SOUTH JORDAN CITY
PLANNING COMMISSION REPORT

Meeting Date: 04/09/2024

Issue: **Dollar Tree**
SITE PLAN APPLICATION

Address: 10494 S River Heights Drive, South Jordan, UT 84095
File No: **PLSPR202300203**
Applicant: Lance Ridges

Submitted by: Miguel Aguilera, Planner I
Shane, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202300203**, to allow for construction the new standalone Dollar Tree in the C-C zone at 10494 S River Heights Dr.

ACREAGE:	1.38 acres
CURRENT ZONE:	C-C (Community Commercial) Zone
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	EC (Economic Center)
NEIGHBORING ZONES/USES:	North – C-C (Sportsman's Warehouse) South – C-C (EOS Fitness) West – C-C (Costco) East – River Heights Dr

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions, or deny the site plan.

BACKGROUND:

The proposed development at Harvest Village commercial center will be a new standalone Dollar Tree. The lot is currently vacant and is zoned community commercial (C-C). The proposed retail use is a permitted use in the zone.

The project will be a 20 foot tall, 10,000 square foot building. The Dollar Tree will be built south adjacent to the existing Sportsman's Warehouse. The project's parking lot will be located west of the building in an area where much of the parking for the Harvest Village commercial center currently is. The parking requirement for retail use is 1 per 200 square feet of floor area, which makes the city's parking requirement for this project 50 stalls. The site plan proposes 55 stalls, 6 of which are existing, and 3 ADA stalls. Vehicle access from South Jordan Parkway and River Heights Drive is provided via existing driveways that provide access to existing businesses at Harvest Village.

Building's rear and side facades will be composed of brick wall painted in a 'balanced beige' paint and will have two relief columns since the walls exceed 60 feet in length. The front façade walls will be made of 'smoked white' stucco material with a grey bricks lining the lower façade. All colors proposed are the standard Dollar Tree brand colors. The glass wall store front area will be 30 wide and 10 feet tall. There will be three more windows to the left and right of the entrance area.

Landscaping will be along all park strips of the property and consist of trees, shrubs, rock mulch, and lawn cover. There are 10 existing trees and 10 new trees that will be planted. Shrub and plant cover will be make up the required 50% landscape plant cover at maturity. Decorative rock will be the ground cover on all non-lawn covered areas. The landscaping plans meet city landscaping and water wise requirements for commercial zones.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- There is no development agreement as part of this site application.
- There will be only one building on this property with the intended use being retail.
- The Architectural Review Committee reviewed the proposed building on March 27, 2024. The project received a positive recommendation from the committee.
- The roof height will be 20 feet while the peak height will be 28 feet.

Conclusion:

- The proposed project will meet the requirements of the Site Plan Review (Title 16) and the Planning and Zoning (Title 17) Codes and thus should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.

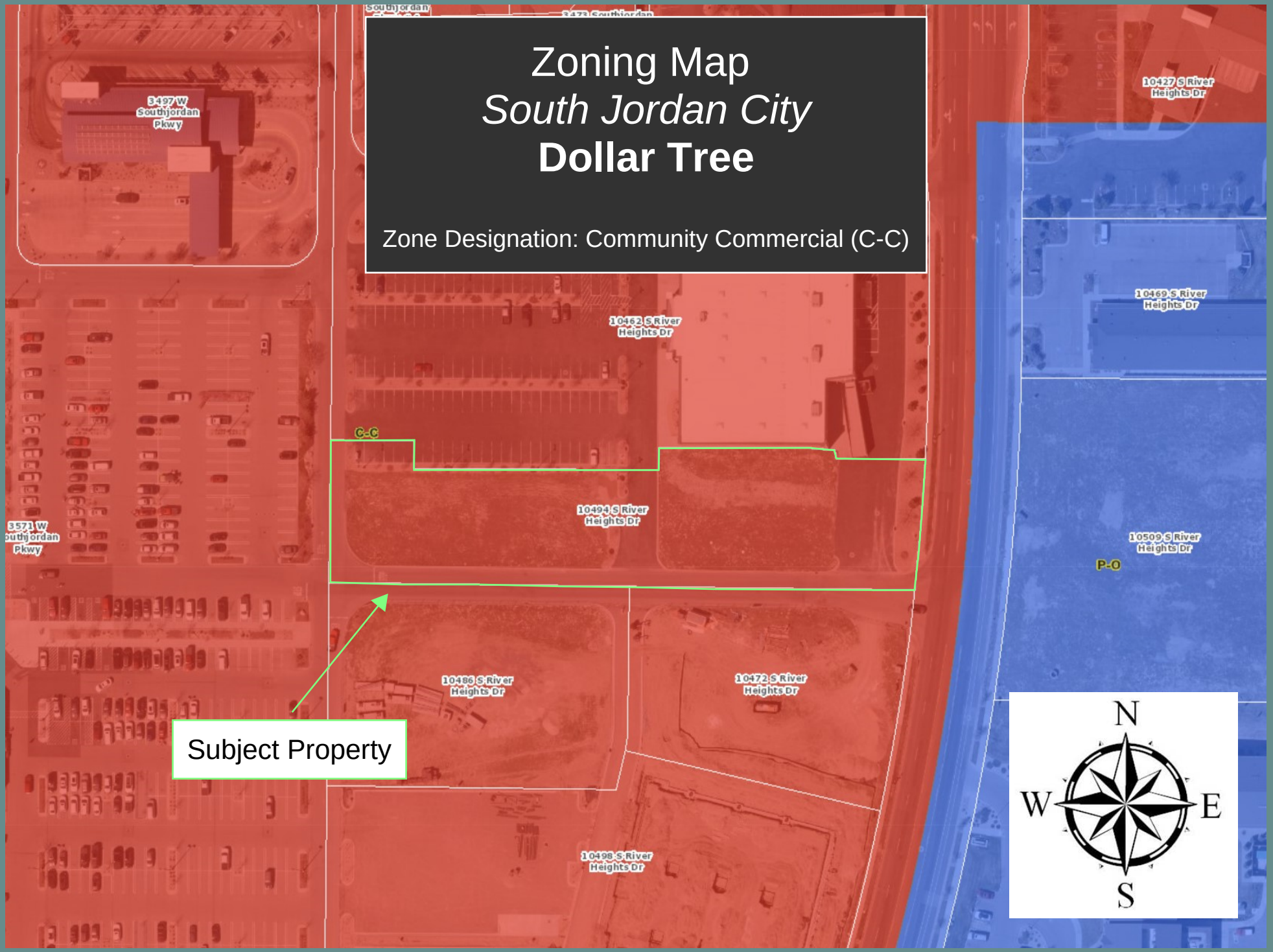
- Deny the Application.
- Schedule the Application for a decision at some future date.

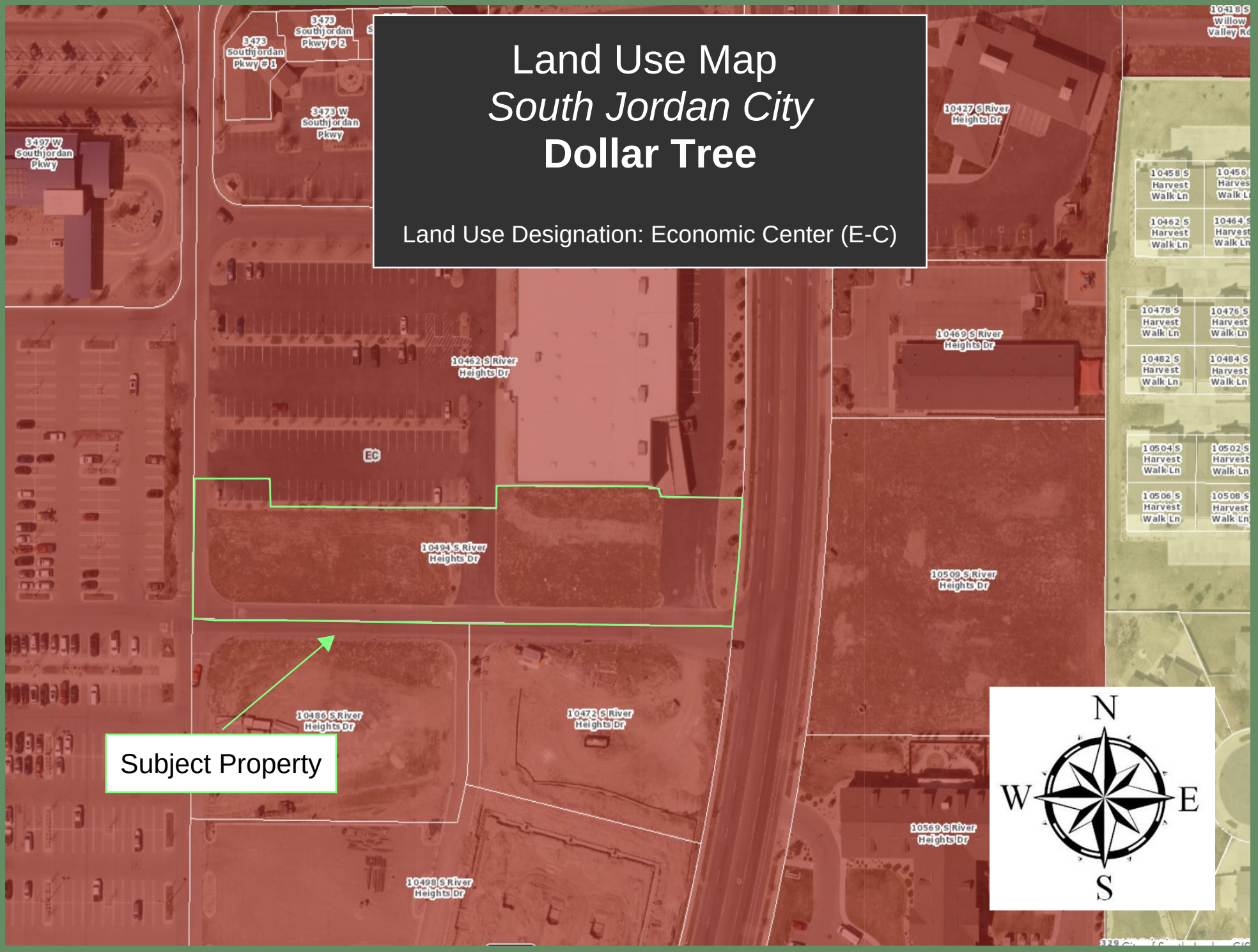
SUPPORT MATERIALS:
- Location Map
- Zoning Map
- Site Plan
- Landscape Plan
- Photometric Plan
- Building Elevations

Miguel Aguilera

Miguel Aguilera
Planner I, Planning Department

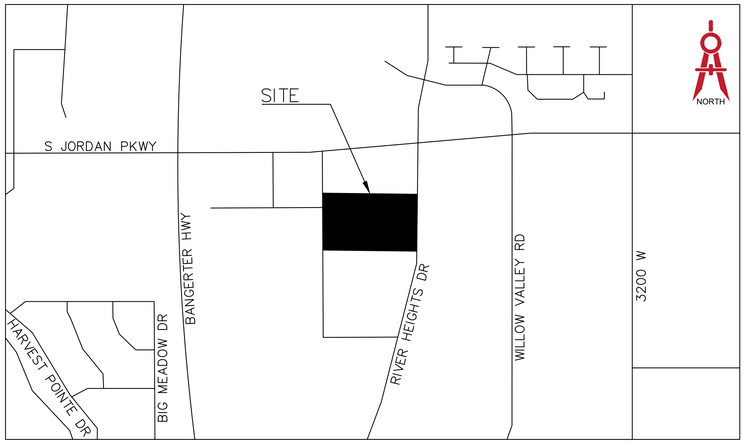

Location Map
South Jordan City
Dollar Tree
Address: 10494 S River Heights Dr
Subject Property
3497 W Southjordan Pkwy
Pkwy #1
Southjordan
10427 S River Heights Dr
10462 S River Heights Dr
10469 S River Heights Dr
10494 S River Heights Dr
10509 S River Heights Dr
10486 S River Heights Dr
10472 S River Heights Dr
10498 S River Heights Dr
N
W
E
S


Zoning Map
South Jordan City
Dollar Tree
Zone Designation: Community Commercial (C-C)
3497 W Southjordan Pkwy
10462 S River Heights Dr
C-C
10494 S River Heights Dr
3571 W Southjordan Pkwy
10427 S River Heights Dr
10469 S River Heights Dr
10509 S River Heights Dr
P-O
10486 S River Heights Dr
10472 S River Heights Dr
10498 S River Heights Dr
Subject Property
N
W
E
S


Land Use Map
South Jordan City
Dollar Tree
Land Use Designation: Economic Center (E-C)
Subject Property
N
W
E
S
EC
3473 Southjordan Pkwy #2
3473 Southjordan Pkwy #1
3473 W Southjordan Pkwy
3497 W Southjordan Pkwy
10427 S River Heights Dr
10462 S River Heights Dr
10469 S River Heights Dr
10494 S River Heights Dr
10509 S River Heights Dr
10486 S River Heights Dr
10472 S River Heights Dr
10498 S River Heights Dr
10569 S River Heights Dr
10458 S Harvest Walk Ln
10462 S Harvest Walk Ln
10478 S Harvest Walk Ln
10482 S Harvest Walk Ln
10504 S Harvest Walk Ln
10506 S Harvest Walk Ln
10418 S Willow Valley Rd

