

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 05/28/24

Issue: DOMINION ENERGY FAIL SAFE VALVE SITE PLAN

Address: 9804 S. Temple Drive

File No: PLSPR202300143

Applicant: Kevin Mulvey (Mulvey Land Services)
Alex Howard (Dominion)

Submitted by: Andrew McDonald, Planner I
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application (file# PLSPR202300143) based on the findings of fact listed in this report and presented by City staff.

ACREAGE:	Approximately 0.62 (acres)
CURRENT ZONE:	R-2.5 (Single-Family Residential) & A-5 (Agricultural)
NEIGHBORING ZONES:	North – R-2.5 (Residential) & A-5 South – R-2.5 & A-5 West – R-2.5 & R-3 East – R-1.8

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of titles 16 & 17 of the City Code, and other city requirements, shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND:

The subject property is long and narrow. It currently is within both the R-2.5 and A-5 Zones; and is not within a recorded subdivision. Typically, properties are not permitted to cross between zoning designations. Since the property is not part of a recorded subdivisions, it is possible that a consolidation document was recorded at the county, unknown to the City. The proposed site plan for the valve site will be in the area zoned A-5. A current zoning map and site plan is provided in this report.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The application meets the standards of review.
- There will be no new lighting features.
- A solid, masonry fence will enclose the facility, and screen it from public view.
- The facility will be setback from the Right-of-Way about 11-feet, and landscaped with water wise plantings. Landscaping plans are provided in the supporting materials.
- City Code §17.18.040.F requires public notice be provided to properties within an additional 300-feet of the typical 300-feet notice requirement. See supporting materials.
- The subject property has some private utility easements. The owners of these easements consent to the work being proposed (See Supporting Materials).

Conclusion:

- The proposed application meets the City Code requirements and is consistent with the General Plan.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the proposed Application.
- Schedule the Application for a decision at some future date.

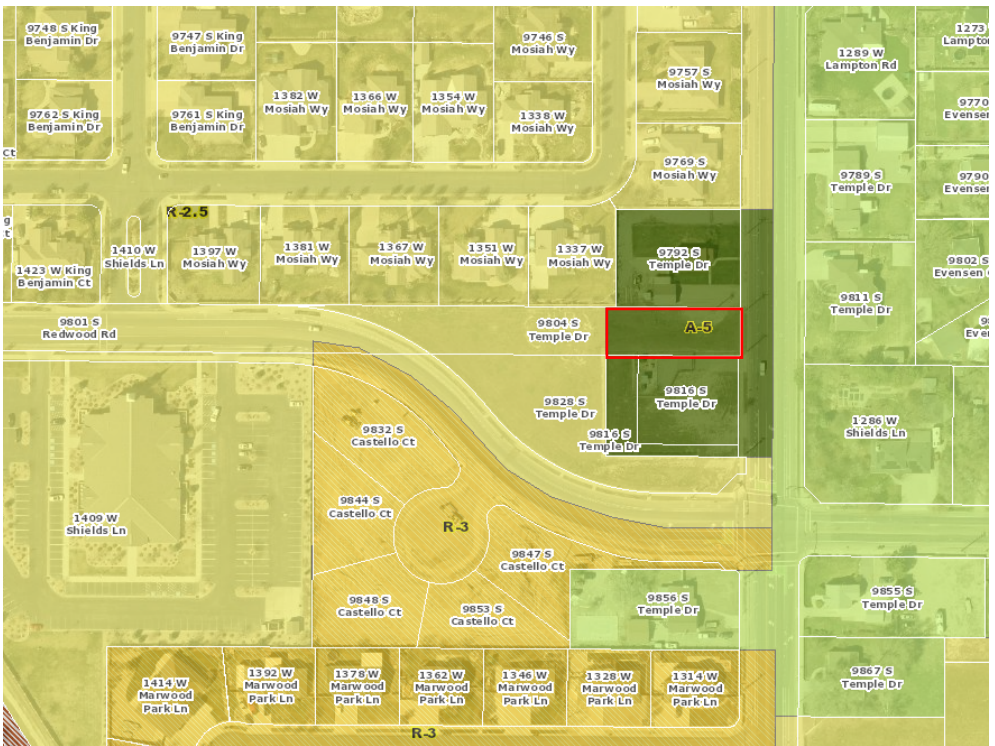
SUPPORT MATERIALS:

- Location & Current Zoning Map
- Approved Site Plan
- Approved Grading Plan
- Approved Civil Details
- Approved Landscaping Plans
- Additional Notice Requirements
- Public Mailing Notice
- Utility Easement Releases



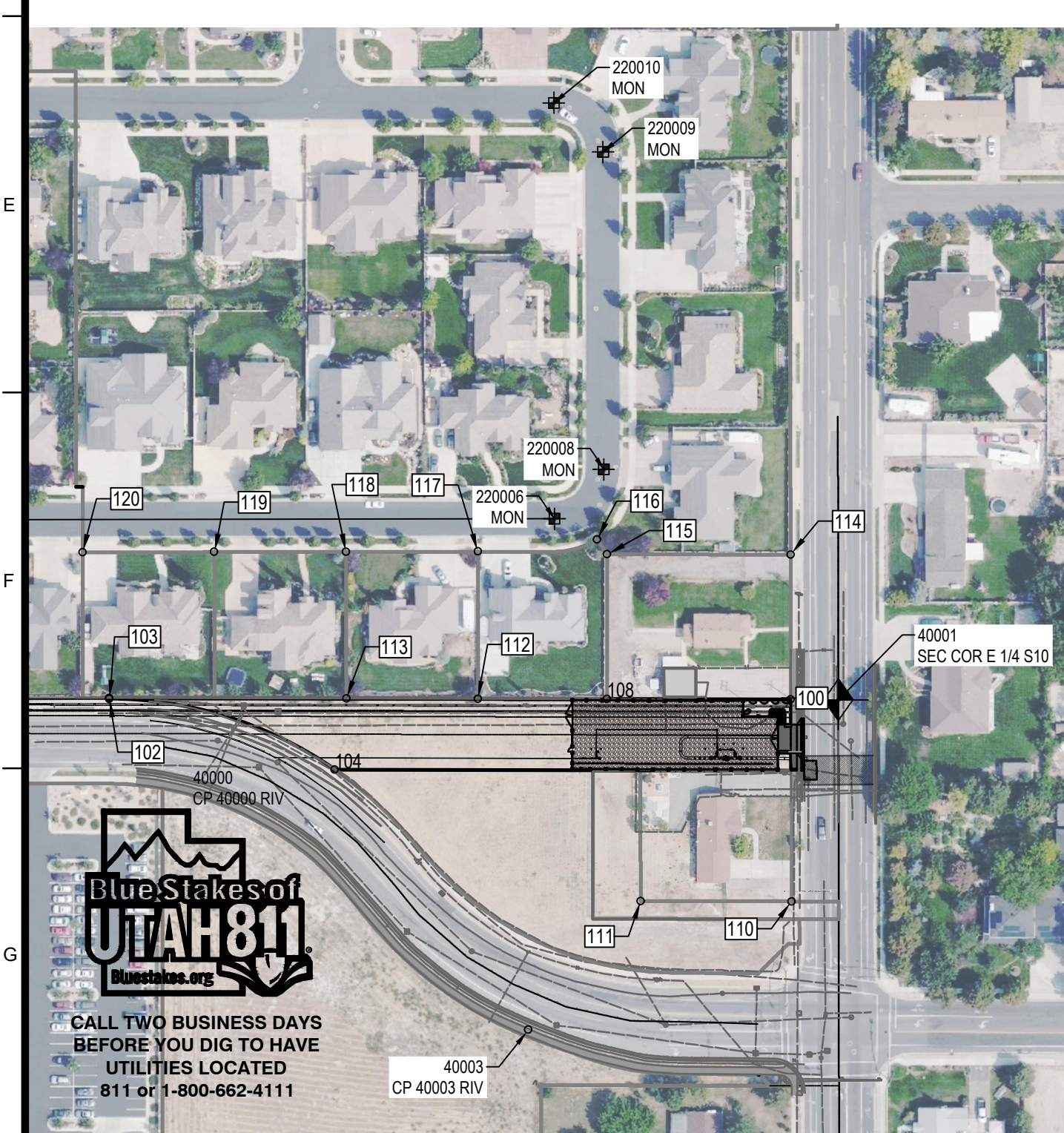
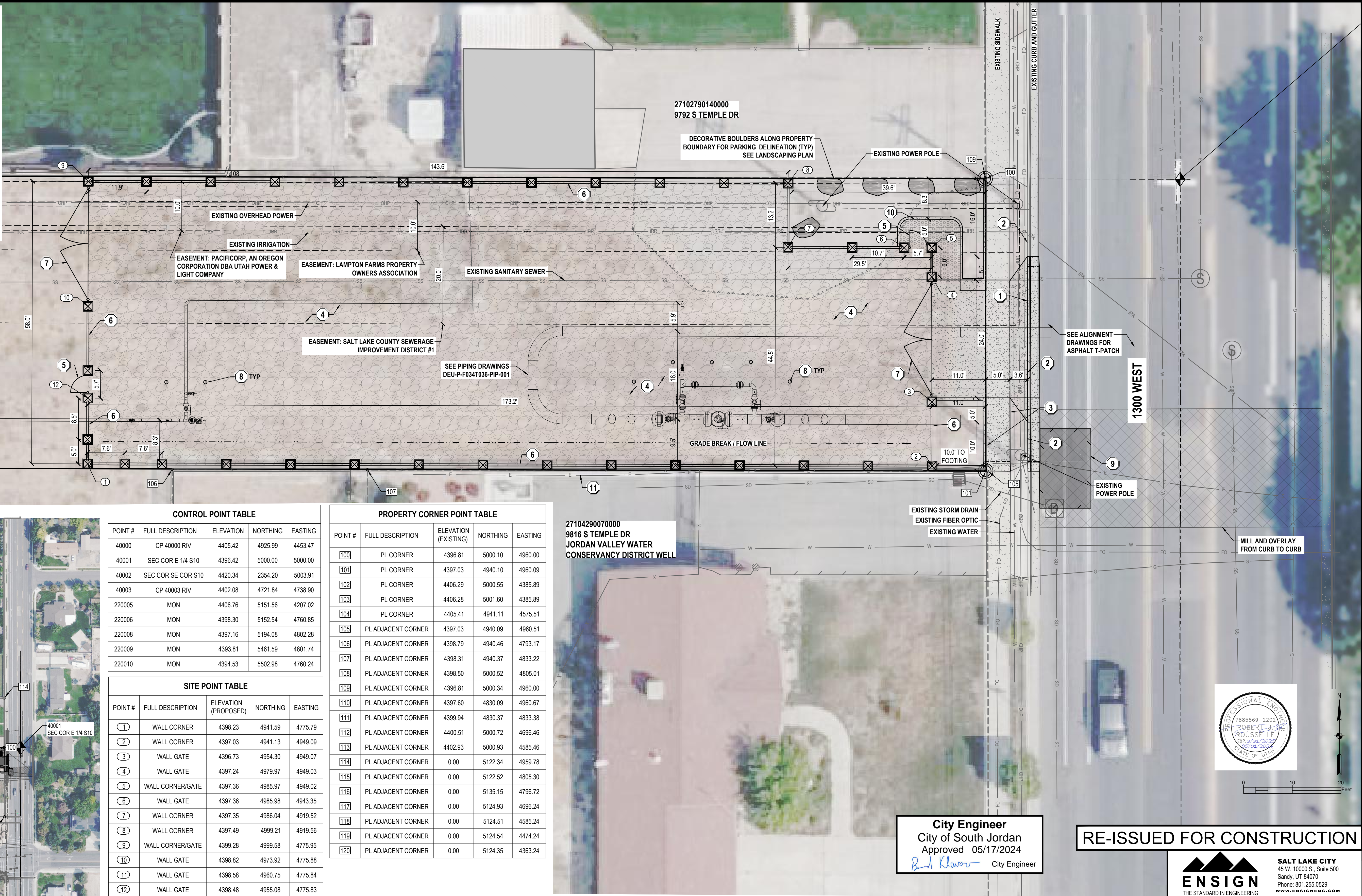
Andrew McDonald, AICP Candidate
Planner I, Planning Department

Location and Current Zoning Map



Source: City of South Jordan Online Public GIS map

- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- SAW-CUT DRIVEWAY APPROACH AND TYPE A FLARE DRIVEWAY APPROACH PER APWA PLAN 222 AND 221.1 AND SPECIFICATIONS (WITH SOUTH JORDAN CITY SUPPLEMENTS TO APWA).
 - CONCRETE CURB AND GUTTER TYPE A PER APWA PLAN 205.1 AND SPECIFICATIONS (WITH SOUTH JORDAN CITY SUPPLEMENTS TO APWA).
 - CONCRETE SIDEWALK PER APWA PLAN 231 AND SPECIFICATIONS (WITH SOUTH JORDAN CITY SUPPLEMENTS TO APWA).
 - GRAVEL SECTION PER DETAIL 1 ON SHEET 06.
 - 4-FT MAN GATE PER DETAIL 4 ON SHEET 06.
 - INSTALL 8-FT PRE-CAST CONCRETE WALL AROUND PERIMETER OF SITE PER DETAIL 5 ON SHEET 06 AND ELEVATION ON SHEET 05.
 - 24-FT WIDE 8-FT TALL WROUGHT-IRON SWING GATE PER DETAIL 3 ON SHEET 06.
 - BOLLARD PER DETAIL 6 ON SHEET 06. FIELD LOCATED.
 - ASPHALT T-PATCH PER DETAIL 2 ON SHEET 07. FOLLOW ASPHALT T-PATCH REQUIREMENTS OF PIPELINE PROJECT TO THE NORTH.
 - LANDSCAPING WALKWAY, SECTION PER DETAIL 1 ON SHEET 06.
 - LOCATE UNDERGROUND ELECTRICAL, IDENTIFY OWNER AND COORDINATE DE-CONFLUCTION WITH WALL INSTALLATION.



