

MEMO

PH: 801.446-HELP @SouthJordanUT

December 3, 2024

TO: South Jordan City Planning Commission
FROM: Andrew McDonald, Planner II

RE: Conditional Use Permit for the Architectural Standards of Accessory Buildings
File#PLCUP202400128
Project Address: 9557 S. 3770 W.
Applicant: Leon Bryant Widdison
Property Owner: Leon Bryant Widdison

The applicant is proposing to construct a 2,816 ft² (44' x 64') detached accessory garage building. The applicant has stated that the purpose of the garage is to store personal vehicles and miscellaneous items. The applicant is requesting the Commission review the application and allow the accessory building to be constructed larger than the main home footprint (1,448 ft²) by approving the conditional use permit.

The Planning Commission reviewed this application on November 12, 2024. The Commission voted 4-2 to table the item for a future meeting, and provided the following reasons:

1. The applicant was not present at the meeting to answer questions.
2. There was concern over the intent for the proposed building.
3. The proposed building is nearly twice the size of the main home.
4. There was concern with the architectural design relative to the main homes'.

The applicant stated they would like to proceed, and have the application scheduled for the next available Planning Commission meeting. Staff mailed a courtesy notice, of the item being rescheduled, to the previous recipients of the November 12, 2024 public hearing notice. These recipients own property within the Clover Hills Subdivision or property within 300 feet of the subject property.

Staff recommends approval based on the findings and conclusions listed in the November 12, 2024 Staff Report, enclosed with this memorandum. A draft copy of the November 12, 2024 meeting minutes is included in the December 10, 2024 meeting agenda and supporting documents packet. Public comments received for the November 12, 2024 meeting are included for reference. Action items do not receive public comment, however, the Planning Commission has discretion to allow it during the meeting.

Respectfully,

A handwritten signature in black ink that reads "Andrew McDonald". The signature is written in a cursive, flowing style.

Andrew McDonald, AICP
Planner II, Planning Department

Enclosures:

- November 12, 2024 Planning Commission Staff Report
- Compilation of Public Comment received for November 12, 2024 Commission meeting
- Courtesy Notice of Public Meeting

**SOUTH JORDAN CITY
PLANNING COMMISSION REPORT**

Meeting Date: 11/12/2024

Issue: **ACCESSORY BUILDING:
CONDITIONAL USE PERMIT FOR THE ARCHITECTURAL STANDARDS OF
ACCESSORY BUILDINGS IN R-1.8 ZONE**

File No.: PLCUP202400128
Property Address: 9557 S. 3770 W.
Applicant: Leon Bryant Widdison
Property Owner: Leon Bryant Widdison
Submitted By: Andrew McDonald, Planner II

Staff Recommendation (Motion Ready): I move to **approve** the conditional use permit (File No. **PLCUP202400128**) based on the Findings and Conclusions listed in this report.

ACREAGE:	Approx. 1.02 Acre
CURRENT ZONING:	Residential (R-1.8, 1.8 Units per Acre)
CURRENT/FUTURE LAND USE:	Stable Neighborhood (SN)
NEIGHBORING ZONING/LAND USE:	North: Single-Family Residential (R-1.8) East: Single-Family Residential (R-1.8) West: Single-Family Residential (R-1.8) South: Single-Family Residential (R-1.8)

CONDITIONAL USE REVIEW STANDARDS:

Any land use that presents any detrimental effects to the underlying zone and neighboring properties shall be reviewed and approved by means of a conditional use permit. A conditional use shall not be established or commenced without the approval of the Planning Commission or City Council. The permit shall be indefinite and run with the land unless otherwise indicated by the governing body. Imposed conditions shall be rooted in substantial evidence, and be the least restrictive way to mitigate any identified detrimental effects.

ACCESSORY BUILDINGS CONDITIONAL USE REVIEW:

Applications for a conditional use shall demonstrate that the proposal is consistent with the character of the underlying zone and surrounding area. Analysis includes, but is not limited to, consideration of nearby structures, uses, and applicable declarations of conditions, covenants & restrictions (“CC&Rs”).

BACKGROUND:

The applicant is proposing to construct a 2,816 ft² (44' x 64') detached accessory garage building. The garage space will be for the applicant's personal storage of vehicles and miscellaneous items. The supporting materials contains a letter from the applicant discussing their justification for the CUP request. The proposed plans are also included.

The property is Lot 9 of the Clover Hills Subdivision. There are no known covenants, conditions, and restrictions (CC&Rs) recorded on the property. If there are CC&Rs, it would be a private, civil matter between the applicant and the enforcing party.

The applicant is requesting conditional use approval for the architectural standards for accessory buildings in the R-1.8 Zone. The applicant is requesting the Commission review an exception to the following Code provision:

1. The footprint of accessory buildings shall not exceed the footprint of the main building (City Code §17.40.020(I)(3b)).

PUBLIC NOTICE:

City Code §17.04.060.B requires public notice be provided to the owner of record for properties located within 300' (feet) of the subject property. City Code Title §17.40.020(I)(3e) requires that all property owners within the subject property subdivision receive notice. A copy of the required mailing notice has been included in the supporting materials. A map of the notice recipients has also been included.

STAFF FINDINGS, CONCLUSION & RECOMMENDATION:

Findings:

- Access to the building will use existing lot frontage along 3770 West, a private road.
- The property line follows the center line of 3770 West.
- There will be no business use of this building. The property owner does not intend to have living space (see supporting materials).
- Accessory buildings are common to the neighborhood. The applicant has provided examples of neighborhood garages that compare to the building proposed (see the letter from applicant).
- There are larger homes in the area that would be able to construct the proposed building without needing a CUP.
- The building exceeds the minimum setback requirements.
- The garage has a second-story storage loft, and a below grade basement. Both are intended for storage of personal items.
- The existing home has an overall height of just over 25'. The overall height of the garage is proposed to be 24'.

- The footprint of accessory structures in the R-1.8 Zone must be equal to or less than the footprint of the main building (including attached garages). The footprint of the existing building (including the attached garage) is 1,448 ft². The overall footprint of the proposed building exceeds the main footprint by roughly 1,368 ft², and thus requires a conditional use permit.
- Staff finds no detrimental effects in building one large building instead of multiple smaller buildings, that the property owner would otherwise be permitted to construct.
- The Clover Hills Subdivision has large lots all exceeding one acre.
- The subject property has the smallest main home footprint in the subdivision. The home has a foot print of 1,448 ft². The other homes in the subdivision are at least twice the footprint of the subject property.
- It is common for large lots to build large accessory buildings.
- Properties in the R-1.8 are allowed to cover 40% of the property with buildings and structures. With construction of the proposed building, the building coverage would be roughly 10%.
- The roof pitch meets the minimum requirements of the R-1.8 Zone.
- The average wall height meets the requirements of the R-1.8 Zone.
- The building will be constructed from foundations up, instead of using pre-fabricated, pre-assembled metal materials.

Conclusions:

The proposed building is in compliance with development standards of the R-1.8 Zone. Staff holds that no detrimental effects could be identified as a result of approving this application.

Recommendation:

Staff recommends that the Planning Commission hear comments at the public hearing and **approve** the application, unless comments made at the hearing justify further investigation by Staff.

ALTERNATIVES:

- Approve the application with reasonable conditions imposed to mitigate detrimental effects identified with substantial evidence.
- Motion to further investigate the application, and schedule for a future Commission meeting.

SUPPORTTING MATERIALS:

- Location Map
- Current Zoning Map
- Clover Hills Subdivision Plat
- Site Plan
- Floor Plans
- Building Elevation
- Letter from Applicant
- Applicant's Response to Staff
- Title 17.40 "City Code Provisions for R-1.8 Zone"
- Public Mailing Notice

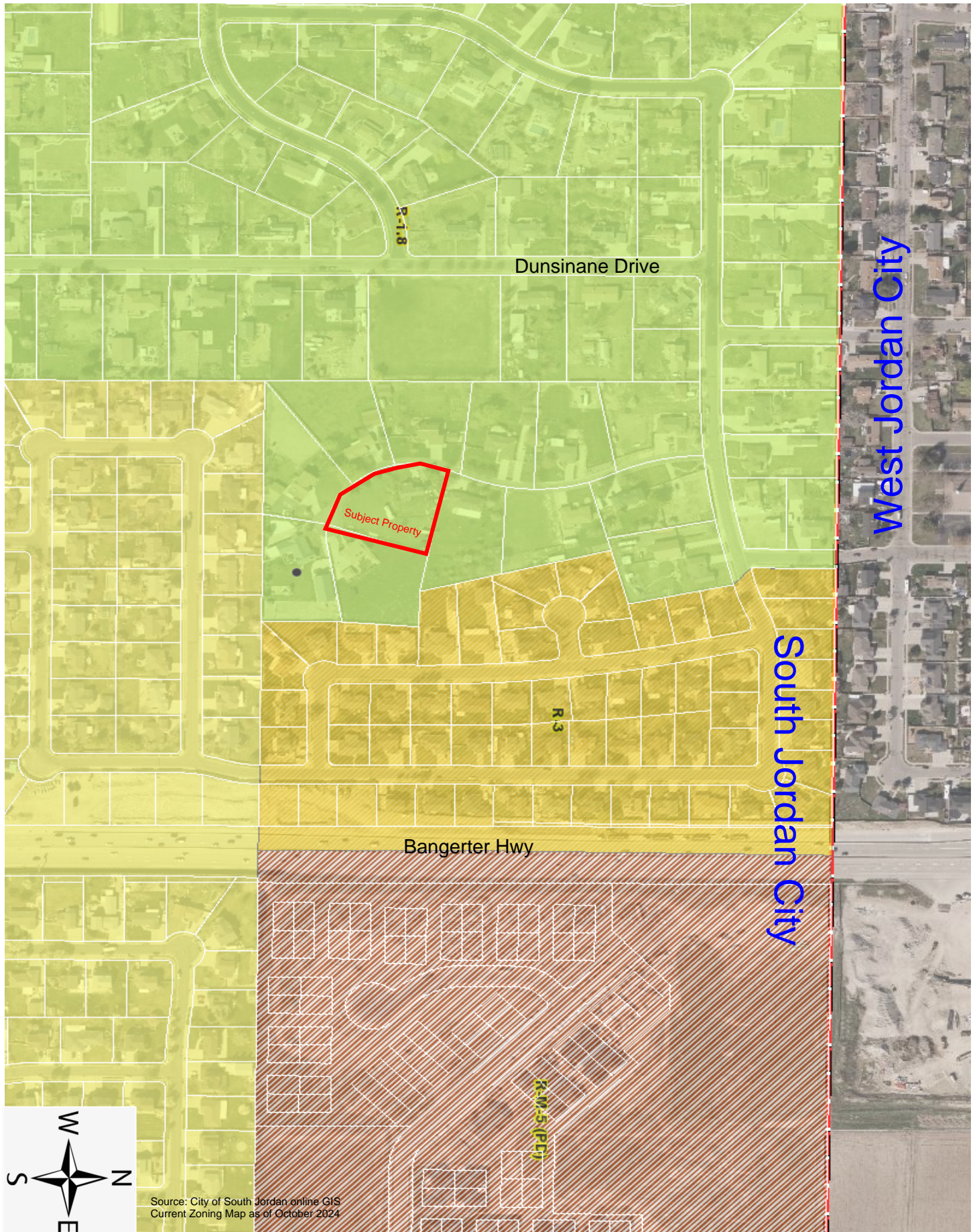


Andrew McDonald, AICP
Planner II, Planning Department

Location Map



Current Zoning Map



COUNTY SURVEYOR STANDARD SURVEYOR FORM

I, **Jack L. DeMass**, do hereby certify that I am a Registered Civil Engineer, and that I hold the License No. **3552**, as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **Clower Hills Subdivision No. 1**, and that same has been correctly surveyed and staked on the ground as shown on this plat.

COURSE	DIST	REMARKS
Twelfth	194.912	Beginning of the month 833.12 feet, 192.929 ft. from the beach to corner of Section 8, T1S, R1E.
"	197.285	Foot, Thence
"	197.903	Foot, Thence
"	198.905	Foot, Thence
"	200.264	Foot, Thence
"	201.800	Foot, Thence
"	202.900	Foot, Thence
"	203.900	Foot, Thence
"	205.000	Foot, Thence
"	206.617	Foot, Thence
"	209.000	Foot, Thence
"	210.319	Foot, Thence
"	212.000	Foot, Thence
"	213.484	Foot, Thence
"	215.354	Foot, Thence
"	216.384	Foot, Thence
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"	323.000	Foot, Thence
"	324.000	Foot, Thence
"	325.000	Foot, Thence
"	326.00	Foot, Thence

SEPTEMBER 23, 1981

Know all men by these presents that the undersigned owner () of the above described tract of land, having caused same to be subdivided into lots and streets to be hereafter known as the

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use.