DOLLAR TREE
SOUTH JORDAN, UT

VICINITY MAP



NOT TO SCALE

INDEX

PROJECT ENGINEER:
LARVIN POLLOCK
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
(801) 718-5993
LARVIN@ELEVATENG.COM

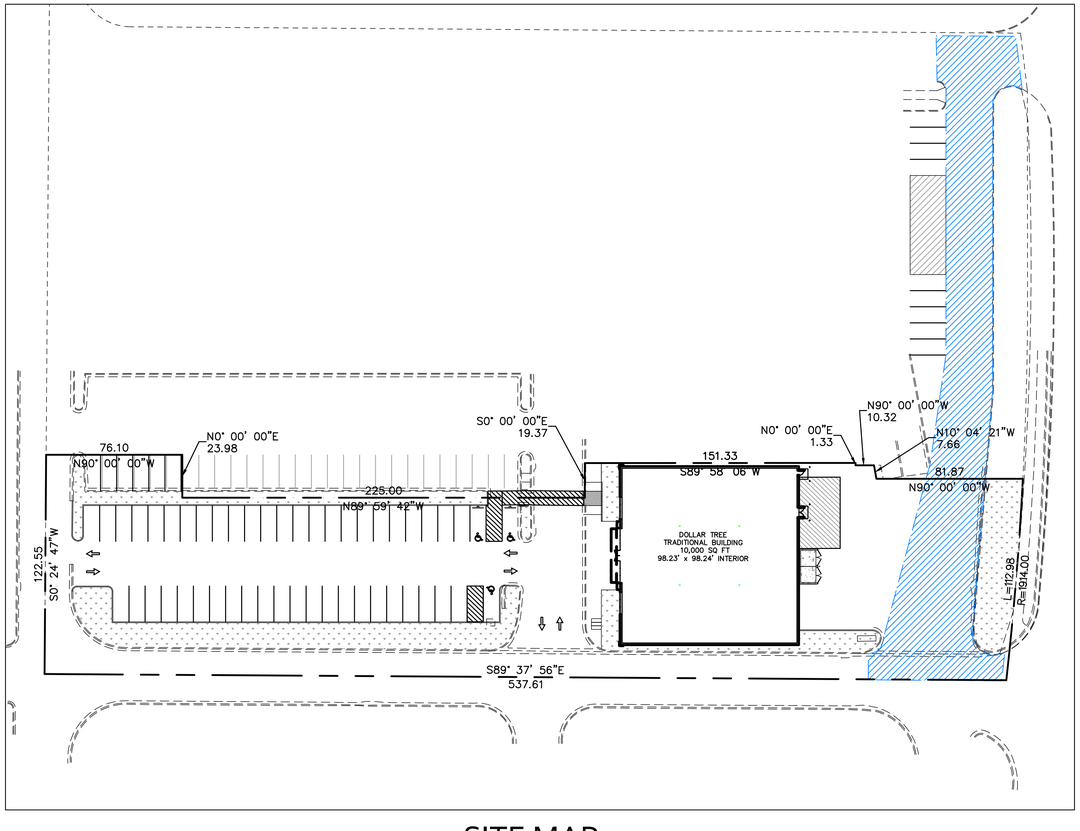
OWNER/DEVELOPER:
PAUL STRINGHAM
PETERSON DEVELOPMENT
225 SOUTH 200 EAST #200
SALT LAKE CITY, UT 84111
801-532-2233
PBSTRINGHAM@GMAIL.COM

SITE DATA

LOT AREA:	59,697	SF (1.37 ACRES)
BUILDING AREA:	10,000	SF± 16.8%
PAVEMENT AREA:	40,736	SF± 68.2%
LANDSCAPE AREA:	8,961	SF± 15.0%

ZONING: COMMERCIAL (C-C)
PERMITTED USE
PARCEL ID#: 27172510140000

PLEASE SEE SOUTH JORDAN GENERAL NOTES FOR CITY SPECIFIC DIRECTION.



SITE MAP
1"=40'

LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE		EXISTING CURB AND GUTTER	
EASEMENT LINE		PROPOSED CURB AND GUTTER	
CENTER LINE		INVERT ELEVATION	I.E.
PROPOSED TRAIL		TOP BACK CURB	TBC
PROPOSED WATER LINE	W	TOP ASPHALT	TA
PROPOSED PRESSURIZED IRRIGATION	PI	TOP OF GRATE	TOG
PROPOSED GROUND WATER DRAIN	GW	FINISHED GRADE	FG
PROPOSED SEWER LINE	SS	TOP OF CONCRETE	TC
PROPOSED STORM DRAIN LINE	SD	HIGH WATER ELEVATION	HWE
EXISTING SEWER LINE	SS	CATCH BASIN	
EXISTING WATER LINE	W	SURFACE FLOW DIRECTION	
EXISTING STORM DRAIN LINE	SD	PROPOSED STREET LIGHT	
EXISTING CONTOUR	4960	STORM DRAIN MANHOLE	D
FINISHED CONTOUR	47.00	SANITARY SEWER MANHOLE	S
		PROPOSED WATER VALVE	W

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: JM

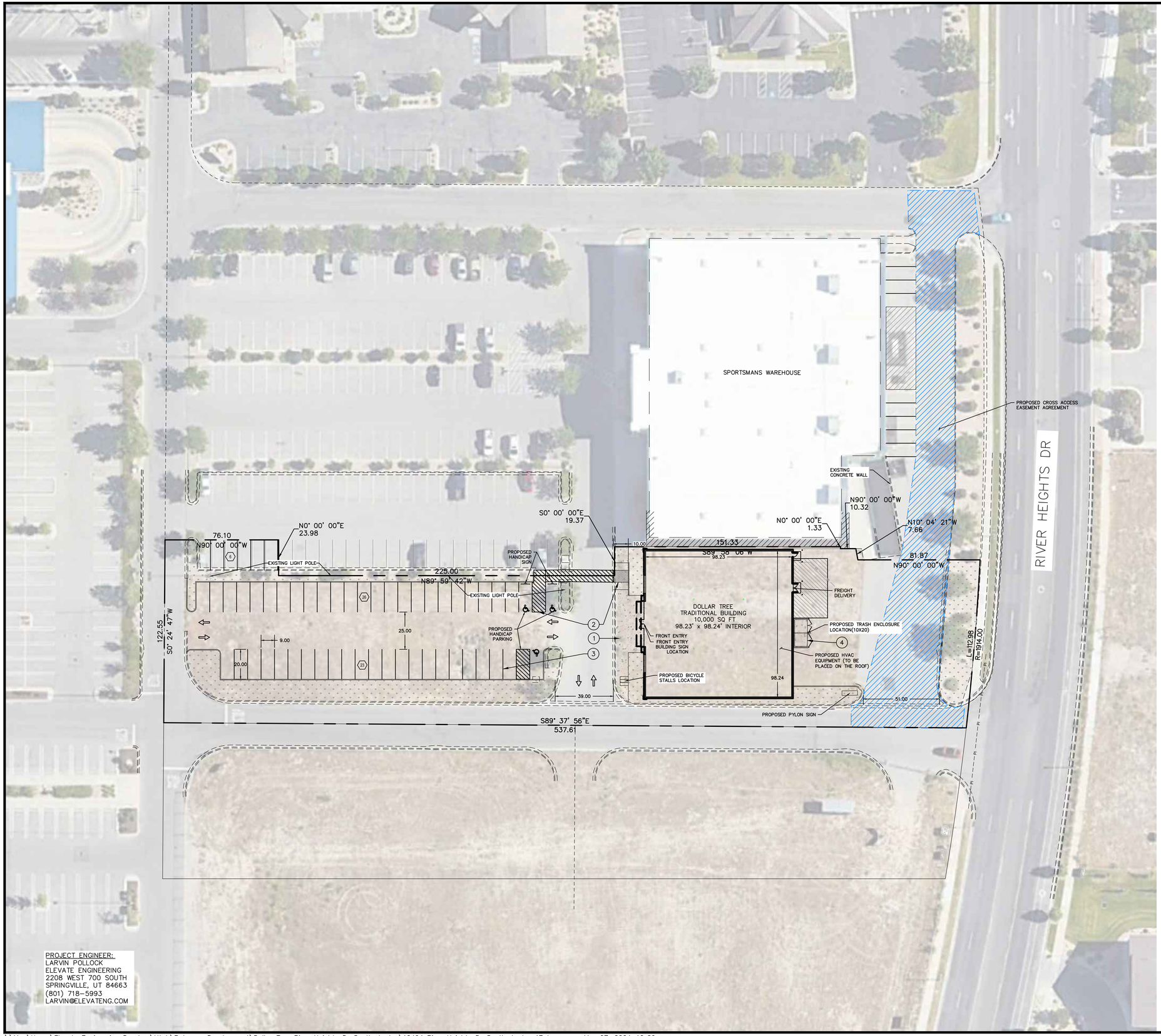
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateng.com

DOLLAR TREE RIVER HEIGHTS DR
COVER SHEET
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER
03/07/2024
10864737
LARVIN POLLOCK
STATE OF UTAH

SHEET: G-0

DATE: Mar 07, 2024



LEGEND

- LOT LINES (PROPERTY)
- PROPOSED CURB AND GUTTER
- STRIPING
- BUILDING SETBACK
- LANDSCAPE SETBACK
- EXISTING BUILDING
- LANDSCAPE AREA
- CONCRETE AREA

SITE DATA

LOT AREA:	59,697	SF (1.37 ACRES)
BUILDING AREA:	10,000	SF± 16.8%
PAVEMENT AREA:	40,736	SF± 68.2%
LANDSCAPE AREA:	8,961	SF± 15.0%

ZONING: COMMERCIAL (C-C)
PERMITTED USE
PARCEL ID#: 27172510140000

BUILDING DATA

CONSTRUCTION TYPE: V-B
SPRINKLERS: NO
SETBACKS:
FRONT=0 FEET
REAR=0 FEET
SIDE=0 FEET

PARKING TABULATION

REQUIRED: MINIMUM TOTAL PARKING STALLS: 50

PROVIDED: 55 STALLS
3 ADA STALLS

NOTES:

1. PROPOSED 10' SIDEWALK PER SOUTH JORDAN CITY STANDARDS.
2. ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER ADA AND SOUTH JORDAN CITY STANDARDS.
3. PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
4. PROPOSED DUMPSTER LOCATION. SEE SHEET C-4 FOR DETAILS.

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

CALL BEFORE YOU DIG! 1-800-662-4111 BLUE STAKES

NORTH

SCALE: 1" = 30'
0 15 30 45 60 90

PROJECT ENGINEER:
LARVIN POLLOCK
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
(801) 718-5993
LARVIN@ELEVATENG.COM

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: JM

ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateng.com

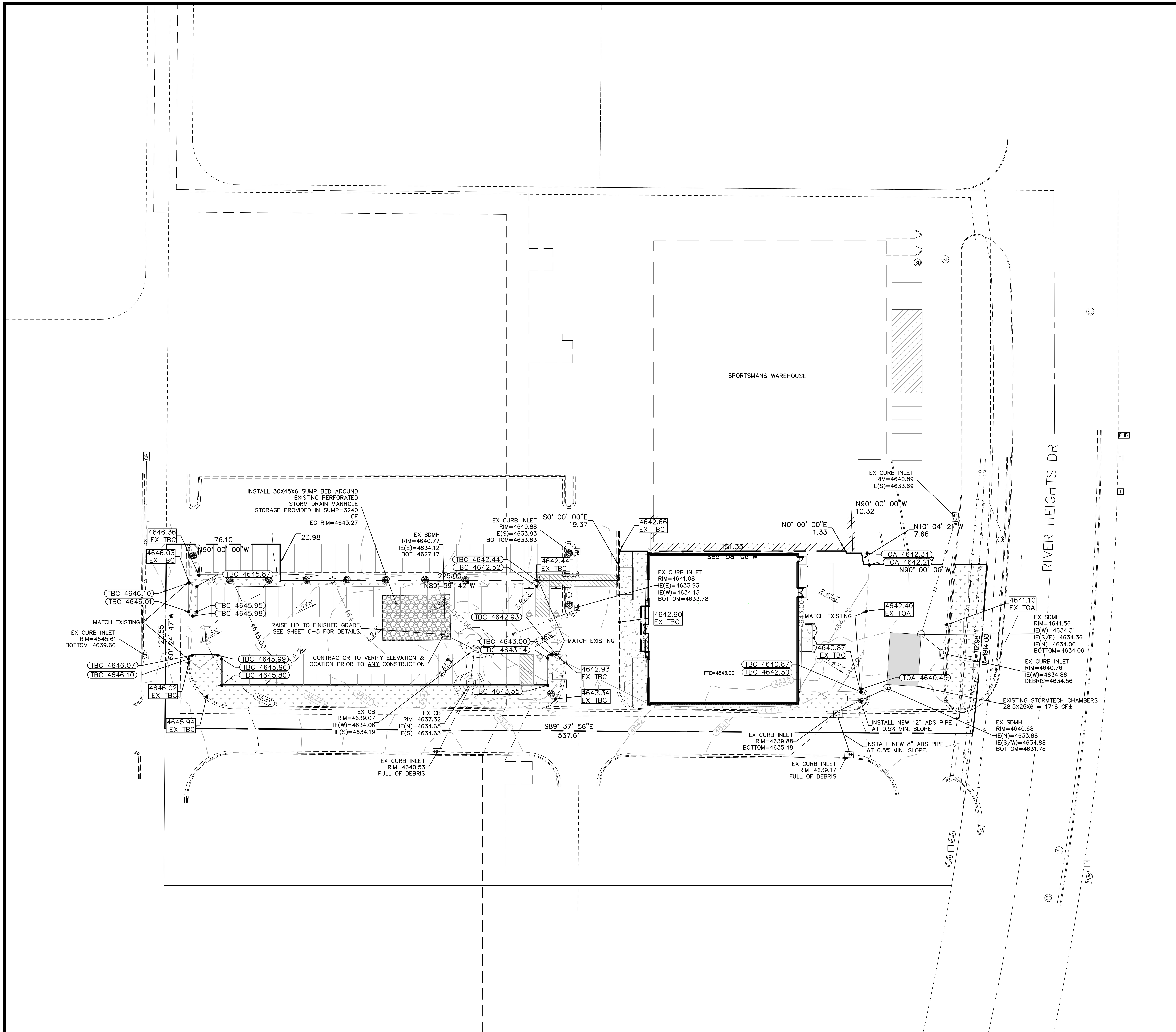
ELEVATE ENGINEERING

DOLLAR TREE RIVER HEIGHTS DR
SITE PLAN
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER 03/07/2024 10864737 LARVIN POLLOCK STATE OF UTAH

