31	
CG2	Caragana frutex 'Globosa'	Globe Russian Peashrub	5 gal.	9	
CAB	Cornus alba 'Bailhali' TM	Ivory Halo Dogwood	5 gal.	13	
CSK	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	5 gal.	20	
EAC	Euonymus alatus 'Grove Compactus'	Grove Compact Burning Bush	5 gal.	7	
EFC	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper	5 gal.	26	
JPM	Juniperus x pfitzenana 'Monsan' TM	Sea of Gold Pfitzer Juniper	5 gal.	12	
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	14	
PMM	Pinus mugo 'Mops'	Mugo Pine	5 gal.	12	
RLC	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	12	
SSS	Sorbaria sorbifolia 'Sem'	Sem Ash Leaf Spirea	5 gal.	9	
SJD	Spiraea japonica 'Double Play Doozie'	Doozie Spirea	5 gal.	14	
VRR	Viburnum x rhytidophylodes 'Redell' TM	Red Baloon Viburnum	5 gal.	9	
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
CAK2	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	69	
HSS2	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	69	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
HSD	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	49	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PP2	Poa pratensis	Kentucky Bluegrass	sod	8,069 sf

REFERENCE NOTES SCHEDULE

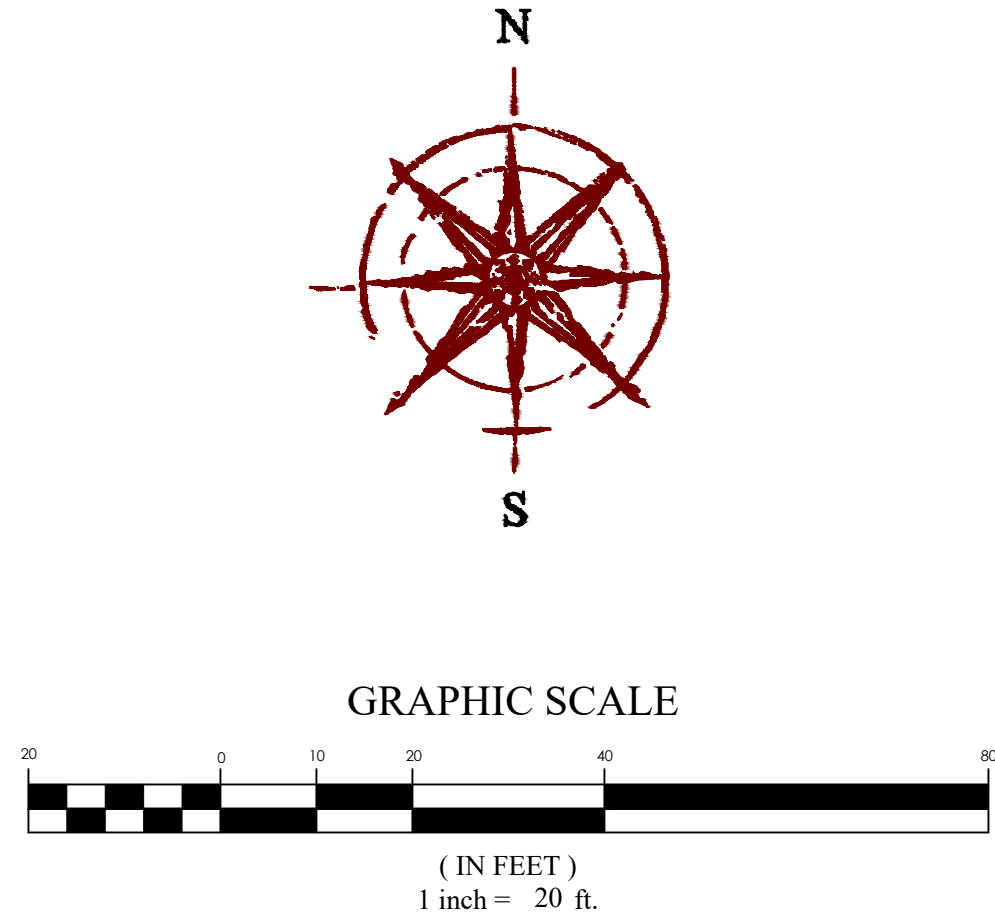
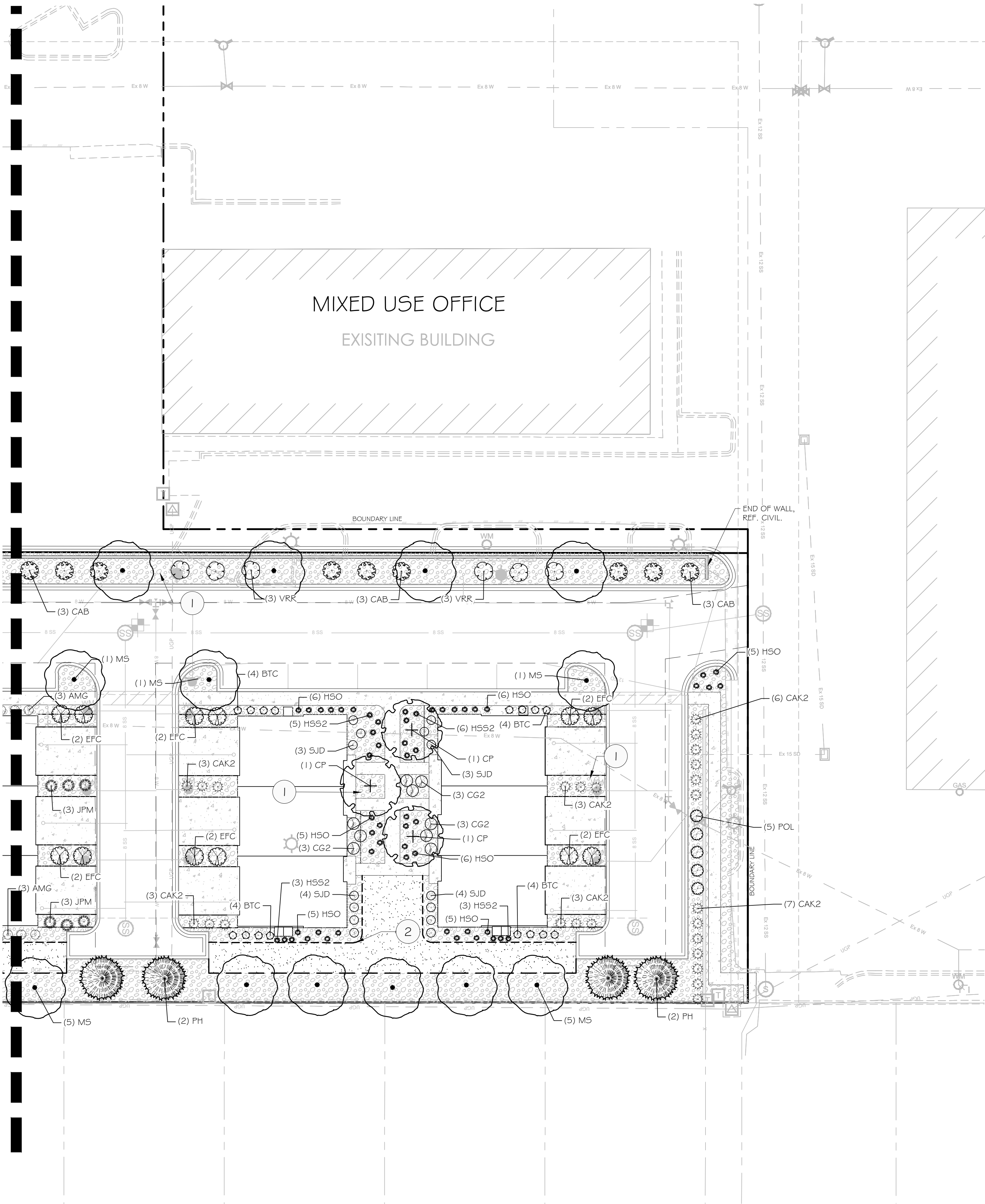
SYMBOL	DESCRIPTION	QTY
1	RIVER COBBLE, 2" VEGAS GRAVEL, FROM ROCK UTAH OR APPROVED EQUAL.	21,063 sf
2	STEEL EDGING	

LANDSCAPE TABLE

ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	29,132 SQ.FT.	100
LAWN (TURF GRASS)	8,069 SQ.FT.	28
SHRUB BEDS W/ ROCK MULCH	21,063 SQ.FT.	72



MATCH LINE SEE SHEET L1.1



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AC3	Abies concolor 'Candicans'	Candicans White Fir	7" Ht.	3
CP	Crataegus phaenopyrum	Washington Hawthorn	2" Cal.	6
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PH	Picea pungens 'Hoopsii'	Hoopsii Colorado Spruce	7" Ht.	4
ZG	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	2" Cal.	4
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AMG	Aronia melanocarpa 'UCONNAMO12' TM	Ground Hug Black Chokeberry	5 gal.	12
BTC	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	31
CG2	Caragana frutex 'Globosa'	Globe Russian Peashrub	5 gal.	9
CAB	Cornus alba 'Bailhali' TM	Ivory Halo Dogwood	5 gal.	13
CSK	Cornus sencea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	5 gal.	20
EAC	Euonymus alatus 'Grove Compactus'	Grove Compact Burning Bush	5 gal.	7
EFC	Euonymus fortunei 'Colorata'	Purple-leaf Winter Creeper	5 gal.	26
JPM	Juniperus x pfitzeniana 'Monsan' TM	Sea of Gold Pfitzer Juniper	5 gal.	12
POL	Physocarpus opulifolius 'Donna May' TM	Little Devil Ninebark	5 gal.	14
PMM	Pinus mugo 'Mops'	Mugo Pine	5 gal.	12
PLC	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	12
SSS	Sorbaria sorbifolia 'Sem'	Sem Ash Leaf Spirea	5 gal.	9
SJD	Spiraea japonica 'Double Play Doozie'	Doozie Spirea	5 gal.	14
VRR	Viburnum x rhytidophylloides 'Redell' TM	Red Balloon Viburnum	5 gal.	9
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
CAK2	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	69
HSS2	Helictotrichon sempervirens 'Sapphire'	Sapphire Blue Oat Grass	1 gal.	69
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
HSO	Heemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	49

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	PP2	Poa pratensis	Kentucky Bluegrass	sod	8,069 sf

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
	1 RIVER COBBLE, 2" VEGAS GRAVEL, FROM ROCK UTAH OR APPROVED EQUAL.	21,063 sf
	2 STEEL EDGING	

LANDSCAPE TABLE

ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	29,132 SQ.FT.	100
LAWN (TURF GRASS)	8,069 SQ.FT.	28
SHRUB BEDS W/ ROCK MULCH	21,063 SQ.FT.	72

FOR  
REVIEW  
ONLY

HARVEST POINTE WEST  
SOUTH JORDAN, UTAH  
LANDSCAPE PLAN

REVISION BLOCK	DESCRIPTION
1	
2	
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4	
5	
6	

LANDSCAPE  
PLAN

Scale: 1"=20'	Drawn: BW
Date: 01/18/2024	Job #: 22-0403
Sheet:	

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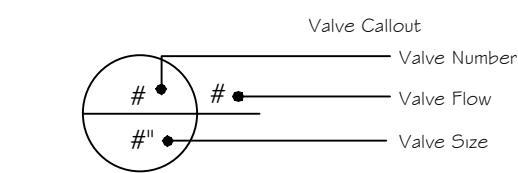