19 day of October, AD 1981
 GARDIAN TITLE COMPANY, OF UTAH
 1100 N. Main Street
 Salt Lake City, Utah 84102
 Assistant Vice President

STATE OF UTAH } ss.
County of _____

in the _____ day of October, A.D. 1987, personally appeared before me, the undersigned Notary Public, in and for said County of _____, said State of Utah, the signers, 1 of the above Owner's _____ in number, who duly acknowledged to me that Fred A. Baker _____ in feeble and voluntarily and for the uses and purposes therein mentioned.

 Notary Commission Expires 6/17 1989

A SUBDIVISION LOCATED IN THE NW 1/4 OF SEC. 8
T.3S., R.1W., S.L.B. & M.

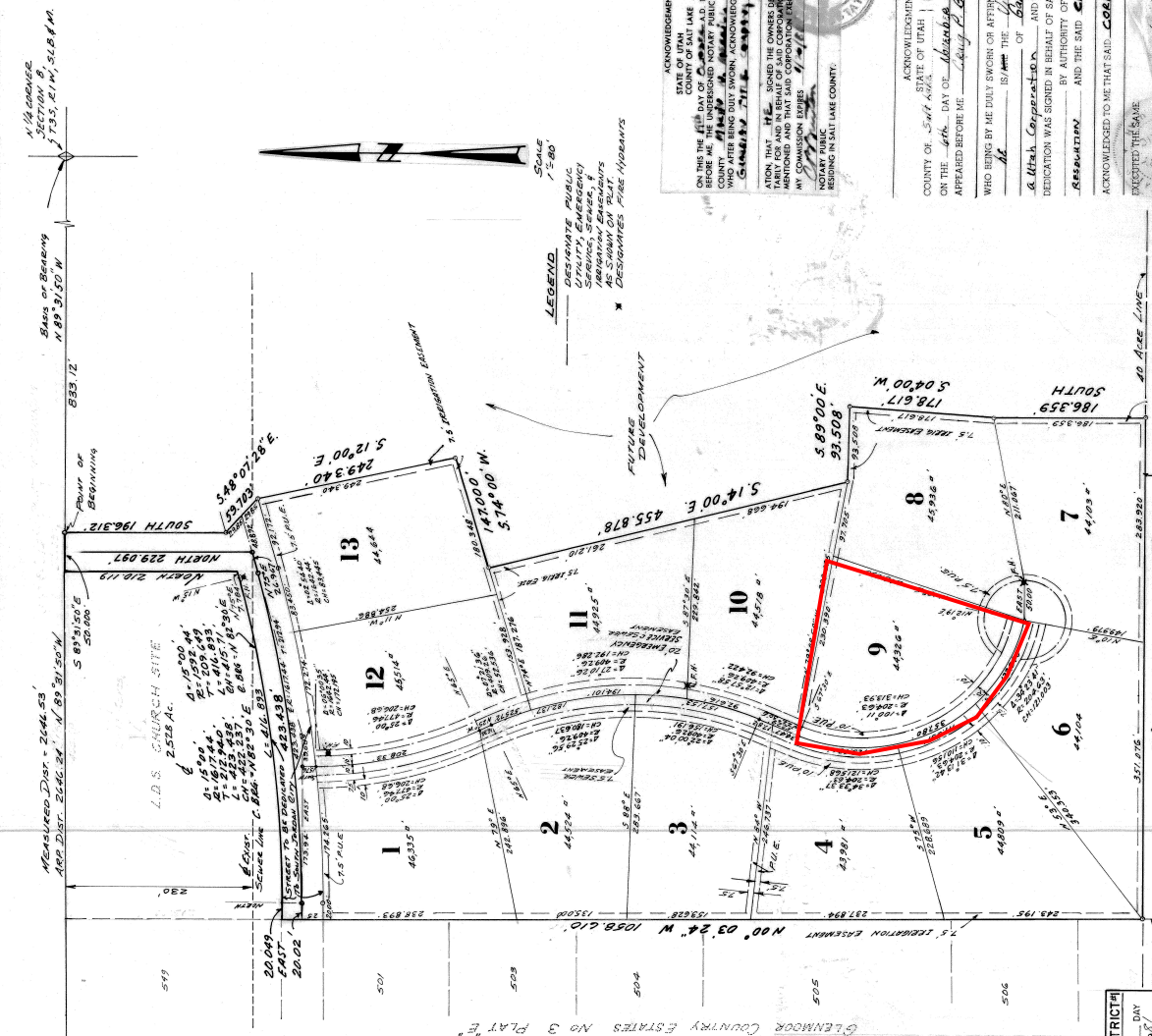
RECORDED # 3783193

STATE OF UTAH, COUNTY OF SALT LAKE RECORDED AND FILED AT THE RE-
QUEST OF
CRAIG P. RYBETON

DATE 4-20-83 TIME 2:00 PM BOOK 83-4 PAGE 49
#1650
FEE \$
COUNT RECORDER
Myrae Taylor

99

83-4-49

[illegible]

ACKNOWLEDGMENT
STATE OF UTAH | S.S.
COUNTY OF Salt Lake
ON THE 10th DAY OF December

WHO BEING BY ME DULY SWORN OR AFFIRMED DID SAY THAT
 he IS/WM THE Vice President OF Globalheat, Inc.
a Utah Corporation AND THAT THE WITHIN OWNER'S
 DECLARATION WAS SIGNED IN BEHALF OF SAID Corporation
 BY AUTHORITY OF A Corporate
Resolution AND THE SAID CRALF D. BURTON
 RECOMMENDED TO ME THAT SAID Corporation

NOTARY PUBLIC
RESIDING IN East Lake County
Fieldview Gates
NOTARY PUBLIC
EXPIRES 11/26/84
SIGNED THE SAME

PRESENTED TO THE BOARD OF SOUTH JORDAN CITY COUNCIL
 CITY THIS 5th DAY OF April
 A.D. 19 83 AT WHICH TIME THIS SUBORDINATE WAS
 AND ACCEPTED.
 ATTEST: SOUTH JORDAN CITY CLERK, Maureen
 CITY ATTORNEY, Maureen

ENGINEER'S CERTIFICATE

HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAN AND IT IS CORRECT IN COORDINANCE WITH INFORMATION ON FILE IN THIS OFFICE.

10/1/81 *Y. Hamada W. T. T.*

DATE SOUTH JORDAN CITY ENGINEER

~~FLOOD CONTROL DEPT.
APPROVED THIS _____ DAY OF _____
A.D. 19 _____
FLOOD CONTROL COORDINATOR~~

BOARD OF HEALTH

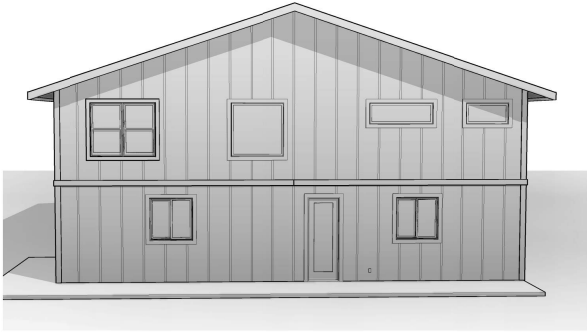
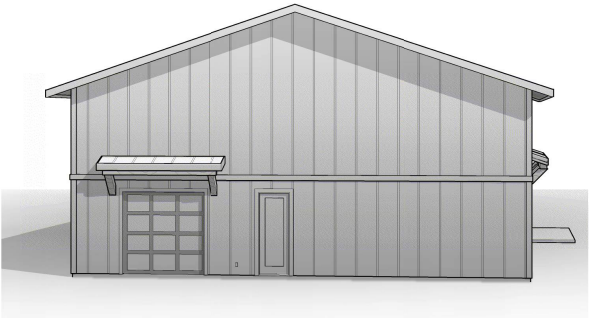
APPROVED THIS 5th DAY
OF October A.D., 1991

Karl J. [Signature]
DIRECTOR CO. BOARD OF HEALTH

PLANNING COMMISSION
APPROVED THIS 23rd DAY OF
September A.D. 1987 BY THE SOUTH
JORDAN CITY PLANNING COMMISSION
Charles R. Wilson
CHAIRMAN, SOUTH JORDAN CITY PLAN. COMM.

APPROVED BY BOARD OF COUNTY COMMISSIONERS JULY 12, 1967

3D VIEWS ARE
CONCEPTUAL ONLY

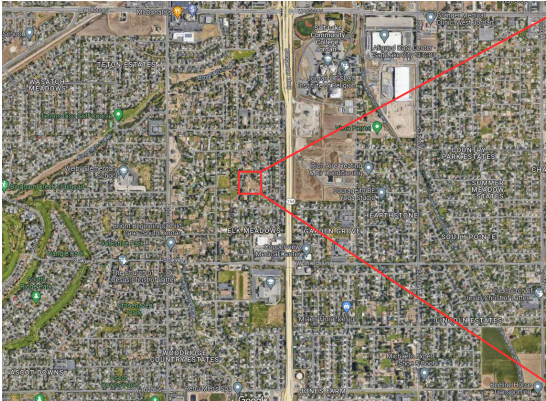


WIDDISON RESIDENCE

SOUTH JORDAN, UTAH



AREA MAP



LOCATION MAP



SHEET INDEX	
SHEET #	SHEET NAME
A0.0	COVER SHEET
A1.0	GENERAL NOTES
A1.1	SITE PLAN
A2.0	LOWER LEVEL
A2.1	MAIN LEVEL
A2.2	UPPER LEVEL
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	3D VIEWS
A3.3	3D VIEWS
A4.0	FOOTAGES
A4.2	ROOF PLAN
A4.3	CROSS SECTION
A6.0	ARCHITECTURAL DETAILS
A6.1	DETAILS
A6.2	DETAILS
E1.0	LOWER LEVEL ELECTRICAL
E1.1	MAIN LEVEL ELECTRICAL
E1.2	UPPER LEVEL ELECTRICAL
S1.0	FOUNDATION PLAN
S2.0	MAIN LEVEL FLOOR FRAMING
S2.1	UPPER LEVEL FLOOR FRAMING
S3.0	ROOF FRAMING
SD1	STRUCTURAL DETAILS (york)
TOTAL SHEETS: 24	



9557 SOUTH 3770 WEST
SOUTH JORDAN, UTAH 84095

COVER SHEET

REVISION SCHEDULE		
No.	Description	Date

Engineered By:

York Engineering
(801) 876-3501

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Barn

Designed for

Bryant Widdison

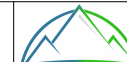
Date: MAY 2023

Drawn by: DSW

Sheet: A0.0 of 24

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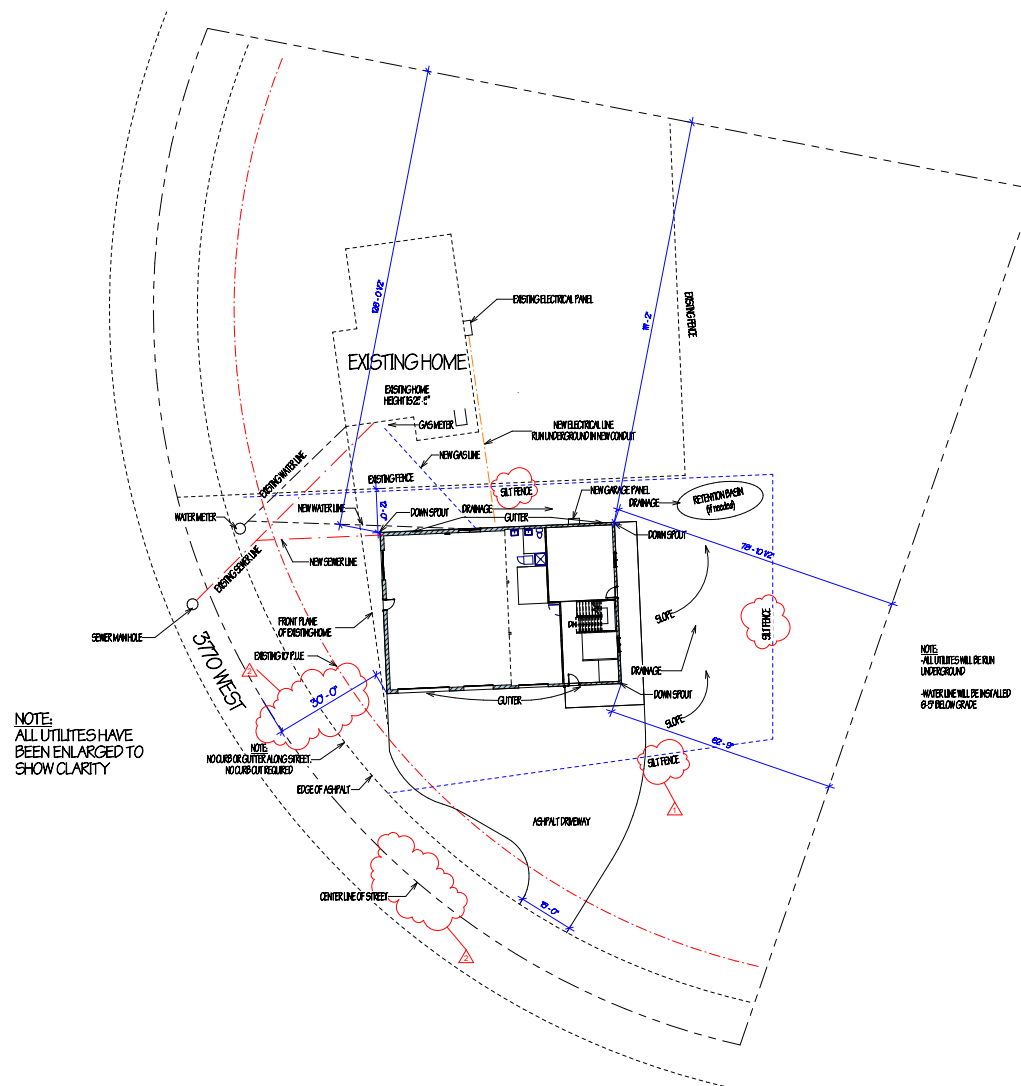
A LINED CONCRETE WASHOUT AREA MUST BE PROVIDED AT THE SITE FOR ALL CONCRETE WORK. WASHOUT INTO FOUNDATION OR ON THE GROUND IS PROHIBITED.