CONTROL POINT TABLE				
POINT #	FULL DESCRIPTION	ELEVATION	NORTHING	EASTING
40000	CP 40000 RIV	4405.42	4925.99	4453.47
40001	SEC COR E 1/4 S10	4396.42	5000.00	5000.00
40002	SEC COR SE COR S10	4420.34	2354.20	5003.91
40003	CP 40003 RIV	4402.08	4721.84	4738.90
220005	MON	4406.76	5151.56	4207.02
220006	MON	4398.30	5152.54	4760.85
220008	MON	4397.16	5194.08	4802.28
220009	MON	4393.81	5461.59	4801.74
220010	MON	4394.53	5502.98	4760.24

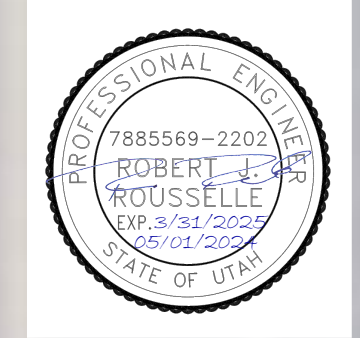
SITE POINT TABLE				
POINT #	FULL DESCRIPTION	ELEVATION (PROPOSED)	NORTHING	EASTING
①	WALL CORNER	4398.23	4941.59	4775.79
②	WALL CORNER	4397.03	4941.13	4949.09
③	WALL GATE	4396.73	4954.30	4949.07
④	WALL GATE	4397.24	4979.97	4949.03
⑤	WALL CORNER/GATE	4397.36	4985.97	4949.02
⑥	WALL GATE	4397.36	4985.98	4943.35
⑦	WALL CORNER	4397.35	4986.04	4919.52
⑧	WALL CORNER	4397.49	4999.21	4919.56
⑨	WALL CORNER/GATE	4399.28	4999.58	4775.95
⑩	WALL GATE	4398.82	4973.92	4775.88
⑪	WALL GATE	4398.58	4960.75	4775.84
⑫	WALL GATE	4398.48	4955.08	4775.83

PROPERTY CORNER POINT TABLE				
POINT #	FULL DESCRIPTION	ELEVATION (EXISTING)	NORTHING	EASTING
100	PL CORNER	4396.81	5000.10	4960.00
101	PL CORNER	4397.03	4940.10	4960.09
102	PL CORNER	4406.29	5000.55	4385.89
103	PL CORNER	4406.28	5001.60	4385.89
104	PL CORNER	4405.41	4941.11	4575.51
105	PL ADJACENT CORNER	4397.03	4940.09	4960.51
106	PL ADJACENT CORNER	4398.79	4940.46	4793.17
107	PL ADJACENT CORNER	4398.31	4940.37	4833.22
108	PL ADJACENT CORNER	4398.50	5000.52	4805.01
109	PL ADJACENT CORNER	4396.81	5000.34	4960.00
110	PL ADJACENT CORNER	4397.60	4830.09	4960.67
111	PL ADJACENT CORNER	4399.94	4830.37	4833.38
112	PL ADJACENT CORNER	4400.51	5000.72	4696.46
113	PL ADJACENT CORNER	4402.93	5000.93	4585.46
114	PL ADJACENT CORNER	0.00	5122.34	4959.78
115	PL ADJACENT CORNER	0.00	5122.52	4805.30
116	PL ADJACENT CORNER	0.00	5135.15	4796.72
117	PL ADJACENT CORNER	0.00	5124.93	4696.24
118	PL ADJACENT CORNER	0.00	5124.51	4585.24
119	PL ADJACENT CORNER	0.00	5124.54	4474.24
120	PL ADJACENT CORNER	0.00	5124.35	4363.24

27104290070000
9816 S TEMPLE DR
JORDAN VALLEY WATER
CONSERVANCY DISTRICT WELL

City Engineer
City of South Jordan
Approved 05/17/2024
B. J. Klawns City Engineer

RE-ISSUED FOR CONSTRUCTION




REFERENCE DRAWINGS		
DRAWING NUMBER	REV	DRAWING DESCRIPTION
DEU-P-F034T036-PIP-001	0	FABRICATION DRAWINGS

WORK ORDERS	
WO NUMBER	DESCRIPTION
82850.23	FL-34 REPLACEMENT, PHASE 1B, HEADING NORTH
90323.23	FL34 REPLACEMENT, PHASE 1B, HEADING SOUTH

REVISIONS			
NO	DESCRIPTION	DATE	BY
0	ISSUED FOR CONSTRUCTION	08-07-2023	ENSGN
1	REISSUED FOR CONSTRUCTION	08-23-2023	ENSGN
2	REISSUED FOR CONSTRUCTION, CUP COMMENTS	12-22-2023	ENSGN
3	REISSUED FOR CONSTRUCTION, CITY COMMENTS	05-01-2024	ENSGN

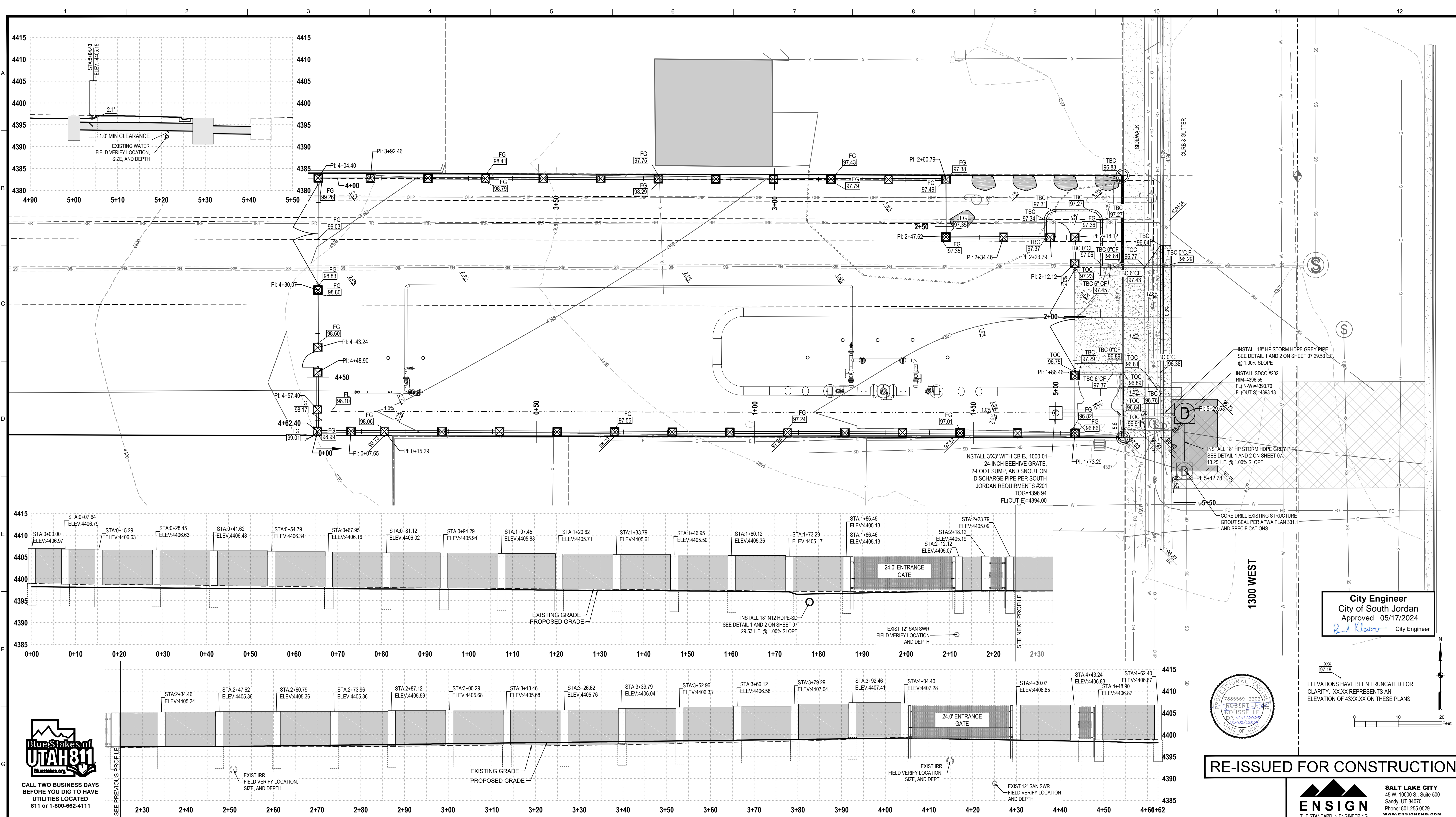
ENGINEERING RECORD			
DRAWN BY:	ENSGN	CHECKED BY:	E. BUSH
PROJECT ENGR:	J. GARDNER	SURVEYOR:	ENSGN
ENGR MNGR:	Q. EVANS	CONSTR MNGR:	D. FRANCIS




Dominion Energy
DOMINION ENERGY UTAH

SECTION: 10 TT3S RR1W
ELEVATION: 4393
LAT: 40.5730 LONG: -111.9296
SCALE: 1"=10'

LINE NUMBER:	FL- 34 & 36		
FACILITY:	FL-34 BLOCK VALVE AND FL-36 TAP		
TITLE:	CIVIL SITE DRAWINGS		
DESCRIPTION:	SITE PLAN		
ADDRESS:	9800 SOUTH 1300 WEST		
CITY SOUTH JORDAN	COUNTY SALT LAKE	STATE UTAH	
DRAWING NUMBER		SHEET	REVISION
DEU-P-F034T036-CCS-001		04 OF 11	3



REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD			
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: ENSIGN		
DEU-P-F034T036-PIP-001	0	FABRICATION DRAWINGS	82850.23	FL-34 REPLACEMENT, PHASE 1B, HEADING NORTH	0	ISSUED FOR CONSTRUCTION	08-07-2023	ENSIGN	EB	CHECKED BY: E. BUSH		
			90323.23	FL34 REPLACEMENT, PHASE 1B, HEADING SOUTH	1	REISSUED FOR CONSTRUCTION	08-23-2023	ENSIGN	EB	PROJECT ENGR: J GARDNER		
					2	REISSUED FOR CONSTRUCTION, CUP COMMENTS	12-22-2023	ENSIGN	EB	SURVEYOR: ENSIGN		
					3	REISSUED FOR CONSTRUCTION, CITY COMMENTS	05-01-2024	ENSIGN	EB	ENGR MNGR: Q. EVANS		
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.										CONSTR MNGR: D FRANCIS		
										SECTION: 10 TT3S RR1W		
										ELEVATION: 4393		
										LAT: 40.5730 LONG: -111.9296		
										SCALE: H 1"=10'; V 1"=10'		
										CITY SOUTH JORDAN COUNTY SALT LAKE STATE UTAH		
										DRAWING NUMBER DEU-P-F034T036-CCS-001		
										SHEET 05 OF 11		
										REVISION 3		



DOMINION ENERGY UTAH

LINE NUMBER: FL- 34 & 36

FACILITY: FL-34 BLOCK VALVE AND FL-36 TAP

TITLE: CIVIL SITE DRAWINGS

DESCRIPTION: GRADING PLAN

ADDRESS: 9800 SOUTH 1300 WEST

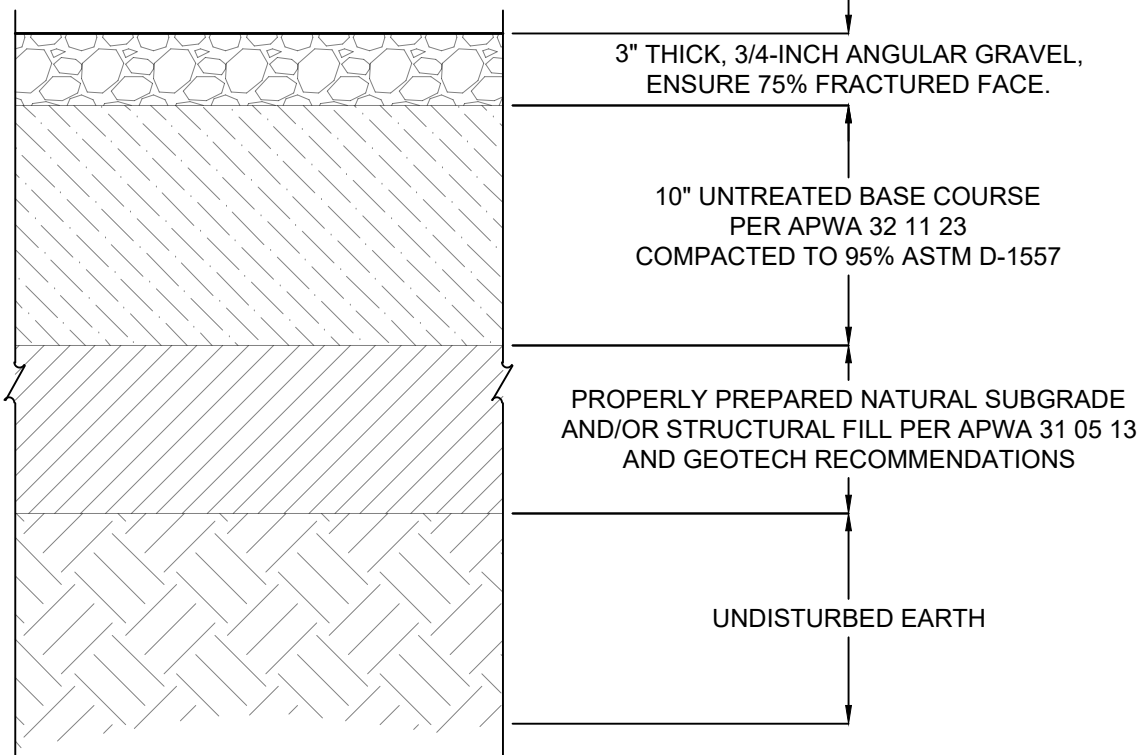
City Engineer
City of South Jordan
Approved 05/17/2024
[Signature] City Engineer

PROFESSIONAL ENGINEER
ROBERT J. ROUSSELLE
EXPIRATION DATE: 06/01/2025
STATE OF UTAH

RE-ISSUED FOR CONSTRUCTION

ENSIGN
THE STANDARD IN ENGINEERING

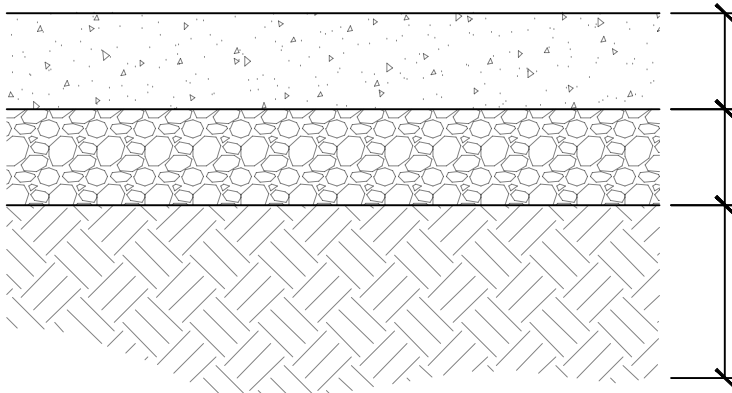
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
www.ensigneng.com



GRAVEL DRIVE SECTION 1
SCALE: 1 1/2" = 1'-0"