- THIS SYSTEM IS BASED UPON AN AVAILABLE STATIC WATER PRESSURE OF 50 PSI MINIMUM. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM THE STATIC WATER PRESSURE AND THE SIZE OF THE POINT OF CONNECTION (POC).
- COORDINATE AND LOCATE ALL EXISTING UTILITIES ON THE SITE PRIOR TO EXCAVATION. THIS PLAN IS DRAWN ASSUMING SOME EQUIPMENT MAY BE SHOWN IN PAVED AREAS AND BUILDINGS FOR PLAN CLARITY.
- INSTALL PVC SCHEDULE 40 SLEEVES UNDER ALL PAVED SURFACES WHERE LINES AND CONTROL WIRES CROSS INCLUDING ALL SIDEWALKS. SLEEVE SIZE SHALL BE 2 TIMES LARGER THAN THE LINE. EXTEND 6" BEYOND THE PAVED SURFACE ON EACH SIDE. INSTALL A SEPARATE SLEEVE FOR THE CONTROL WIRES.
- INSTALL MANUAL DRAIN VAPES AT ALL LOW POINTS ALONG IRRIGATION MAIN LINE AND EACH SIDE OF DRIVEWAYS WHERE MAIN LINE CROSSES UNDER.
- INSTALL VARIABLE ARC NOZZLES ON SPRINKLER HEADS WHERE ANGLE IS DIFFERENT THAN STANDARD NOZZLES.
- ALL PIPE FITTINGS SHALL BE SCHEDULE 80 ON MAIN LINE.
- XBS TUBING SHALL BE INSTALLED UNDER BARK OR ROCK MULCH.
- INSTALL 3/4" MANUAL FLUSH VALVE IN AN 10" ROUND VALVE BOX AT THE END OF ALL DRIP LINES.
1. DRIP EMITTERS SHALL BE RAINFOIRD XBS-20FC (2-GPH)XERI-BUG EMITTER, 1 EMITTER PER PLANT FOR PERENNIALS AND ORNAMENTAL GRASSES AND 2 EMITTERS PER PLANT FOR SHRUBS.
2. RAINFOIRD MULTIOUTLET XBSRI EMITTER (2.25-GPH) SHALL BE USED ON TREES IN PLANTING BEDS WITH DIFFUSER BUG CAP AT ENDS OF TUBING. DISTRIBUTE EMITTERS AROUND ROOFTOP OF TREE.
3. CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.

## IRRIGATION SCHEDULE

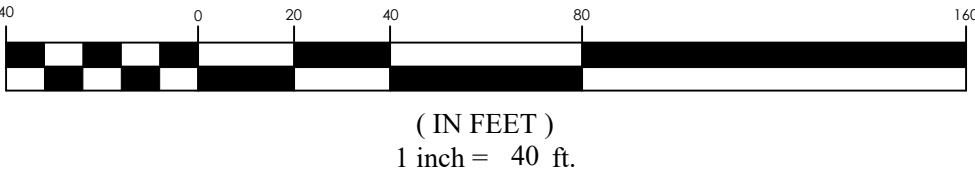
<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>
	Rain Bird R-1804-PRS ADJ Turf Spray 4.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal, 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	55
	Rain Bird R-VAN-STRIP R-804-SAM-P45 Shrub Rotary, 5'x15' (LCS and RCS), 5'x30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stream pressure regulator. 1/2" NPT Female Threaded Inlet.	19
	Rain Bird R-VAN14 R-804-SAM-P45 Turf Rotary, 8' - 14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stream pressure regulator. 1/2" NPT Female Threaded Inlet.	42
	Rain Bird R-VAN18 R-804-SAM-P45 Turf Rotary, 13' - 18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stream pressure regulator. 1/2" NPT Female Threaded Inlet.	16
<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>
	Rain Bird XCFZ I OO-PRF I" Medium Flow Drop Control Kit, 1 in. DV Valve with 1 in. Pressure Regulating Filter at, and MDCF Fitting. 3 GPM-15 GPM.	8
	Rain Bird XB-G Sw-Outlet, Pressure Compensating, Drop Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	39
<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>
	Rain Bird PEB (ZONE VALVE) 1-1/2" 1 in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	3
	Rain Bird PEB (ZONE VALVE) 1" 1 in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2
	Rain Bird 44-RC 1" 1 in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1
	STOP AND WASTE VALVE MUELLER MARK II ORISEAL 54W VALVE MODEL H-1028B	1
	Rain Bird PEB (Master Valve) 1" 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1
	Zurn 375 1" Reduced Pressure Principle Assembly. Size 1 in	1
	Rain Bird ESPLXM2-LXMM w/ (1) ESPLXMSM1 2 24 Station, Traditionally-Wired, Commercial Control.(1) ESPLXM2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure, (1) ESPLXMSM1 2 - 12-Station Expansion Modules. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	1
	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain sensor transmitter. To be mounted on eave of building, location as directed by owner.	1
	Water Meter 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	1,323 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	209.7 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	34.8 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/2"	1,117.5 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21 Sleeve Shall Be Two Sizes Larger Than The Pipe Within	761.9 l.f.



----- RAINBIRD 3/4" XB5 TUBING WITH 1/4" TUBING TO EMITTER  
 \_\_\_\_\_ 1" POLY PIPE CONNECTING DRIPLINE SECTIONS  
 ○ 3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX



### GRAPHIC SCALE



**FOR  
REVIEW  
ONLY**

# HARVEST POINTE WEST SOUTH JORDAN, UTAH OVERALL IRRIGATION PLAN

REVISION BLOCK		
#	DATE	DESCRIPTION
1	10-1-20	
2	10-1-20	
3	10-1-20	
4	10-1-20	
5	10-1-20	
6	10-1-20	

# OVERALL IRRIGATION PLAN

Scale: 1"=40'	Drawn: BW
Date: 01/18/2024	Job #: 22-0403
Sheet:	

## L2.0



FOR  
REVIEW  
ONLY

HARVEST POINTE WEST  
SOUTH JORDAN, UTAH  
IRRIGATION PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
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2	01/18/2024	REVISED PER COMMENTS
3	01/18/2024	REVISED PER COMMENTS
4	01/18/2024	REVISED PER COMMENTS
5	01/18/2024	REVISED PER COMMENTS
6	01/18/2024	REVISED PER COMMENTS

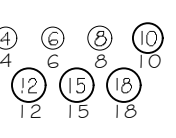












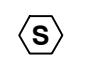


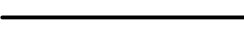
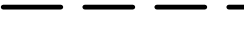
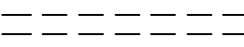
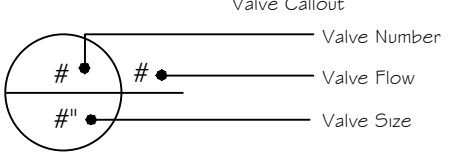

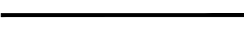

IRRIGATION  
PLAN

Scale: 1"=20'  
Date: 01/18/2024  
Sheet: L2.1

Drawn: BW  
Job #: 22-0403

L2.1

IRRIGATION SCHEDULE

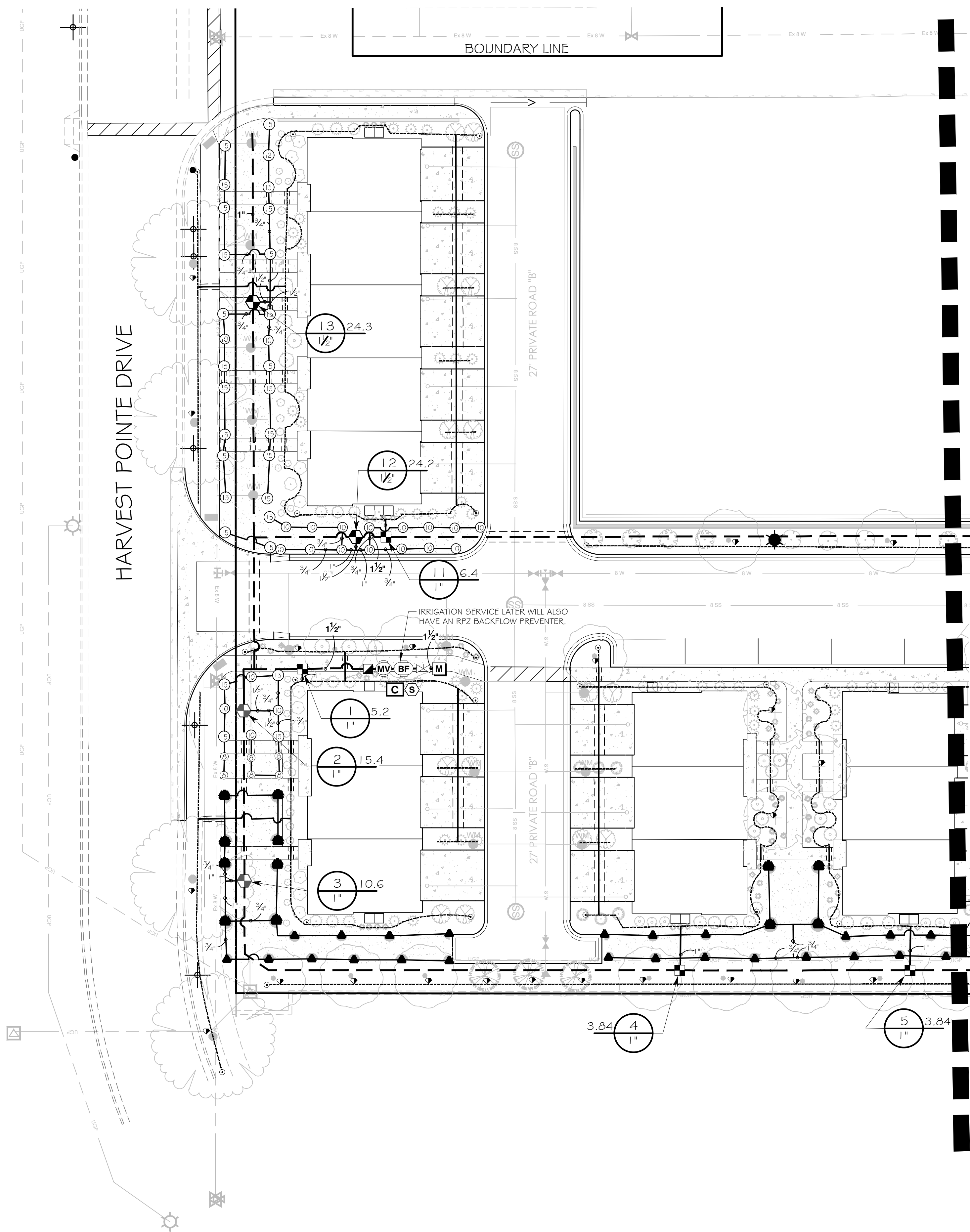
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird 1804-PRS ADJ Turf Spray 4.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	55
	Rain Bird R-VAN-STRIP 1804-SAM-P45 Shrub Rotary, 5' x 1 5/8' (LCS and RCS), 5' x 30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4' pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	19
	Rain Bird R-VAN 14 1804-SAM-P45 Turf Rotary, 8' - 14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4' pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	42
	Rain Bird R-VAN 18 1804-SAM-P45 Turf Rotary, 13' - 18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4' pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	16
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZF-100-PRF 1" Medium Flow Dnp Control Kit. 1 in. DV Valve with 1 in. Pressure Regulating Filter at , and MDCF Fitting. 3 GPM-15 GPM.	8
	Rain Bird XB-G 5/8-Inlet, Pressure Compensating, Dnp Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	39
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB (ZONE VALVE) 1-1/2" 1 in., 1-1/2 in., 2 in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	3
	Rain Bird PEB (ZONE VALVE) 1" 1 in., 1-1/2 in., 2 in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2
	Rain Bird 44-RC 1" 1 in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1
	STOP AND WASTE VALVE MUELLER MARK II ORISEAL 5#W VALVE MODEL H-10288	1
	Rain Bird PEB (Master Valve) 1" 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1
	Zurn 375 1" Reduced Pressure Principle Assembly. Size 1 in	1
	Rain Bird ESPLXME2-LXMM w/ (1) ESPLXMSM 12 24 Station, Traditionally-Wired, Commercial Controller.(1) ESPLXME2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure, (1) ESPLXMSM 12 - 12-Station Expansion Modules. Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	1
	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain sensor transmitter. To be mounted on eave of building, location as directed by owner.	1
	Water Meter 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	1,323 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	209.7 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	34.8 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/2"	1,117.5 l.f.
	Pipe Sleeve: PVC Class 200 SDR 21 Sleeve Shall Be Two Sizes Larger Than The Pipe Within	761.9 l.f.
	Valve Callout: Valve Number Valve Flow Valve Size	
	RAINBIRD 3/4" XBS TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIPLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	



GRAPHIC SCALE



(IN FEET)  
1 inch = 20 ft.