SHEET: C-1

DATE: Mar 07, 2024



SPORTSMANS WAREHOUSE
RIVER HEIGHTS DR
INSTALL 30X45X6 SUMP BED AROUND EXISTING PERFORATED STORM DRAIN MANHOLE STORAGE PROVIDED IN SUMP=3240 CF EG RIM=4643.27
EX SDMH RIM=4640.77 IE(E)=4634.12 BOT=4627.17
EX CURB INLET RIM=4640.88 IE(S)=4633.93 BOTTOM=4633.63
S0° 00' 00"E 19.37
4642.66 EX TBC
N0° 00' 00"E 1.33
EX CURB INLET RIM=4640.89 IE(S)=4633.69
N90° 00' 00"W 10.32
N10° 04' 21"W 7.66
TOA 4642.34
TOA 4642.21
N90° 00' 00"W
151.33
S89° 58' 06"W
4646.36 EX TBC
76.10
N90° 00' 00"W
23.98
4646.03 EX TBC
TBC 4645.87
225.00
N89° 59' 42"W
TBC 4642.44
TBC 4642.52
4642.44 EX TBC
TBC 4646.10
TBC 4646.01
TBC 4645.95
TBC 4645.98
MATCH EXISTING
EX CURB INLET RIM=4645.61 BOTTOM=4639.66
122.55
S0° 24' 47"W
RAISE LID TO FINISHED GRADE. SEE SHEET C-5 FOR DETAILS.
TBC 4642.93
TBC 4643.00
TBC 4643.14
MATCH EXISTING
EX CURB INLET RIM=4641.08 IE(E)=4633.93 IE(W)=4634.13 BOTTOM=4633.78
4642.90 EX TBC
MATCH EXISTING
4642.40 EX TOA
4641.10 EX TOA
EX SDMH RIM=4641.56 IE(W)=4634.31 IE(S/E)=4634.36 IE(N)=4634.06 BOTTOM=4634.06
EX CURB INLET RIM=4640.76 IE(W)=4634.86 DEBRIS=4634.56
R=1914.00
L=112.98
TBC 4646.07
TBC 4646.10
TBC 4645.99
TBC 4645.96
TBC 4645.80
CONTRACTOR TO VERIFY ELEVATION & LOCATION PRIOR TO ANY CONSTRUCTION
4642.93 EX TBC
4643.34 EX TBC
TBC 4643.55
4640.87 EX TBC
TBC 4640.87
TBC 4642.50
FFE=4643.00
TOA 4640.45
EXISTING STORMTECH CHAMBERS 28.5X25X6 = 1718 CF±
4646.02 EX TBC
4645.94 EX TBC
S89° 37' 56"E
537.61
EX CB RIM=4639.07 IE(W)=4634.06 IE(S)=4634.19
EX CB RIM=4637.32 IE(N)=4634.65 IE(S)=4634.63
EX CURB INLET RIM=4640.53 FULL OF DEBRIS
INSTALL NEW 12" ADS PIPE AT 0.5% MIN. SLOPE.
INSTALL NEW 8" ADS PIPE AT 0.5% MIN. SLOPE.
EX CURB INLET RIM=4639.88 BOTTOM=4635.48
EX CURB INLET RIM=4639.17 FULL OF DEBRIS
EX SDMH RIM=4640.68 IE(N)=4633.88 IE(S/W)=4634.88 BOTTOM=4631.78

LEGEND

LOT LINES (PROPERTY)	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
PROPOSED STORM DRAIN LINE	SD SD SD
EXISTING STORM DRAIN LINE	SD SD SD
GRADE BREAK	GRADE BREAK
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
GRADE BREAK	GB
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW
EDGE OF ASPHALT	EOA
TOP OF FOUNDATION	TOF

NOTE:
ALL EXISTING STORMDRAIN CATCH BASINS AND MANHOLE RIMS NEED TO BE ADJUSTED TO MATCH THE NEW FINISH GRADE ELEVATIONS.

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

CALL BEFORE YOU DIG! IT'S THE LAW BLUE STAKES 1 800 662 4111

NORTH

SCALE: 1" = 30'
0 15 30 45 60 90

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP DESIGNER: DL

ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateng.com

ELEVATE ENGINEERING

DOLLAR TREE RIVER HEIGHTS DR GRADING PLAN

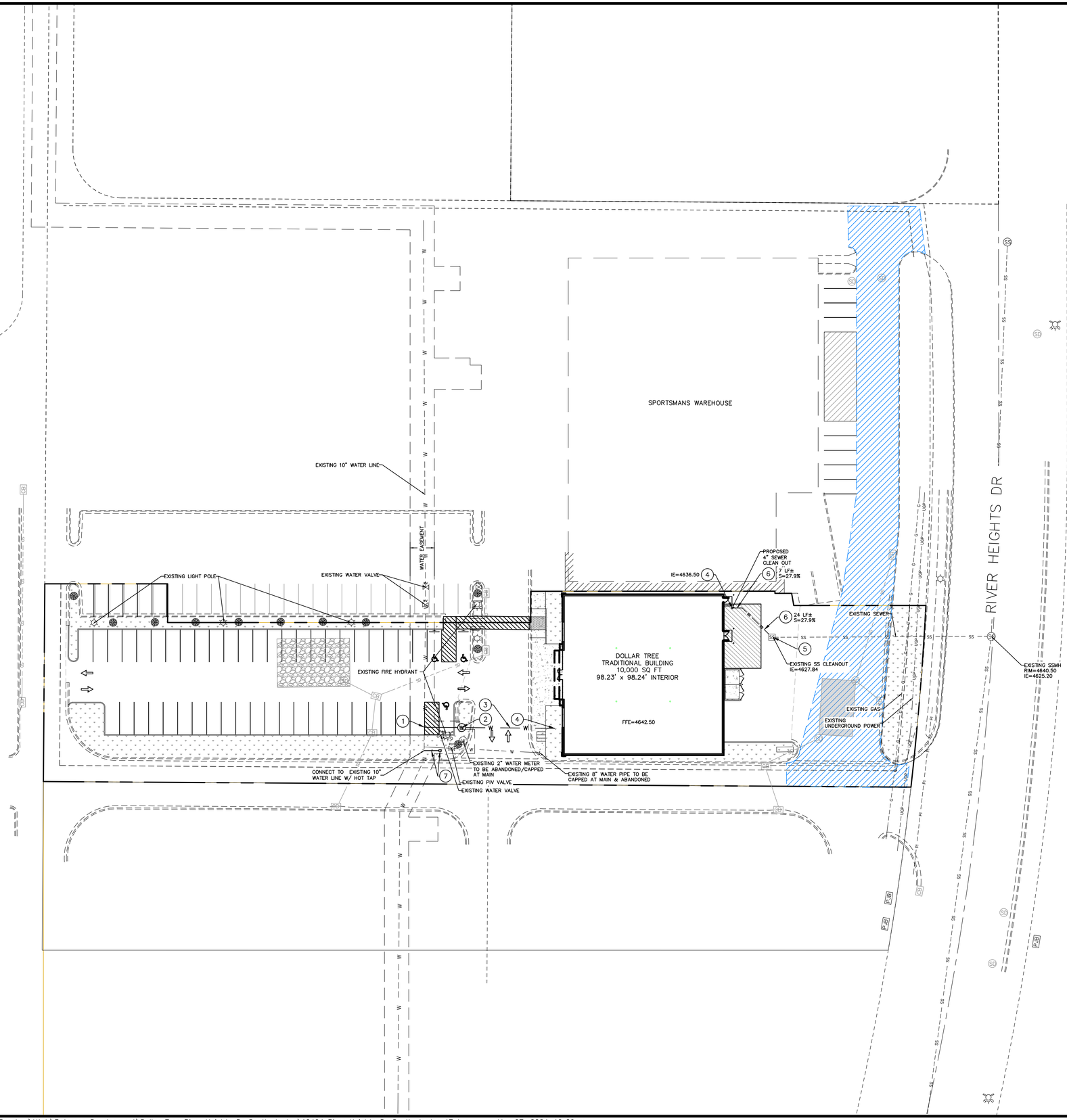
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER 3/07/2024 10864737 LARVIN POLLOCK STATE OF UTAH

SHEET: C-2

DATE: Mar 07, 2024

\\Mac\Home\Elevate Engineering Dropbox\Utah\Peterson Development\Dollar Tree River Heights Dr South Jordan\10494 River Heights Dr South Jordan 1F.dwg — — Mar 07, 2024-10:29am



LEGEND

PROPERTY/ROW LINE	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
PROPOSED SEWER LINE	SS
EXISTING SEWER LINE	SS
PROPOSED WATER LINE	W
EXISTING WATER LINE	W
INVERT ELEVATION	IE
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
TOP OF FOUNDATION	TOF

DESIGN NOTES:

1. CONNECT TO EXISTING WATER MAINPER CITY STANDARDS.
2. INSTALL 1" WATER METER PER CITY STANDARDS. SEE SHEET C-5 FOR DETAILS.
3. INSTALL 2" BLUE BRUTE CTS POLY WATER LINE PER CITY STANDARDS. SEE SHEET C-5 FOR DETAILS.
4. END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
5. CONNECT TO EXISTING SEWER CLEAN OUT PER SVSD STANDARDS. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION.
6. INSTALL 4"ø PVC SDR-35 SEWER PIPE AT 2% MIN. SLOPE.
7. INSTALL 1" PRESSURIZED IRRIGATION LINE & METER PER CITY STANDARDS.

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
6. SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

SVSD NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.
3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

CALL BEFORE YOU DIG! IT'S THE LAW! BLUE STAKES 1 800 662 4111

NORTH

SCALE: 1" = 30'
0 15 30 45 60 90

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: DL

ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com

ELEVATE ENGINEERING

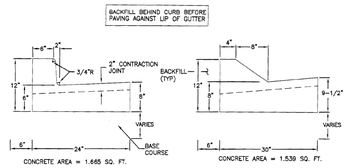
DOLLAR TREE RIVER HEIGHTS DR UTILITY PLAN

10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER
03/07/2024
10864737
LARVIN POLLOCK
STATE OF UTAH

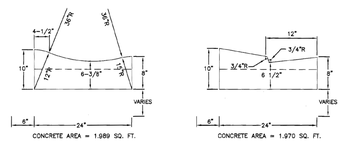
SHEET: C-3

DATE: Mar 07, 2024



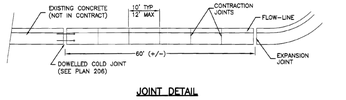
Type E

Type F



Type G

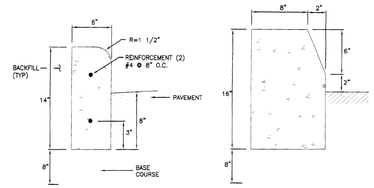
Type H



JOINT DETAIL

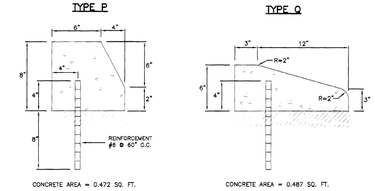
Curb and gutter

April 2011 | 29 | Plan 205 Sheet 2 of 3



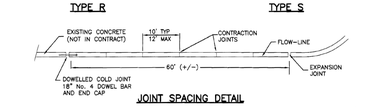
TYPE P

TYPE Q



TYPE R

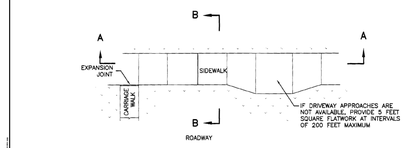
TYPE S



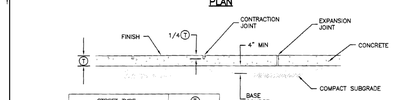
JOINT SPACING DETAIL

Curbs

November 2009 | 35 | Plan 209



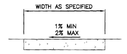
PLAN



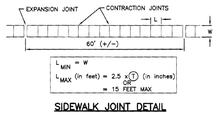
STREET TYPE	T
RESIDENTIAL (WITH PARK STRIP)	4"
RESIDENTIAL (NO PARK STRIP)	6"
OTHER	
REPLACING EXISTING SIDEWALK	MATCH EXISTING (4" MIN.)