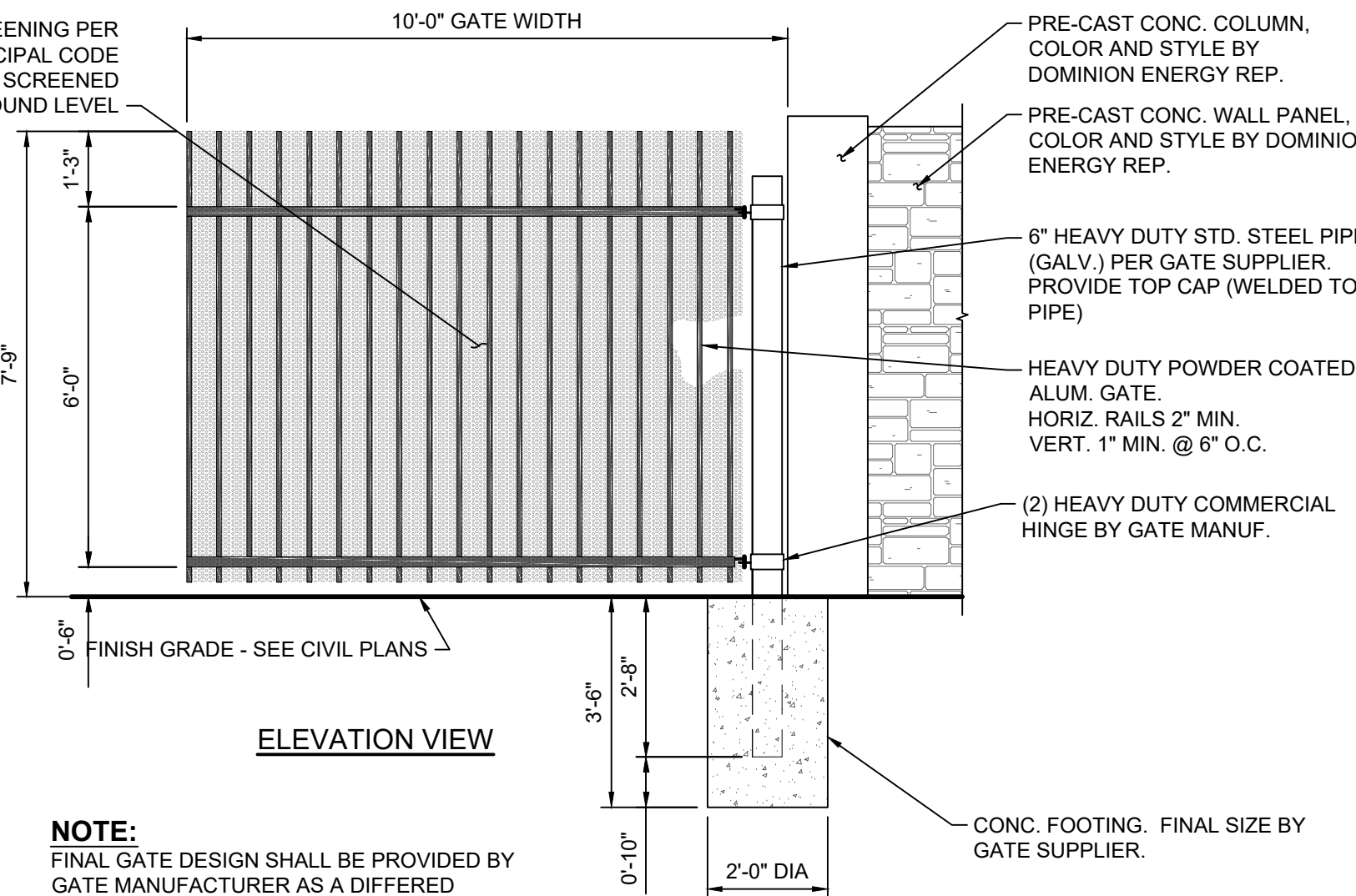
CONCRETE NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.

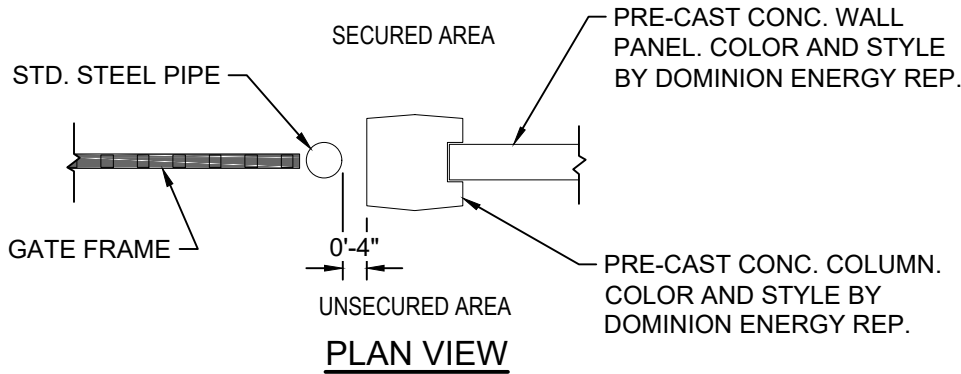


CONCRETE PAVEMENT SECTION 2
SCALE: 1 1/2" = 1'-0"

FENCE / GATE SCREENING PER SOUTH JORDAN MUNICIPAL CODE 17.30.020.H(1), YARD SCREENED FROM VIEW AT GROUND LEVEL

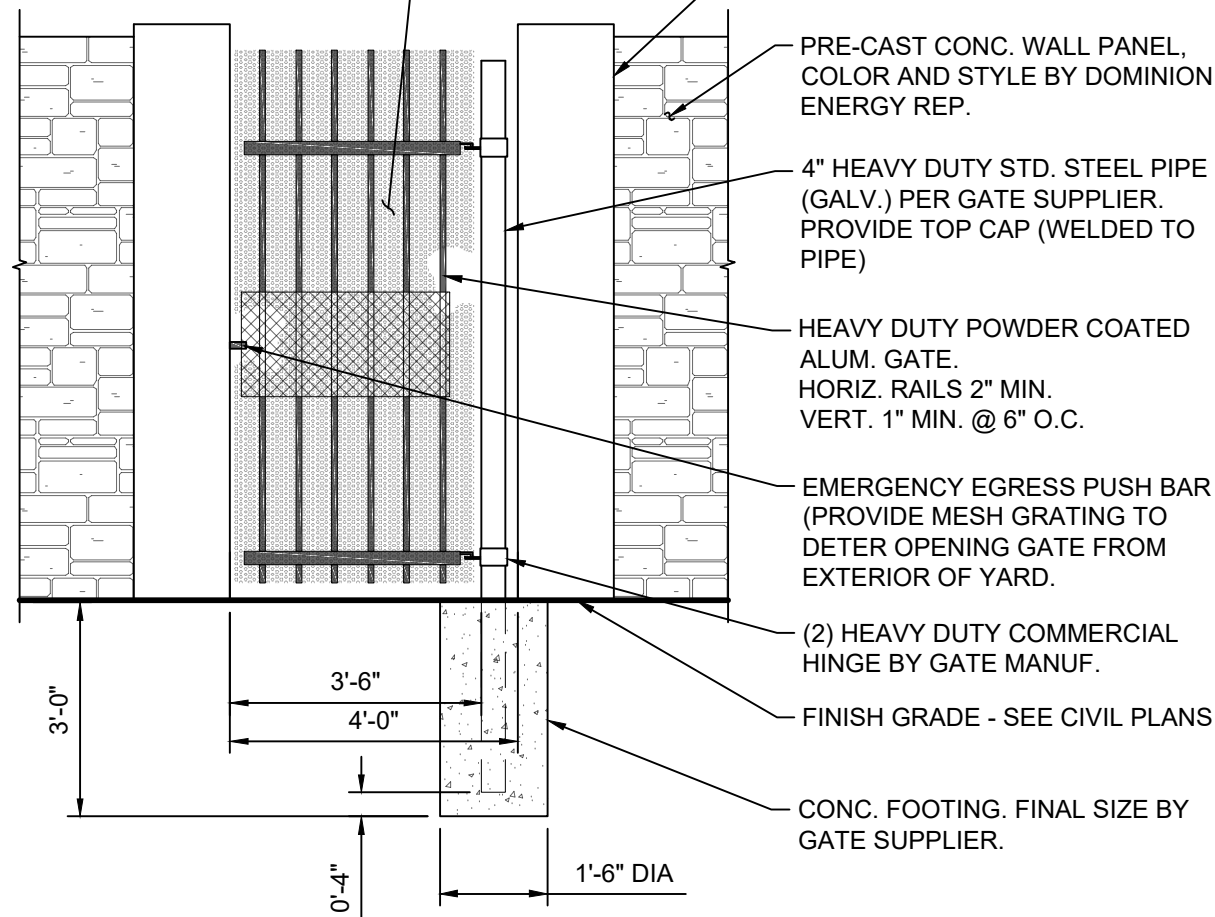


NOTE: FINAL GATE DESIGN SHALL BE PROVIDED BY GATE MANUFACTURER AS A DIFFERED SUBMITTAL TO ENSIGN ENGINEERING FOR REVIEW PRIOR TO FABRICATION.



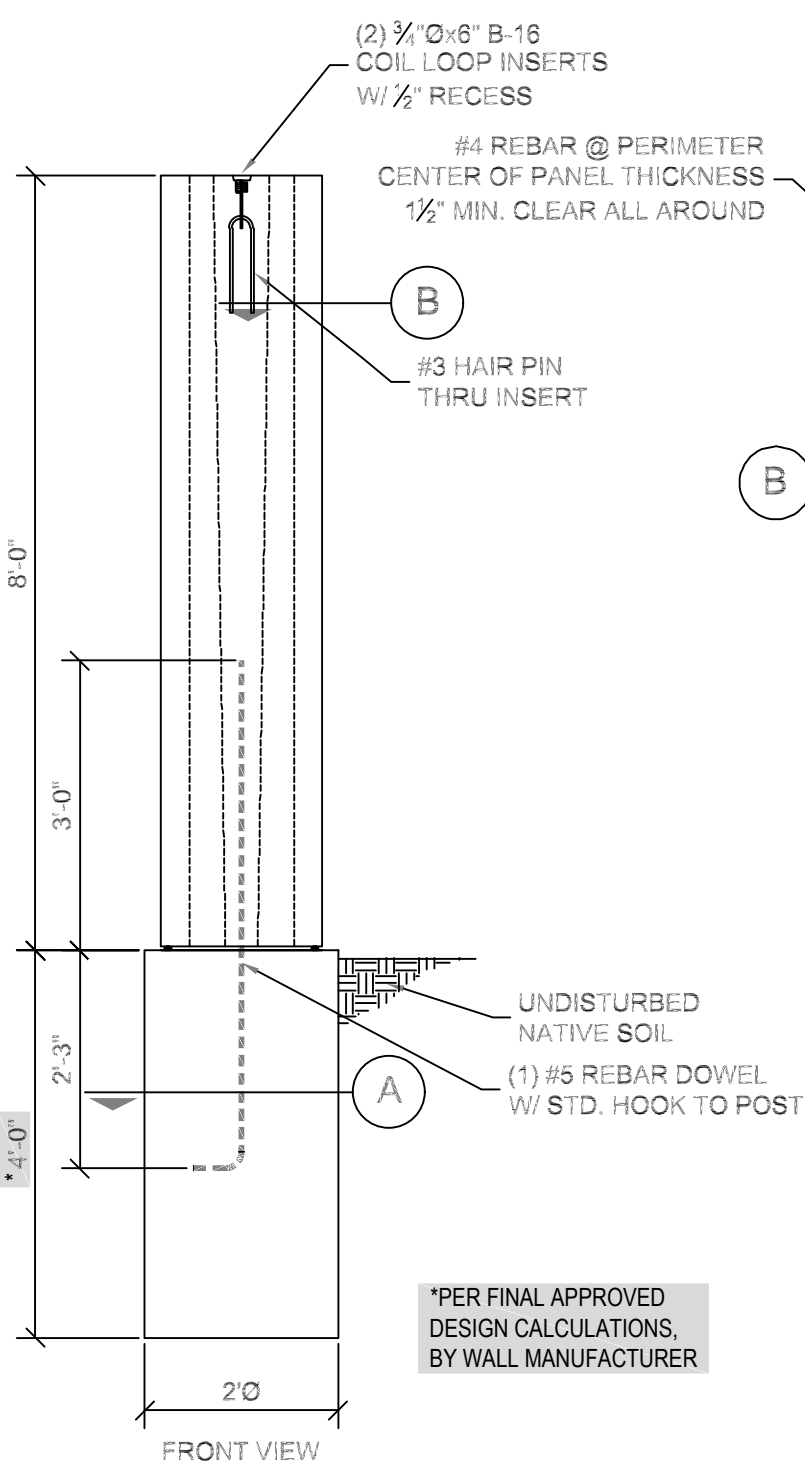
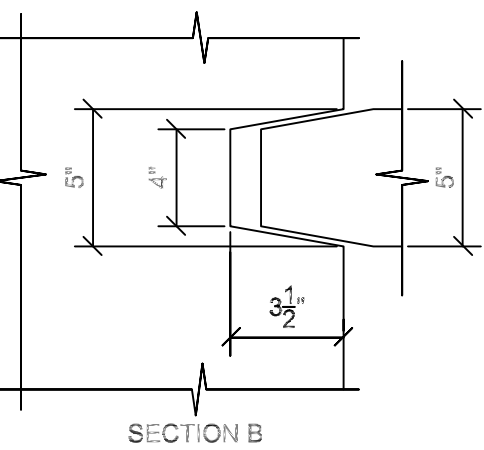
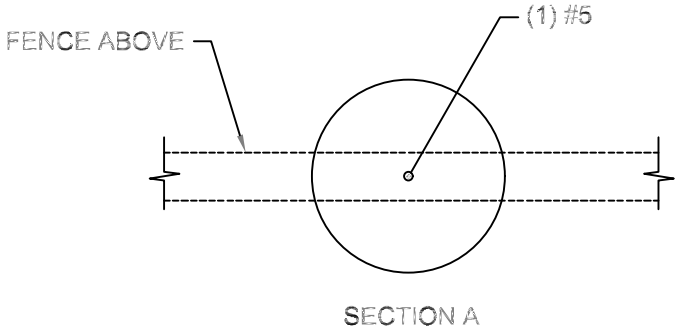
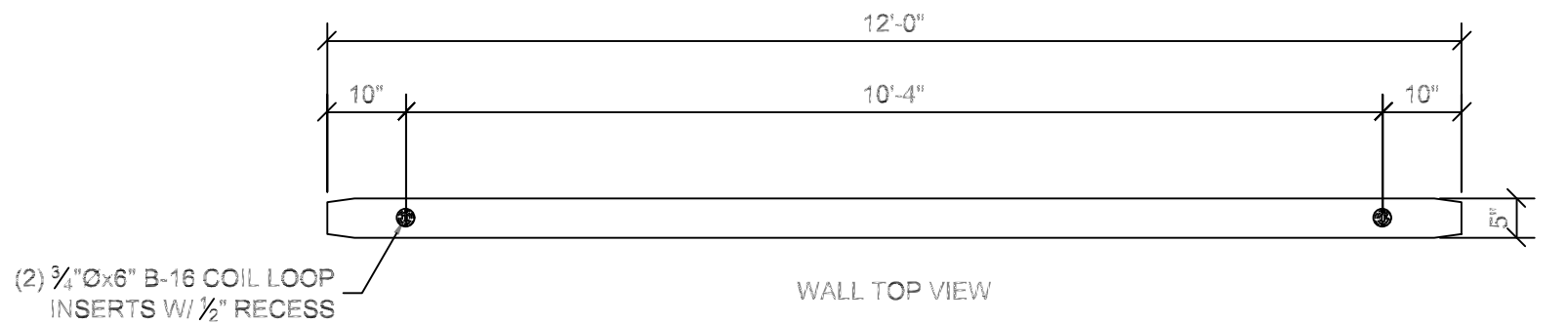
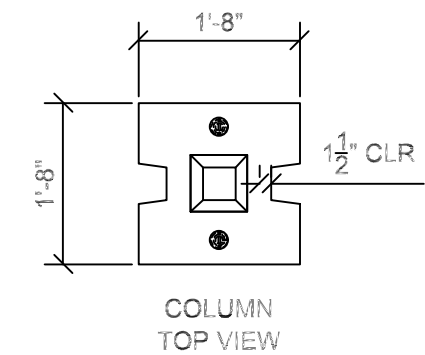
DOUBLE SWING GATE DETAIL 3
SCALE: 3/8" = 1'-0"

FENCE / GATE SCREENING PER SOUTH JORDAN MUNICIPAL CODE 17.30.020.H(1), YARD SCREENED FROM VIEW AT GROUND LEVEL



NOTE: FINAL GATE DESIGN SHALL BE PROVIDED BY GATE MANUFACTURER AS A DIFFERED SUBMITTAL TO ENSIGN ENGINEERING FOR REVIEW PRIOR TO FABRICATION.