MATCH LINE SEE SHEET L2.2

HARVEST POINTE DRIVE

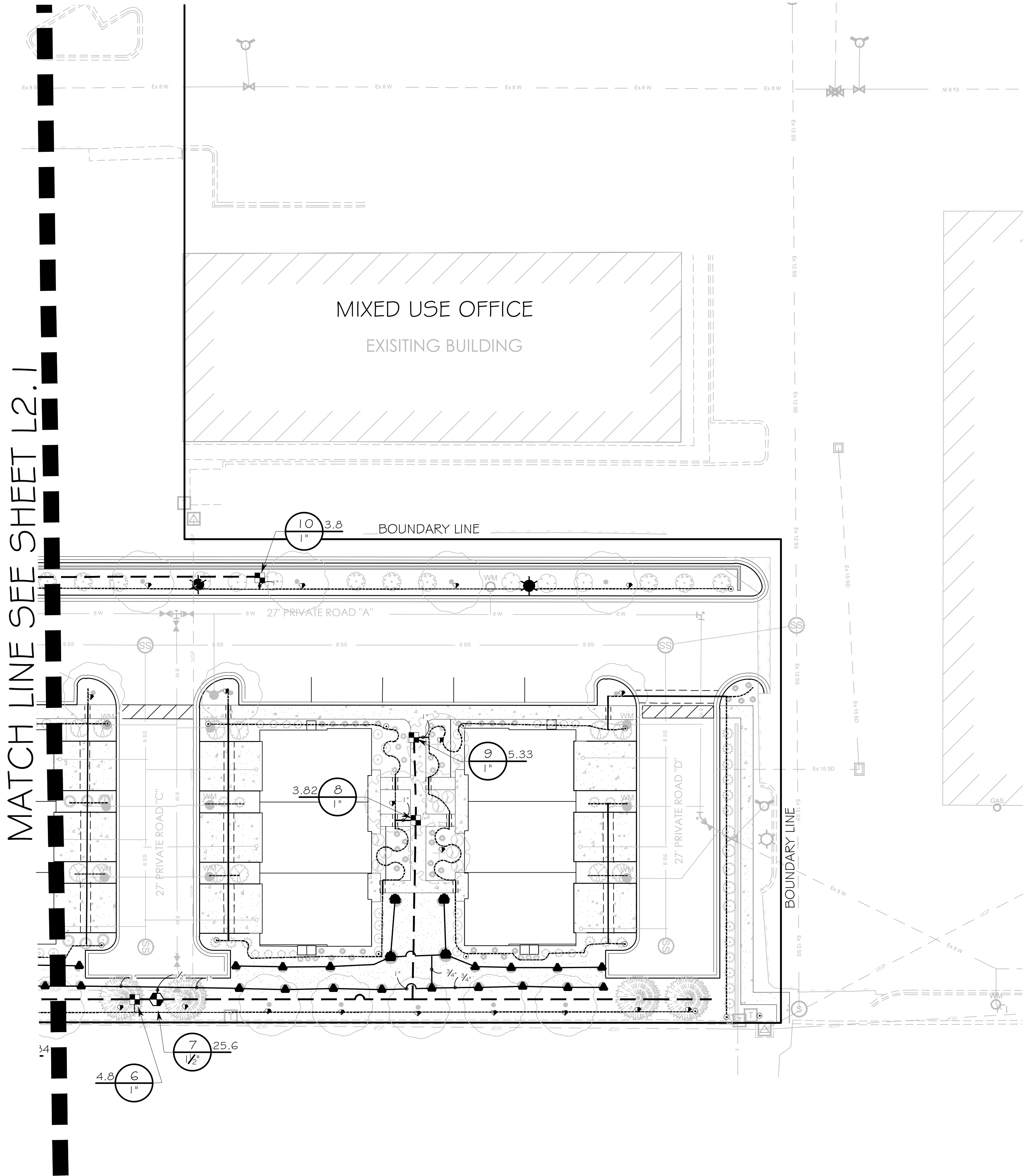
BOUNDARY LINE

27 PRIVATE ROAD "B"

27 PRIVATE ROAD "B"

IRRIGATION SERVICE LATER WILL ALSO  
HAVE AN RPZ BACKFLOW PREVENTER.

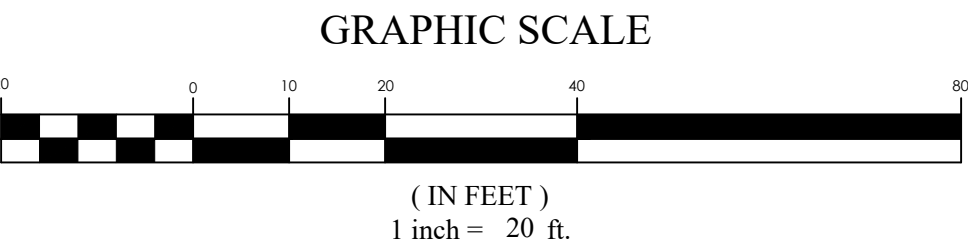




MATCH LINE SEE SHEET L2.1

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird 1804-PRS ADJ Turf Spray 4.0in. Pop-Up Sprinkler with Co-Molded Wiper Seal. 1/2in. NPT Female Threaded Inlet. Pressure Regulating.	55
	Rain Bird R-VAN-STRIP 1804-SAM-P45 Shrub Rotary, 5'x15' (LCS and RCS), 5'x30' (GST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	19
	Rain Bird R-VAN 14 1804-SAM-P45 Turf Rotary, 8'x14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	42
	Rain Bird R-VAN 18 1804-SAM-P45 Turf Rotary, 13'x18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	16
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird XCZF-100-PRF 1" Medium Flow Drip Control Kit. 1 in. DV Valve with 1 in. Pressure Regulating Filter at , and MDCF Fitting. 3 GPM-15 GPM.	8
	Rain Bird XB-6 5in-Outlet, Pressure Compensating, Drip Emitter. Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	39
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB (ZONE VALVE) 1-1/2" 1 in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	3
	Rain Bird PEB (ZONE VALVE) 1" 1 in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	2
	Rain Bird 44-RC 1" 1 in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Thermoplastic Rubber Cover, and 2-Piece Body.	1
	STOP AND WASTE VALVE MUELLER MARK II ORISEAL 5#W VALVE MODEL H-10288	1
	Rain Bird PEB (Master Valve) 1" 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1
	Zurn 375 1" Reduced Pressure Principle Assembly. Size 1 in	1
	Rain Bird ESPLXME2-LXMM w/ (1) ESPLXMSM 12 24 Station, Traditionally-Wired, Commercial Controller.(1) ESPLXME2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure, (1) ESPLXMSM 12 - 12-Station Expansion Modules, Install in LXMM Powder Coated, Metal Wall-Mounted Cabinet.	1
	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain sensor transmitter. To be mounted on eave of building, location as directed by owner.	1
	Water Meter 1"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	1,323 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1"	209.7 l.f.
	Irrigation Lateral Line: PVC Schedule 40 1 1/2"	34.8 l.f.
	Irrigation Mainline: PVC Schedule 40 1 1/2"	1,117.5l.f.
	Pipe Sleeve: PVC Class 200 SDR 21 Sleeve Shall Be Two Sizes Larger Than The Pipe Within	761.9 l.f.
	Valve Callout Valve Number Valve Flow Valve Size	
	RAINBIRD 3/4" XBS TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIPLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	



FOR  
REVIEW  
ONLY

HARVEST POINTE WEST  
SOUTH JORDAN, UTAH  
IRRIGATION PLAN

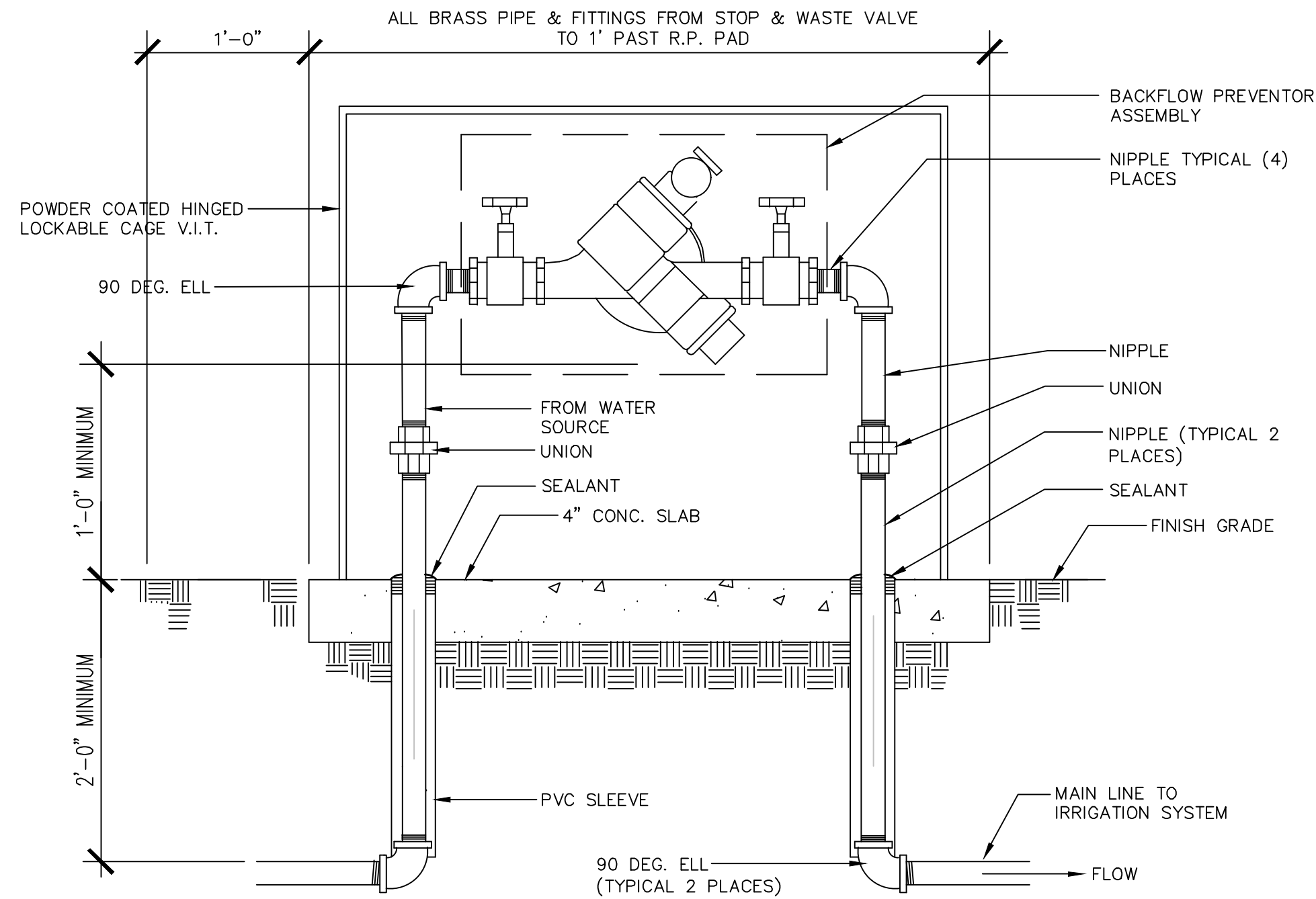
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IRRIGATION  
PLAN