SEE DRIVEWAY APPROACH PLANS FOR SIDEWALK THICKNESS AT DRIVEWAYS

SECTION A–A



SECTION B–B

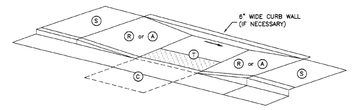


SIDEWALK JOINT DETAIL

Sidewalk

March 2009 | 57 | Plan 231

TURNING SPACE AT STREET LEVEL

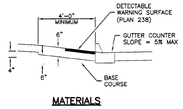


EXAMPLE 5

ELEMENT	DIMENSION
B A	4 FEET WIDE MINIMUM
C T	4 FEET SQUARE MINIMUM

WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

TABLE OF DIMENSIONS



MATERIALS

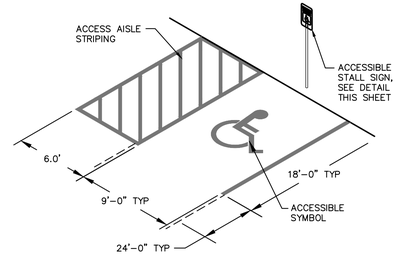
		RUNNING SLOPE (%) MAXIMUM	CROSS SLOPE (%) MAXIMUM
TURNING SPACE	T	STREET GRADE	2
CURB RAMP	R	8.33	2
CLEAR SPACE	C	5	STREET GRADE
SIDEWALK	S	STREET GRADE	2
APPROACH	A	8.33	2

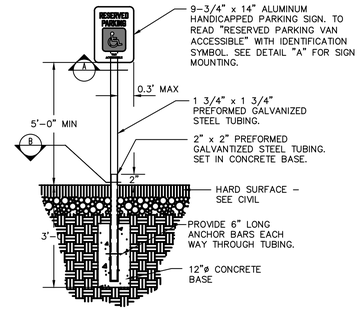
(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

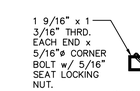
SLOPE TABLE

Midblock curb cut assembly

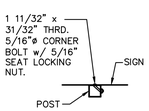
September 2011 | 75 | Plan 236 Sheet 3 of 3





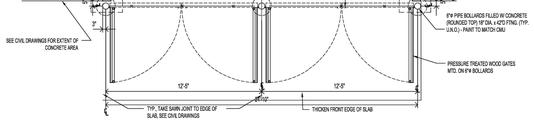


DETAIL B

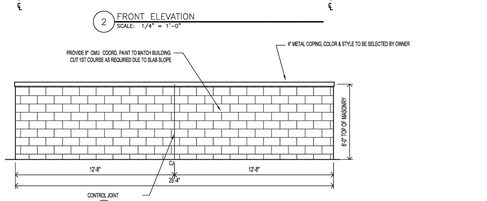


DETAIL A
SIGN MOUNTING

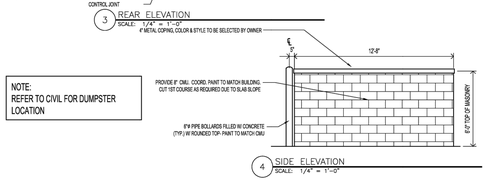
6 ADA SIGNAGE
SCALE: N.T.S.



1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



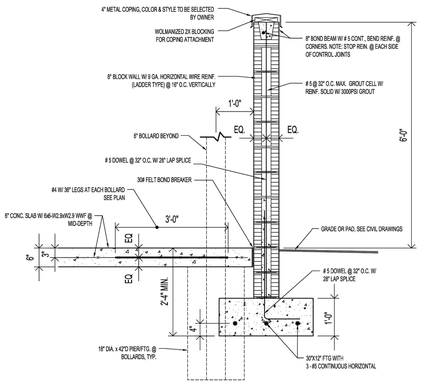
2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



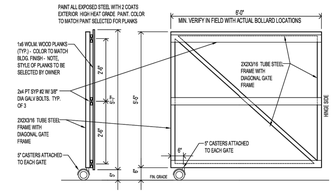
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
REFER TO CIVIL FOR DUMPSTER LOCATION

4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

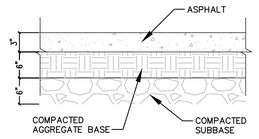


6 WALL SECTION
SCALE: 3/4" = 1'-0"



5 GATE DETAIL
SCALE: 1/2" = 1'-0"

PER GEOTECHNICAL INVESTIGATION PERFORMED BY EARTHTEC ENGINEERING PROJECT NO. 230775G



ASPHALT PAVEMENT SECTION DETAIL
NOT TO SCALE

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: DL

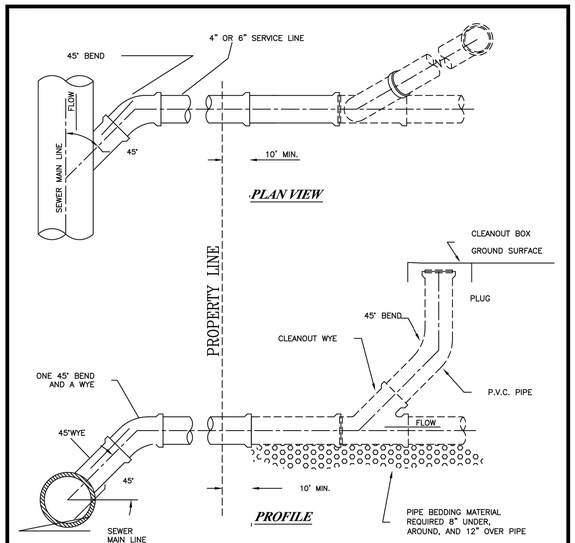
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
lp.info@elevateeng.com

DOLLAR TREE RIVER HEIGHTS DR
STANDARD DETAILS
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER 03/07/2024 10864737 LARVIN POLLOCK STATE OF UTAH

SHEET: C–4

DATE: Mar 07, 2024



NOTES:

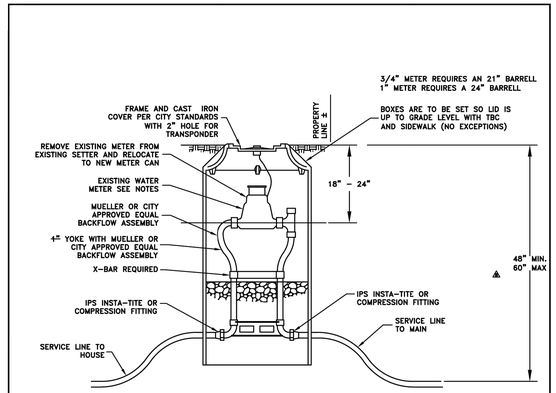
1. ALL SERVICES SHALL BE 4" DIAMETER MINIMUM, UNLESS DIRECTED OTHERWISE AND SHALL BE EXTENDED FROM MAIN LINES TO 10' INSIDE OF PROPERTY LINES.
2. MINIMUM SLOPE: 1/4" PER FOOT (2%) OR WHERE APPROVED BY THE DISTRICT 1/8" PER FOOT(1%).
3. CLEAN-OUTS SHALL BE NO MORE THAN 100 FEET APART MEASURED FROM THE UPSTREAM ENTRANCE OF THE CLEANOUT.
4. ALL 90° CONNECTIONS TO MAIN MUST BE CONSTRUCTED WITH ONE 45° BEND AND A WYE.
5. 90° FITTINGS ARE NOT ALLOWED. 90° SHALL BE MADE WITH TWO 45° BENDS OR A COMBO WYE AND 45° BEND.
6. DIRECT NOSE-ON CONNECTIONS ARE USED WHEN CONNECTING TO EXISTING MAIN LINE. ALL NOSE-ON WORK IS TO BE DONE BY DISTRICT PERSONNEL.

NO.	DATE	REVISION	BY	CK	APP
1					
2					
3					
4					
5					

SOUTH VALLEY SEWER DISTRICT

STANDARD SEWER SERVICE CONNECTION AND CLEAN-OUT

DRAWN: | DESIGNED: | CHECKED: | APPROVED:
DATE: NOV 2022 | FILE NAME: | DRAWING NAME: SS-3A



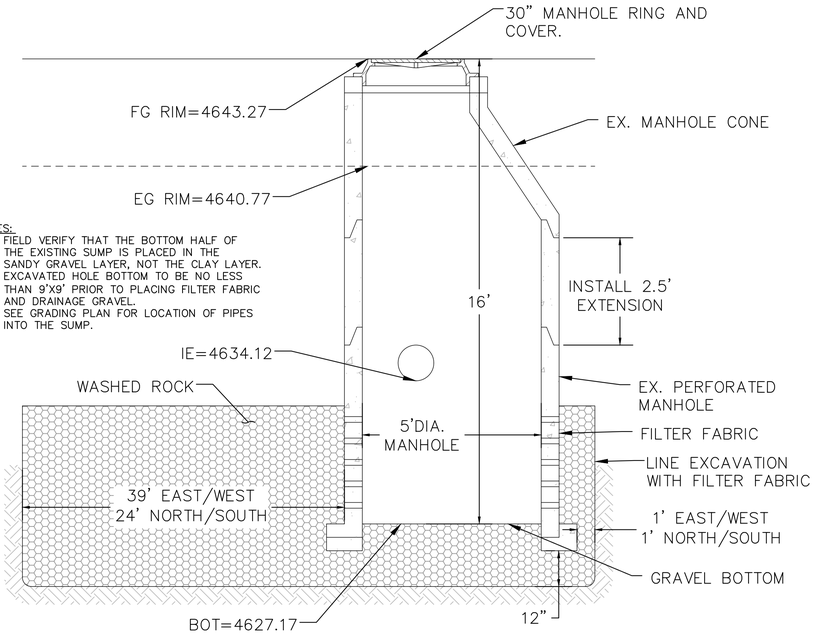
NOTES:

1. INSPECTION: PRIOR TO BACKFILLING AROUND THE METER BOX, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
2. BACKFILLING: INSTALL ALL BACKFILL MATERIAL PER APWA SECTION 02320 IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTION. COMPACT EACH LIFT TO A MINUMUM RELATIVE DENSITY OF 96 PERCENT.
3. PLACEMENT:
   A. DO NOT INSTALL METERS IN HARD SURFACE 2 FEET MINIMUM FROM LID.
   B. IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
   C. ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE) AND OUTSIDE OF HARD SURFACE.

PREPARED BY:

SOUTH JORDAN CITY

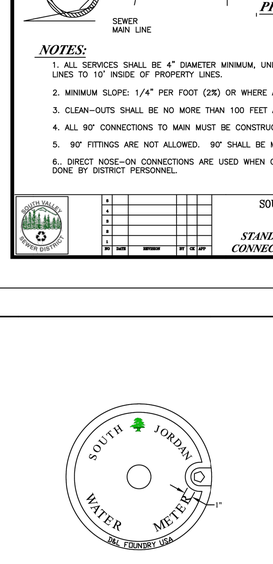
DRAWN:	DATE	3/4" AND 1" METER SERVICE	STANDARD DRAWING 3090
BY			

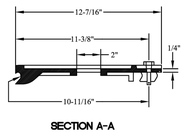


NOTES:

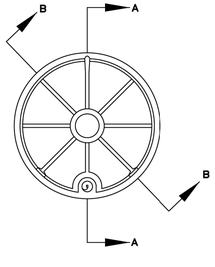
1. FIELD VERIFY THAT THE BOTTOM HALF OF THE EXISTING SUMP IS PLACED IN THE SANDY GRAVEL LAYER, NOT THE CLAY LAYER.
2. EXCAVATED HOLE BOTTOM TO BE NO LESS THAN 9'X9' PRIOR TO PLACING FILTER FABRIC AND DRAINAGE GRAVEL.
3. SEE GRADING PLAN FOR LOCATION OF PIPES INTO THE SUMP.

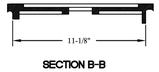
SUMP DETAIL
NOT TO SCALE





SECTION A-A





SECTION B-B

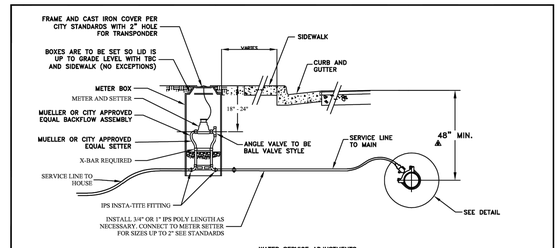
D&L FOUNDRY & SUPPLY
MODEL #L-2240-14
13 LBS.

WATER METER COVER
N.T.S.