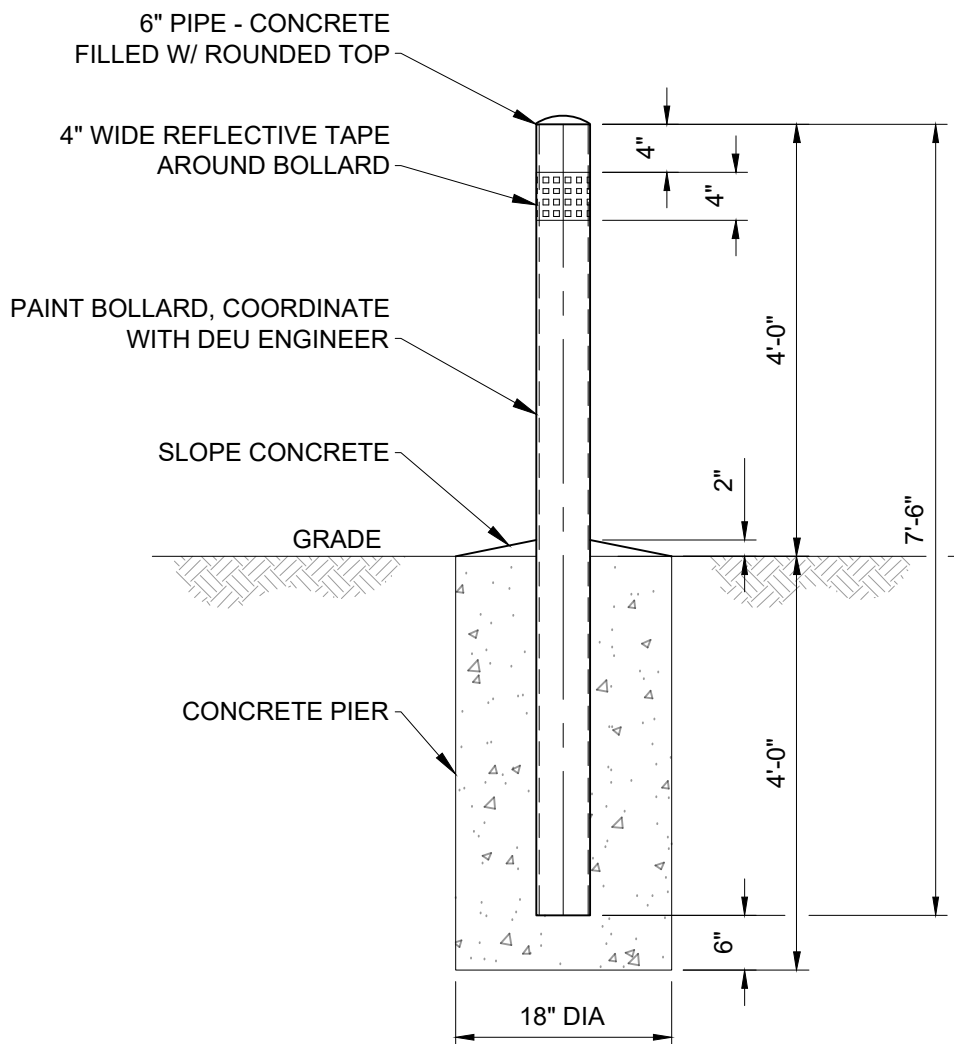
PERSONNEL GATE DETAIL 4
SCALE: 3/8" = 1'-0"



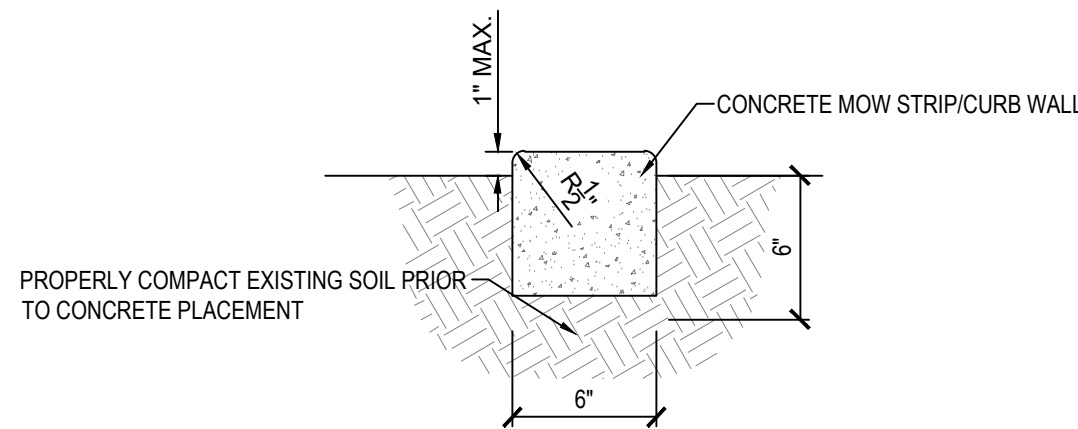
NOTES

- POST AND PANEL CONCRETE TO BE 5000 PSI.
- FOOTING CONCRETE TO BE 3000 PSI.
- MINIMUM SOIL LATERAL BEARING ALLOWABLE: 150 PSF/FT. OF DEPTH BELOW GRADE
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
- DIMENSIONS MAY BE REDUCED TO FIT PROJECT REQUIREMENTS.
- GROUT BETWEEN POST AND FOOTING TO BE 2500 PSI.
- CONTRACTOR SHALL SUBMIT PRE-CAST WALL DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW BY ENSIGN PRIOR TO INSTALLATION

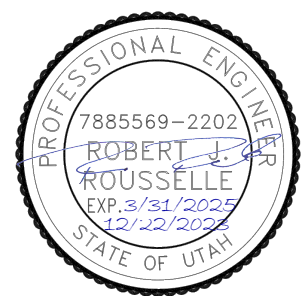
TYPICAL PRECAST CONCRETE WALL DETAIL 5
SCALE: NONE



TYPICAL BOLLARD DETAIL 6
SCALE: NONE



CONCRETE LANDSCAPING CURB 7
SCALE: 1 1/2" = 1'-0"




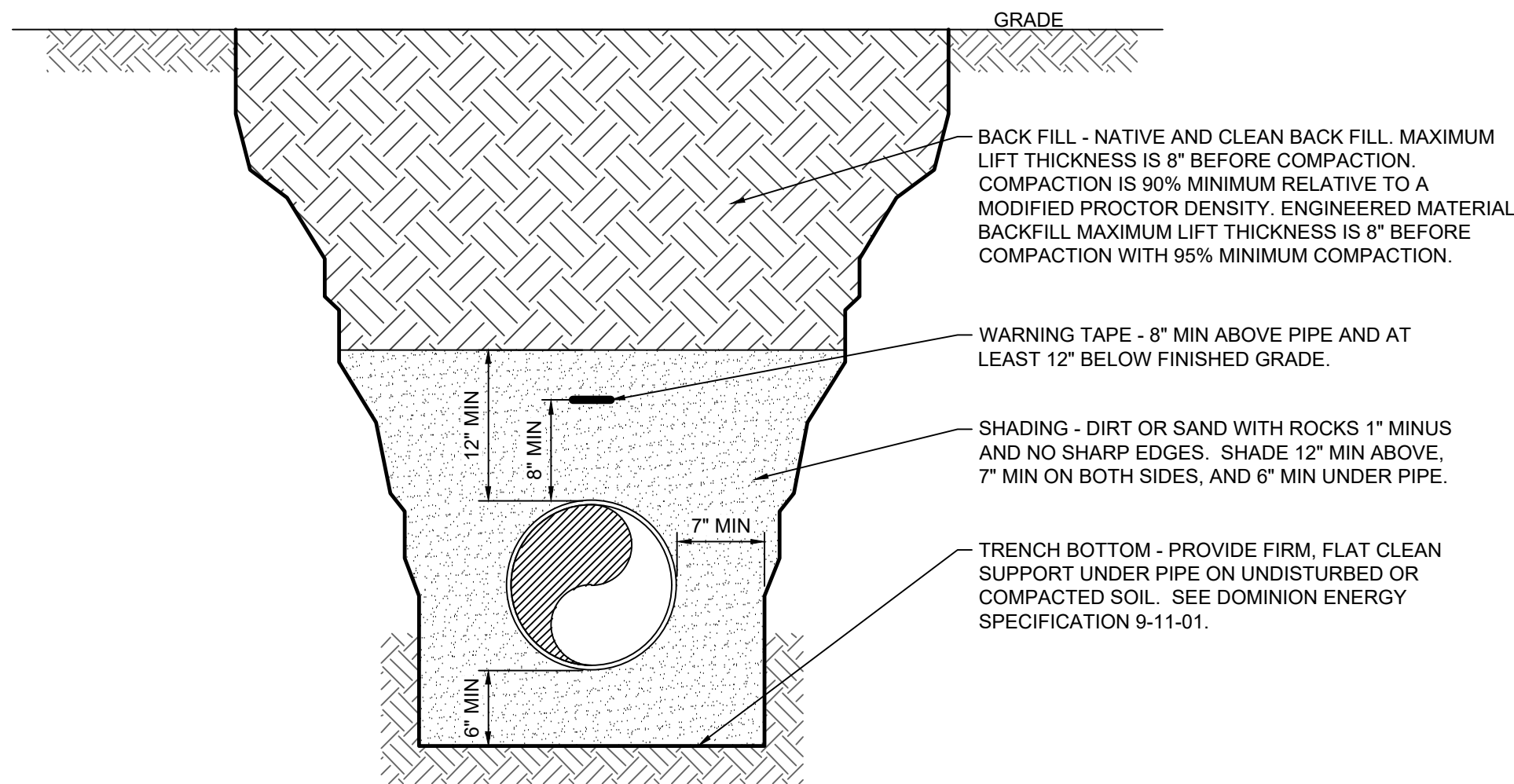
City Engineer
City of South Jordan
Approved 05/17/2024
City Engineer

RE-ISSUED FOR CONSTRUCTION



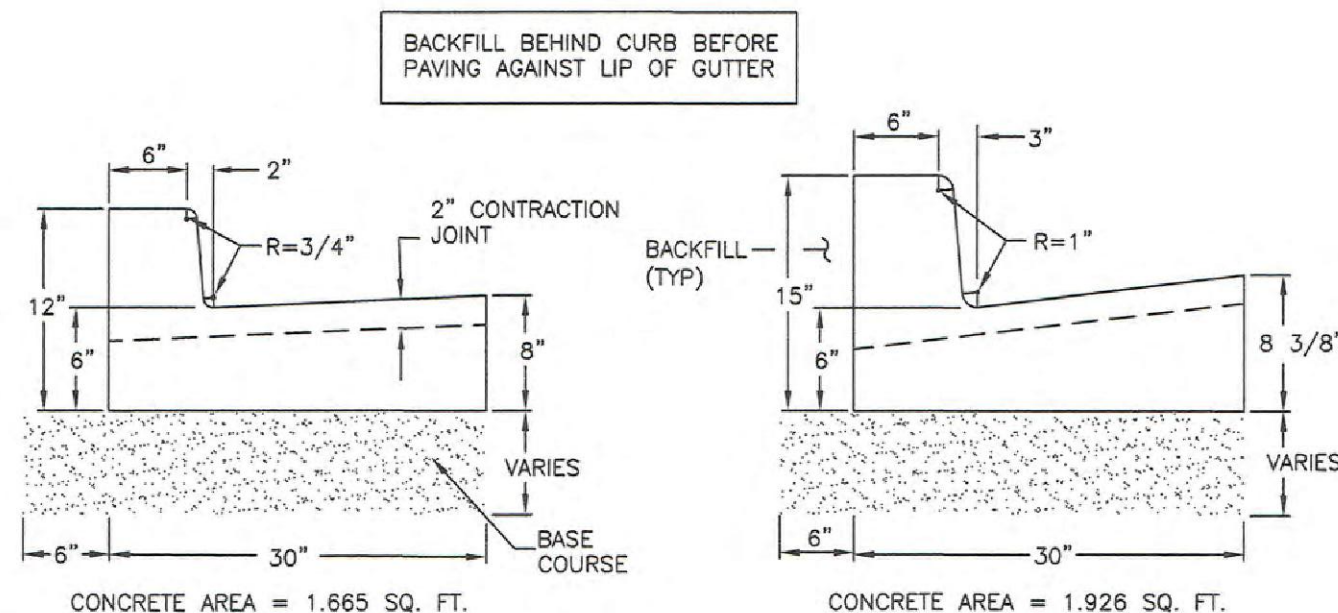
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
WWW.ENSIGNENG.COM