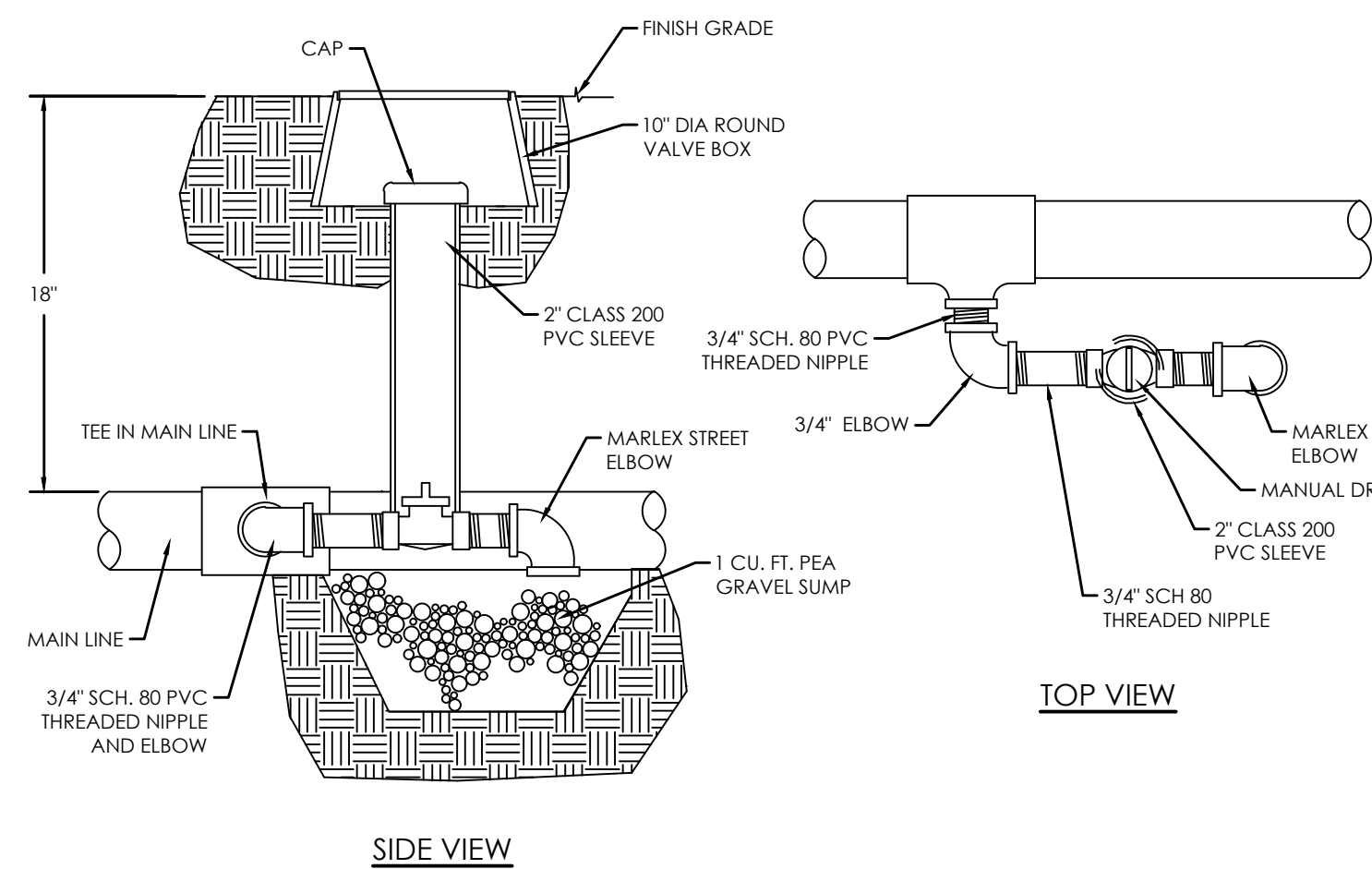
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Date: 01/18/2024	Job #: 22-0403
Sheet:	