PREPARED BY:

SOUTH JORDAN CITY

DRAWN:	DATE	METER SERVICE	STANDARD DRAWING 3092
BY			



WATER SERVICE ADJUSTMENTS

NOTES:

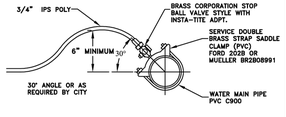
1. FITTINGS - PROVIDE BRASS FITTINGS AND NIPPLES ON ALL SERVICE LINE CONNECTIONS. DO NOT USE GALVANIZED MATERIALS
2. INSPECTION: PRIOR TO BACKFILLING AROUND THE METER BOX, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
3. BACKFILLING: INSTALL ALL BACKFILL MATERIAL PER APWA SECTION 02320 IN LIFTS NOT EXCEEDING 6 INCHES AFTER COMPACTION. COMPACT EACH LIFT TO A MINIMUM RELATIVE DENSITY OF 96 PERCENT.
4. PLACEMENT:
   A. DO NOT INSTALL METERS IN HARD SURFACE 2 FEET MINIMUM FROM LID.
   B. IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
   C. ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE) AND OUTSIDE OF HARD SURFACE.

TYPICAL CULINARY WATER SERVICE CONNECTION
N.T.S.

NOTES:

1. INSPECTION – PRIOR TO BACKFILLING AROUND TAPS, SECURE INSPECTION OF INSTALLATION BY SOUTH JORDAN WATER DEPARTMENT
2. BACKFILL – INSTALL AND COMPACT ALL BACKFILL MATERIAL PER CITY STANDARD
3. TAPPING – PLACE TAPS A MINIMUM OF 36" APART. USE A TAPPING TOOL WHICH IS SIZED CORRESPONDING TO THE SIZE OF THE SERVICE LINE TO BE INSTALLED. NO TAPS WITHIN 36" OF END OF ANY PIPE.

TAPE – TEFLON TAPE OR PIPE DOPE IS REQUIRED ON ALL TAPS

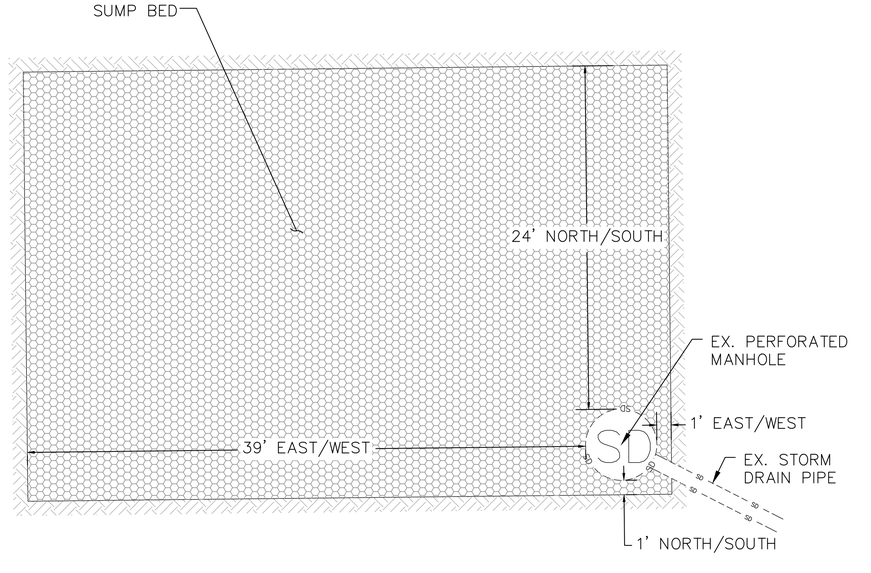


SERVICE TAPS
N.T.S.

PREPARED BY:

SOUTH JORDAN CITY

DRAWN:	DATE	3/4" - 2" WATER METER PLAN SERVICE INSTALLATION	STANDARD DRAWING 3095
DATE	REVISIONS	BY	



SUMP PLAN VIEW
NOT TO SCALE

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: DL

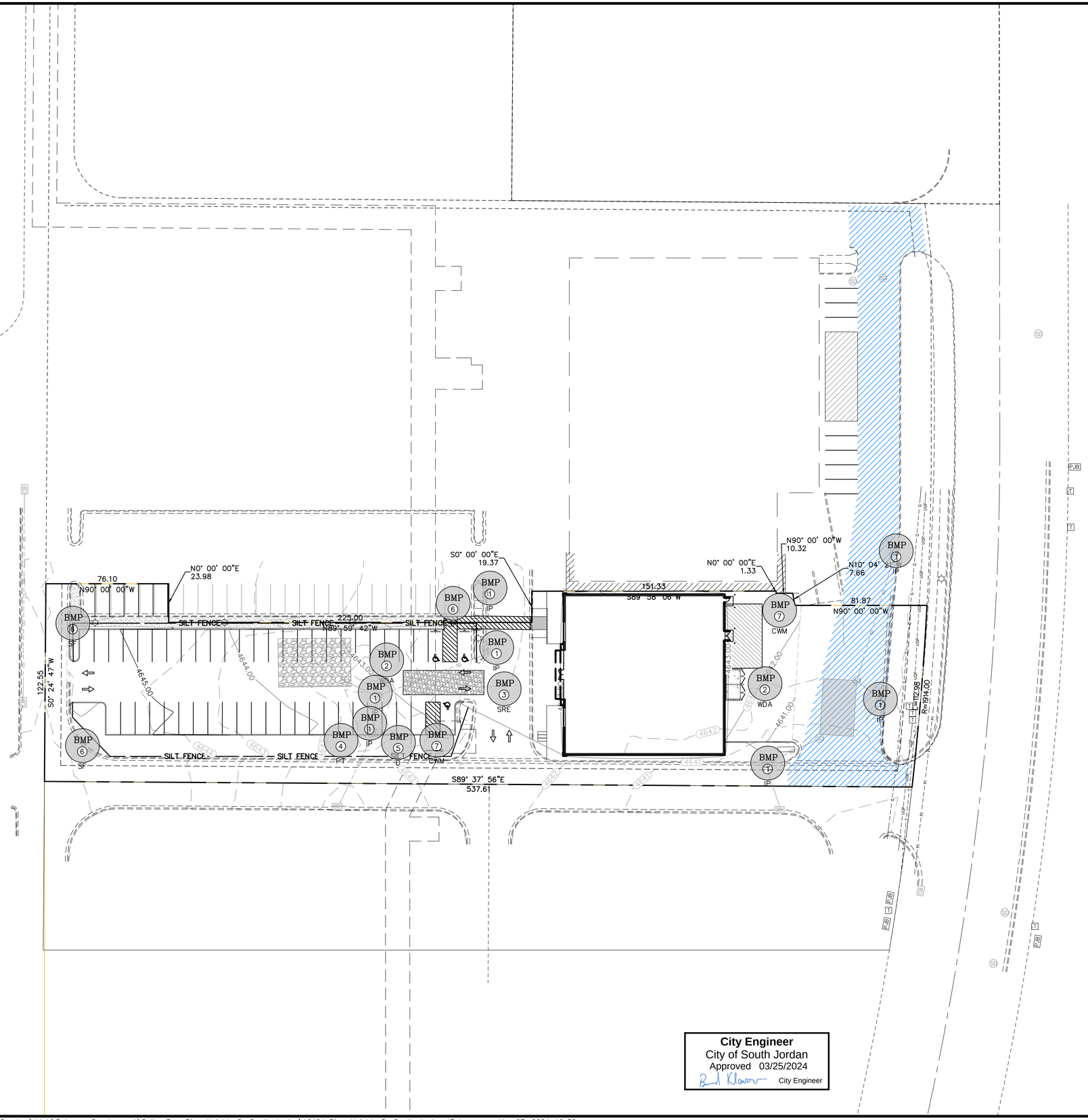
ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
lar.will@elevateeng.com

DOLLAR TREE RIVER HEIGHTS DR
UTILITY DETAILS
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER 10/07/2021 10864737 LARVIN POLLOCK STATE OF UTAH

SHEET: C-5

DATE: Mar 07, 2024



LEGEND

PROPERTY/ROW LINE	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
PROPOSED STORM DRAIN LINE	SD SD SD
EXISTING STORM DRAIN LINE	SD SD SD
EXISTING SEWER LINE	SS SS SS
EXISTING WATER LINE	W W W
EXISTING CONTOUR LINE	2732
FINISHED CONTOUR LINE	21.00
EXISTING FENCE	X
SILT FENCE	SILT FENCE

BEST MANAGEMENT PRACTICE
SEE BEST MANAGEMENT PRACTICE INDEX AND SHEET C-7 FOR DETAILS

BMP
XX

NOTES

DURING CONSTRUCTION

1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (ONCE A WEEK) AND AFTER EVERY STORM EVENT

2. LAND DISTURBANCE SHALL BE KEPT TO MINIMUM TO CONTROL RUNOFF FROM THE SITE

3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE

4. STAGED SEEDING TO RE-VEGITATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS

5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION

6. MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS.

7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.

8. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY

BEST MANAGEMENT PRACTICE INDEX

1	IP	INLET PROTECTION
2	WDA	EQUIPMENT AND VEHICLE WASH DOWN AREA
3	SRE	STABILIZED ROADWAY ENTRANCE
4	PT	PORTABLE TOILET
5	D	DUMPSTER LOCATION
6	SF	SILT FENCE
7	CWM	CONCRETE WASTE MANAGEMENT

ADDITIONAL BMP's TO BE ONSITE:
- SPILL CLEANUP
- VEHICLE & EQUIPMENT FUELING

SEE SHEET C-7 FOR BMP DETAILS

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP
DESIGNER: JM

ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com

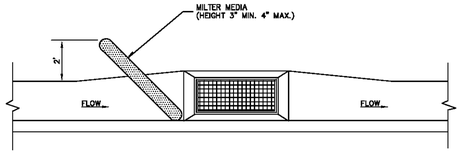
ELEVATE ENGINEERING

DOLLAR TREE RIVER HEIGHTS DR
SWPPP PLAN
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

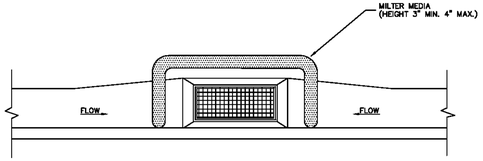
PROFESSIONAL ENGINEER
3/07/2024
10864737
LARVIN POLLOCK
STATE OF UTAH

SHEET: C-6
DATE: Mar 07, 2024

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



ON-GRADE INLET PROTECTION DETAIL



DROP INLET PROTECTION DETAIL

Inlet protection - gravel sock

Plan No. 124

September 2006 | 11 | Drawing 1 of 3

Inlet protection – gravel sock

1. DESCRIPTION: Placement of gravel sock on grade upstream of, or in front of storm drain inlets to filter or pond water runoff

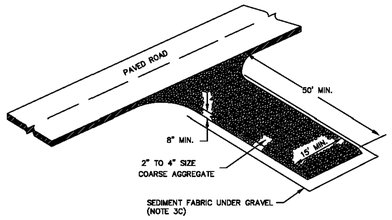
2. APPLICATION: At inlets in paved or unpaved areas where up gradient area is to be disturbed by construction activities.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
   A. On-grade inlet protection:
      1. On-grade inlet protection should be used when completely blocking a storm drain inlet box would result in forcing water further downstream would cause flooding or other undesirable results.
      2. Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
      3. Install filter media just upstream of the inlet box.
      4. Filter media shall butt tightly against the face of the curb and angle at approximately a 45 degree angle away from the curb to trap runoff between the media and the curb.
      5. Excessive flows will flow either over or around the filter media and into the inlet box.
      6. Expect ponding behind the filter media.
   B. Drop inlet protection:
      1. Drop inlet protection should be used at low points in the curb and when diverting flows further downstream will not cause undesirable results.
      2. Prepare filter media (gravel sock, straw waddle, or other approved media) in accordance with manufacturer's recommendations.
      3. Install filter media around the entire perimeter of the inlet grate.
      4. Filter media shall butt tightly against the face of the curb on both sides of the inlet grate.
      5. Excessive flows will either flow around the media or over the top and into the inlet box.
      6. Expect ponding around the inlet box.

4. MAINTENANCE:
   A. Inspect inlet protection after every large storm event and at a minimum of once monthly.
   B. Remove sediment accumulated when it reaches 2 inches in depth.
   C. Replace filter medium when damage has occurred or when medium is no longer functioning as intended.

10

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.



Stabilized roadway entrance

Plan No. 126

February 2006 | 19

Stabilized roadway entrance

1. DESCRIPTION: A temporary stabilized pad of gravel for controlling equipment and construction vehicle access to the site.

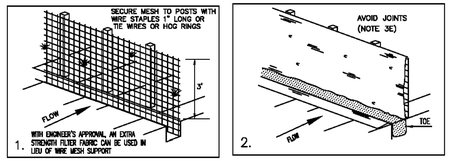
2. APPLICATION: At any site where vehicles and equipment enter the public right of way.

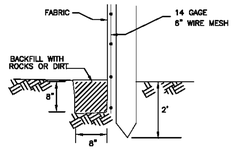
3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
   A. Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
   B. Compact subgrade.
   C. Place filter fabric under stone if desired (recommended for entrance area that remains more than 3 months).