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		<div><div><div></div><div>Dominion Energy®</div><div>DOMINION ENERGY UTAH</div></div></div>	LINE NUMBER: FL- 34 & 36				
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: ENSIGN		FACILITY: FL-34 BLOCK VALVE AND FL-36 TAP				
DEU-P-F034T036-PIP-001	0	FABRICATION DRAWINGS	82850.23	FL-34 REPLACEMENT, PHASE 1B, HEADING NORTH	0	ISSUED FOR CONSTRUCTION	08-07-2023	ENSGN	EB	CHECKED BY: E. BUSH		TITLE: CIVIL SITE DRAWINGS				
			90323.23	FL34 REPLACEMENT, PHASE 1B, HEADING SOUTH	1	REISUED FOR CONSTRUCTION	08-23-2023	ENSGN	EB	PROJECT ENGR: J GARDNER		DESCRIPTION: DETAILS				
					2	REISSUED FOR CONSTRUCTION, CUP COMMENTS	12-22-2023	ENSGN	EB	SURVEYOR: ENSIGN		ADDRESS: 9800 SOUTH 1300 WEST				
										ENGR MNGR: Q. EVANS						
										CONSTR MNGR: D FRANCIS						
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.											SECTION: 10 TT3S R R1W	CITY SOUTH JORDAN	COUNTY SALT LAKE	STATE UTAH		
													ELEVATION: 4393	DRAWING NUMBER DEU-P-F034T036-CCS-001		
													LAT: 40.5730 LONG: -111.9296			
														SCALE: AS SHOWN		