L2.2

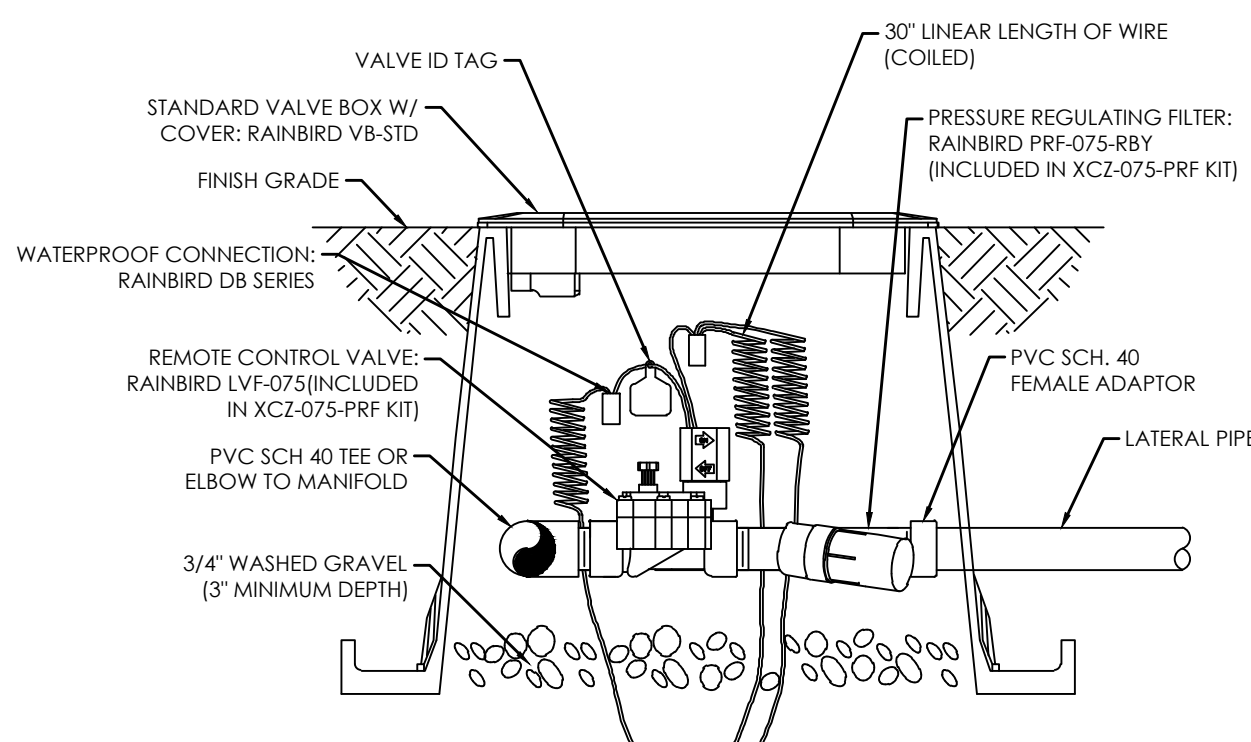




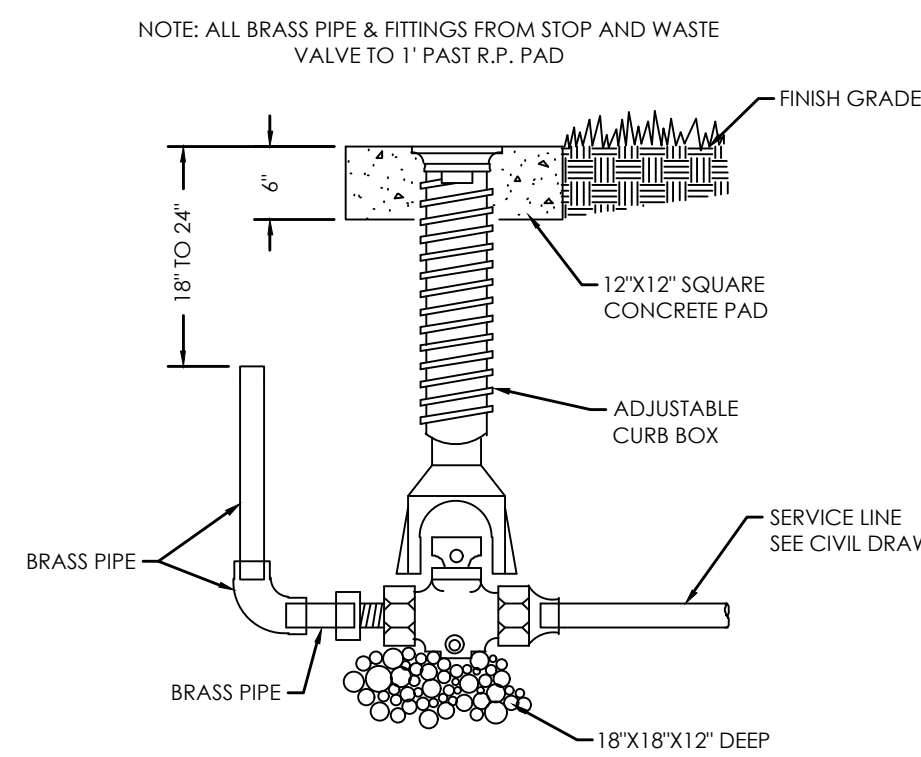
**A REDUCED PRESSURE BACK FLOW PRESSURE**  
NOT TO SCALE



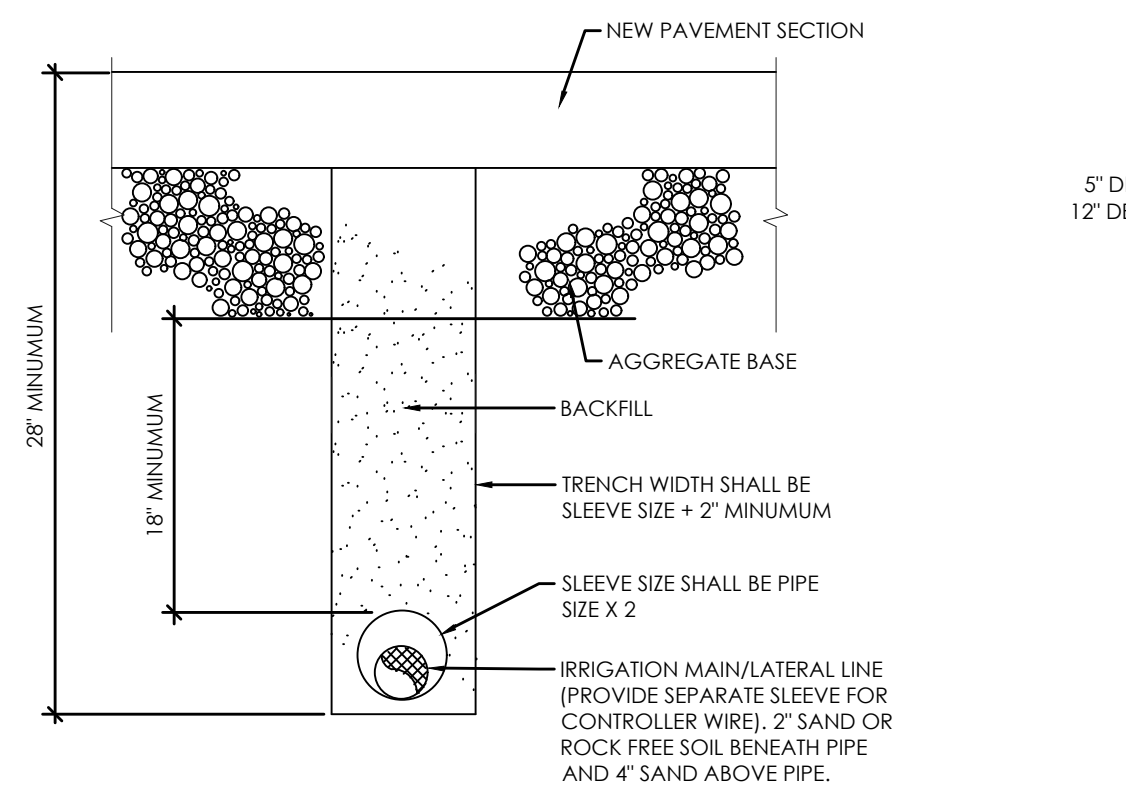
**G MANUAL DRAIN VALVE**  
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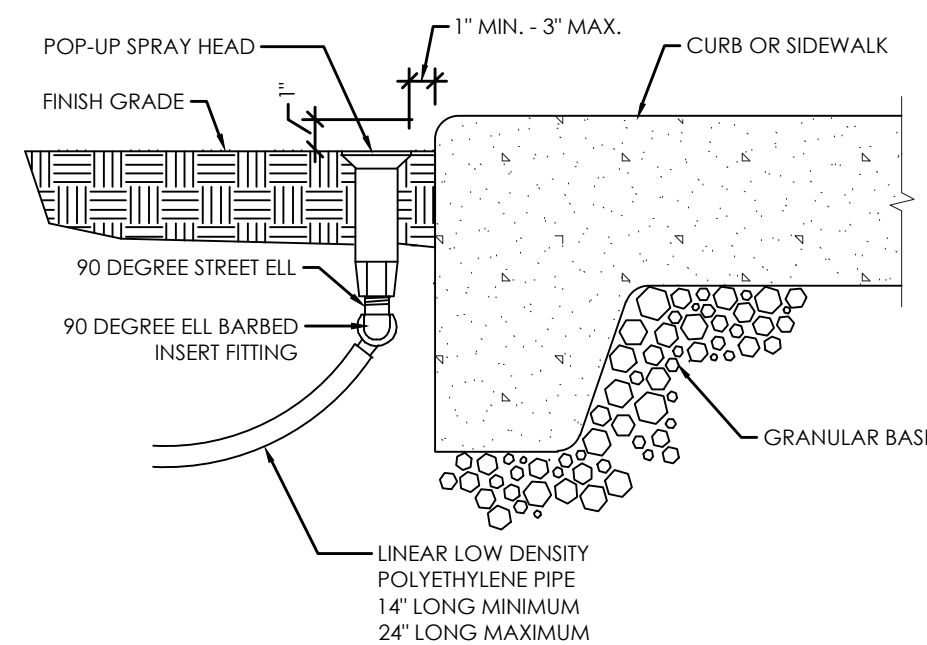
**J CONTROL ZONE KIT**  
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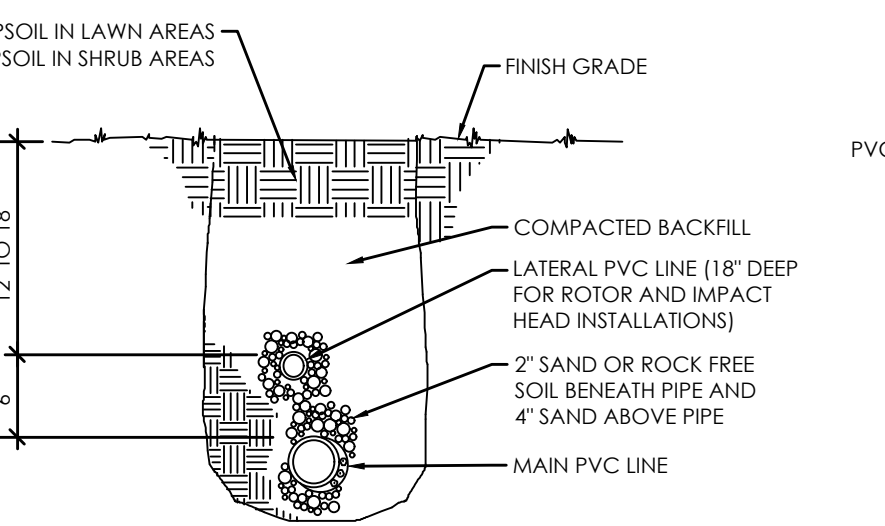
**B STOP & WASTE VALVE DETAIL**  
NOT TO SCALE