HIGH POINT

DRAFTING
LET'S CREATE SOMETHING TOGETHER
801.455.2000 - devin@thedrafting.com

SITE PLAN



DATE: MAY, 2001
ACRES: 1.02

① SITE PLAN
SCALE: 1/16" = 1'-0"

NOTE:
-ALL UTILITIES WILL BE RUN
UNDERGROUND
-WATER LINE WILL BE INSTALLED
8'-0" BELOW GRADE

REVISION SCHEDULE		
No.	Description	Date
1	CORRECTIONS #1	3.5.24
2	Corrections #2	9.25.2

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Barn

Designed for

Bryant Widdison

Date	MAY, 2023
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Drawn by	DSW
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Sheet A1.1

OF

24

REVISED:

9/25/2024 3:54:12 PM

<u>WINDOW HEAD HEIGHTS</u>	
LOWER LEVEL	N/A
MAIN LEVEL	8'-0" UNO
UPPER LEVEL	7'-0" UNO

NOTE:
A BACK WATER VALVE IS REQUIRED TO PROTECT PLUMBING
FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL
OF THE NEAREST UPSTREAM MAN HOLE COVER. FIXTURES
THAT ARE ABOVE THE ELEVATION OF THE MAN HOLE COVER
SHALL NOT DISCHARGE THROUGH THE BACK WATER VALVE

NOTE:
FLOOR DRAINS MUST HAVE TRAP
PRIMERS OR DEEP SEAL TRAPS

NOTE:
LANDINGS OR FINISHED FLOORS AT THE REQUIRED
EGRESS DOOR SHALL NOT BE MORE THAN 1/2" LOWER
THAN THE TOP OF THE THRESHOLD. THE LANDING OF
FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7
3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE
DOOR DOES NOT SWING OVER THE LANDING OF FLOOR.

NOTE:
BACKFLOW PREVENTERS OR VACUUM BREAKERS
FOR PROTECTION OF POTABLE WATER ON HOSE
BIBS, IRRIGATION OR SPRINKLER SYSTEM,
BOILERS AND HEAT EXCHANGERS

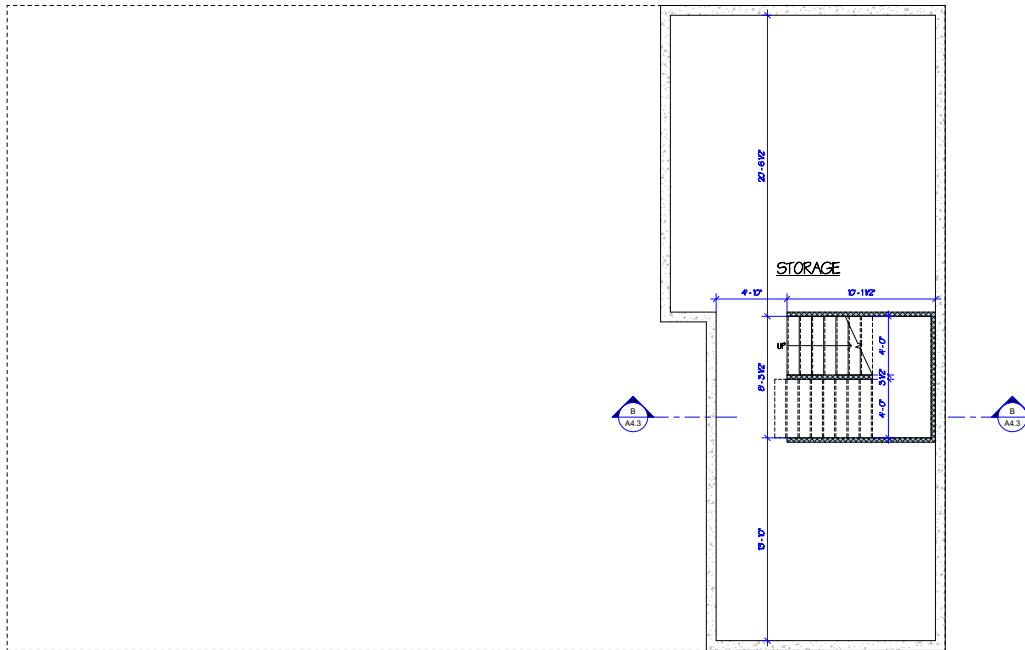
NOTE:
TRUSS COMPANY TO MEET
WITH BUILDER & HOME OWNER BEFORE
TRUSSES ARE BUILT

NOTE:
STAIRS TO BE BUILT WITH 4
STRINGERS EVENLY SPACED

NOTE:
ALL PLUMBING WALLS TO BE
FRAMED WITH 2X6 WALLS

NOTE:
FRAMERS PLEASE REFER TO
FLOOR PLANS AND ELEVATIONS
FOR WINDOW SIZE AND PLACEMENT

NOTE:
ALL DIMENSIONS ARE TO
ROUGH FRAMING



① LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE:
THESE PLANS SHALL BE BUILT ACCORDING
TO THE BUILDING STANDARDS IN THE STATE
COUNTY, CITY THEY ARE BUILT IN

WALL LEGEND

	2x6 Wall
	2x4 Wall
	1x2 Wall
	Temp. Wall
	Future Wall



LOWER LEVEL

REVISION SCHEDULE		
No.	Description	Date

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Barn

Designed for

Bryant Widdison

Date MAY, 2023

Drawn by	DSW
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Sheet A20

A2.0

OF

24

REVISÉ:

WINDOW HEAD HEIGHTS			
LOWER LEVEL	NA		
MAIN LEVEL	8'-0" LND		
UPPER LEVEL	7'-0" LND		

NOTE:
A BACK WATER VALVE IS REQUIRED TO PROTECT PLUMBING FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL OF THE NEAREST UPSTREAM MANHOLE COVER. FIXTURES THAT ARE ABOVE THE ELEVATION OF THE MANHOLE COVER SHALL NOT DISCHARGE THROUGH THE BACK WATER VALVE.

NOTE:
FLOOR DRAINS MUST HAVE TRAP PRIMERS OR DEEP SEAL TRAPS.

NOTE:
LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 11/2' LOWER THAN THE TOP OF THE THRESHOLD. THE LANDING OF FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7' 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OF FLOOR.

NOTE:
BACKFLOW PREVENTERS OR VACUUM BREAKERS FOR PROTECTION OF POTABLE WATER ON HOSE BIBS, IRRIGATION OR SPRINKLER SYSTEM, BOILERS AND HEAT EXCHANGERS.

NOTE:
TRUSS COMPANY TO MEET WITH BUILDER & HOME OWNER BEFORE TRUSSES ARE BUILT.

NOTE:
STAIRS TO BE BUILT WITH 4 STRINGERS EVENLY SPACED.

NOTE:
ALL PLUMBING WALLS TO BE FRAMED WITH 2X6 WALLS.

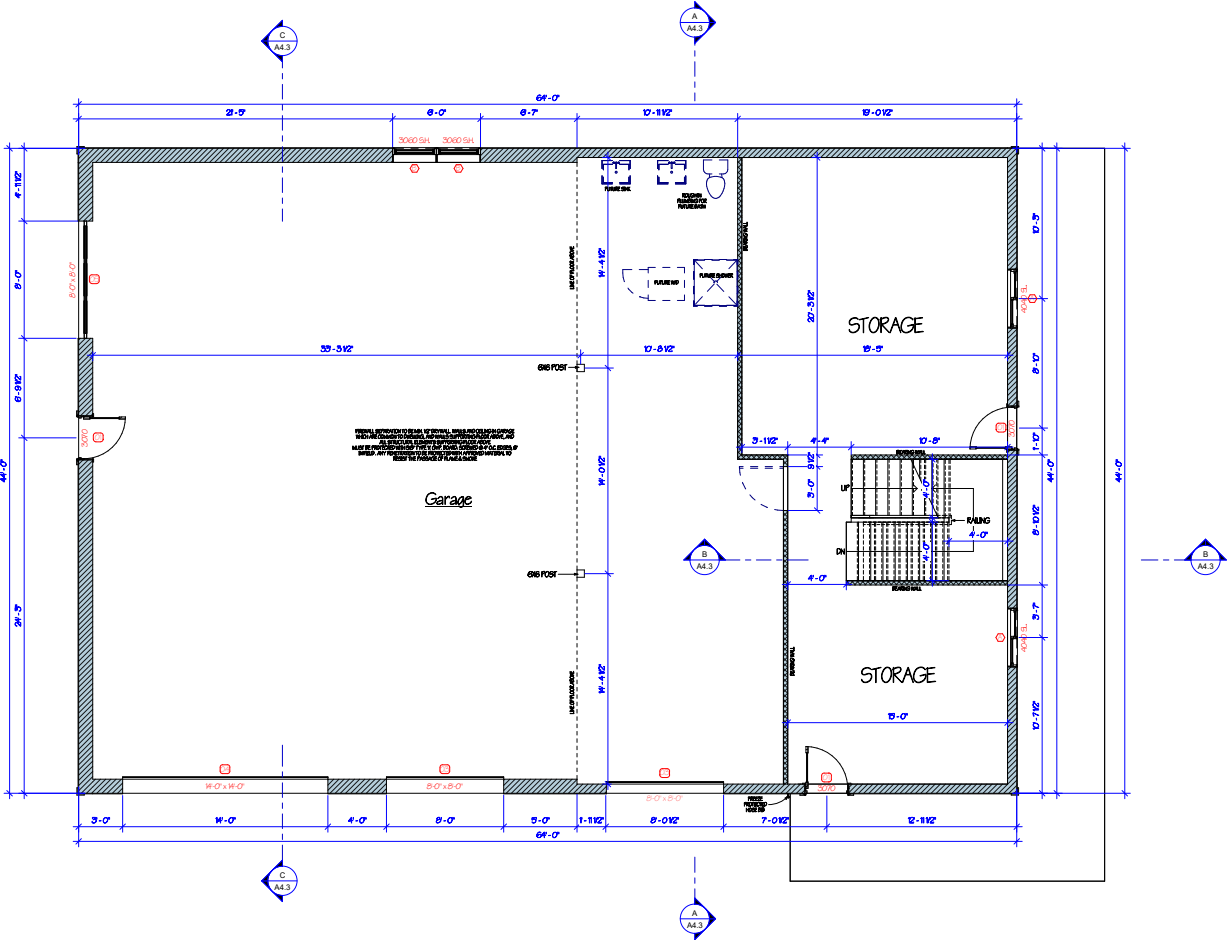
NOTE:
FRAMERS PLEASE REFER TO FLOOR PLANS AND ELEVATIONS FOR WINDOW SIZE AND PLACEMENT.

NOTE:
ALL DIMENSIONS ARE TO ROUGH FRAMING.

NOTE:
THESE PLANS SHALL BE BUILT ACCORDING TO THE BUILDING STANDARDS IN THE STATE, COUNTY, CITY THEY ARE BUILT IN.