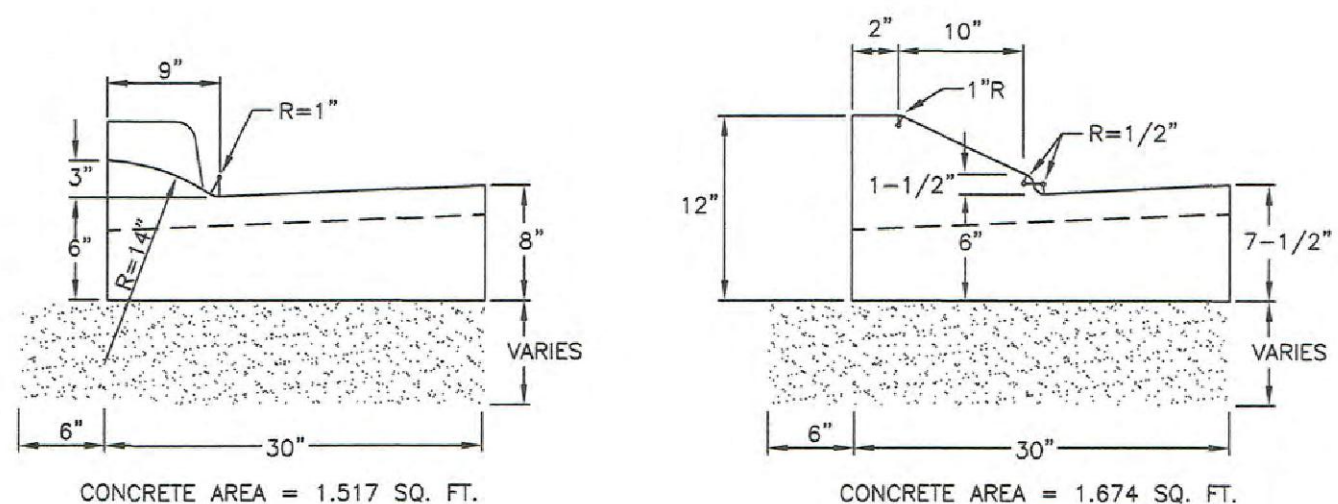
GRANULAR BACK FILL TYPICAL TRENCH DETAIL

SCALE: NONE



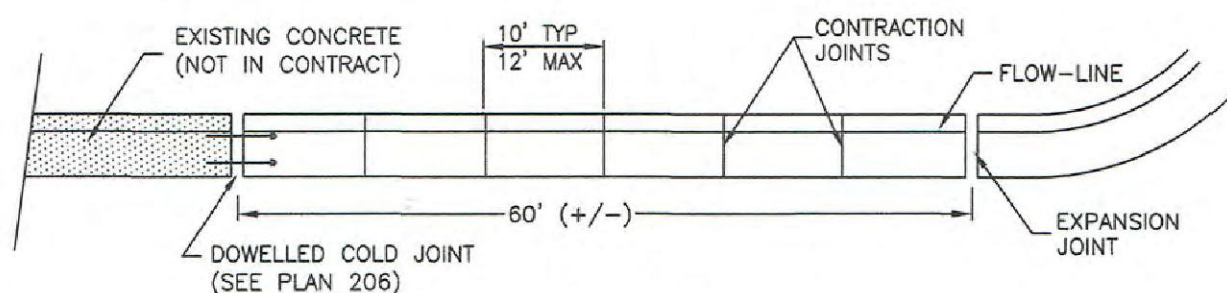
Type A

Type B



Type C

Type D

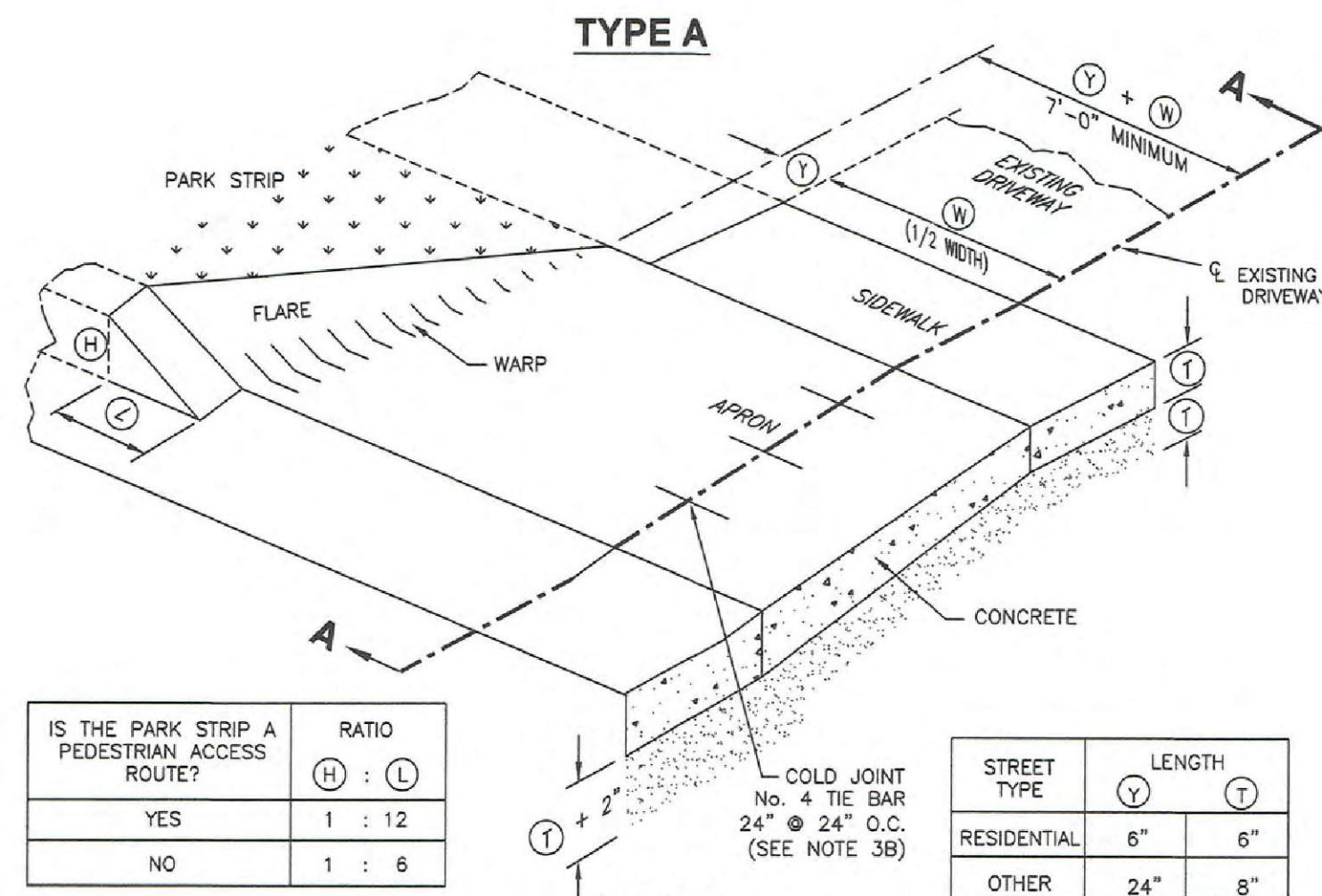


JOINT DETAIL

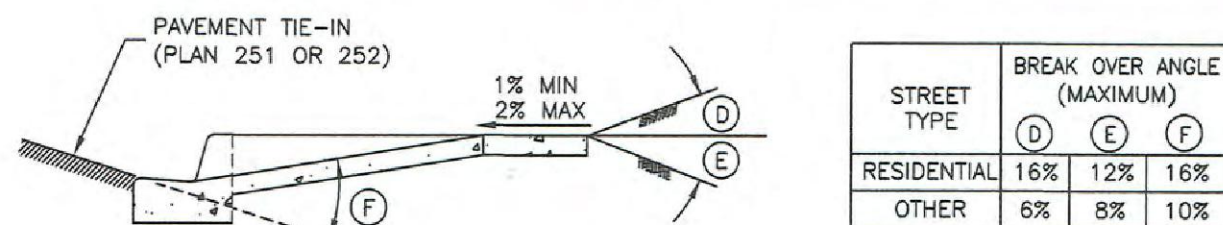


Curb and gutter

Plan
205.1
December 2008



SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS

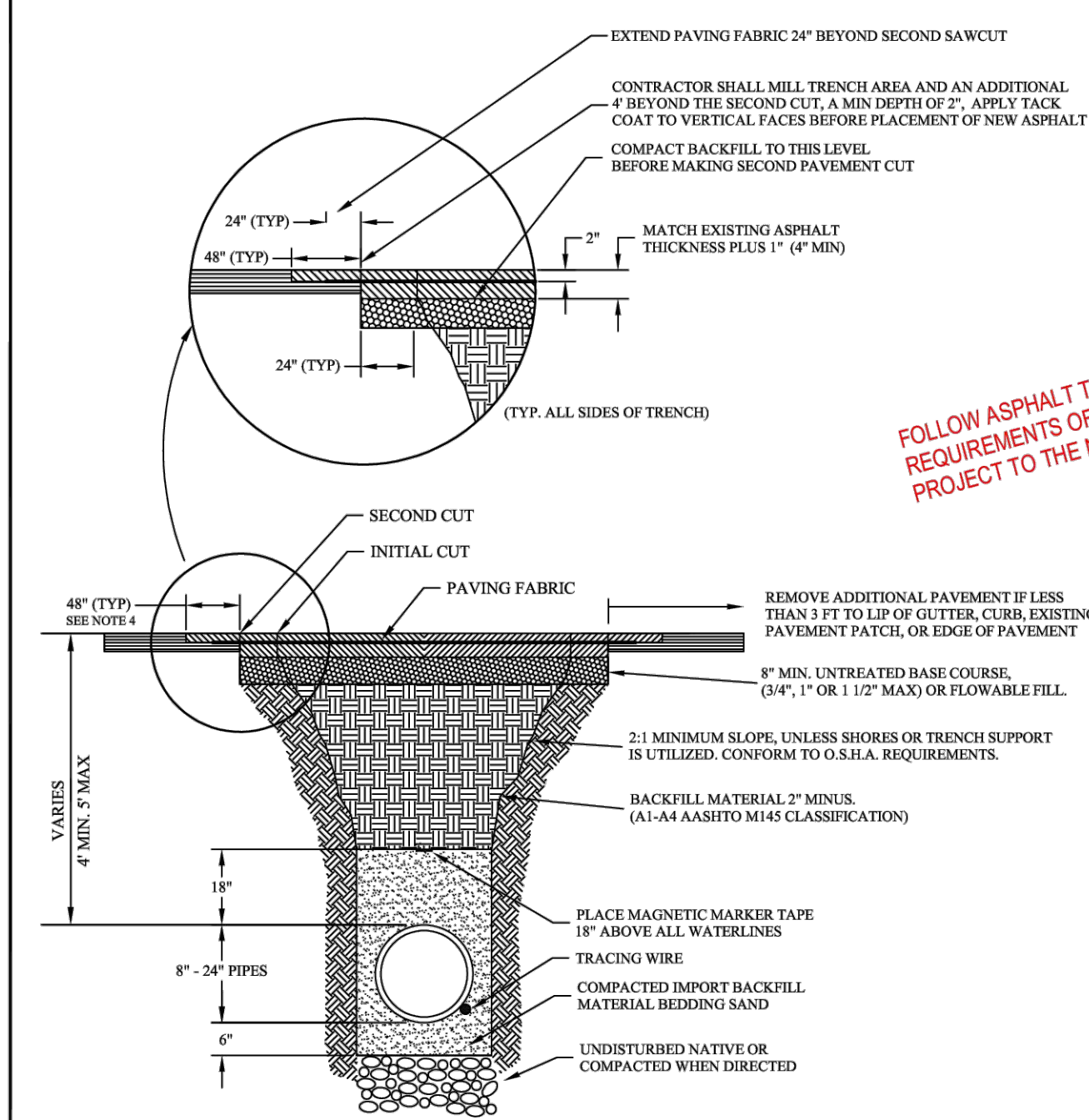


SECTION A-A - TYPICAL DRIVEWAY APPROACH

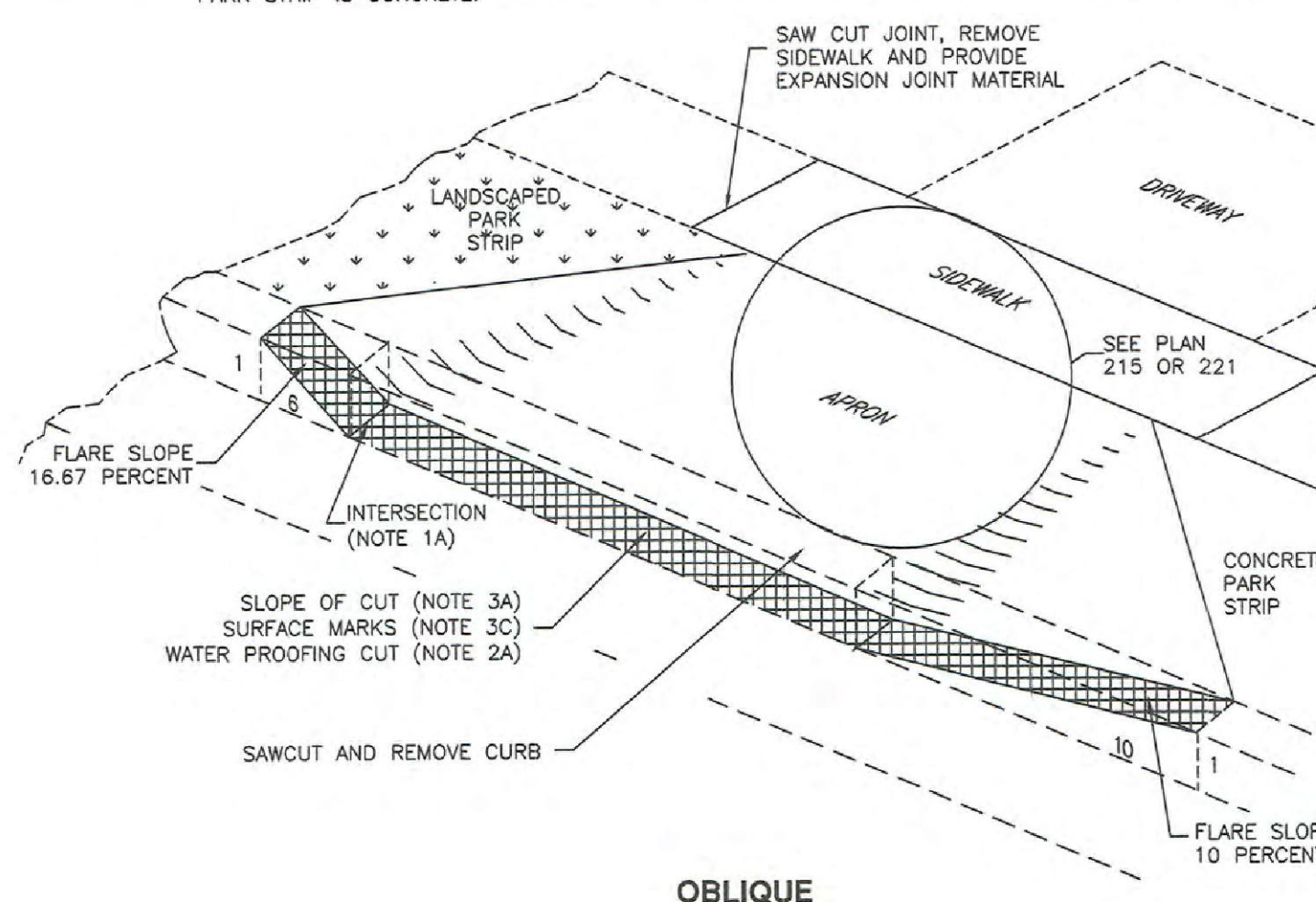


Flare driveway approach

Plan
221.1
December 2009



NARRATIVE: THIS PLAN IS USED IF AN EXISTING CURB MUST BE CUT TO INSTALL A DRIVEWAY APPROACH. THE SLOPE OF THE CURB FLARE DEPENDS UPON WHETHER THE PARK STRIP IS LANDSCAPED OR IF THE PARK STRIP IS CONCRETE.

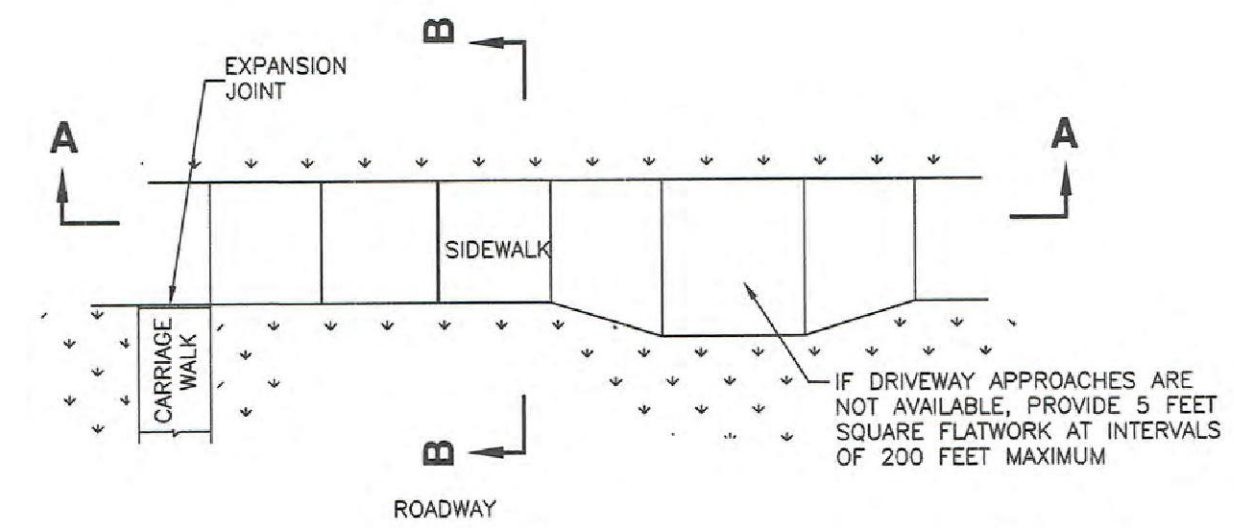


OBLIQUE

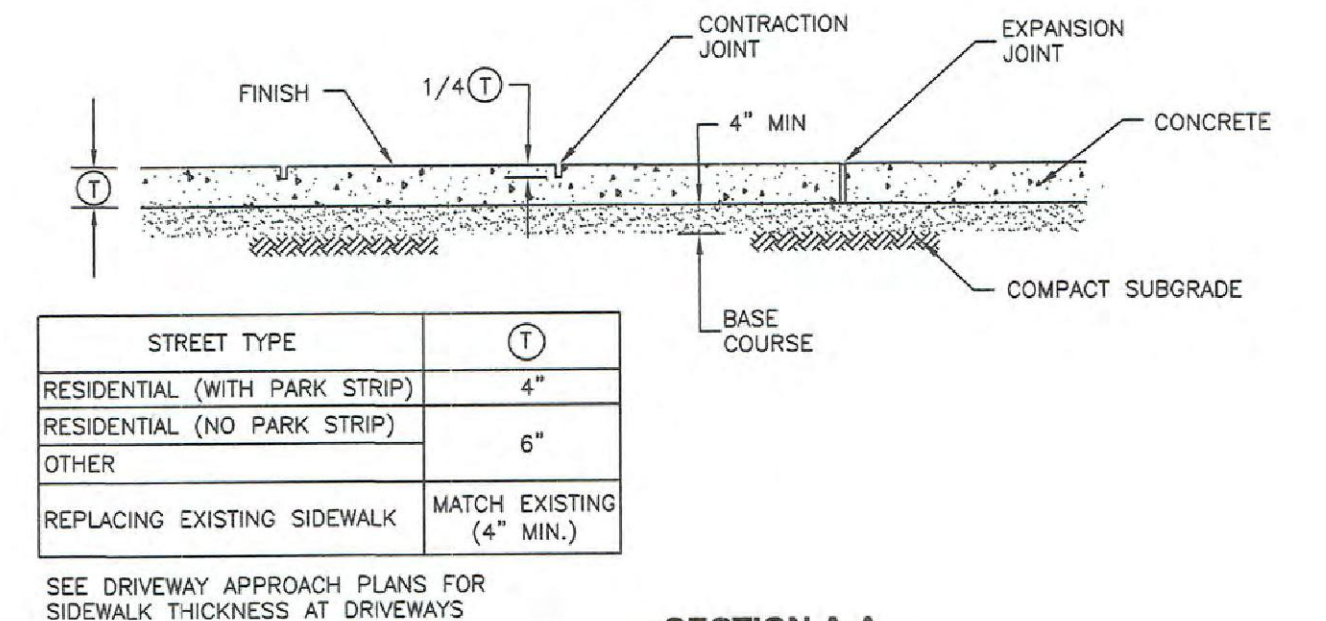


Saw-cut driveway approach

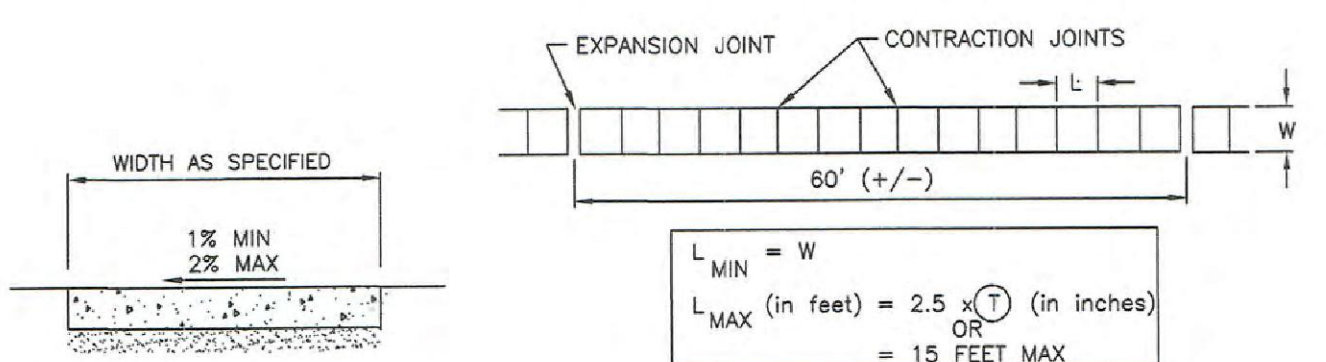
Plan
222
February 2011



PLAN



SECTION A-A



SECTION B-B

SIDEWALK JOINT DETAIL



Sidewalk

Plan
231
March 2009

RE-ISSUED FOR CONSTRUCTION



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
www.ensgn.com

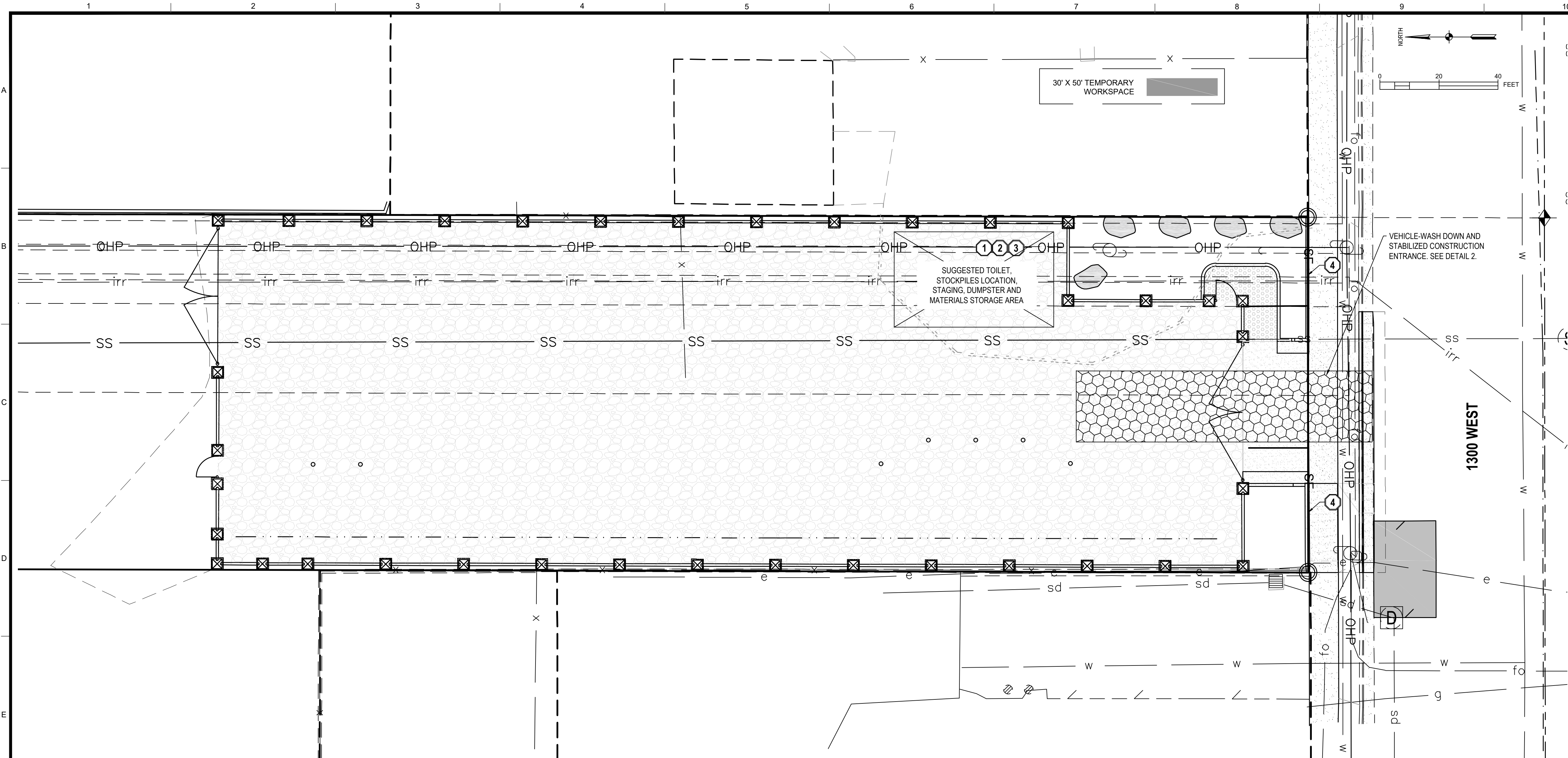


DOMINION ENERGY UTAH

SECTION: 10 TT3S RR1W
ELEVATION: 4393
LAT: 40.5730 LONG: -111.9296
SCALE: AS SHOWN

LINE NUMBER:	FL- 34 & 36		
FACILITY:	FL-34 BLOCK VALVE AND FL-36 TAP		
TITLE:	CIVIL SITE DRAWINGS		
DESCRIPTION:	DETAILS		
ADDRESS:	9800 SOUTH 1300 WEST		
CITY	COUNTY	STATE	
SOUTH JORDAN	SALT LAKE	UTAH	
DRAWING NUMBER		SHEET	REV
DEU-P-F034T036-CCS-001		07 OF 11	

THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.