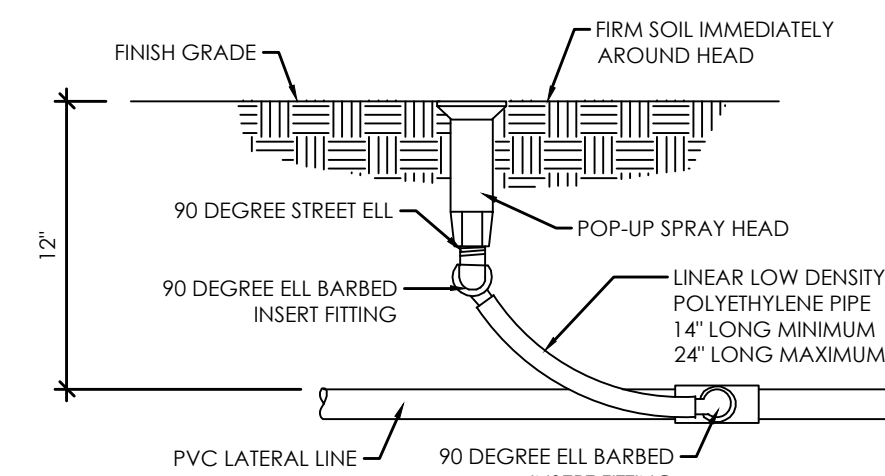
**D PIPE TRENCH DETAIL (NEW PAVEMENT AREAS)**  
NOT TO SCALE



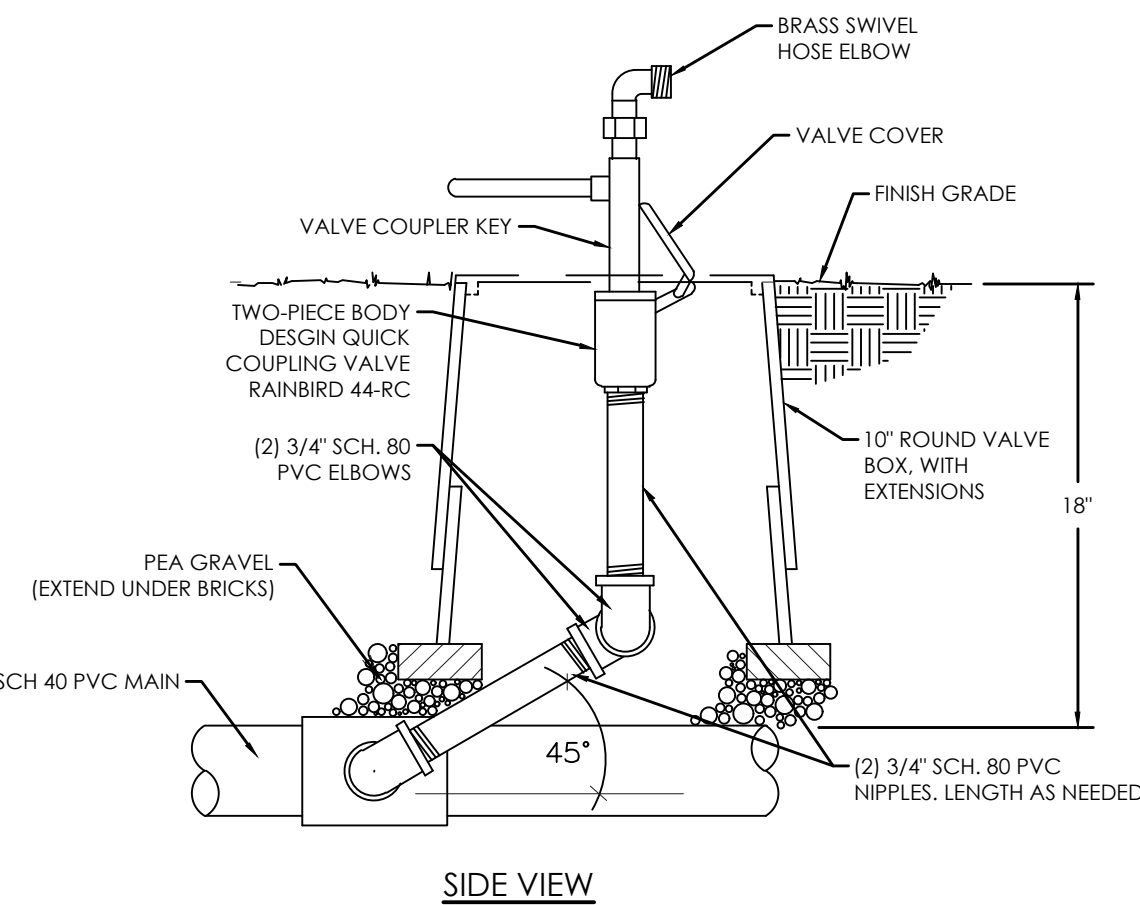
**H SPRAY HEAD NEXT TO CURB OR WALK**  
NOT TO SCALE



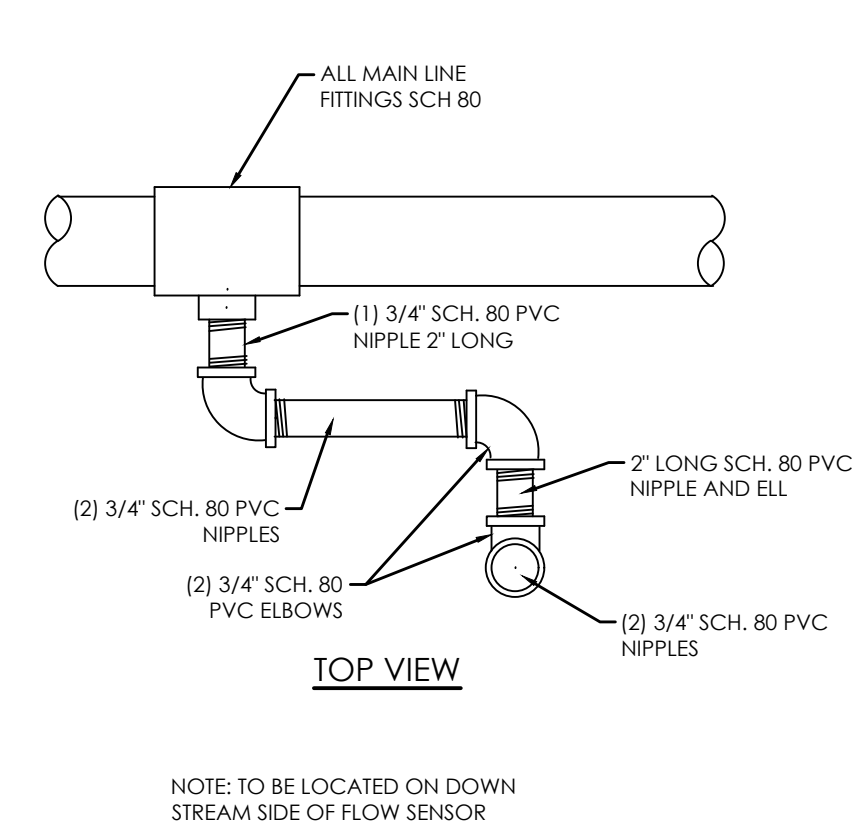
**E TRENCH SECTION**  
NOT TO SCALE



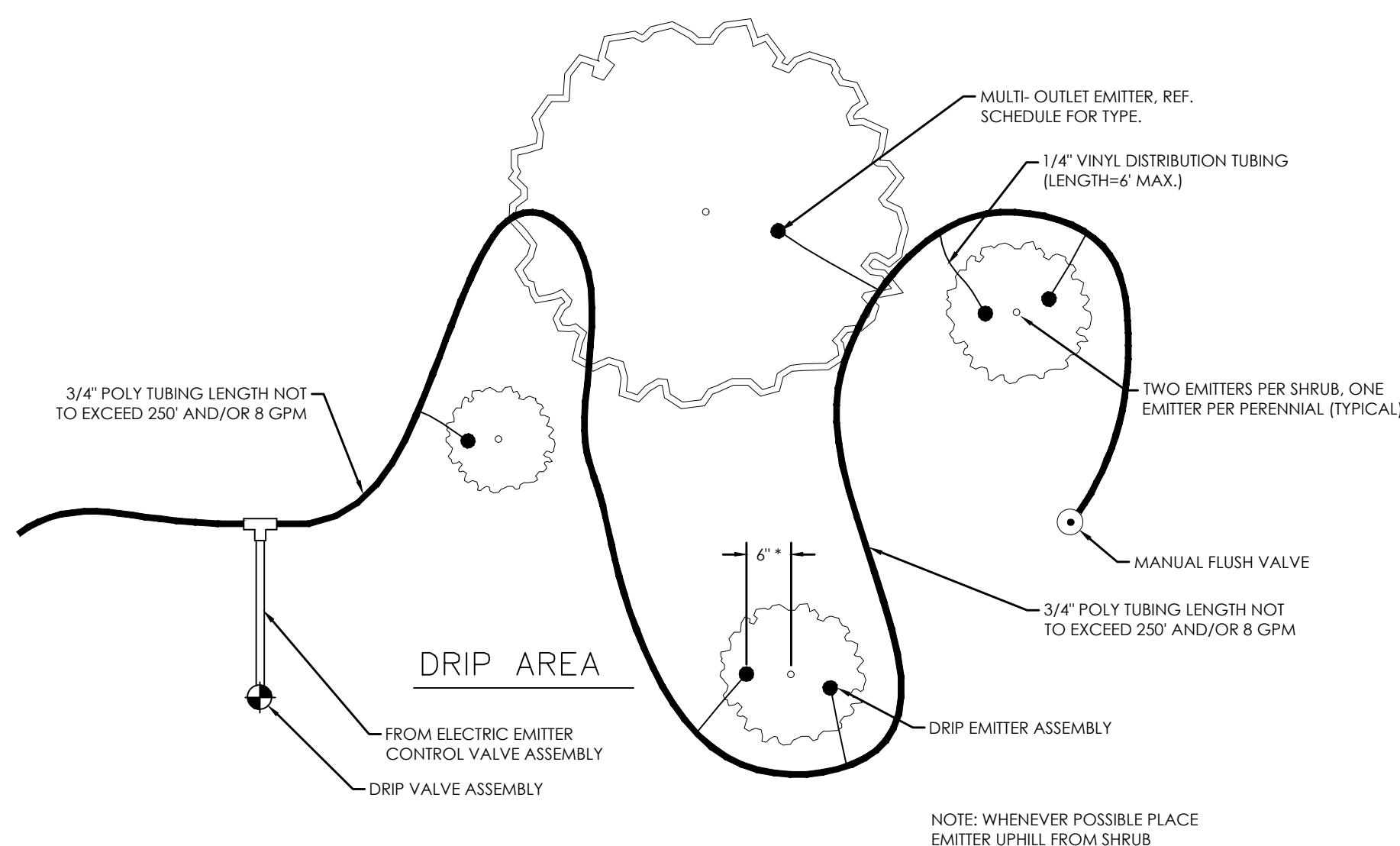
**I SPRAY HEAD ASSEMBLY**  
NOT TO SCALE



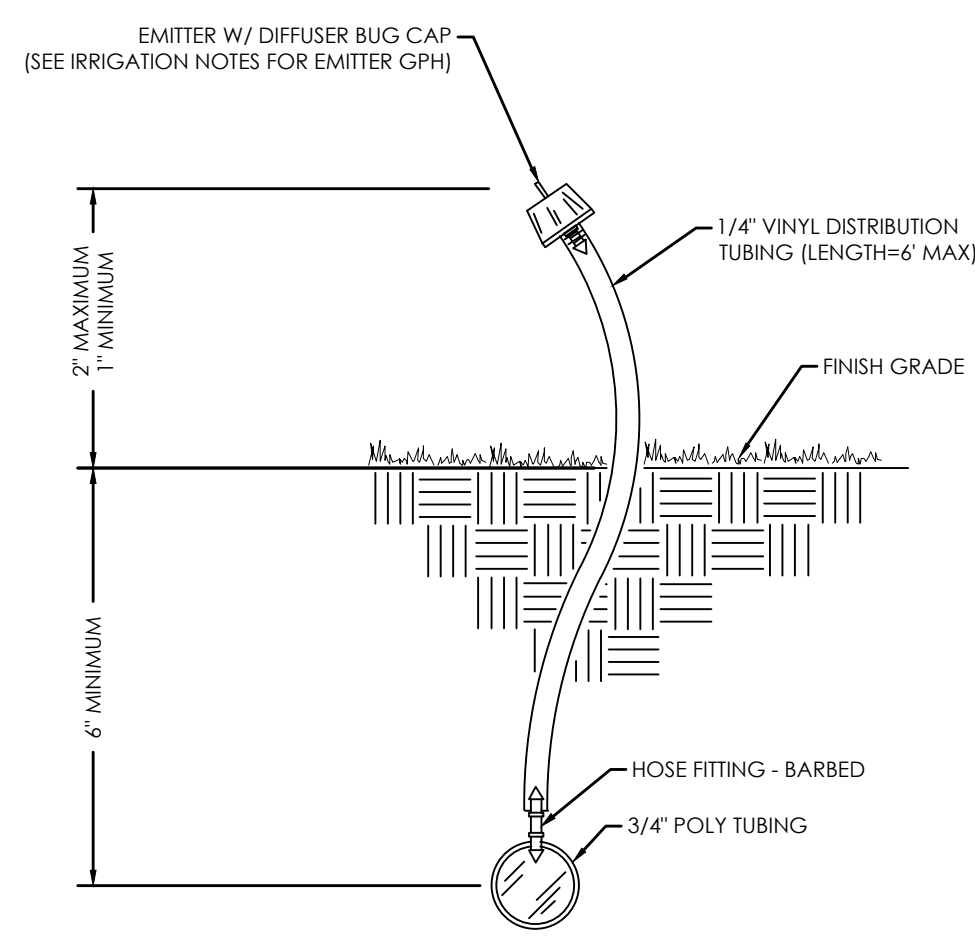
**C QUICK COUPLING VALVE**  
NOT TO SCALE



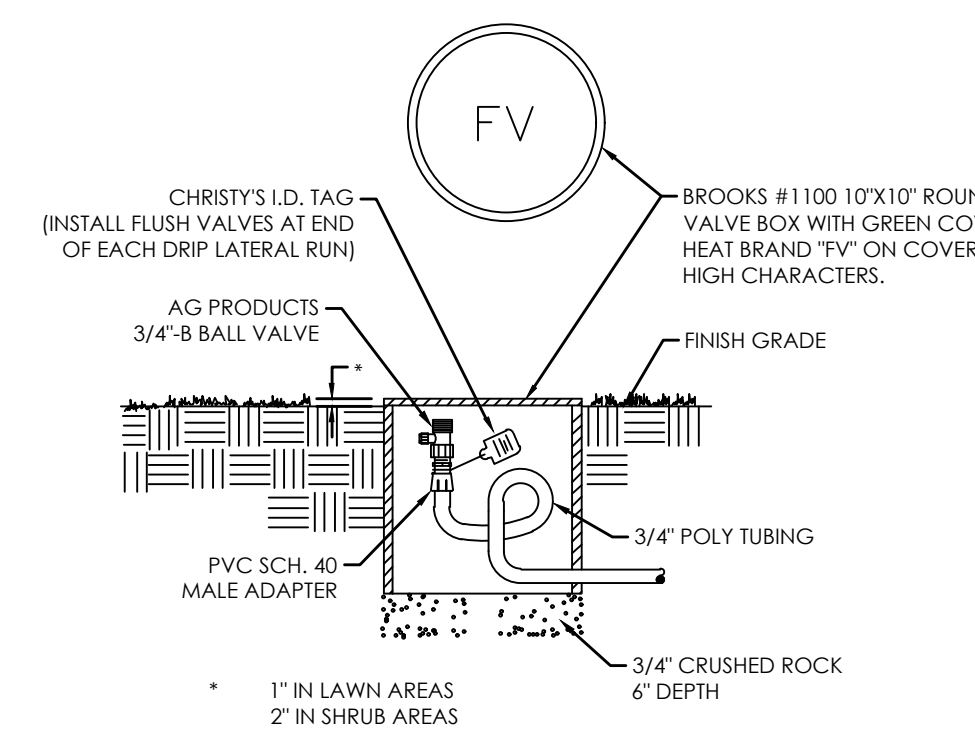
**F ELECTRONIC CONTROL VALVE**  
NOT TO SCALE



**K TYPICAL DRIP EMITTER LAYOUT**  
NOT TO SCALE



**L DRIP EMITTER ON VINYL TUBING RISER**  
NOT TO SCALE



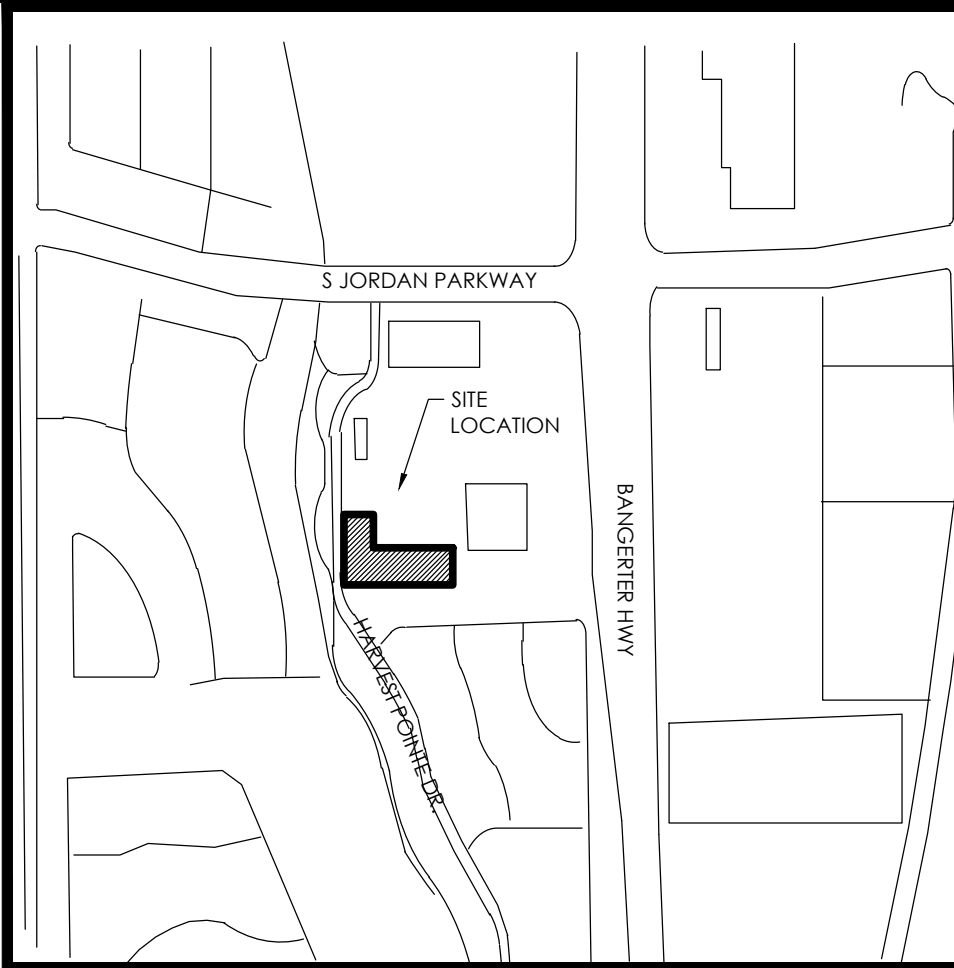
**M MANUAL FLUSH VALVE**  
NOT TO SCALE

REVISION BLOCK	DATE	DESCRIPTION
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IRRIGATION  
DETAILS

Scale:	Drawn: BW
Date: 01/18/2024	Job #: 22-0403
Sheet:	