WALL LEGEND	
2x6 Wall	----
2x4 Wall	-----
1/2" Wall	=====
Temp. Wall	-----
Future Wall	-----



① MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

FULL WINDOW SCHEDULE										
NUMBER	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	HEAD HEIGHT	LEVEL	COUNT		
A	4'-0"	4'-0"	YES	NO	SLIDER	8'-0"	MAIN LEVEL	2		
B	3'-0"	6'-0"	YES	NO	S.H.	8'-0"	MAIN LEVEL	2		
C	3'-0"	8'-0"	YES	NO	S.H.	7'-0"	UPPER LEVEL	4		
D	4'-0"	2'-0"	NO	YES	SLIDER	7'-0"	UPPER LEVEL	1		
E	3'-0"	3'-0"	NO	YES	FIXED	7'-0"	UPPER LEVEL	1		
F	6'-0"	2'-0"	NO	NO	FIXED	7'-0"	UPPER LEVEL	1		
G	4'-0"	2'-0"	NO	YES	FIXED	7'-0"	UPPER LEVEL	2		
H	2'-0"	2'-0"	NO	NO	FIXED	7'-0"	UPPER LEVEL	1		
Grand Total								14		

MAIN LEVEL WINDOW SCHEDULE										
NUMBER	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	HEAD HEIGHT	LEVEL	COUNT		
A	4'-0"	4'-0"	YES	NO	SLIDER	8'-0"	MAIN LEVEL	2		
B	3'-0"	6'-0"	YES	NO	S.H.	8'-0"	MAIN LEVEL	2		
Grand Total								4		

DOOR SCHEDULE						
NUMBER	WIDTH	HEIGHT	MATERIAL	DESCRIPTION	HEAD HEIGHT	LEVEL
01	3'-0"	8'-0"	GLASS	FULL GLASS		MAIN LEVEL
02	3'-0"	8'-0"	WOOD	INTERIOR		MAIN LEVEL
03	3'-0"	8'-0"	METAL	OVER HEAD DOOR		MAIN LEVEL
04	14'-0"	14'-0"	METAL	OVER HEAD DOOR		MAIN LEVEL
05	3'-0"	8'-0"	METAL	OVER HEAD DOOR		MAIN LEVEL
Grand Total						5

REVISION SCHEDULE		
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Barn

Designed for

Bryant Widdison

Date MAY 2023

Drawn by DSW

Sheet

A2.1
OF
24

REVISED:
3/11/2024 4:36:11 PM

MAIN LEVEL

WINDOW HEAD HEIGHTS	
LOWER LEVEL	N/A
MAIN LEVEL	8'-0" UND
UPPER LEVEL	7'-0" UND

NOTE:
A BACK WATER VALVE IS REQUIRED TO PROTECT PLUMBING
FIXTURES THAT ARE LOCATED BELOW THE ELEVATION LEVEL
OF THE NEAREST UPSTREAM MANHOLE COVER. FIXTURES
THAT ARE ABOVE THE ELEVATION OF THE MANHOLE COVER
SHALL NOT DISCHARGE THROUGH THE BACK WATER VALVE.

NOTE:
FLOOR DRAINS MUST HAVE TRAP
PRIMERS OR DEEP SEAL TRAPS

NOTE:
LANDINGS OR FINISHED FLOORS AT THE REQUIRED
EGRESS DOOR SHALL NOT BE MORE THAN 11/2' LOWER
THAN THE TOP OF THE THRESHOLD. THE LANDING OF
FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7
3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE
DOOR DOES NOT SWING OVER THE LANDING OF FLOOR.

NOTE:
BACKFLOW PREVENTERS OR VACUUM BREAKERS
FOR PROTECTION OF POTABLE WATER OR HOSE
BIBS, IRRIGATION OR SPRINKLER SYSTEM,
BOILERS AND HEAT EXCHANGERS

NOTE:
TRUSS COMPANY TO MEET
WITH BUILDER & HOME OWNER BEFORE
TRUSSES ARE BUILT

NOTE:
STAIRS TO BE BUILT WITH 4
STRINGERS EVENLY SPACED

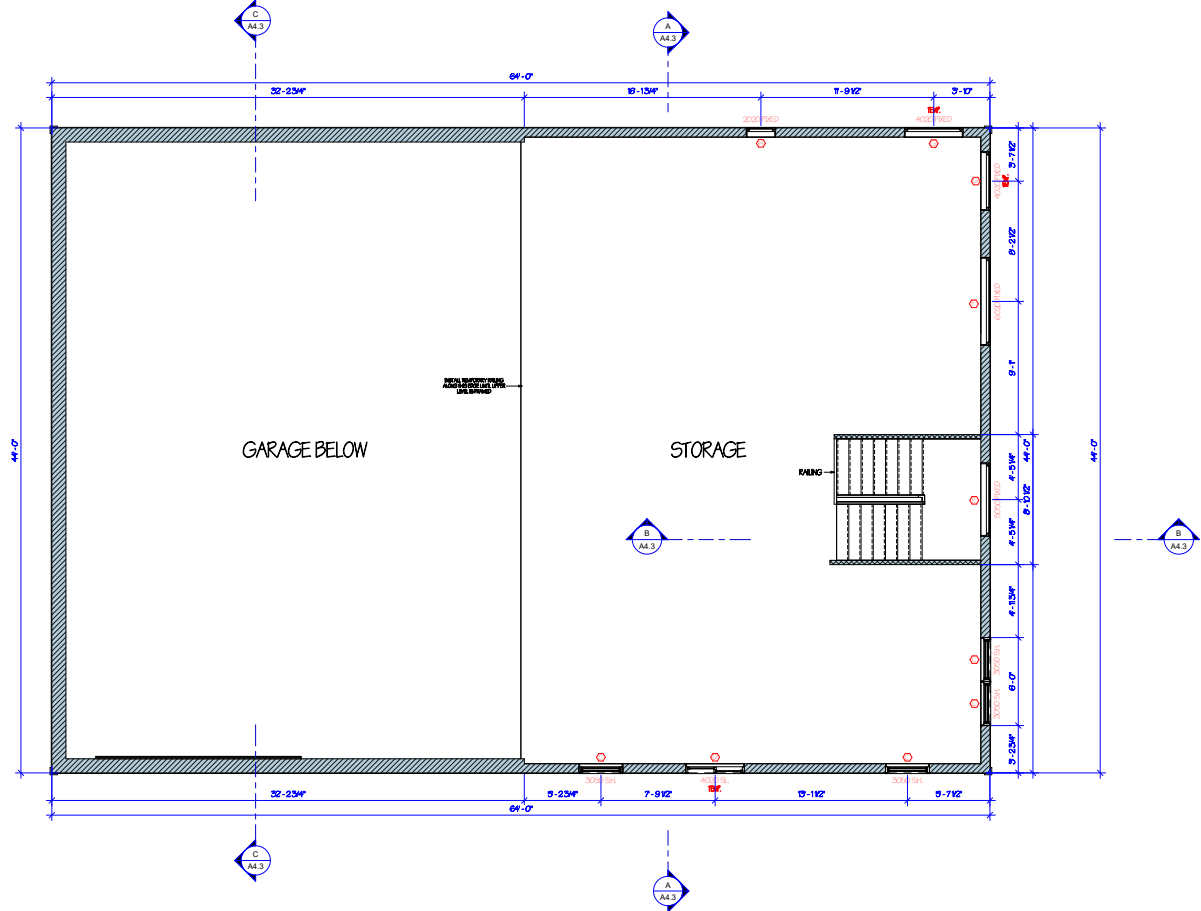
NOTE:
ALL PLUMBING WALLS TO BE
FRAMED WITH 2X6 WALLS

NOTE:
FRAMERS PLEASE REFER TO
FLOOR PLANS AND ELEVATIONS
FOR WINDOW SIZE AND PLACEMENT

NOTE:
ALL DIMENSIONS ARE TO
ROUGH FRAMING

NOTE:
THESE PLANS SHALL BE BUILT ACCORDING
TO THE BUILDING STANDARDS IN THE STATE,
COUNTY, CITY THEY ARE BUILT IN

WALL LEGEND	
2x6 Wall	
2x4 Wall	
1/2" Wall	
Temp. Wall	
Future Wall	



UPPER LEVEL WINDOW SCHEDULE									
NUMBER	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	HEAD HEIGHT	LEVEL	COUNT	
C	3'-0"	5'-0"	YES	NO	SLIDER	7'-0"	UPPER LEVEL	4	
D	4'-0"	2'-0"	NO	YES	SLIDER	7'-0"	UPPER LEVEL	1	
E	5'-0"	5'-0"	NO	YES	FIXED	7'-0"	UPPER LEVEL	1	
F	6'-0"	2'-0"	NO	NO	FIXED	7'-0"	UPPER LEVEL	1	
G	4'-0"	2'-0"	NO	YES	FIXED	7'-0"	UPPER LEVEL	2	
H	2'-0"	2'-0"	NO	NO	FIXED	7'-0"	UPPER LEVEL	1	
Grand Total								10	

DOOR SCHEDULE						
NUMBER	WIDTH	HEIGHT	MATERIAL	DESCRIPTION	LEVEL	COUNT
G1	3'-0"	8'-0"	GLASS	FULL GLASS	MAIN LEVEL	3
G2	3'-0"	8'-0"	WOOD	INTERIOR	MAIN LEVEL	1
G3	3'-0"	8'-0"	METAL	OVER HEAD DOOR	MAIN LEVEL	2
G4	14'-0"	14'-0"	METAL	OVER HEAD DOOR	MAIN LEVEL	1
G5	3'-0"	8'-0"	METAL	OVER HEAD DOOR	MAIN LEVEL	1
Grand Total						8

① UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

UPPER LEVEL

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Barn

Designed for

Bryant Widdison

Date MAY 2023

Drawn by DSW

Sheet

A2.2
OF
24

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TYPICAL OVERHANG
24"

WINDOW HEAD HEIGHTS	
LOWER LEVEL	N/A
MAIN LEVEL	8'-0" UND
UPPER LEVEL	7'-0" UND

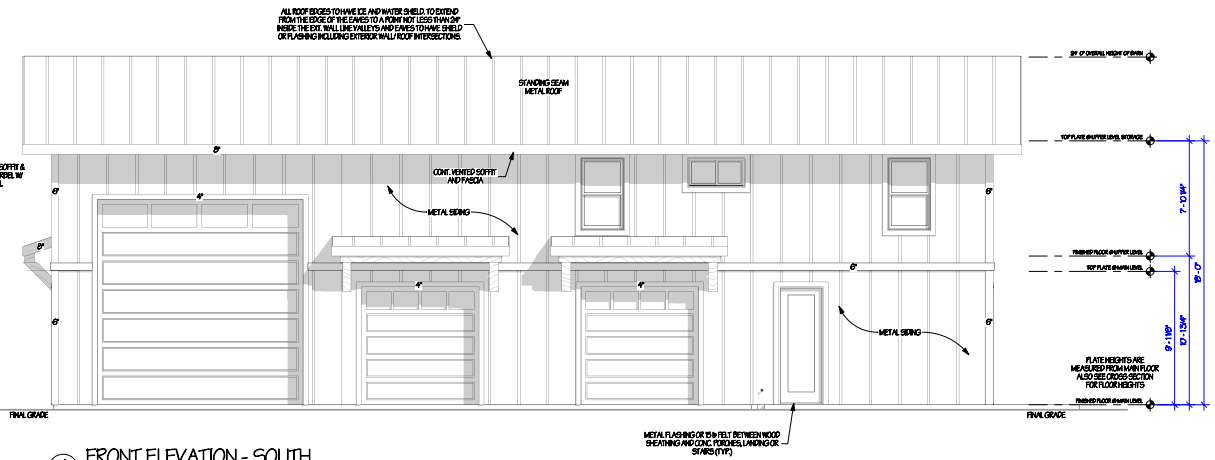


NOTE
TRUSS COMPANY TO MEET
WITH BUILDER & HOME OWNER BEFORE
TRUSSES ARE BUILT.

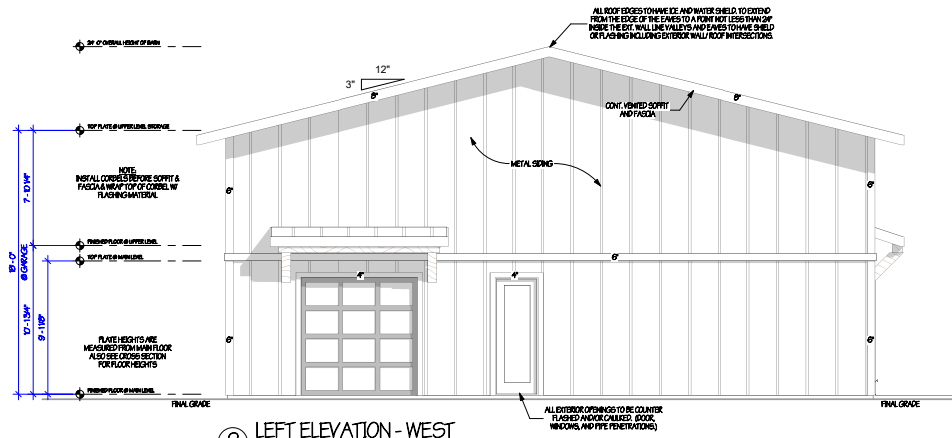
NOTE
THESE PLANS SHALL BE BUILT ACCORDING
TO THE BUILDING STANDARDS IN THE STATE,
COUNTY, CITY THEY ARE BUILT IN.

NOTE
ELEVATIONS AND GRADE ARE
CONCEPT ONLY. CIVIL ENGINEER
MUST BE CONSULTED FOR
ACCURATE SITE AND GRADING PLAN.