4. MAINTENANCE:
   A. Requires periodic top dressing with additional stones.
   B. Prevent tracking or flow of mud into the public right-of-way.
   C. Periodic top dressing with 2 inches stone may be required, as conditions demand, and repair any structures used to trap sediments.
   D. Inspect daily for loss of gravel or sediment buildup.
   E. Inspect adjacent areas for sediment deposit and install additional controls as necessary.
   F. Expand stabilized area as required to accommodate activities.

18

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.





TOE DETAIL

Silt fence

122

February 2006 | 7

Silt fence

1. DESCRIPTION: A temporary sediment barrier consisting of a filter fabric stretched across and attached to supporting posts and entrenched.

2. APPLICATION: To intercept sediment from disturbed areas of limited extent.
   A. Perimeter Control: Place barrier at down gradient limits of disturbance.
   B. Sediment Barrier: Place barrier at toe of slope or soil stockpile.
   C. Protection of Existing Waterways: Place barrier at top of stream bank.
   D. Inlet Protection.

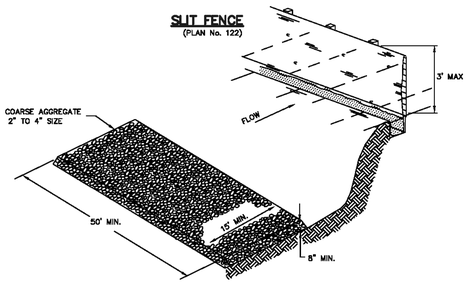
3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
   A. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0 deg. F. to 120 deg. F.
   B. Burlap shall be 10 ounces per square yard of fabric.
   C. Posts for silt fences shall be either 2" x 4" diameter wood, or 1.33 pounds per linear foot steel with a minimum length of 5 feet. Steel posts shall have projections for fastening wire to them.
   D. The fabric is cut on site to desired width, unrolled, and draped over the barrier. The fabric toe is secured with rocks or dirt. The fabric is secured to the mesh with twin, staples or similar devices.
   E. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
   F. When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity.

4. MAINTENANCE:
   A. Inspected immediately after each rainfall and at least daily during prolonged rainfall.
   B. Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
   C. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
   D. Re-anchor fence as necessary to prevent shortcutting.
   E. Inspect for runoff bypassing ends of barriers or undercutting barriers.

6

NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.

1. SECURE MESH TO POSTS WITH WIRE STAPLES 1" LONG OR TIE WIRES OR HOG RINGS
2. SECURE FABRIC TO MESH WITH TWINE, STAPLES OR SIMILAR



WASH DOWN AREA

Equipment and vehicle wash down area

Plan No. 125

February 2006 | 17

Equipment and vehicle wash down area

1. DESCRIPTION: A temporary stabilized pad of gravel for general washing of equipment and construction vehicles.

2. APPLICATION: At any site where regular washing of vehicles and equipment will occur. May also be used as a filling point for water trucks limiting erosion caused by overflow or spillage of water.

3. INSTALLATION/APPLICATION CRITERIA: Refer to APWA Section 01 57 00.
   A. Clear and grub area and grade to provide maximum slope of 1 percent away from paved roadway.
   B. Compact subgrade.
   C. Place filter fabric under wash down area if desired (recommended for wash area that remains more than 3 months).
   D. Install silt fence down gradient (see Plan No. 122)

4. MAINTENANCE:
   A. Requires periodic top dressing with additional stones.
   B. Solely used to control sediment in wash water. Cannot be utilized for washing equipment or vehicles that may cause contamination of runoff (such as fertilizer equipment or concrete equipment).
   C. The wash area shall be maintained in a condition that will prevent tracking or flow of mud onto public rights-of-way.
   D. Periodic top dressing with 2 inch stone may be required, as conditions demand, and repair any structures used to trap sediments.
   E. Inspect daily for loss of gravel or sediment buildup.
   F. Inspect adjacent area for sediment deposit and install additional controls as necessary.
   G. Expand stabilized area as required to accommodate activities.
   H. Maintain silt fence as outlined in Plan No. 122.

16

City Engineer
City of South Jordan
Approved 03/25/2024
City Engineer

NO.	REVISIONS	BY	DATE

PROJECT ENGINEER: LP DESIGNER: DL

ELEVATE ENGINEERING
2208 WEST 700 SOUTH
SPRINGVILLE, UT 84663
PHONE: (801) 718-5993
larvin@elevateeng.com

ELEVATE ENGINEERING

DOLLAR TREE RIVER HEIGHTS DR
SWPPP DETAILS
10494 RIVER HEIGHTS DRIVE, SOUTH JORDAN UT, 84095

PROFESSIONAL ENGINEER
03/07/2024
10864737
LARVIN POLLOCK
STATE OF UTAH

SHEET: C – 7

DATE: Mar 07, 2024

MATERIAL SCHEDULE

Symbol	Comments	Detail
	Decorative Stone – Install a (4) Four Inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Planters and Washed Prior to Installation; Stone Shall Match Existing Size and Color Used in Adjacent Parking Islands to the North; Blend New into Existing; Submit Sample for Approval	3/L3.1

Existing Tree Legend

- Deciduous Tree – 14 Qty.
- Evergreen Tree – 2 Qty.

Landscape Keynotes

1. Existing Tree to Remain and be Protected
2. Existing Landscape to Remain and be Protected; Adjust Stone as Needed for New Plantings; Match Existing Stone for New Shrub Areas
3. Existing Street Trees and Understory Landscape; Adjust Existing Landscape as Needed to Accommodate New Plant Material; Adjust Stone as Needed for New Plantings
4. Existing Lawn to Remain
5. Install New Shrub Area with Decorative Stone Over Weed Barrier – See Material Sch. for More Detail
6. Irrigation Backflow Preventer; Install Between Plant Material Away From Edge of Vehicular Drive and Back of Curb Where it Could Potentially be Hit by a Car or Bumper; Install in an Enclosure on a Concrete Pad; Secure Enclosure to Concrete Pad – See Irrigation Plan for More Detail
7. Existing Light Pole
8. New Dollar Tree Monument Sign by Separate Permit
9. New Water Meter; Meter Shall be Utilized for Irrigation; See Irrigation Plan for Irrigation Connection
10. Bike Rack – See Civil Plans for More Detail

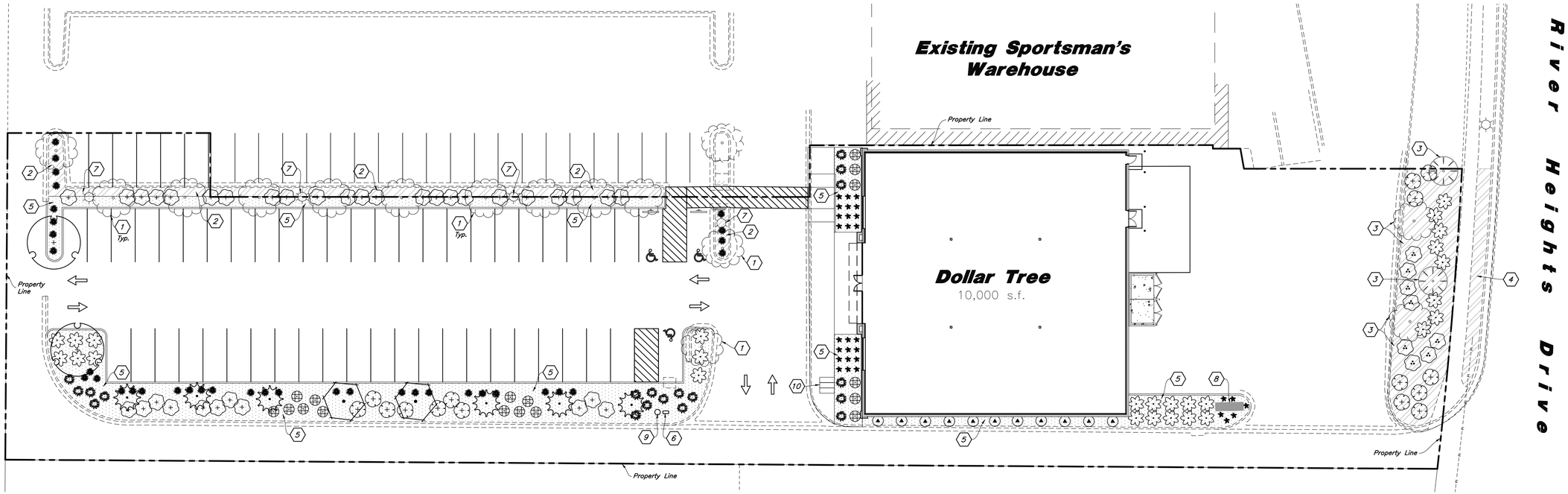
Landscape Notes:

1. See Sheet L3.1 for Planting Details.
2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
3. Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
4. Existing Landscape and Irrigation in the Adjacent Park Strip Shall be Maintained by the Owner.
5. Sixteen (16) Existing Trees Shall Remain and be Protected.

Landscape Data

Zone Commercial (C-C)
Site Area = 59,697 s.f. (1.37 ac.)
Onsite Landscape Area Required = 8,955 s.f. (15%)
Onsite Landscape Area Provided = 8,961 s.f. (15%)
Existing Shrub Area = 2,386 s.f.
New Shrub Area = 6,575 s.f.
River Heights Drive Street Trees = 4 Existing Trees
Total Site Trees Required = 26 Trees (26 Provided)
Deciduous Trees = 18 Trees (14 Existing & 4 New) - 69%
Evergreen Trees = 8 Trees (2 Existing & 6 New) - 31%
50% Plant Coverage at Maturity = 4,481 s.f. (4,497 s.f. Provided) - 50% *

*** See Material Schedule Below for Breakdown of Plant Coverage**



Scale: 1" = 20'

20' 0 20' 40'

General Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stake before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean–up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurseryman, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants
13. The contractor shall install all landscape material per plan, notes and details.
14. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Existing topsoil to be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil to be installed in all landscaping areas. The landscape contractor shall perform a soil test on existing and/or imported topsoil and amend per soil test recommendations. Soil test to be done by certified soil testing agency.
17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
18. Provide a 12" depth of stockpiled or imported topsoil in parking islands and an 8 inch depth in all other shrub areas.
19. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
20. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
21. All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 Weed Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
23. All deciduous trees shall be double staked per tree staking detail. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #CT32.
24. Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
25. Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas.
26. Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
27. All lawn areas to have uniform grades by float raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
28. All trees located in lawn areas shall have a 24 inch diameter tree ring with a layer of wood mulch.
29. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

PLANT SCHEDULE

Plant Coverage	SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE
	DECIDUOUS TREES			
		2	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	2" Caliper
		2	Malus x 'Spring Snow' / Spring Snow Crabapple	2" Caliper
	EVERGREEN TREES			
		6	Pinus leucodermis 'Compact Gem' / Compact Upright Bosnian Pine	7' Min. Ht.
	SHRUBS			
176		11	Caryopteris x clandonensis 'Dark Knight' / Dark Knight Bluebeard	5 gal
392		8	Chamaebatiaria millefolium / Fernbush	5 gal
972		27	Juniperus horizontalis 'Wiltonii' / Blue Rug Juniper	5 gal
540		15	Mirabilis multiflora / Desert Four O'Clock	5 gal
272		17	Pinus mugo 'Slowmound' / Mugo Pine	5 gal
1530		34	Rhus aromatica 'Gro–Low' / Gro–Low Fragrant Sumac	5 gal
171		19	Rosa Meidiland series 'Red' / Red Meidiland Rose	5 gal
	ORNAMENTAL GRASSES			
324		36	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	5 gal
	PERENNIALS			
120		30	Hemerocallis x 'Stella Supreme' / Stella Supreme Daylily	2 gal

Total: 4,497 s.f.