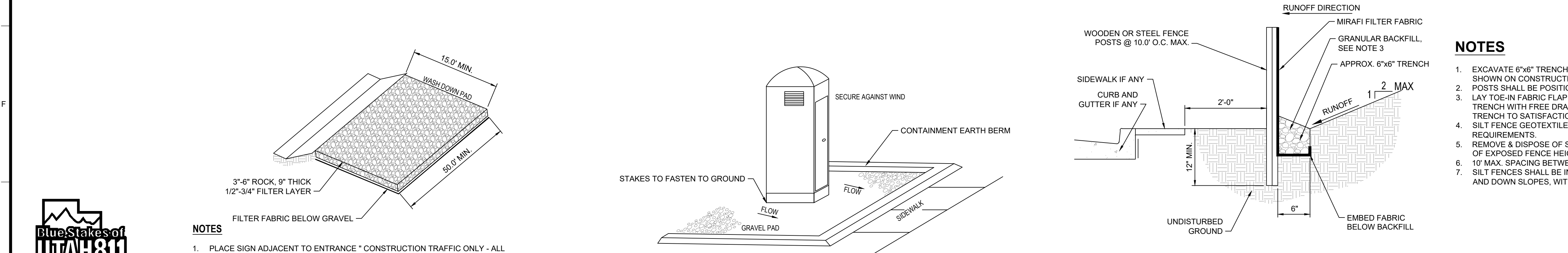
GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

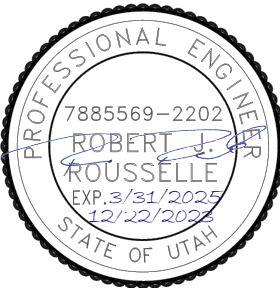
- PORTABLE TOILET PER DETAIL 2, THIS SHEET.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- SILT FENCE PER DETAIL 3, THIS SHEET.



NOTES

- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS.
- POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
- LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
- SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
- REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
- 10' MAX. SPACING BETWEEN STAKES.
- SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.

City Engineer
City of South Jordan
Approved 05/17/2024
B. Klover City Engineer



RE-ISSUED FOR CONSTRUCTION



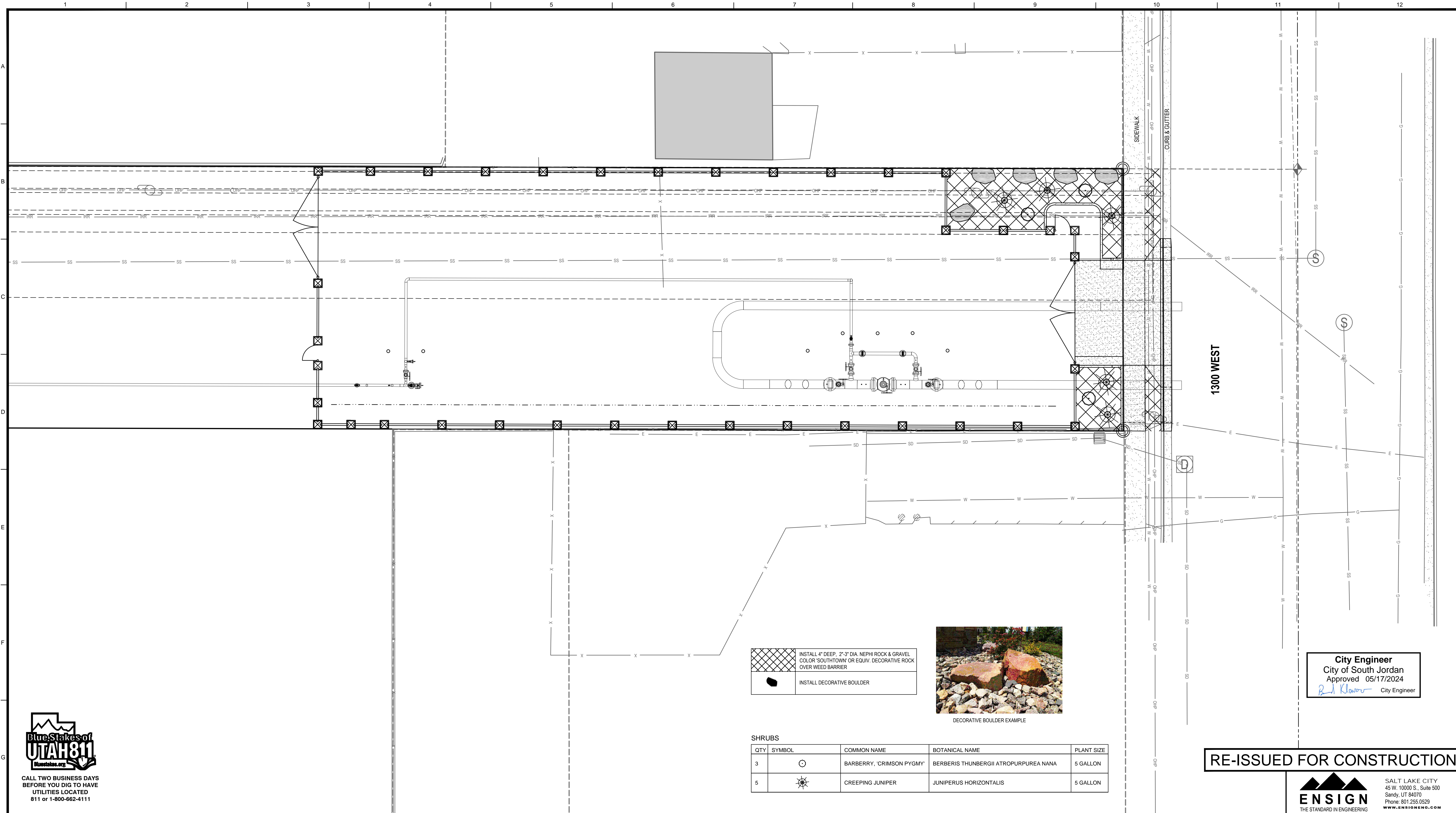
SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
WWW.ENSGNENG.COM

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY:	ENSGN
DEU-P-F034T036-PIP-001	0	FABRICATION DRAWINGS	82850.23	FL-34 REPLACEMENT, PHASE 1B, HEADING NORTH	0	ISSUED FOR CONSTRUCTION	08-07-2023	ENSGN	EB	CHECKED BY:	E. BUSH
			90323.23	FL34 REPLACEMENT, PHASE 1B, HEADING SOUTH	1	REISSUED FOR CONSTRUCTION	08-23-2023	ENSGN	EB	PROJECT ENGR:	J GARDNER
					2	REISSUED FOR CONSTRUCTION, CUP COMMENTS	12-22-2023	ENSGN	EB	SURVEYOR:	ENSGN
										ENGR MNGR:	Q. EVANS
										CONSTR MNGR:	D FRANCIS
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.										SECTION:	10 TT3S RR1W
										ELEVATION:	4393
										LAT:	40.5730 LONG: -111.9296
										SCALE:	AS SHOWN




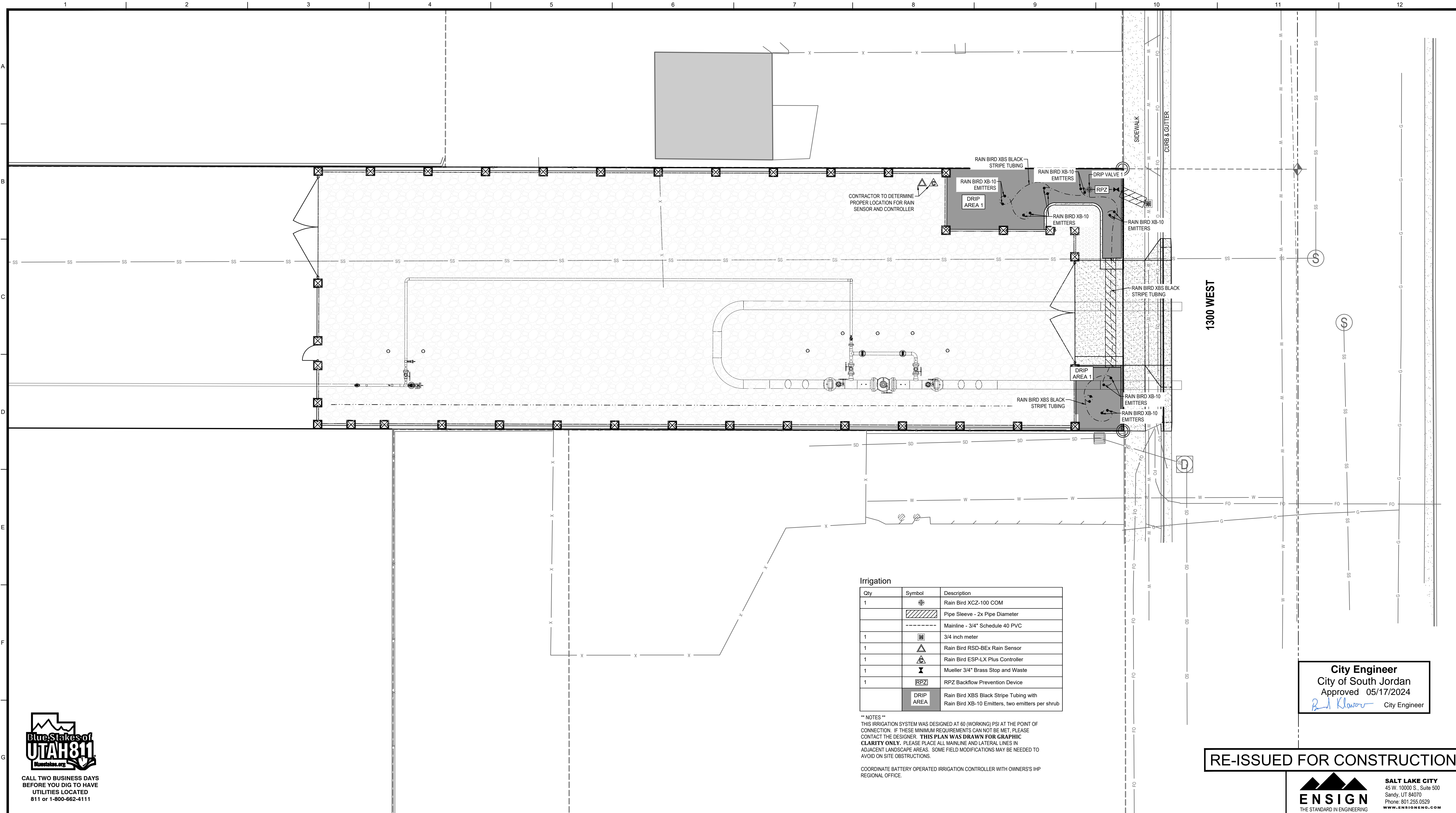
DOMINION ENERGY UTAH

LINE NUMBER:			FL- 34 & 36		
FACILITY:			FL-34 BLOCK VALVE AND FL-36 TAP		
TITLE:			CIVIL SITE DRAWINGS		
DESCRIPTION:			EROSION CONTROL PLAN		
ADDRESS:			9800 SOUTH 1300 WEST		
CITY		CITY JORDAN	COUNTY		SALT LAKE
STATE		UTAH	DRAWING NUMBER		DEU-P-F034T036-CCS-001
SHEET		08 OF 11	REVISION		2



CALL TWO BUSINESS DAYS
BEFORE YOU DIG TO HAVE
UTILITIES LOCATED
811 or 1-800-662-4111

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS					ENGINEERING RECORD		<div> DOMINION ENERGY UTAH</div>	LINE NUMBER: FL- 34 & 36					
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: ENSIGN	CHECKED BY: E. BUSH		FACILITY: FL-34 BLOCK VALVE AND FL-36 TAP					
DEU-P-F034T036-PIP-001	0	FABRICATION DRAWINGS	82850.23	FL-34 REPLACEMENT, PHASE 1B, HEADING NORTH	0	ISSUED FOR CONSTRUCTION	08-07-2023	ENSIGN	EB	PROJECT ENGR: J GARDNER			TITLE: CIVIL SITE DRAWINGS					
			90323.23	FL34 REPLACEMENT, PHASE 1B, HEADING SOUTH	1	REISUED FOR CONSTRUCTION	08-23-2023	ENSIGN	EB	SURVEYOR: ENSIGN			DESCRIPTION: LANDSCAPE PLAN					
					2	REISSUED FOR CONSTRUCTION, CUP COMMENTS	12-22-2023	ENSIGN	EB	ENGR MNGR: Q. EVANS			ADDRESS: 9800 SOUTH 1300 WEST					
										CONSTR MNGR: D FRANCIS								
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.										SECTION: 10	TT3S	R R1W	CITY	COUNTY	STATE			
												ELEVATION: 4393			SOUTH JORDAN	SALT LAKE	UTAH	
												LAT: 40.5730	LONG: -111.9296	DRAWING NUMBER			SHEET	REVISION
												SCALE: 1"=10'	DEU-P-F034T036-CCS-001			09 OF 11	2	



CALL TWO BUSINESS DAYS
BEFORE YOU DIG TO HAVE
UTILITIES LOCATED
811 or 1-800-662-4111

Irrigation			
Qty	Symbol	Description	
1		Rain Bird XCB-100 COM	
		Pipe Sleeve - 2x Pipe Diameter	
		Mainline - 3/4\" Schedule 40 PVC	
1		3/4 inch meter	
1		Rain Bird RSD-BEX Rain Sensor	
1		Rain Bird ESP-LX Plus Controller	
1		Mueller 3/4\" Brass Stop and Waste	
1		RPZ Backflow Prevention Device	
		Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters, two emitters per shrub	

** NOTES **
THIS IRRIGATION SYSTEM WAS DESIGNED AT 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. **THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY.** PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE BATTERY OPERATED IRRIGATION CONTROLLER WITH OWNER'S IHP REGIONAL OFFICE.