NOTE
FRAMERS PLEASE REFER TO FLOOR
PLANS AND ELEVATIONS FOR
WINDOW SIZE AND PLACEMENT.



① FRONT ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



② LEFT ELEVATION - WEST
SCALE: 1/4" = 1'-0"

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Barn

Designed for
Bryant Widdison

Date: MAY 2023
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Sheet: A3.0 OF 24

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5/14/2024 11:29:46 AM

ELEVATIONS

TYPICAL OVERHANG
24"

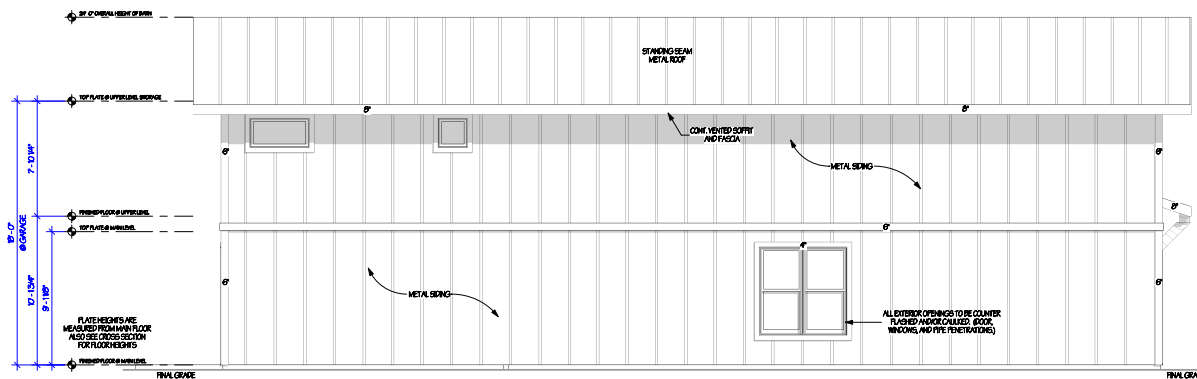
WINDOW HEAD HEIGHTS	
LOWER LEVEL	N/A
MAIN LEVEL	8'-0" UNO
UPPER LEVEL	7'-0" UNO

NOTE
TRUSS COMPANY TO MEET
WITH BUILDER & HOME OWNER BEFORE
TRUSSES ARE BUILT

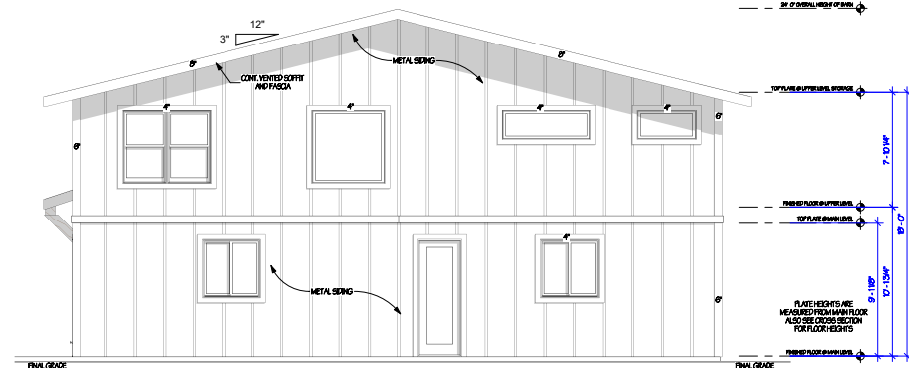
NOTE
THESE PLANS SHALL BE BUILT ACCORDING
TO THE BUILDING STANDARDS IN THE STATE,
COUNTY, CITY THEY ARE BUILT IN

NOTE
ELEVATIONS AND GRADE ARE
CONCEPT ONLY. CIVIL ENGINEER
MUST BE CONSULTED FOR
ACCURATE SITE AND GRADING PLAN

NOTE
FRAMERS PLEASE REFER TO FLOOR
PLANS AND ELEVATIONS FOR
WINDOW SIZE AND PLACEMENT



① REAR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



② RIGHT ELEVATION - EAST
SCALE: 1/4" = 1'-0"

REVISION SCHEDULE		
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Barn

Designed for

Bryant Widdison

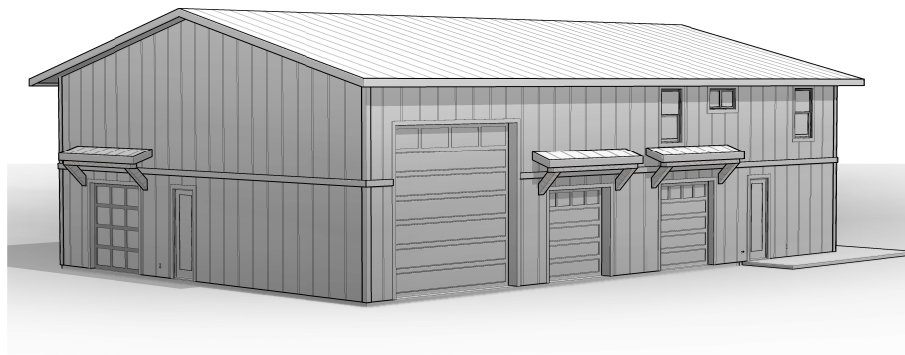
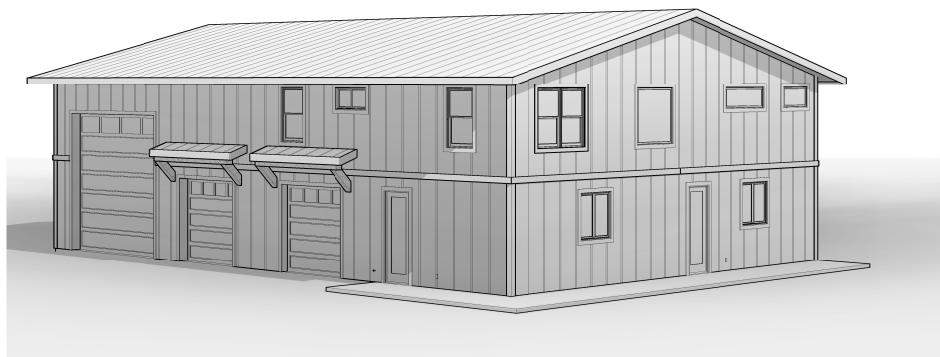
Date: MAY 2023

Drawn by: DSW

Sheet

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REVISION SCHEDULE		
No	Description	Date

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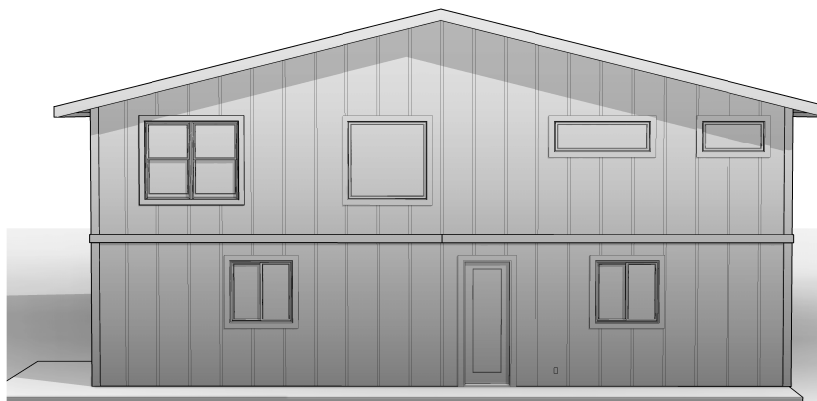
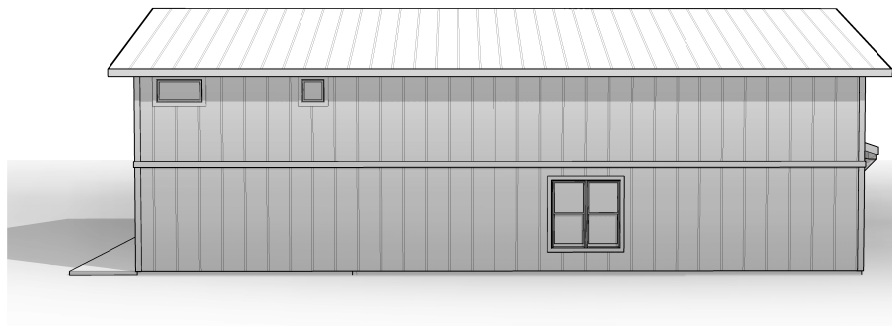
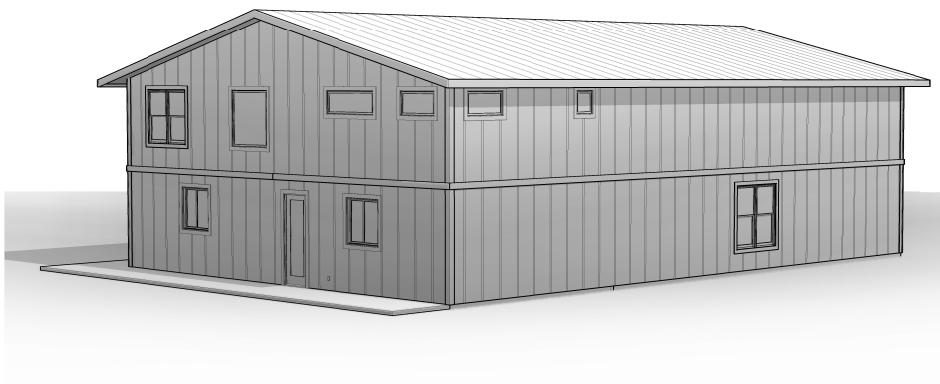
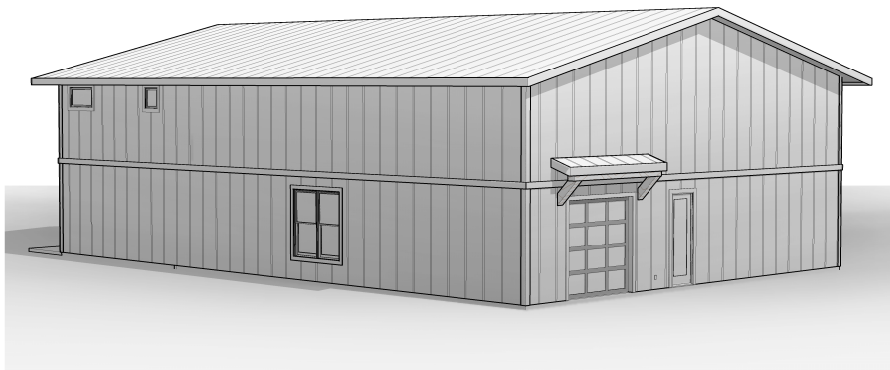
Bryant Widdison

Date	MAY, 202
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Drawn by	DSW
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Sheet **A3.2**
OF
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3D VIEWS

REVISION SCHEDULE		
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Barn

Designed for

Bryant Widdison

Date MAY, 2023

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Sheet A22

A3.3

OF

24

24

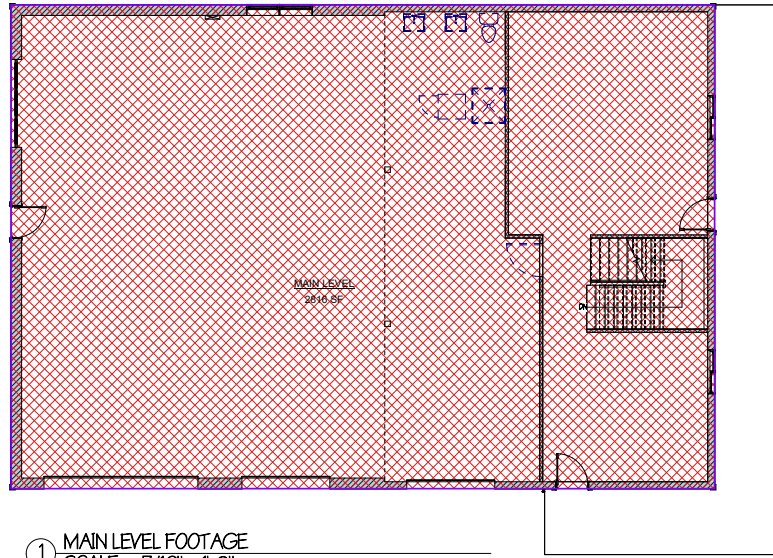
REVISÉ:

NOTE:
FOOTAGE NUMBERS REFLECT
OUTSIDE OF FRAMING

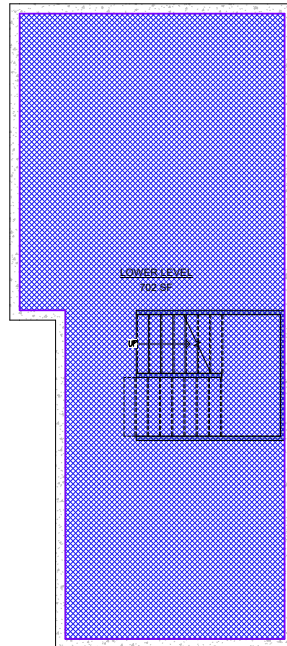
FOOTAGE CALCULATIONS		
NAME	AREA	LEVEL
LOWER LEVEL	702 SF	LOWER LEVEL
MAIN LEVEL	2816 SF	MAIN LEVEL
UPPER LEVEL	1322 SF	UPPER LEVEL
TOTAL FLOOR AREA	4839 SF	