811 Know what's below. Call before you dig.

REV	DATE	DESCRIPTION

Designed by: JM
Drafted by: JM
Client Name: Peterson
23–172LS

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Landscape Plan

Dollar Tree
10494 River Heights Drive
South Jordan, Utah 84095

State of Utah – Jared R. Manscill – No. 774049–5301 – Licensed Landscape Architect – 02/28/2024

28 Feb, 2024

SHEET NO. L1.1

IRRIGATION SCHEDULE

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird XCZ-100-PRB-COM	Drip Control Zone Kit	1 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	14/L3.1
Q	Rain Bird 44RC	Quick Coupler Valve with Swing Joint	1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	6/L3.1
D	Matco-Norca 759	Manual Drain Valve	1/2" Inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	9/L3.1
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	15/L3.1
	Rain Bird XBS-075 Rain Bird XQ-100 Rain Bird XB-20PC Rain Bird TS025 Rain Bird DBC-025 Rain Bird MDCFCAP	3/4" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed 1/4" Distribution Tubing - Install one per Emitter Xeri-Bug Emitter (2 Gal/Hr.) - 1 per Perennial & Orn. Grass, 2 per Shrub & 3 per Tree Tie Down Stake - Tubing to be Staked every 3' Diffuser Bug Cap - Install one per Emitter Removable Flush Cap - Install at the End of Each Line		8&10/L3.1
P.O.C. Components				
	Mueller Oriseal Mark II	Stop and Waste Valve	1 Inch Size; Install in 10" Round Valve Box with Weed Barrier and Gravel Sump	13/L3.1
BF	Wilkins 375XL Series	Reduce Pressure Backflow Assembly	1 Inch Size; Backflow Preventer Shall be Properly Installed and Tested to Meet all State and Local Health and Safety Laws and Ordinances; Install in GuardShack Enclosure (#GS-2) on Poured Concrete Pad with Frost Guard (FG-2) and 2 Locks (GS-AWPKA); Enclosure Color Shall be Tan	5/L3.1

Symbol	Manufacturer/Model #	Description	Notes	Detail
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 Inch Size; Control Wiring Shall be Tucked Under Mainline for Protection; Schedule 40 Fittings Shall be Used for Mainline Components	7/L3.1
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Inch; Minimum Pipe Size Shall be 1 Inch for PVC Pipe	7/L3.1
Controller				
C	Hunter HPC-400 (4 Station)	Outdoor Smart Controller (EPA WaterSense Approved)	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor; Install per Manufacturer's Specifications; Connect to WIFI and Setup Hydrawise Software to Connect to Local Weather Station	11/L3.1
S	Hunter WR-CLIK	Wireless Rain & Freeze Shut-off Sensor	Mount on Bldg.; Coordinate with Owner on Exact Location; Install per Manufacturer's Recommendation (Required by City)	4/L3.1
Sleeving				
	Schedule 40 PVC	Provide for Irr, Mainlines, Laterals, and Controller Wire Located under Concrete and Asphalt Paving at specified depths	Contractor shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving is by the Landscape Contractor unless otherwise noted.	12/L3.1

Valve Callout: # (Valve Number) / # (Valve Flow) / #" (Valve Size)

Irrigation Notes

1. See Sheet L1.1 for Plant Layout and Sheet L3.1 for Planting Details.
2. See Sheet L3.1 for Irrigation Details.
2. A Static Pressure of 57-63 psi was Reported in the Area. The Irrigation System Requires a Minimum of 50 psi.
3. Install an EPA WaterSense Approved Irrigation Controller and a Rain Sensor. Coordinate with Owner on Exact Location.

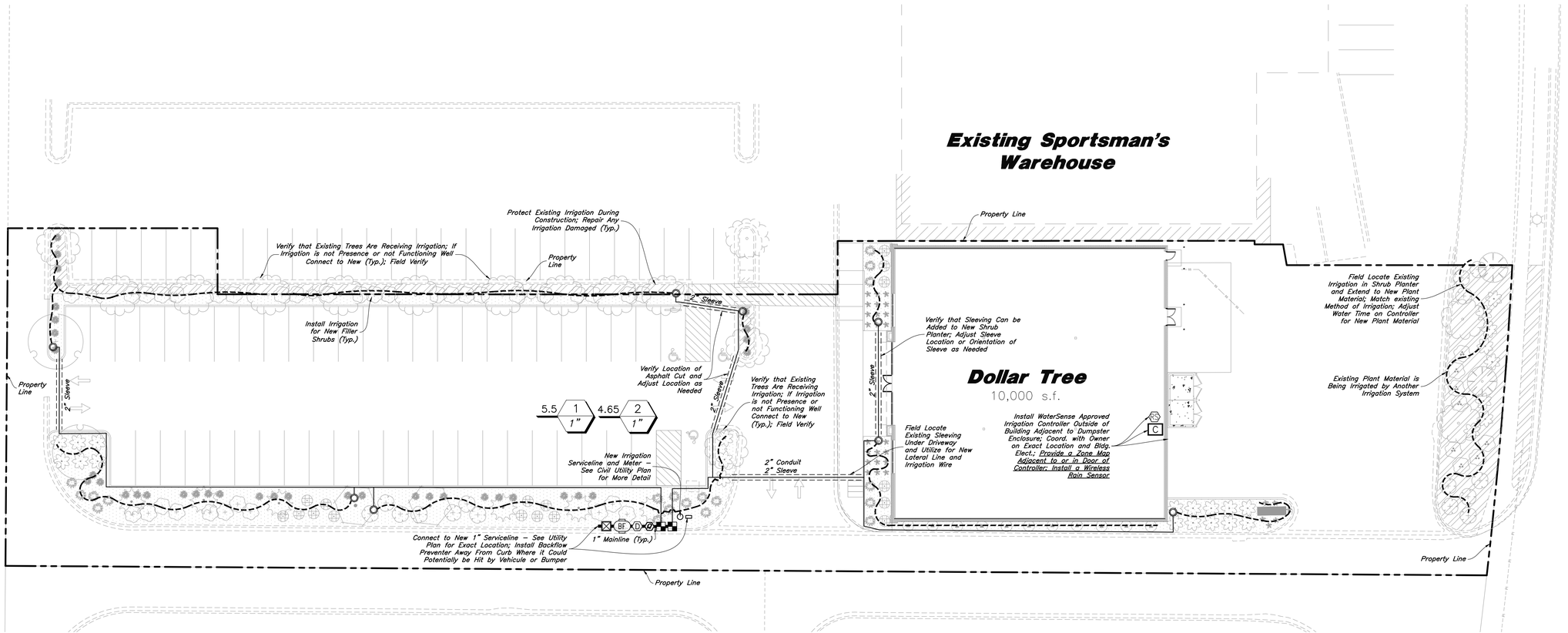
Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Scale: 1" = 20'

20' 0 20' 40'

VALVE SCHEDULE

VALVE STATION	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI @ POC	PRECIP RATE
1	1"	Area for Drip Emitters	5.5	35.5	49.8	0.16 in/h
2	1"	Area for Drip Emitters	4.65	34.2	48.4	0.39 in/h



General Irrigation Notes:

1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufactures requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
13. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
14. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
15. Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wires that run the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
16. Control valve size, type, quantity, and location to be approved by landscape architect. install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes to be Carson Brooks or equal.
17. Quick couplers shall be a Rain Bird 44RC with a one inch Lasco unitized swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
18. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
19. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-two (22) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
20. Plans are diagrammatic and approximate due to scale. where possible, all piping is to be installed within the landscape areas. No tees, ells, or changes in direction shall occur under hardscape.
21. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
22. Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
23. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
24. Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
25. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
26. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

811 Know what's below. Call before you dig.

REV	DATE	DESCRIPTION

Designed by: JM
Drafted by: JM
Client Name: Peterson
23-172IR

ANA
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

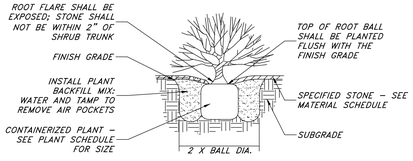
Irrigation Plan

Dollar Tree
10494 River Heights Drive
South Jordan, Utah 84095

State of Utah
Jared R. Monsiil
No. 7740426-5301
Licensed Landscape Architect
02/28/2024

28 Feb, 2024

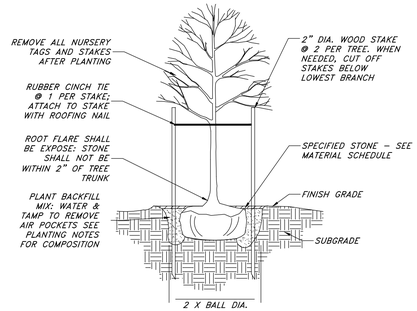
SHEET NO.
L2.1



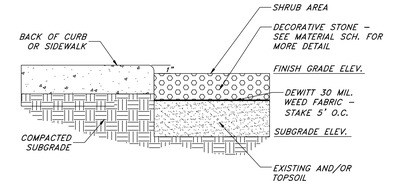
NOTE:

1. SEE GENERAL LANDSCAPE NOTES FOR PLANT BACKFILL MIX COMPOSITION.
2. REMOVE ALL NURSERY TAGS AND STAKES AFTER PLANTING.

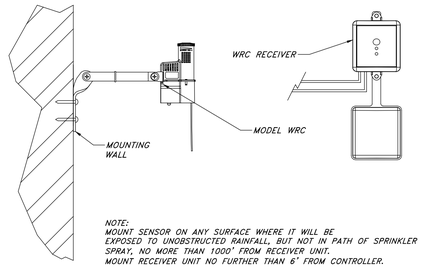
1 SHRUB PLANTING
NOT TO SCALE



2 DECIDUOUS TREE PLANTING
NOT TO SCALE

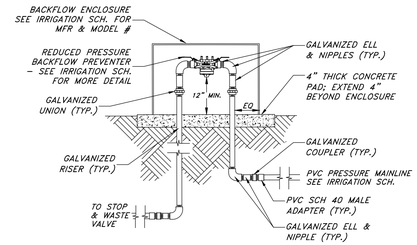


3 LANDSCAPE PREPARATION
NOT TO SCALE



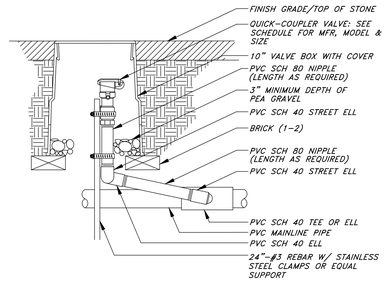
NOTE:
MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY, NO MORE THAN 1000' FROM RECEIVER UNIT.
MOUNT RECEIVER UNIT NO FURTHER THAN 6' FROM CONTROLLER.

4 WIRELESS RAIN SENSOR
NOT TO SCALE

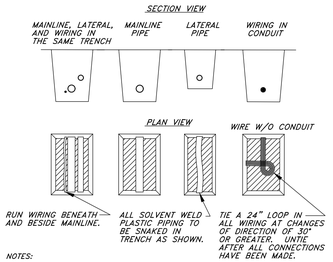


NOTE:
1. DIAMETER OF FITTINGS, NIPPLES AND RISERS SHALL BE EQUAL DIAMETER OF SPECIFIED BACK-FLOW PREVENTER UNLESS NOTED OTHERWISE.
2. ENCLOSURE SHALL BE BOLTED DOWN ON EACH CORNER.

5 BACKFLOW PREVENTION DEVICE
NOT TO SCALE



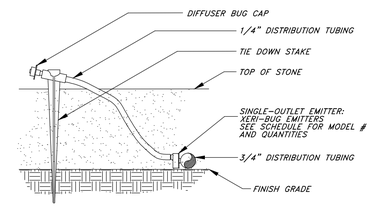
6 QUICK COUPLING VALVE
NOT TO SCALE



NOTES:

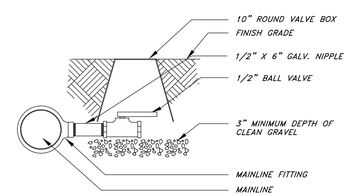
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH. 40 PVC PIPE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS SEE IRRIGATION NOTES.

7 PIPE & WIRE TRENCHING
NOT TO SCALE

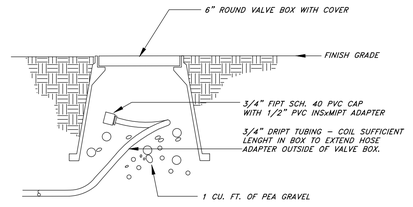


NOTE:
1. USE RAIN BIRD XERIMAN TOOL MODEL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 3/4" DISTRIBUTION TUBING.
2. INSTALL EMITTERS ON OPPOSING SIDES OF ROOTBALL. EMITTERS ARE TO BE INSTALLED TO CLEAR SURFACE BY A MIN. OF 1" AND AND A MAX. OF 2". FLUSH ALL INES THOROUGHLY, INCLUDING 1/4" DISTRIBUTION TUBING PRIOR TO EMITTER INSTALLATION. IF PLANTING IN A 4:1 SLOPE OR GREATER, INSTALL BOTH EMITTERS ON UPHILL SIDE OF ROOTBALL.

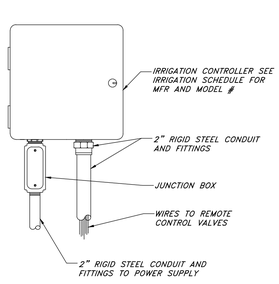
8 EMITTER INTO DISTRIBUTION TUBE
NOT TO SCALE

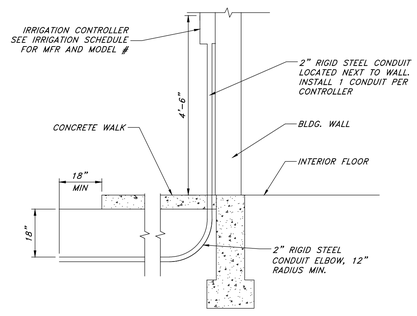


9 MANUAL DRAIN VALVE
NOT TO SCALE

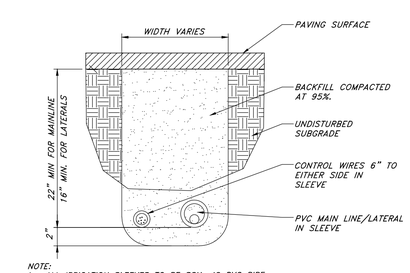


10 COMPRESSION FLUSH CAP
NOT TO SCALE



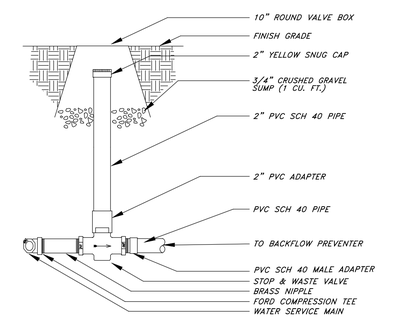


11 IRR. CONTROLLER - OUTDOOR WALL MOUNT
NOT TO SCALE

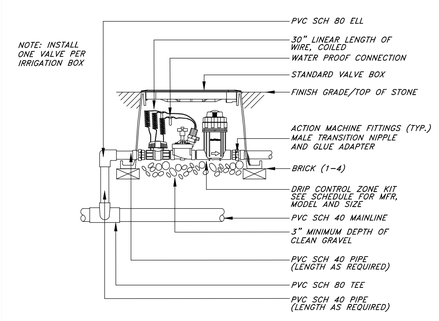


NOTE:
1. ALL IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
2. ALL SLEEVES SHALL BE TWICE THE NOMINAL SIZE OF THE PIPE WITHIN.
3. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
4. SLEEVE TO BE RUN UNDER PAVEMENT AND EXTEND A MIN. OF 18" PAST EDGE OF PAVEMENT. END OF SLEEVE TO BE CAPPED AND MARKED.