VICINITY MAP  
NTS

LEGEND

- BOUNDARY  
SECTION LINE  
EASEMENT  
RIGHT-OF-WAY LINE  
CENTERLINE  
BUILDING SETBACK  
EXISTING PROPERTY LINE
- SECTION MONUMENT (FOUND)  
STREET MONUMENT (TO BE SET)  
BOUNDARY MARKERS  
PRIVATE AREA  
LIMITED COMMON  
COMMON AREA

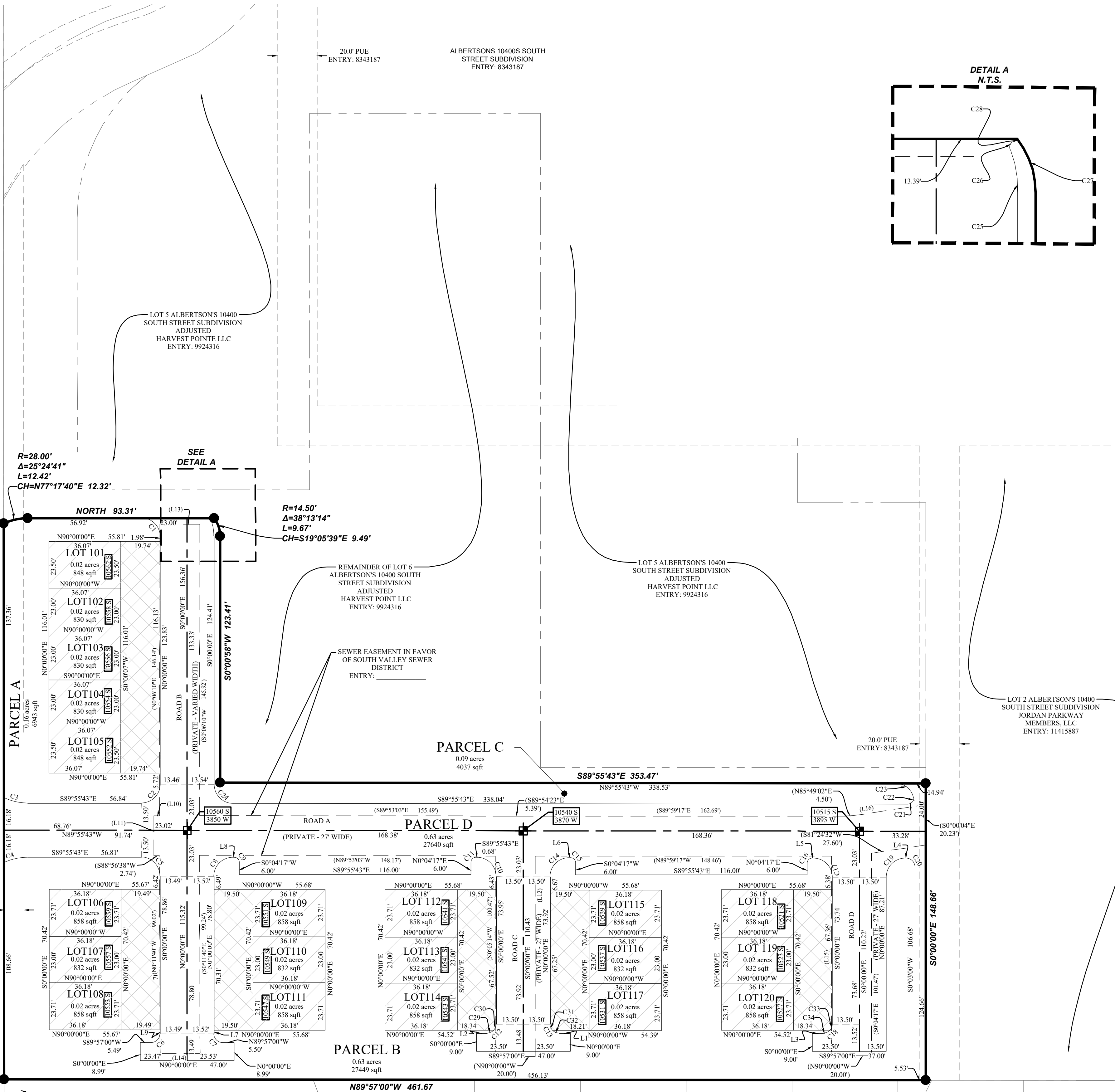
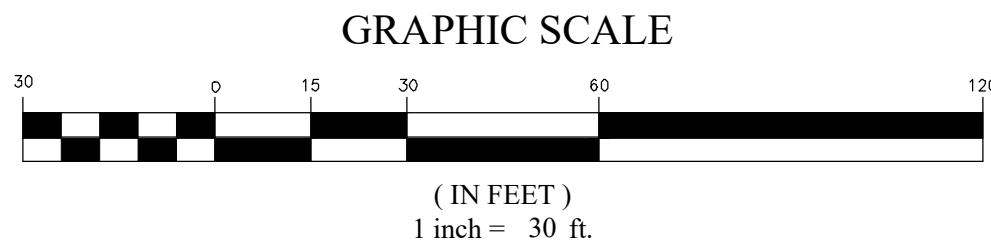
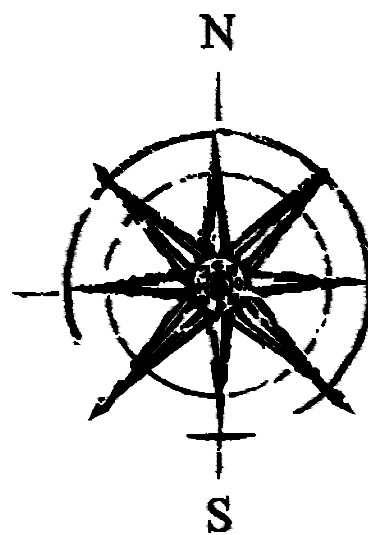
- NOTES:
1. #5 X 24" REBAR & CAP (FOCUS ENG) TO BE SET AT ALL REAR LOT CORNERS, NAILS OR PLUGS TO BE SET IN TOP BACK OF CURB AT EXTENSION OF SIDE LOT LINES, IN LIEU OF REBAR AND CAPS AT FRONT LOT CORNERS.
  2. PARCELS A, B, AND C ARE HEREBY DEDICATED AS COMMON AREA AND TO BE MAINTAINED BY THE HARVEST POINTE TOWNHOMES OWNERS ASSOCIATION, A UTAH NONPROFIT CORPORATION, WITH A REGISTERED ADDRESS OF 225 S 200 E #200, SALT LAKE CITY, UTAH.
  3. ALL COMMON AREAS, LIMITED COMMON AREAS AND PRIVATE ROADS ARE TO SERVE AS A PUBLIC UTILITY AND DRAINAGE EASEMENTS.
  4. ALL UNITS BUILDING WALLS ARE PARALLEL WITH, PERPENDICULAR TO, OR AT 45° ANGLE TO REFERENCE BEARING SHOWN ON BUILDING.
  5. OWNERS AND POTENTIAL PURCHASERS OF PROPERTY LEGALLY DESCRIBED BY THIS PLAT (THE "PROPERTY") SHOULD FAMILIARIZE THEMSELVES WITH ALL NOTES, LOT INFORMATION, EASEMENTS, AND OTHER PERTINENT INFORMATION CONTAINED WITH THIS PLAT AND ALSO WITH ANY CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&RS) DOCUMENTS THAT MAY BE RECORDED AGAINST THE PROPERTY. OWNERS AND POTENTIAL PURCHASERS OF THE PROPERTY MUST COMPLY WITH ALL NOTES, EASEMENTS, CC&RS, AND OTHER RECORDED DOCUMENTS RELATED TO HIS PLAT, TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER RECORDED DOCUMENTS RELATED TO THIS PLAT, AS CURRENTLY EXISTING OR AS MAY FROM TIME TO TIME BE CHANGED AND/OR AMENDED, FAILURE TO ADHERE TO THE NOTES, LOT INFORMATION, EASEMENTS, CC&RS, OR OTHER DOCUMENTS RECORDED AGAINST THE PROPERTY COULD RESULT IN FINANCIAL LOSS OR CHANGES IN EXPECTED PROPERTY USE.
  6. MANY AREAS IN THE CITY OF SOUTH JORDAN HAVE GROUNDWATER PROBLEMS DUE TO A HIGH OR FLUCTUATING WATER TABLE. CITY APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT BUILDING AT ANY SPECIFIED ELEVATION WILL SOLVE GROUNDWATER PROBLEMS, IF ANY.
  7. APPROVAL OF THIS PLAT BY SOUTH JORDAN CITY DOES NOT MEAN THAT INDIVIDUAL LOT DRAINAGE TO A ROAD OR RETENTION FACILITY IS ASSURED. DEVELOPMENT AND GRADING MAY NECESSITATE SWALES AND OTHER DRAINAGE FACILITIES TO PROTECT INDIVIDUAL PROPERTIES. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE REPRESENTATION BY THE CITY THAT SWALES AND OTHER DRAINAGE FACILITIES ARE APPROPRIATE AND MAINTAINED NOR THAT DRAINAGE FROM ADJACENT PROPERTIES IS PREVENTED.
  8. THE OWNER CERTIFIES THAT THE TITLE REPORT DATED \_\_\_\_\_, WHICH WAS PREPARED BY \_\_\_\_\_, WAS PROVIDED TO OWNER'S SURVEYOR AND THAT THE PLAT SHOWS ALL EASEMENTS AND ENCUMBRANCES LISTED IN SAID TITLE REPORT.
  9. THIS PLAT IS SUBJECT TO THAT CERTAIN DEVELOPMENT AGREEMENT DATED JANUARY 30, 2023, BY AND BETWEEN THE CITY OF SOUTH JORDAN AND HARVEST POINTE LLC, INCLUDING ALL PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS, LIENS OR RIGHTS, IF ANY, CREATED THEREIN AND RECORDED ON JANUARY 30, 2023 AS ENTRY NO. 14067211, IN BOOK 11398, AT PAGE 2762 OF THE OFFICIAL RECORDS OF SALT LAKE COUNTY.
  10. THE FINISH FLOOR ELEVATION ON EACH LOT WILL NOT EXCEED 4' ABOVE THE TOP BACK OF CURVE ELEVATION ACROSS THE FRONTAGE OF THE LOT.
  11. PARCEL D IS TO BE A REMNANT PARCEL OF PARCEL NO. 27-176-031 AND TO REMAIN WITH THE ALBERTSON'S 10400 SOUTH STREET SUBDIVISION
  12. PARCEL E CONVEYED AS PRIVATE RIGHT-OF-WAY TO BE OWNED AND MAINTAINED BY THE HOA.