FOOTAGES

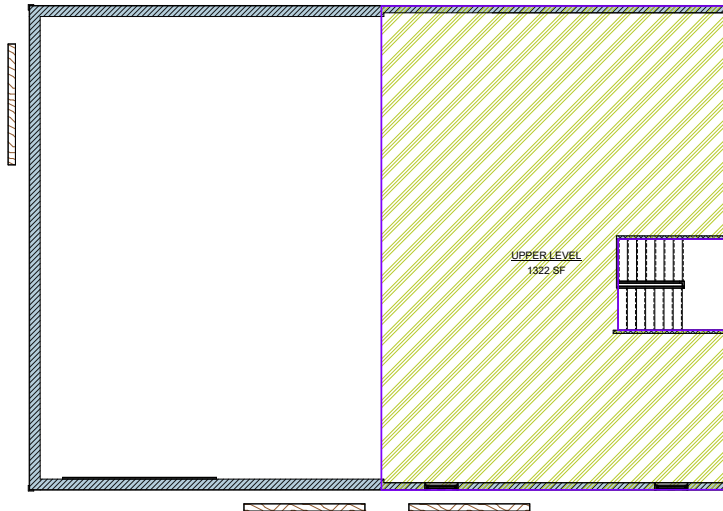
-  LOWER LEVEL
-  MAIN LEVEL
-  UPPER LEVEL



① MAIN LEVEL FOOTAGE
SCALE: 3/16" = 1'-0"



③ LOWER LEVEL FOOTAGE
SCALE: 1/4" = 1'-0"



② UPPER LEVEL FOOTAGE
SCALE: 3/16" = 1'-0"

FOOTAGES

REVISION SCHEDULE		
No.	Description	Date

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Barn

Designed for

Bryant Widdison

Date: MAY 2023

Drawn by: DSW

Sheet

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OF
24

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Letter from Applicant

I am seeking your approval for my plans to build a detached garage that exceeds the size limitations currently in place. I believe that by allowing me to construct a larger garage, I will be able to improve the overall aesthetics and functionality of my property. This new garage will provide the space and storage that is required to accommodate the evolving needs of my property. The larger garage will provide increased storage space for essential items such as, tools, equipment and recreational vehicles, contributing to a more organized and efficient living space which will ultimately enhancing the value of my home. Also, the structure will improve the curb appeal of my property and align with the modern standards of property development in our community. By approving my plans you not only support the enhancement of my property but also contribute to the overall improvement of our neighborhood. In addition, many homes in my neighborhood have detached garages and there are several that have buildings that are similar in size then the one I am planning. I respectfully ask for your consideration in approving my request for this project.

Leon Bryant Widdison
Property Owner
9557 S. 3770 W.

Applicant Responses

TO: Leon Bryant Widdison **DATE: August 02, 2024** **FROM: City of South Jordan**
SUBJECT: Detached Garage Conditional Use Permit
(PLCUP202400128)

Please see the reviewed documents under the “Documents and Images” tab on the online city portal, which have been marked up to show any required corrections. Resubmit corrected drawings using the “New Version” button in the appropriate submittal item spot. Ensure that you’re uploading the entire set of plans, not just pages with corrections. Any added sheets should be added at the end of the plans so that redlines will remain in their proper locations. Please note that additional redlines may be shown upon resubmitted plans during subsequent reviews. Please contact Staff with any questions.

Items to be addressed prior to approval:

Planning Review Completed By: Andrew McDonald (amcdonald@sjc.utah.gov)

The application includes comments from the applicant stating that this building would "improve the overall aesthetics and functionality" of the property. Please elaborate on how that would be done? What functionality do you now consider having now that is not favorable?

A detached garage is essential to enhance both the functionality and aesthetic appeal of my property. Currently, my vehicles are exposed to the elements, leading to accelerated wear and tear. A garage would not only protect my vehicles but also provide valuable storage space for tools, equipment, and outdoor gear, creating a more organized and efficient living environment. Additionally, a well-designed detached garage can significantly improve the overall curb appeal of my home, adding value and character to the property.

Staff has reviewed aerial imagery of the property and can see many automobiles, trailers, RV's/Motor Homes, trucks, and trash/debris kept outdoors. What do you have currently on the property as of July 2024? Are these all planned to be kept inside the garage? Please know that a property is only permitted to have up to two non-operable vehicles regardless if they are stored outdoors or indoors.

Yes, as previously mentioned, The garage will be used to store and work on my automobiles and other items currently on my property.

The existing home has a two car built in garage. Is it able to house two parked cars? Or is it full of the items you reference needing a new home so that you can park your cars inside the garage?

Currently my garage is able to fit one car but my intention is clean the garage and move the enclosed items to the new detached garage to create space for two.

At the time the subdivision was created (Clover Hills), and the first homes began to be constructed, there was an HOA with governing CCRs. Does the HOA still exist? Please know that the City does not enforce CCRs. They are entirely private and civil matters between the applicable property owner/parties. If they exist, and they have provisions that apply restrictions to your proposed building, enforcement would be up to community members and how they choose to enforce. The City would not be involved.

The applicant includes in the application that "many homes in my neighborhood have detached garages and there are several that have buildings that are similar in size". The proposed building is almost twice the size of the home. Staff has reviewed the area, and cannot find any properties with detached garages that are as large as what is being proposed. Please provide the addresses or location of the properties that you are referring to so that Staff may include them in review to better understand your proposal, and its compatible and consistent with the character of the surrounding area?

9588 S 3770 W, South Jordan (70x40 detached garage shown on Google maps)
3733 Angus Dr., South Jordan (60x40 detached garage shown on Google maps)
9579 Dunsinane Dr., South Jordan (just recently completed a 60X40 detached garage. Not shown on Google maps)

The applicant has submitted three building permits to construct the proposed building. In each of these applications, the location of the proposed garage changes. Please explain why the garage has been relocated from the rear yard of the property to closer to the road (3770 West). With size of the property being 1.02 acres, was there a reason the garage could not be located in the north east area of the property.

After the first submission I was informed that the setback of the building were to close in relation to the height and the type of windows that I have included. Because of that I determined that the building would be better suited on the side of my house instead of the rear.

Please correct the Site Plan to show the proposed setbacks of the garage from the foundations to the property lines. The fences being used are not the property lines, and the front property line extends to the center line of 3770 West. Include on the Site Plan the setbacks from the garage to the north, east, and south.

Please correct the Site Plan to clarify where the front (29' 1 1/2") setback is being based from. Applications are required to demonstrate setbacks to the property lines, wherever they may be.

Please provide additional detail on alternative sizes you have considered in your design. How were smaller garage sizes incapable to meet your needs? What about them made it an unsuitable option?

I originally considered different size buildings and determined that the proposed size is optimal with regards to my needs and budget. I would have applied for a larger building if my budget allowed as I feel I still could use more indoor space.

Will this garage, now or at any point in the future, include any habitable apartment space? Do you or will you have the intent to rent any habitable space for a period that is longer than thirty calendar days?

I do not have any intentions to make any portion of it habitable.

Is this proposed garage a prefabricated material package purchased from a company? or is it being built from scratch from the ground up?

The proposed garage will be built from scratch by an experienced contractor. This is due to not being able to find a prefab kit that fit my needs and design elements.

Will the exterior metal siding of the proposed garage be painted with a color scheme that is compatible to the existing home to better blend with the existing character of the property, and the neighborhood?

Yes, the garage will be painted with the same colors as my existing home to further

enhance the aesthetics and continuity of the neighborhood.

Architectural standards for buildings in general (main or accessory) require that the chosen materials be "durable, high-quality, and low maintenance." How does the proposed material satisfy this requirement? Will the exterior be treated or coated so that it may holdup to continuous elemental exposure and require the least amount of maintenance as time progresses.

The proposed garage will be made from the same material used in standard home construction. The exterior will be covered with metal siding and painted with the same paint as my home.

Please provide the type of windows that will be used throughout the garage, particularly the second level. Will they visibly transparent and able to be opened allowing a person to look out from either the main or second level?

The type of windows that will be used are a vinyl window from Home Depot. More specifically the 50 Series Low-E Argon Glass Single Hung White Vinyl Fin Window, Screen Incl

The windows will be transparent and able to be opened

Please change the Site Plan to include the full width of the road (3770 West), the 10' PUE, and the distance from the front property line (center line of 3770 West) to the building's foundations. The proposed location of the garage requires that the minimum setback to the closet foundation point of the garage to the front property line be at least (30'). The proposed (29' 1 1/2") does not meet this requirement. Amend the location of the garage a little to the east so that the setback is at least (30') at the closet point between the proposed garage and the front property line. There is no exception to this code requirement.

Why do these plans no longer include a second level balcony, and now include a below grade basement in half the building?

After some consideration I determined that a basement would be a good addition to the garage for additional storage. Due to that addition I removed the balcony because of financial constraints.

Include on the Site Plan, for reference and clarity, the distance the existing home is

setback from the back edge of the asphalt road and from the center line of 3770 West.

Presently, 3770 West is a private road with no improvements. If, at some point in time, 3770 West is dedicated as a public Right-of-Way and improved with curb, gutter, and sidewalks the distance between what would be the new edge of the Right-of-Way and the garage in its proposed location would be roughly (22'). To prevent any potential problems in the future regarding the proposed garage, would the applicant/property owner be open to considering increasing the front setback to (38') so that if the road did ever become public, doing so would not impact the detached garage?

I would like to keep the proposed garage with the current legal setback as to preserve as much "back yard" space as possible and deal with any issues with the improvement of the road if they ever arise.

CUP applications for larger footprints must demonstrate consistency with the character of the surrounding area. Please elaborate on how this proposal demonstrates the requirement of consistency and capability. This could include discussing the size of homes and garages in the comparable R-1.8 Zone in South Jordan City.

The proposed garage has a style that is consistent with the style of homes in the surrounding area. The surrounding area is characterized by a mix of traditional and contemporary styles. The proposed garage has a traditional style.

In addition to being consistent with the character of the surrounding area, the proposed garage is also capable of meeting my needs as the property owner. The garage is large enough to accommodate multiple vehicles as well as including storage space for tools and equipment. The garage is a good fit for the property and is expected to have a positive impact on the neighborhood.

In the surrounding neighborhood, it's common to find homes that are larger than mine, often with spacious layouts and additional features. Many of these homes also have detached garages, providing space for parking vehicles and storing belongings.

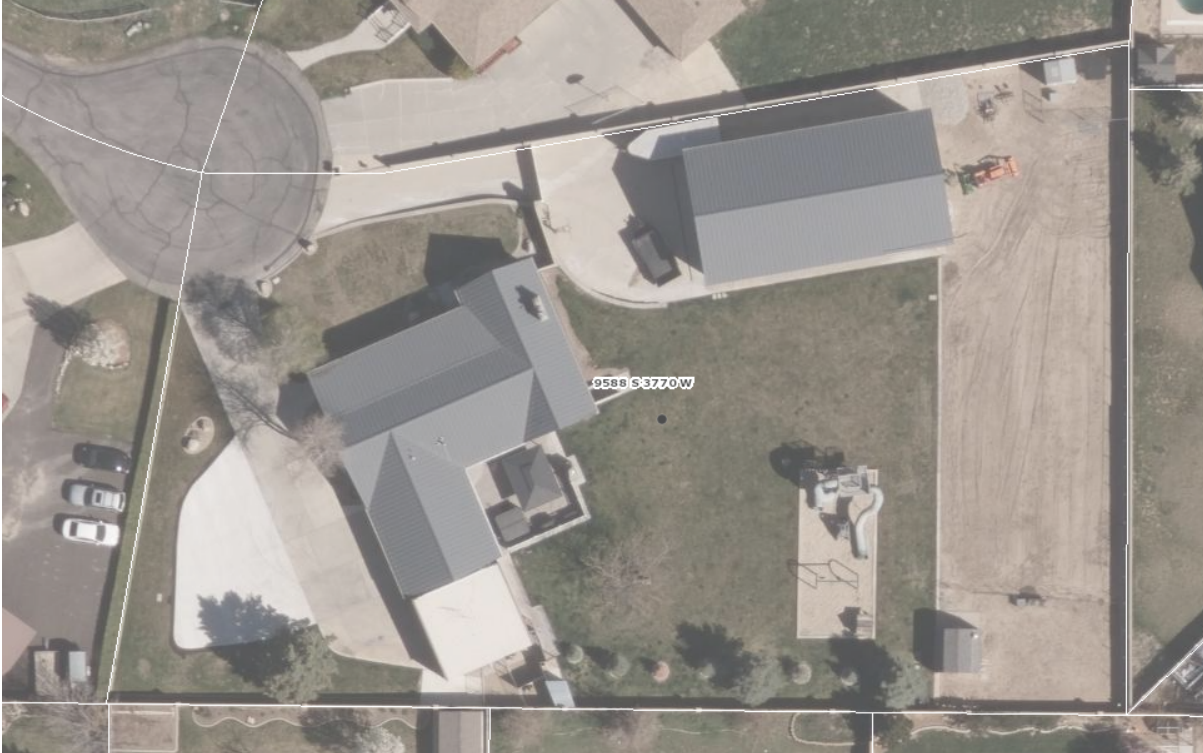
Examples of Similar Buildings in area

9588 S. 3770 W.

Home Size: 3,066 sf.