City Engineer
City of South Jordan
Approved 05/17/2024
Ben Klawns City Engineer

RE-ISSUED FOR CONSTRUCTION



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
www.ensigneng.com

REFERENCE DRAWINGS			WORK ORDERS		REVISIONS				ENGINEERING RECORD		
DRAWING NUMBER	REV	DRAWING DESCRIPTION	WO NUMBER	DESCRIPTION	NO	DESCRIPTION	DATE	BY	CHECK	DRAWN BY: ENSIGN	
DEU-P-F034T036-PIP-001	0	FABRICATION DRAWINGS	82850.23	FL-34 REPLACEMENT, PHASE 1B, HEADING NORTH	0	ISSUED FOR CONSTRUCTION	08-07-2023	ENSIGN	EB	CHECKED BY: E. BUSH	
			90323.23	FL34 REPLACEMENT, PHASE 1B, HEADING SOUTH	1	REISSUED FOR CONSTRUCTION	08-23-2023	ENSIGN	EB	PROJECT ENGR: J GARDNER	
					2	REISSUED FOR CONSTRUCTION, CUP COMMENTS	12-22-2023	ENSIGN	EB	SURVEYOR: ENSIGN	
										ENGR MNGR: Q. EVANS	
										CONSTR MNGR: D FRANCIS	
THE INFORMATION AND CONCEPTS CONTAINED IN THIS DOCUMENT ARE CONFIDENTIAL AND THE PROPERTY OF DOMINION ENERGY AND/OR THE CLIENT IDENTIFIED. DUPLICATION OR USE OF THIS INFORMATION AND/OR CONSTRUCTION OF SYSTEMS BASED ON THIS DOCUMENT ARE STRICTLY PROHIBITED WITHOUT WRITTEN AUTHORIZATION FROM DOMINION ENERGY.										SECTION: 10 TT3S R R1W	
										ELEVATION: 4393	
										LAT: 40.5730 LONG: -111.9296	
										SCALE: 1"=10'	



DOMINION ENERGY UTAH

LINE NUMBER: FACILITY: TITLE: DESCRIPTION: ADDRESS:			FL - 34 & 36 FL-34 BLOCK VALVE AND FL-36 TAP CIVIL SITE DRAWINGS LANDSCAPE PLAN 9800 SOUTH 1300 WEST		
CITY SOUTH JORDAN	COUNTY SALT LAKE	STATE UTAH	DRAWING NUMBER DEU-P-F034T036-CCS-001	SHEET 10 OF 11	REVISION 2

17.18.040: IMPACT CONTROL MEASURES

Impact control measures, as explained by this section, generally apply to allowed uses when the context or scale of a proposed project increases the potential for negative impacts (e.g., traffic, sound, hazardous waste, light, vibration, odor, glare, etc.) on surrounding properties or on the public health, safety, and welfare. Additional measures may be required of conditional uses, according to section 17.18.050, "Conditional Uses", of this chapter. Impact control measures do not apply to permitted uses that are accessory to an established residential primary use. The City Engineer and Planning Director may modify the requirements of a required impact control measure upon the applicant's showing of good cause (a reason rationally related to the development) and in the best interest of the City. With all required impact control measures, the applicant shall provide the applicable documentation, at the applicant's expense, and demonstrate that the design of a project and operation of the use will adequately mitigate the contextual impact. If the City Engineer or Planning Director determine that the regulations of this section conflict with other regulations of this Code, the more restrictive regulations shall apply.

- A. Traffic Study: The purpose of a traffic study is to identify the extent of traffic impacts generated by a use or project on transportation system capacity, level of service, and safety. At applicant's expense, the City shall commission a traffic study from a licensed professional engineer. The applicant shall pay the fee for the traffic study prior to the commencement of the study. Proposed uses and projects that meet any of the following criteria shall provide a traffic study:
1. Initial establishment of uses identified in the required impact control measures table in this section.
 2. Project that may generate more than one hundred (100) trips in a peak hour or one thousand (1,000) total daily trips.
 3. New construction project that exceeds ten (10) acres.
 4. All uses proposing to access residential streets and that may generate more than twenty five (25) trips in a peak hour or two hundred fifty (250) total daily trips.
- B. Circulation And Access Plan: The purpose of a circulation plan is to identify a proposed project's potential traffic conflicts generated by proposed access points and vehicular, pedestrian, and bicycle routes. The circulation plan shall show adjacent roads, access points, primary travel routes, drop off and pick up areas, stacking and queuing areas, connections with adjacent properties, and pedestrian and bicycle routes. All projects that meet any of the following criteria shall provide a circulation and access plan:
1. Initial establishment of uses identified in the required impact control measures table in subsection H of this section.
 2. New construction projects proposing the use of a drive-through, car wash, or vehicle bay.
 3. Projects that require a traffic study per subsection A of this section.
 4. Projects that include proposed private streets in residential areas.

- C. Operations Plan: The purpose of an operations plan is to identify the potential sound, vibration, light, glare, odor, crime, hazardous materials, fire, and environmental impacts generated by a use or project based on the operational nature, scale, or practices of an establishment. The operations plan shall include the following information, if applicable: date of commencement of operations; proposed hours and days of operation; a general description of the operation; a projection of the number of persons on site (e.g., employees and customers); types of accessory uses anticipated; hazardous materials to be used or produced on site; and all other relevant information to describe the nature, scale, practices of the establishment. Initial establishment of uses identified in the required impact control measures table in subsection H of this section shall provide an operations plan.
- D. Sound Study: The purpose of a sound study is to determine the potential for detrimental effects from sound generated by the proposed use or project. A sound study shall be commissioned, at the expense of the applicant, from a member of a national acoustical association (i.e., National Council of Acoustical Consultants, Acoustical Society of America, or Institute of Noise Control Engineering) or an expert consultant with demonstrated experience and capacity as determined by the Planning Director. The sound study shall include sufficient information to determine the likelihood of compliance with Salt Lake County Health Department noise regulations and the requirements of this title. All uses that meet any of the following criteria shall provide a sound study:
1. Initial establishment of uses identified in the required impact control measures table in subsection H of this section.
 2. All nonresidential uses that anticipate using outdoor speakers or public address systems.
 3. Initial establishment of the following uses shall require a sound study when located within three hundred feet (300') of a property line of a Residential Zone, an existing dwelling unit, a religious assembly use, or an elementary, secondary education use:
 - a. Outdoor animal activities associated with nonresidential uses, including kennels, runs and corrals.
 - b. Drive-through facilities.
 - c. Car washes or car vacuums.
- E. Rehabilitation And Containment Plan: A containment plan shall be prepared by a qualified expert documenting hazardous materials to be stored, used, or produced in significant quantities and the policies and practices to prevent and contain the accidental or inappropriate discharge of those materials. The plan shall demonstrate that the proposed use will comply with all State and Federal requirements and that the public and the environment will be protected from hazardous conditions. A rehabilitation plan shall also include actions that will be taken upon cessation of activities or uses involving potentially hazardous materials to ensure that the site is free from hazardous materials for future activities or uses. A containment and rehabilitation plan shall be provided for the following uses:
1. Uses identified in the required impact control measures table in subsection H of this section.
 2. Accessory uses that involve significant quantities of hazardous materials.

F. Additional Notice: The purpose of the additional notice control measure is to ensure that property owners are notified of uses and projects with a greater likelihood for negative impacts on properties beyond the immediate vicinity. Uses and projects requiring additional notice according to this section shall provide notice to all property owners of record within six hundred feet (600') of the boundary of the subject property for any statutorily required public hearing, in addition to other noticing requirements of this Code and State law. The additional notice requirement shall apply to the following uses and projects:

1. Initial establishment of uses identified in the required impact control measures table in this section.
2. New construction projects that exceed ten (10) acres.

G. Residential Protection Area:

1. The purpose of a residential protection area is to minimize the impact of a use on existing residential areas that are planned to remain residential and areas that are planned to become residential in the future. A residential protection area minimizes impacts on residential areas by applying additional restrictions to a use or prohibiting a use with the protection area as outlined below.
2. A residential protection area is the area within a distance prescribed by the required impact control measure table in subsection H of this section. A residential protection area is measured from the boundary of a residential land use designation into the adjoining non-residential land use designation on the future land use map.
3. Uses or buildings that were compliant when initially established are not nonconforming uses or buildings, according to the requirements of this chapter, due to subsequent rezoning and development of a residential use within the residential protection area.
4. Residential protection areas shall be applied according to the following:
 - a. Prohibited: Uses are prohibited, except for associated parking or open space, within the distance identified in the required impact control measures table in this section.
 - b. Stadium/Theater/Auditorium: The residential protection area identified in the required impact control measures table of this section may be reduced to one hundred feet (100') when the activities associated with the use are conducted within completely enclosed structures and the floor area of the structure is less than one thousand (1,000) square feet.
 - c. Gas Station: Underground fuel storage tanks are prohibited within the residential protection area for the gas station use as identified in the required impact control measures table in this section. The following exceptions to the residential protection area are allowed:
 - (1) The residential protection area is reduced to one hundred feet (100') from the property line of properties with a residential land use designation that do not have an existing residential dwelling unit.
 - (2) The residential protection area shall not apply to properties located on the opposite side of a minor collector road or greater, as classified by the City's master transportation plan, from the gas station use.
 - d. Aircraft Transportation: Aircraft transportation landing and takeoff facilities shall be located no closer than one thousand feet (1,000') from the property line of a residential zone, except for rotor craft used by emergency services in temporary situations.
 - e. P-O Zone: Drive-through facilities are prohibited.

H. Required Impact Control Measures Table:

Key:
X = Required

		Required Impact Control Measures						
Category	Uses	A. Traffic	B. Circulation And Access	C. Operations	D. Sound	E. Rehabilitation And Containment	F. Additional Notice	G. Residential Protection Area
Agricultural	Animal husbandry			X				100'
	Horticulture			X				100'
	Plant nursery			X			X	100' ¹
	Public agricultural facility		X	X	X		X	150' ¹
Residential:								
Group living	Community residential facility		X	X			X	
	Dormitory	X	X	X			X	300'
	Institutional facility		X	X	X		X	1 Mile
Household	Live-work	X	X	X			X	
	Multi-family	X	X				X	
	Neighborhood residential facility							
	Single-family, attached		X				X	
	Single-family, detached		X					
Public:								
Civic and community	Cemetery							
	Community services		X	X				
	Public safety		X	X	X		X	
	Religious assembly and worship		X	X				

Education	Elementary/ secondary education	X	X	X			X	
	University/c ollege	X	X	X			X	
	Vocational/p rofessional	X	X	X			X	
Open space	Natural open space							
	Park open space							
Utility and communic ation	Energy conversion			X				100'
	Telecommu nication facility							
	Utility services			X		X	X	1,000'²
Commerci al:								

Services	Animal services			X	X		X	100'
	Business support							
	Daycare		X	X				
	Financial institution			X			X ³	
	Hospital	X	X	X			X	100'
	Light service and repair			X				100'
	Lodging							100'
	Medical/dental office or clinic							
	Mortuary/funeral home							50' ⁵
	Office							
	Personal services			X				
	Professional services							
	Restaurant							50' ⁵
	Self-storage		X	X				
	Vehicle repair		X	X	X	X	X	200'
	Vehicle services		X	X	X	X	X	150'

Recreation and assembly	Arts and recreation		X	X	X			
	Convention/reception center	X	X	X			X	50' ⁵
	Indoor gun range		X	X	X			100'
	Instruction and training		X	X				
	Outdoor gun range		X	X	X			1,500'
	Outdoor recreation	X	X	X	X		X	50' ⁵
	Stadium/theater/auditorium	X	X	X	X ⁴		X	250'
Retail	Gas station	X	X	X		X	X	300'
	General retail							
	Kiosk, freestanding		X	X				50' ⁵
	Shopping center/department store	X	X	X			X	
	Vehicle sales and rental							200'
Industrial:								
Manufacturing and production	Assembly			X				100'
	Fabrication			X	X	X	X	300'
	Manufacturing			X	X	X	X	500'
	Mining			X	X	X	X	500'

Sales and service	Commercial service and repair		X	X	X	X	X	500'
	Food and drink preparation			X	X	X	X	500'
	Heavy equipment sales and rental			X			X	200'
	Research and development			X	X		X	300' ⁴
	Storage yards			X	X	X	X	300'
	Wholesale and warehouse			X		X	X	300'
Transportation	Aircraft transportation	X	X	X	X	X	X	500'
	Parking facility	X	X	X			X	150'
	Passenger terminal/station	X	X	X	X		X	100'
	Railroad facility			X	X	X	X	300'
Waste	Refuse			X	X	X	X	500'
	Salvage			X	X	X	X	500'

Notes

¹When located in an R-1.8 Zone, the residential protection area shall apply to adjacent residential properties.

²Only applies to major utility facilities.

³Only applies to nondepository financial institutions.

⁴Only applies to outdoor or open air facilities.

⁵Buildings used for nonresidential uses located within 100 feet of the property line of properties with a residential land use designation shall not exceed 35 feet in height.

HISTORY

Amended by Ord. [2018-21](#) on 10/16/2018

Amended by Ord. [2019-01](#) on 3/5/2019

Dawn R. Ramsey, *Mayor*
Patrick Harris, *Council Member*
Kathie L. Johnson, *Council Member*
Donald J. Shelton, *Council Member*
Tamara Zander, *Council Member*
Jason T. McGuire, *Council Member*



PH: 801.446-HELP @SouthJordanUT

NOTICE OF PUBLIC HEARING

May 17, 2024

Dear Recipient:

Dominion Energy has filed an application (File #**PLSPR202300143**), located at 9804 S. Temple Drive. The applicant is requesting that the South Jordan City Planning Commission review and approve a site plan application for a failsafe block valve installation.

You are receiving this notice because Salt Lake County records indicate that you own property that is within 600' (feet) of the subject property boundaries; or are listed as an affected entity. A map showing the property location is attached to this notice.

A public hearing regarding this proposal will be held before the South Jordan City Planning Commission **at 6:30 p.m. on May 28, 2024** in the South Jordan City Council Chambers (1600 W. Towne Center Drive). All interested parties are invited to attend. Virtual attendance can be done by following instructions provided at: <http://ww.sjc.utah.gov/planning-commission/>. Virtual attendance is contingent upon an individual's internet connection, not the City. Virtual attendance does not permit participation. Unless written comment is submitted, in-person attendance is required to participate in public comment.

Public comment may be submitted in writing by mail or by emailing Andrew McDonald at amcdonald@sjc.utah.gov, **by 12 p.m. on May 28, 2024**. This ensures that any comments received can be reviewed by Staff and the Commission, and included in the record prior to the meeting. Any emails or signed letters received will be placed on record. Comments may also be given, and added to the record, during the public comment portion of the hearing.

Should you desire further information, you may contact the South Jordan Planning & Zoning Department: **(801) 446-4357** during regular business hours or by contacting the email provided.

Respectfully,
Andrew McDonald, AICP Candidate
Planner I, Planning Department

Location Map





1407 W North Temple, Suite 110
Salt Lake City, UT 84116
(801) 220-4043

March 12, 2024

Kevin J. Mulvey
Mulvey Enterprises, LLC
736 S 120 W
American Fork, UT 84003

RE: Dominion Energy FL-34 Block Valve and FL-36 Tap Project
APN: 27-10-429-002; 9800 S 1300 W, South Jordan, UT

Dear Mr. Mulvey,

Rocky Mountain Power has reviewed Dominion Energy's civil site drawings for construction and operation of a block valve and tap on the above-referenced property in relation to Rocky Mountain Power's existing electrical facilities and easements in the vicinity. Rocky Mountain Power sees no conflict and expresses no concerns with Dominion Energy's project provided Dominion Energy follows all National Electric Safety Code and Occupational Safety and Health Administration clearance requirements during construction.

Thank you for reaching out.

Regards,

Shawn H. Graff
Sr. Property Specialist

April 8, 2024,

To: South Jordan City

From: Lampton Farms Property Owners Association

We have previewed the enclosed information from Dominion Energy and find no problems with their projects.

President, Diane Stemmons
801-897-2695

A handwritten signature in cursive script that reads "Diane Stemmons". The signature is written in dark ink and is positioned below the typed name and phone number.