# HARVEST POINTE WEST TOWNHOMES

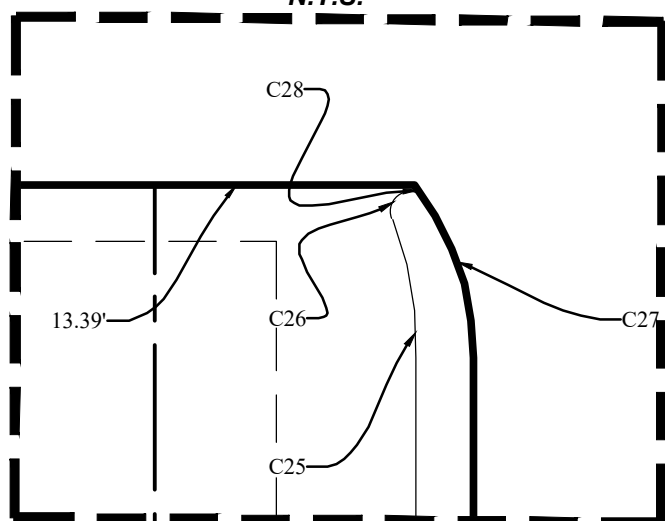
## AMENDMENT PLAT

VACATING AND AMENDING PART OF ADJUSTED LOT 6 OF ALBERTSON'S 10400 SOUTH STREET SUBDIVISION

LOCATED IN THE NW 1/4 OF SECTION 17, T3S, R1W,  
SALT LAKE BASE & MERIDIAN  
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH



DETAIL A  
N.T.S.

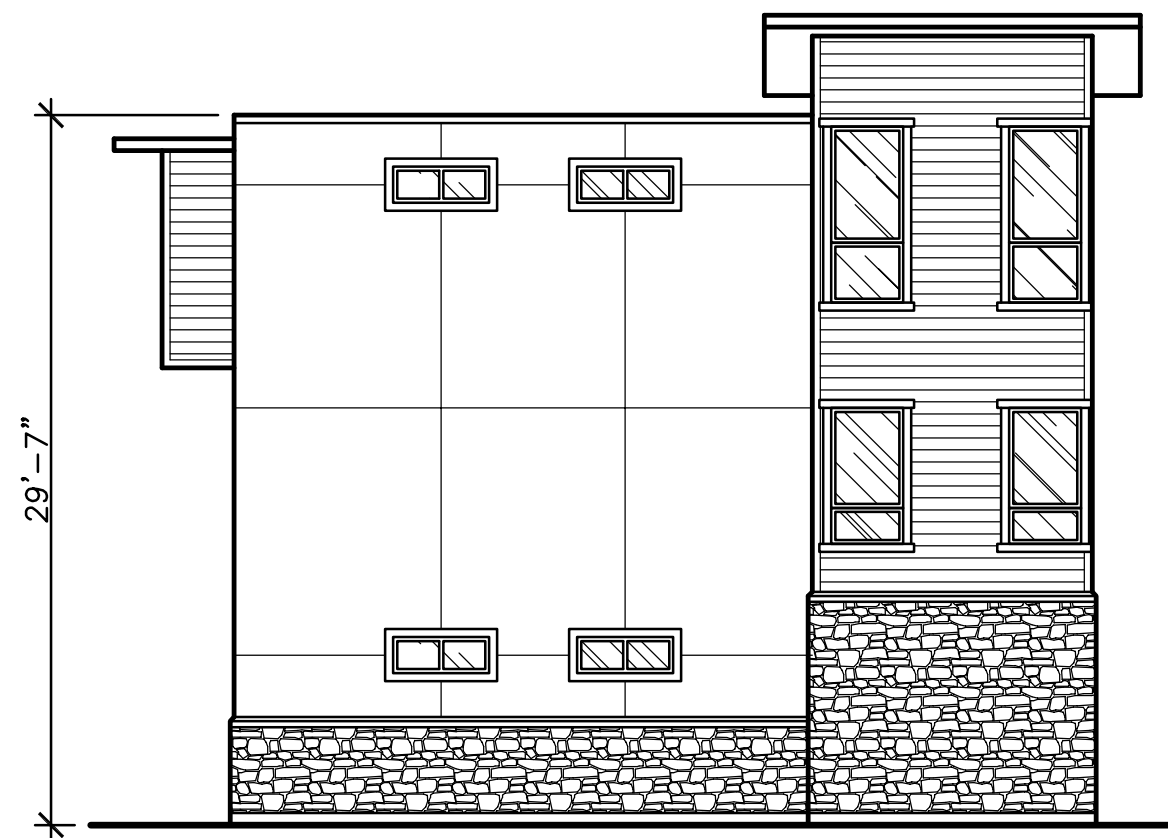


Curve Table					
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	9.50	89°48'14"	14.89	N44°53'08"W	13.41
C2	9.50	90°03'50"	14.93	N45°02'31"E	13.44
C3	28.00	25°15'26"	12.34	S77°18'00"E	12.24
C4	28.00	25°16'43"	12.35	N77°25'56"E	12.25
C5	9.50	89°47'00"	14.89	S44°54'13"E	13.41
C6	4.50	89°56'01"	7.06	S44°59'00"W	6.36
C7	4.50	89°57'00"	7.06	N44°58'30"W	6.36
C8	9.50	90°04'17"	14.93	N45°02'09"E	13.44
C9	2.50	90°00'00"	3.93	S44°55'43"E	3.54
C10	9.50	89°55'43"	14.91	S44°57'51"E	13.43
C11	2.50	90°00'00"	3.93	N45°04'17"E	3.54
C12	4.50	90°03'00"	7.07	S45°01'30"W	6.37
C13	4.50	89°57'00"	7.06	N44°58'30"W	6.36
C14	9.50	90°04'17"	14.93	N45°02'09"E	13.44
C15	2.50	90°00'00"	3.93	S44°55'43"E	3.54
C16	2.50	90°00'00"	3.93	N45°04'17"E	3.54
C17	9.50	89°55'43"	14.91	S44°57'51"E	13.43
C18	4.50	90°03'00"	7.07	S45°01'30"W	6.37
C19	9.50	90°04'17"	14.93	N45°02'09"E	13.44
C20	4.50	89°55'43"	7.06	S44°57'51"E	6.36
C21	3.50	47°07'51"	2.88	N59°54'14"E	2.80
C22	2.50	48°26'28"	2.11	N12°59'22"E	2.05
C23	9.00	78°21'49"	12.31	N51°19'55"W	11.37
C24	9.50	89°56'10"	14.91	S44°57'29"E	13.43
C25	18.20	23°04'19"	7.33	S09°27'39"E	7.28
C26	1.00	166°58'00"	2.91	S62°35'43"W	1.99
C27	14.50	33°56'15"	8.59	N16°57'10"W	8.46
C28	14.50	4°16'59"	1.08	N36°03'47"W	1.08
C29	4.50	47°15'38"	3.71	S66°25'11"W	3.61
C30	4.50	42°47'22"	3.36	S21°23'41"W	3.28
C31	4.50	43°56'23"	3.45	N21°58'12"E	3.37
C32	4.50	46°00'37"	3.61	N66°56'42"W	3.52
C33	4.50	41°31'44"	3.26	N20°48'52"E	3.19
C34	4.50	48°31'16"	3.81	N65°47'22"E	3.70

Line Table		
LINE	DIRECTION	LENGTH
L1	N89°57'00"W	5.50
L2	N89°57'00"W	5.50
L3	N89°57'00"W	5.50
L4	S89°55'43"E	0.33
L5	S89°55'43"E	0.68
L6	S89°55'43"E	0.68
L7	N00°00'00"E	2.00
L8	S89°55'43"E	0.68
L9	S00°00'00"E	2.02

Easement Table		
LINE	DIRECTION	LENGTH
(L10)	N88°56'38"E	2.72
(L11)	N00°00'00"E	20.00
(L12)	S00°05'14"E	100.45
(L13)	N90°00'00"E	20.00
(L14)	N90°00'00"W	20.00
(L15)	N00°04'17"W	100.08
(L16)	N81°24'32"E	36.28

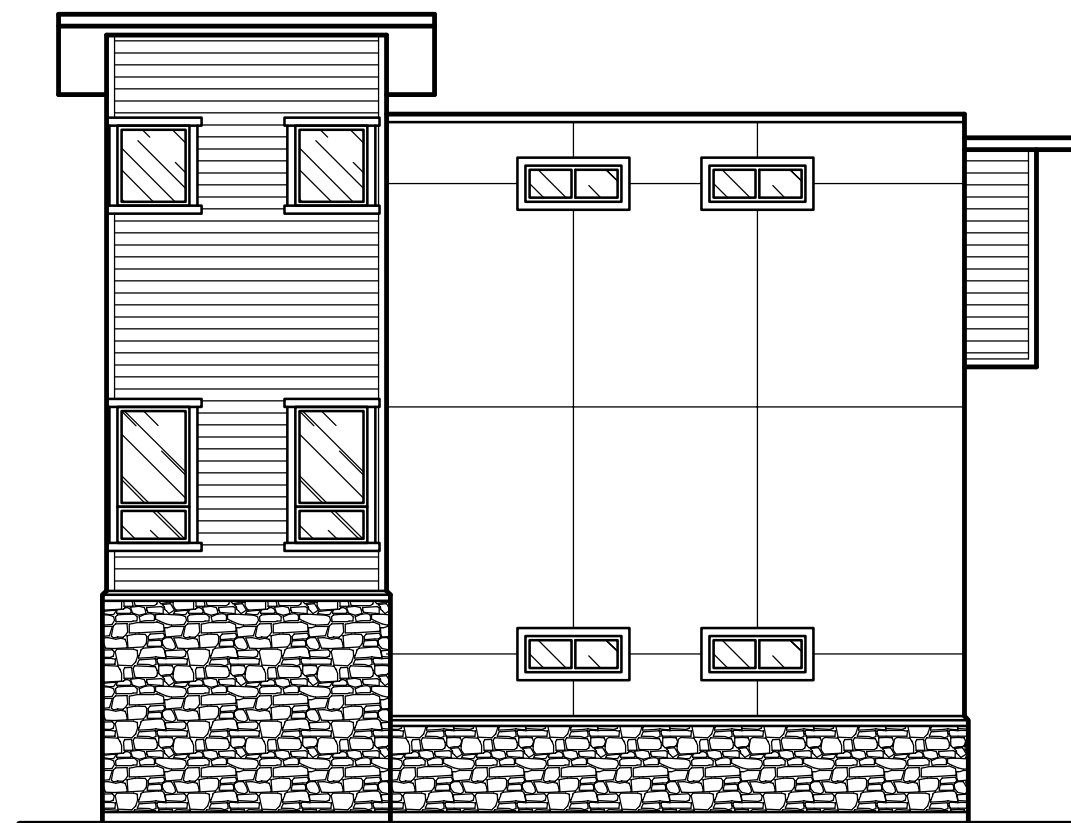




SIDE ELEVATION



FRONT ELEVATION



SIDE ELEVATION

AT RESIDENCES



REAR ELEVATION