Garage Size: 2,244 sf. (34' x 66')

Building Permit issued 2004.



9558 S. 3770 W.

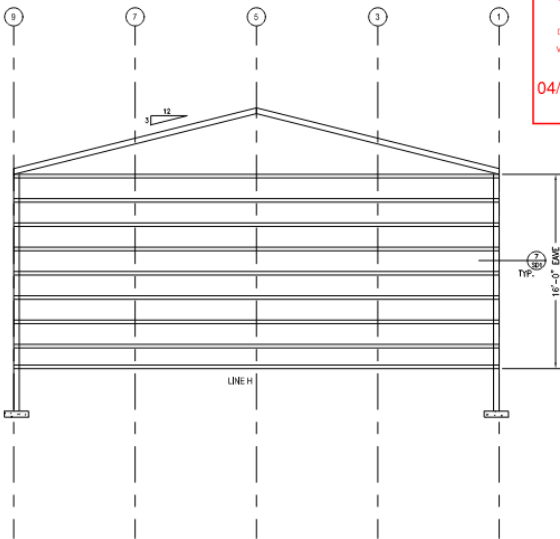
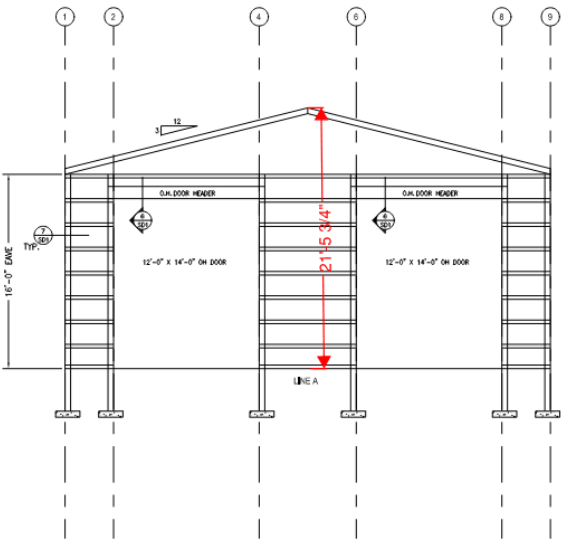
Home: 2,268 sf.

Garage: 2,400 sf. (40' x 60'),
Building Permit issued 1988



9579 S. Dunsinane Drive

Home: 3,040 sf.
Garage: 2,800 sf. (40' x 70')



**Reviewed for Code
Compliance by City
of South Jordan**

PLAN REVIEW ACCEPTANCE OF
DOCUMENTS DOES NOT AUTHORIZE
CONSTRUCTION TO PROCEED IN
VIOLATION OF ANY FEDERAL, STATE,
OR LOCAL REGULATIONS

04/02/2024 10:11:29 AM

Dawn R. Ramsey, *Mayor*
Patrick Harris, *Council Member*
Kathie L. Johnson, *Council Member*
Donald J. Shelton, *Council Member*
Tamara Zander, *Council Member*
Jason T. McGuire, *Council Member*



PH: 801.446-HELP @SouthJordanUT

NOTICE OF PUBLIC HEARING

October 31, 2024

Dear Recipient:

Leon Bryant has filed an application (File #**PLCUP202400128**) for property located at **9557 S. 3770 W.**. The applicant is requesting that the South Jordan City Planning Commission review a conditional use permit for the architectural standards for accessory buildings in the R-1.8 Zone, as listed in City Code §17.40.020(I).

You are receiving this notice because Salt Lake County records indicate that you own property that is within 300' (feet) of the subject property; or are listed as an affected entity. A map showing the property location is attached to this notice.

A public hearing regarding this proposal will be held before the South Jordan City Planning Commission **at 6:30 p.m. on Tuesday November 12, 2024** in the South Jordan City Council Chambers (Basement of City Hall; 1600 W. Towne Center Drive). All interested parties are invited to attend. The published agenda and packet can be accessed online at [<https://www.sjc.utah.gov/254/Planning-Commission>] **by 12:00 p.m. on November 8, 2024.**

Virtual attendance can be done by following instructions provided at: **<http://www.sjc.utah.gov/planning-commission/>**. Virtual attendance is contingent upon an individual's internet connection, not the City. Virtual attendance does not permit participation in the public hearing. In-person attendance is required for participation in the public hearing.

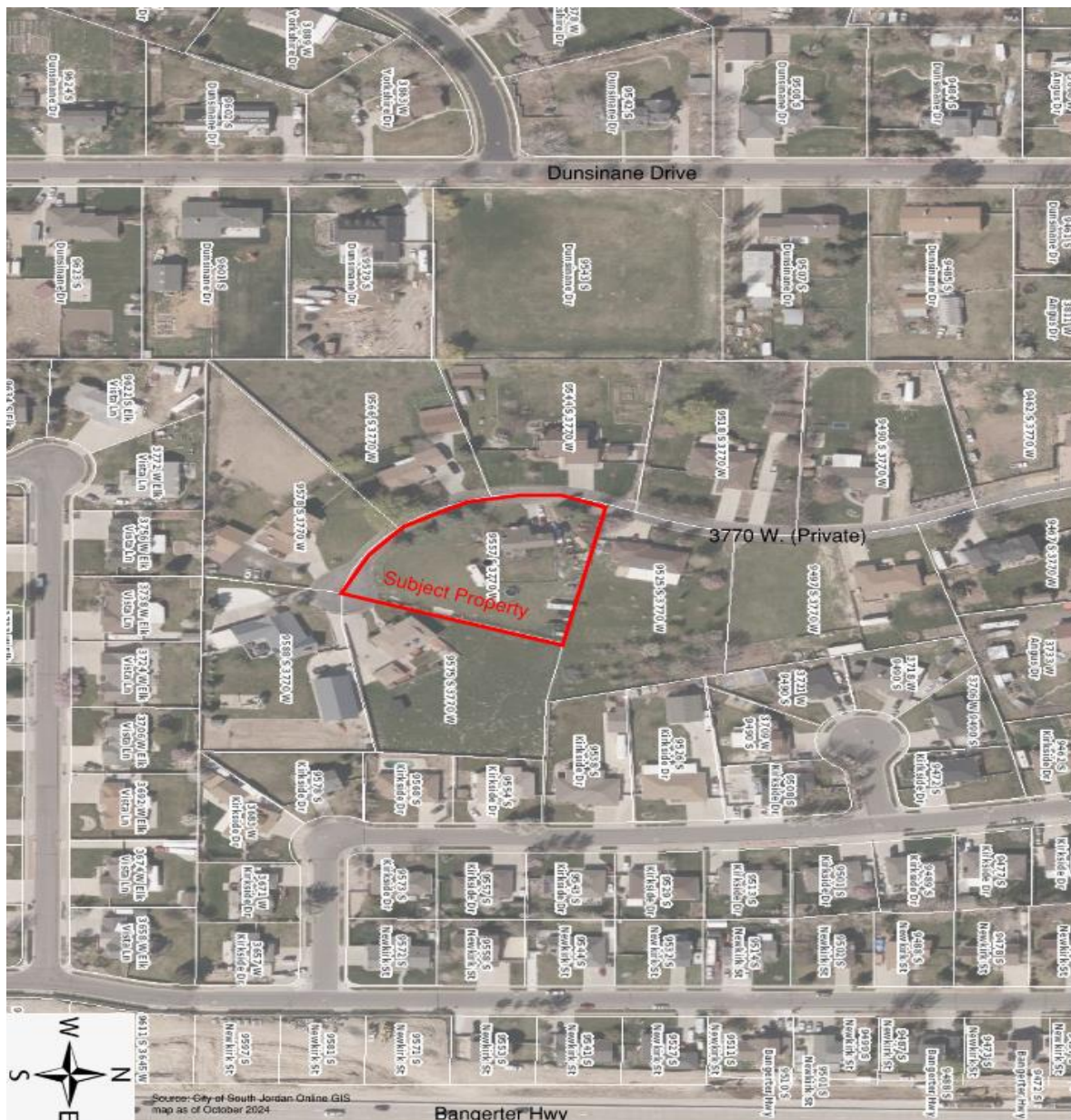
Public comments and concerns may be submitted in writing by mail or by emailing Andrew McDonald at amcdonald@sjc.utah.gov, **by 12:00 p.m. on November 12, 2024.** This ensures that any comments received can be reviewed by City Staff and the Commission, and included in the record prior to the

meeting. Any emails or signed letters received will be placed on record. **There is a 10 MB file size limit on emails received.** Comments may also be given, and added to the record, during the item's public hearing portion of the meeting.

Should you desire further information, you may contact the South Jordan Planning & Zoning Department: **(801) 446-HELP** during regular business hours or by contacting the email provided.

Respectfully,
Andrew McDonald, AICP
Planner II, Planning Department

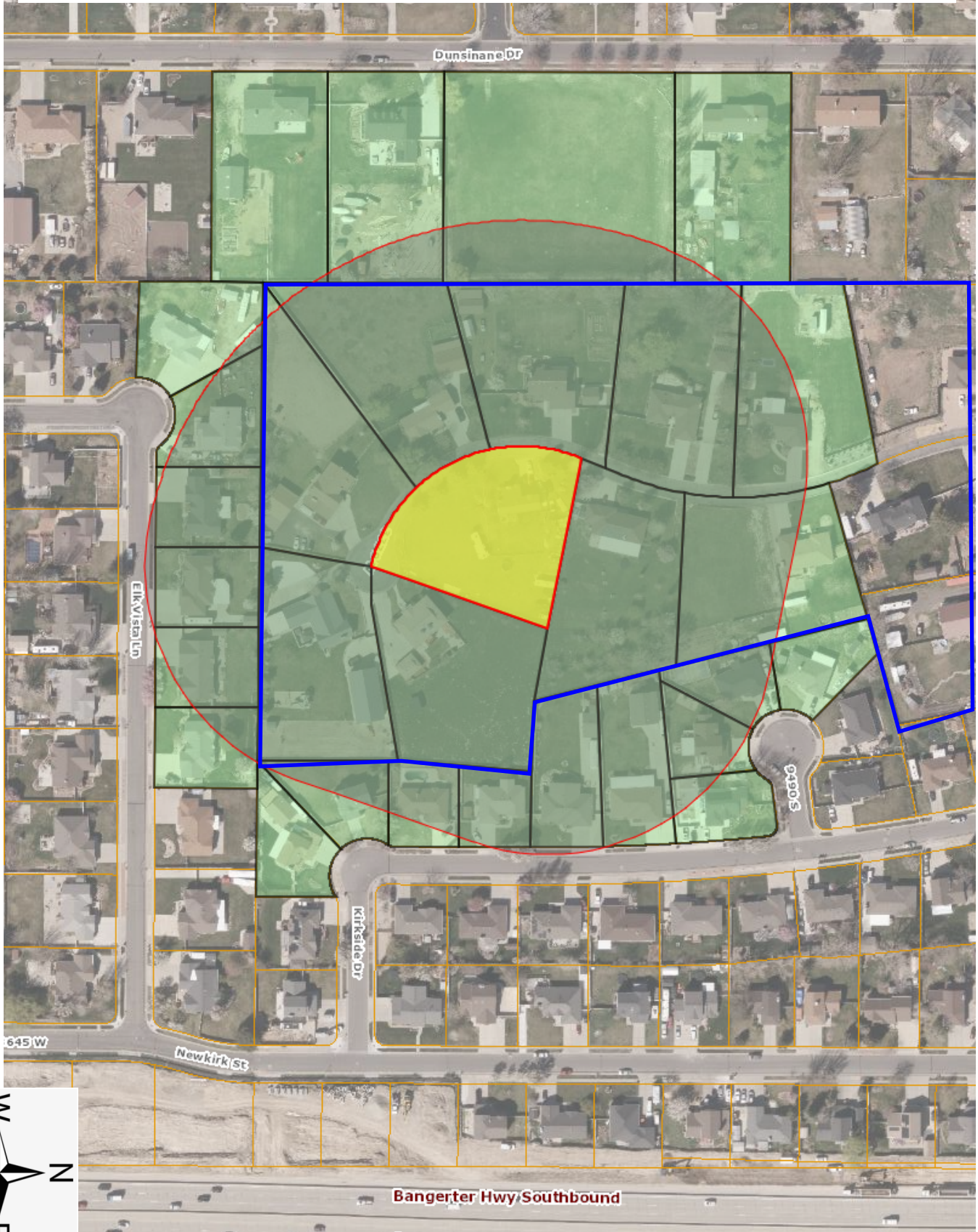
Location Map of Subject Property



Map of Mailing Notice Recipients

Green shaded properties are within 300' of subject property highlighted in yellow.

Blue Outline indicates recipients in the Clover Hills Subdivision



From: [Andrew McDonald](#)
To: [PLANNING COMMISSION](#)
Subject: FW: Leon Bryant has filed an application (File #PLCUP202400128)
Date: Tuesday, November 12, 2024 2:10:01 PM

Please see the below comments regarding the CUP scheduled for tonight's meeting.

From: Linnie Spor <linnie.spor@gmail.com>
Sent: Tuesday, November 12, 2024 12:54 PM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: Leon Bryant has filed an application (File #PLCUP202400128)

Dear South Jordan planning committee;
I would like to apologize for the formatting of this request. I am using my phone and the formatting will most likely not format correctly.

We, Linnie and Mike Spor would like to oppose the construct of a 2,816 ft sq, (44'x64') detached garage building. We would like to oppose the request of the South Jordan commission to allow the following code provision: 1. The footprint of accessory buildings shall not exceed the footprint of the main building (City code 17.4 0.020 (I)(3b)). We oppose with no animosity or retaliation towards our neighbor, Leon Bryant Widdison (property owner). Our opposition is in regards to the findings of the said conclusion and recommendation of notice file number PLCUP202400128. Findings: access to building will use existing lot frontage along 3770 W., a private road. This road is narrow and has no sidewalk curb or gutter. The property owners on this private road own to the middle of 3770 W. Along their own property line. The right away to the proposed building was not part of the original street plan. The lot owners have paid to have the road repaved and the cracks have been sealed. There is concerns that there will be damage to the road and possible sewer, and electrical damage. 3770 W. was designed to one single dwelling home per lot. This would also include one single right away or main driveway to the singular home on the lot. Our concern is this building could eventually become a living space and therefore change the existing outline and outlet of the subdivision. It is the majority of the homeowners on the street to continue to have one home per lot as originally designed. Findings bullet .3: at this time there are multiple mailboxes that could be presumed as use for a business or multiple homes. Findings bullet .4&5: 3770 W. is the only private road in the neighborhood so this does not provide an adequate example of the surrounding neighborhood. Larger homes in the area have roads that are maintained by the city and they have curb and gutter. They also have adequate curb and gutter access for excess water from rain or other weather issues. Findings bullet .6. the proposed building exceeds the minimum setback requirements. This may or may not cause flooding issues. This would need to be clarified in another council meeting. Findings bullet .7. we need more documentation showing that other large buildings that exceed or are this size to show the need for a grade basement. The concern of the additional basement is this garage could easily become a living space, or an additional housing unit on the lot that is only allowed one housing unit. Findings: bullet .8. The street owners would like more time to assess the overall height of this proposed building. The street has been in South Jordan for over 35 years. There is a slight decline in the natural landscape to enjoy the view for miles around including the mountains. The height of this building has not been objectively considered at this time and we as neighbors on this street would like more time to assess the outcomes of this said building. Findings: Bullet .9. We would ask for more information and clarification regarding the proposed footprint of this building and ask details on Why this

structure requires conditional use permits. Findings: bullet .10. Because the Heights of the building and the unclarity of the setback requirements. The homeowners on 3770 W. would like additional time to see if there are determinable effects regarding the size and depth of this said building. Findings: bullet .11. The homeowners of Clover Hills subdivision understand the importance of having large over 1 acre lots. These single dwelling house lots adds diversity and beauty to the city of South Jordan. These lots, also bring the importance of space in an ever growing Utah city. Because of our large lots,that have city laws to over see we as longtime home owners, continue to live in these wonderful housing Spaces. These large over acre spaces have created a Haven for wildlife, including beautiful bird species that require large spaces of over an acre. Therefore, we do not want the city to give exception to the code provision regarding the footprint of accessory buildings on our street. This proposed building would affect the citizens on our street and we ask that this provision and application be denied. We feel that our street has reasonable conditions to deny this request and if needed, we can identify More substantial evidence to not approve this proposed building. Thank you for your time and the opportunity for the residence living on 3770 W. To review The application and the cause and effect that would happen if this code provision is allowed.

Sincerely, Lynn and Mike Spor

Cindy Valdez

From: Andrew McDonald
Sent: Thursday, November 7, 2024 12:01 PM
To: PLANNING COMMISSION
Subject: FW: information related to file PLCUP202400128

Please see the below public comment received for the Conditional Use Permit (PLCUP202400128) scheduled for November 12th.

From: Jeff Walton <jeffwalton1@msn.com>
Sent: Thursday, November 7, 2024 11:43 AM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: information related to file PLCUP202400128

Hello Andrew,

I received notice of a public hearing related to application PLCUP202400128 submitted by my neighbor. I am requesting more details about what is planned. I am hoping to attend the public hearing meeting in person and wanted to get more details ahead of time to better understand the nature of the request and plan. My main concern is making sure that any improvements contribute to improving the maintenance and curb appeal of the property so that it does not continue to detract from the other well-kept residences on our street. The houses on our street are intended as primary single-family residential homes and I would like to make sure that planned upgrades are consistent with maintaining that in accordance with South Jordan standards and HOA guidelines for our group of homes on 3770 W. Thank you for your assistance.

Sincerely,
Jeff Walton
9467 S 3770 W
jeffwalton1@msn.com
385-266-3841

From: [Andrew McDonald](#)
To: [PLANNING COMMISSION](#)
Subject: FW: public hearing Nov. 12, 2024 Leon Bryant
Date: Tuesday, November 12, 2024 11:26:33 AM

Please see the following comments/concerns received for tonight's CUP (PLCUP202100128).

From: Maureen Pruitt <cupcake3752@gmail.com>
Sent: Tuesday, November 12, 2024 11:09 AM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: public hearing Nov. 12, 2024 Leon Bryant

Richard and Maureen Pruitt would like to comment on the public hearing on November 12, 2024 related to Leon Bryant (File #PLCUP202400128)

1. We believe at this time this is his intent but not for the future. He told us a few months ago that he wanted to subdivide the property. After checking with the city he found out he needed the neighbors' approval first. He felt that would not happen. Now we know he has spoken with another neighbor about renting out the main house and possibly living in this new dwelling. This has only recently happened. In the FAQ submitted in the 29 page document he answered that he was not planning to live in this building. Once it is approved and built, what recourse is there to keep him from making that his residence? He could build an Accessory Dwelling Unit if his intent is to live there. This feels like a back door to utilize the size of this property for 2 large homes. The new structure is being made to look like a house with exterior walls made of stucco and it will be hooked up to all utilities. How hard would it be to finish the inside and make it into living quarters? It is a very expensive project for a vehicle storage unit and garage. If this building could be distinguished in a contract with the city that this is only a non-dwelling building, then we would consider it.

From: [Andrew McDonald](#)
To: [PLANNING COMMISSION](#)
Subject: FW: Leon Bryant Property PLCUP202400128
Date: Tuesday, November 12, 2024 8:38:59 AM

Good Morning,

Please see the following comment below for the CUP (PLCUP2024001128) scheduled for tonight's agenda.

From: Emily Kartchner <hardyemily@hotmail.com>
Sent: Sunday, November 10, 2024 6:09 PM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: Leon Bryant Property PLCUP202400128

Is this intended to be a standard accessory building used for storage? Would this building include a dwelling? Is there an intent for this to be a rental unit?

I have no concerns in general about a storage building or even a "mother-in-law" apartment, but I would have concerns if this was intended as a precursor to subdividing the lot.

From: [Andrew McDonald](#)
To: [PLANNING COMMISSION](#)
Subject: FW: File#PLCUP202400128 for property at 9557 S 3770 W
Date: Tuesday, November 12, 2024 8:43:32 AM

Good Morning,

Please see the following concern a resident as expressed regarding subject property for tonight's scheduled CUP.

From: Stan Roberts <4robstan@gmail.com>
Sent: Monday, November 11, 2024 11:32 AM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: Re: File#PLCUP202400128 for property at 9557 S 3770 W

Andrew.

Thank you for replying so quickly, My only concerns with this is the, amount of Cars R.Vs and Trailers . That are stored on property now and in the future. Please consider this as your decision is made . Thank you Stan Roberts

On Tue, Nov 5, 2024 at 9:58 AM Andrew McDonald <AMcDonald@sjc.utah.gov> wrote:

Good Morning Stan,

The subject property is requesting to construct a garage for personal storage of his property. The agenda and supporting document packet will be made public by Noon this Friday November 8th. You will be able to view more information about the project in the Staff Report and Supporting Materials. These will post on the Planning Commission Webpage, which can be found here: <https://www.sjc.utah.gov/254/Planning-Commission>

From: Stan Roberts <4robstan@gmail.com>
Sent: Tuesday, November 5, 2024 9:51 AM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: File#PLCUP202400128 for property at 9557 S 3770 W

Andrew,

My name is Stan Roberts I own some property within 300 feet of the notice I was sent . I am just looking for more info on this property and the use of the building.

Stan Roberts

From: [Andrew McDonald](#)
To: [PLANNING COMMISSION](#)
Subject: FW: PLCUP202400128 - Bryant Widdison Conditional Use Permit Comments
Date: Tuesday, November 12, 2024 9:00:17 AM

Good Morning,

Please see the public comment regarding tonight's CUP (PLCUP202400128) on tonight's agenda.

From: Doug Hales <doug_hales@hotmail.com>
Sent: Monday, November 11, 2024 8:17 PM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: PLCUP202400128 - Bryant Widdison Conditional Use Permit Comments

Andrew,

Regarding the CUP for Bryant Widdison up for discussion 11/12/2024:

We respect the right of Mr. Widdison to build as he desires, provided that none of the following are violated: R1.8 zoning, HOA rules, sub-let and/or multi-family occupancy rules. We are concerned that this CUP may be a method of sidestepping sub-division of the property and may also be converted to living space for rental purposes; if this were the case, we would be strongly opposed.

Respectfully,

Doug and Rebecca Hales
9462 South 3770 West
South Jordan

From: [Andrew McDonald](#)
To: [PLANNING COMMISSION](#)
Subject: FW: Notice of Public Hearing PLCUP202400128
Date: Tuesday, November 12, 2024 8:52:09 AM

Good Morning,

Please see the resident comment received below regarding the CUP (PLCUP202400218) scheduled for tonight's meeting.

From: Les Kartchner <leskartchner@gmail.com>
Sent: Monday, November 11, 2024 6:28 PM
To: Andrew McDonald <AMcDonald@sjc.utah.gov>
Subject: Notice of Public Hearing PLCUP202400128

I am writing regarding the requested conditional use permit for the property at 9557 S 3770 W.

The exception request states the structure will have no occupants but the plans seem designed for occupancy. What is the true intent of the applicant?

Does the applicant intend to use this structure as a rental unit?

Is the applicant establishing a structure with an intent to subdivide the lot in the future? Will this dwelling be assigned a new address? Is the intent for this structure or the home to become a permanent rental unit?

Thank you

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Dawn R. Ramsey, *Mayor*
Patrick Harris, *Council Member*
Kathie L. Johnson, *Council Member*
Donald J. Shelton, *Council Member*
Tamara Zander, *Council Member*
Jason T. McGuire, *Council Member*



PH: 801.446-HELP @SouthJordanUT

COURTESY NOTICE OF PUBLIC MEETING

November 27, 2024

Dear Recipient:

You are receiving this notice because you received a copy of the Public Hearing Notice for the Conditional Use Permit application (PLCUP202400128) that was reviewed by the Planning Commission on Tuesday November 12, 2024.

The Commission voted to table the item to the next available meeting. **This is a courtesy notice that this item has been scheduled as a public meeting item for the Planning Commission on December 10, 2024 at 6:30 p.m.** in the South Jordan City Council Chambers (Basement of City Hall; 1600 W. Towne Center Drive).

The published agenda and supporting document packet can be accessed online at [\[https://www.sjc.utah.gov/254/Planning-Commission\]](https://www.sjc.utah.gov/254/Planning-Commission) **by 12:00 p.m. on December 6, 2024.**

Virtual attendance can be done by following instructions provided at: <http://www.sjc.utah.gov/planning-commission/>. Virtual attendance is contingent upon an individual's internet connection, not the City. **Virtual attendance does not permit participation. No additional public comment will be received on a public meeting item, unless allowed by the Planning Commission during the meeting.**

For questions, the Planning Department may be reached by calling (801)-446-HELP (4357) or by contacting the Planner below via email (amcdonald@sjc.utah.gov).

Respectfully,

Andrew McDonald, AICP
Planner II, Planning Department