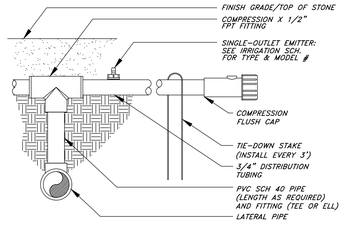
12 PIPE SLEEVING
NOT TO SCALE



13 STOP & WASTE VALVE
NOT TO SCALE



14 DRIP CONTROL VALVE
NOT TO SCALE



NOTE:
1. USE RAIN BIRD XERIMAN TOOL MODEL XM-TOOL TO INSERT EMITTER DIRECTLY INTO 3/4" DISTRIBUTION TUBING.

15 PVC TO POLY PIPE CONNECTION
NOT TO SCALE

Know what's below. Call before you dig.

REV	DATE	DESCRIPTION

Designed by: JM
Drafted by: JM
Client Name:
Peterson
23-172IR

ANA
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AMAengineering.net

Landscape & Irrigation Details

Dollar Tree
10494 River Heights Drive
South Jordan, Utah 84095

State of Utah
Jared R. Manscill
No. 7740426-5301
Licensed Landscape Architect
02/28/2024

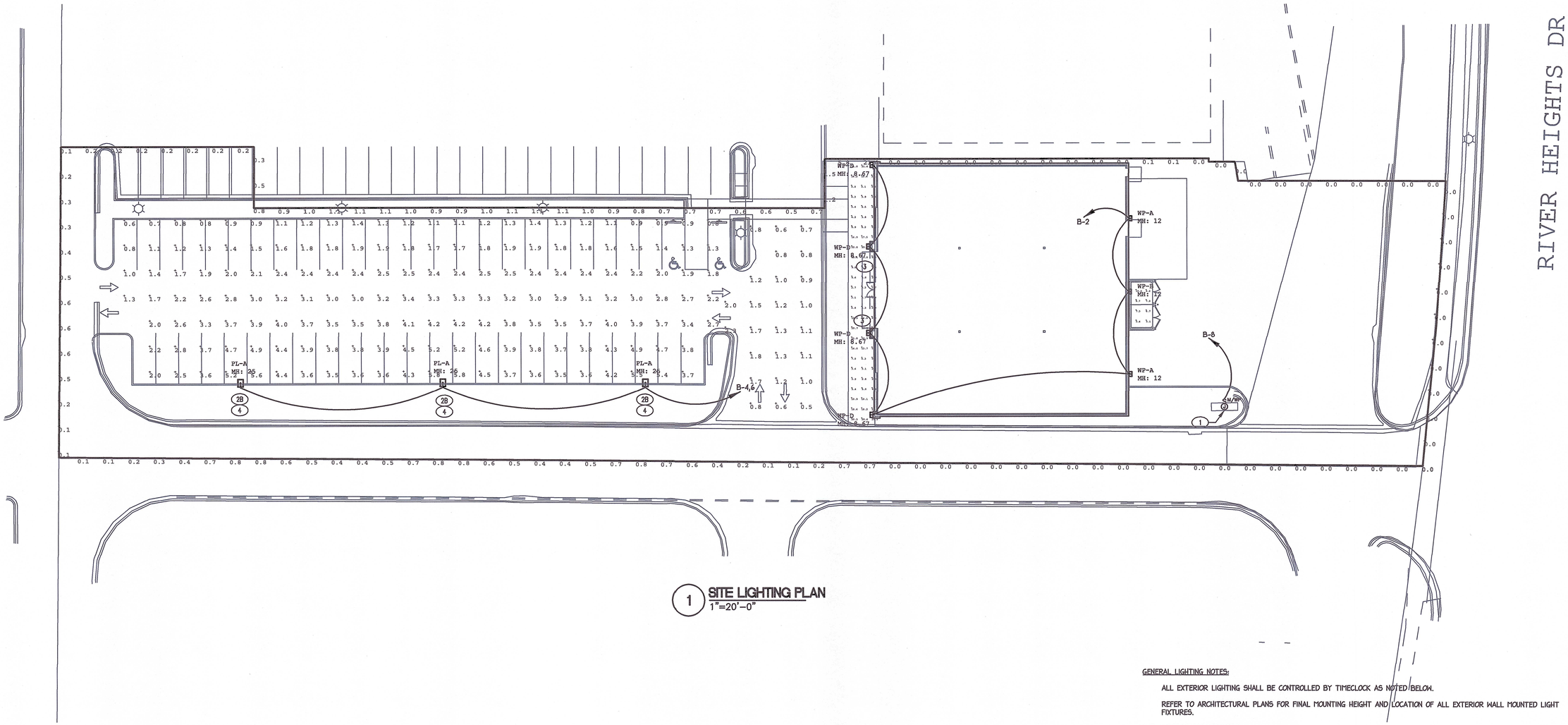
28 Feb, 2024

SHEET NO.
L3.1

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens	[MANUFAC]
	4	WP-D	SINGLE	0.890	LITH # WDGE2 LED P5 40K 80CRI VW	6153	Lithonia Lighting
	3	PL-A	SINGLE	0.890	LITH # DSX2 LED P3 40K T4M MVOLT G1-RTA-25'-6E-DM19-F-B-C-COLOR	27656	Lithonia Lighting
	2	WP-A	SINGLE	0.890	LITH # WDGE1 LED P1 40K 80CRI VW	1229	Lithonia Lighting
	1	WP-B	SINGLE	0.890	LITH # WDGE3 LED P1 70CRI RFT 40K	7592	Lithonia Lighting

- REFER TO ARCHITECTURAL PLANS FOR CONTACT INFORMATION FOR FD REQUIRED LIGHTING SUPPLIER FOR PRICING AND ORDERING OF LIGHTS.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
DUMPSTER	Illuminance	Fc	7.61	10.6	5.1	1.49	2.08
FRONT SIDEWALK	Illuminance	Fc	9.68	31.1	0.3	32.27	103.67
PARKING LOT	Illuminance	Fc	2.75	5.8	0.6	4.58	9.67
PROPERTY LINE	Illuminance	Fc	0.53	21.1	0.0	N.A.	N.A.
ROAD	Illuminance	Fc	1.16	2.3	0.5	2.32	4.60



1 SITE LIGHTING PLAN
1"=20'-0"

GENERAL LIGHTING NOTES:

ALL EXTERIOR LIGHTING SHALL BE CONTROLLED BY TIMECLOCK AS NOTED BELOW.

REFER TO ARCHITECTURAL PLANS FOR FINAL MOUNTING HEIGHT AND LOCATION OF ALL EXTERIOR WALL MOUNTED LIGHT FIXTURES.

SITE LIGHTING TAGGED NOTES:

(1) CONTRACTOR SHALL PROVIDE A WEATHERPROOF JUNCTION BOX FOR FUTURE PYLON SIGN. MOUNT TO SIGN PEDESTAL OR POLE. CONTRACTOR SHALL RUN 3#10 WIRE IN 1" CONDUIT UNDERGROUND TO PYLON SIGN LOCATION. PYLON SIGN CIRCUIT SHALL BE CIRCUITED VIA TERMINAL STRIP ENCLOUSRE AND TIMECLOCK.

(2A) CONTRACTOR SHALL PROVIDE 120V ELECTRICAL CONNECTION TO SITE LIGHT POLES. CONTRACTOR SHALL RUN 3#10 WIRE IN 1" CONDUIT UNDERGROUND TO SITE POLE LIGHT LOCATIONS. SITE LIGHTING CIRCUIT SHALL BE CIRCUITED VIA TERMINAL STRIP ENCLOSURE AND TIMECLOCK.

(2B) CONTRACTOR SHALL PROVIDE 120V ELECTRICAL CONNECTION TO SITE LIGHT POLES. CONTRACTOR SHALL RUN 3#8 WIRE IN 1" CONDUIT UNDERGROUND TO SITE POLE LIGHT LOCATIONS. SITE LIGHTING CIRCUIT SHALL BE CIRCUITED VIA TERMINAL STRIP ENCLOSURE AND TIMECLOCK.

(3) CONTRACTOR SHALL WIRE EMERGENCY BATTERY OF LIGHT FIXTURE TO UNSWITCHED HOT LEG.

(4) LIGHT POLES SHALL BE MOUNTED ON 24" DIA., 24" HIGH CONRETE BASE.

HELT DESIGN
ARCHITECTURE INTERIORS

6405 W. WILKINSON BLVD, STE. 100
BELMONT, NC 28012

HELTDESIGN.COM
INFO@HELTDESIGN.COM

PROJECT NAME:

DOLLAR TREE
'SHELL' BUILDING
FOR
PETERSON
DEVELOPMENT CO, LLC

PROJECT NO: 23145

PROJECT ADDRESS:
10494 RIVER HEIGHTS DRIVE,
SOUTH JORDAN, UT

SEAL:

PROFESSIONAL ENGINEER
No. 11732342
ANTHONY DALE GIPSON
11/9/23
STATE OF UTAH

CORPORATE ENTITY:

C.L. HELT, ARCHITECT, INC. A NORTH CAROLINA PROFESSIONAL CORPORATION *DBA HELT DESIGN.*

DRAWING RELEASE:

NO.	DATE	DESCRIPTION

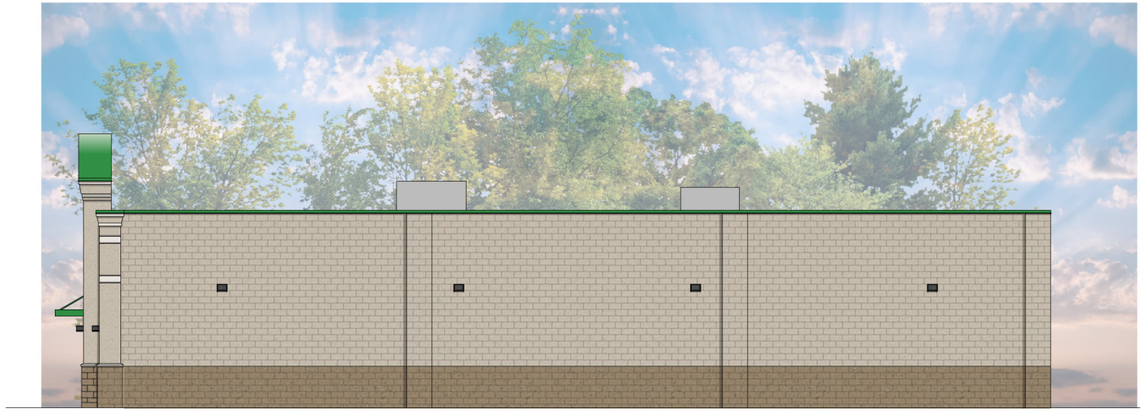
DRAWN BY: CHECKED BY:

DATE: 10/25/23

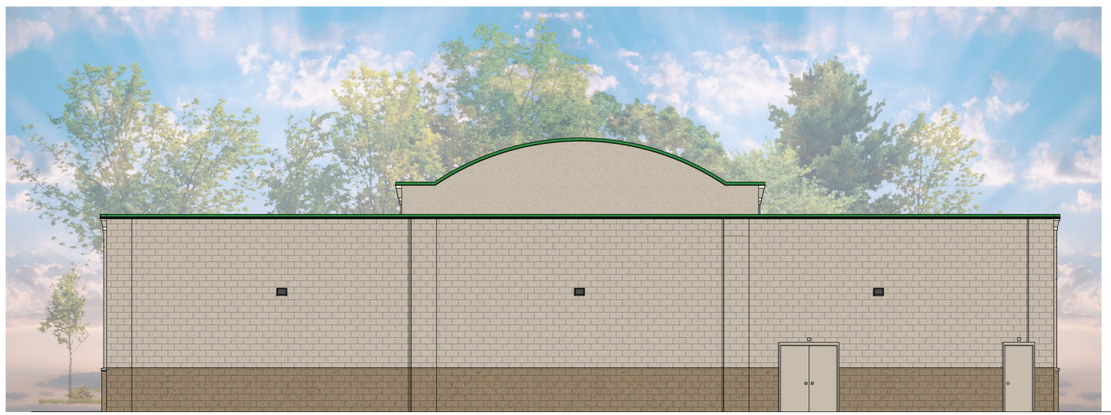
SHEET TITLE:
ELECTRICAL SITE LIGHTING PLAN

SHEET NUMBER:
ES-1

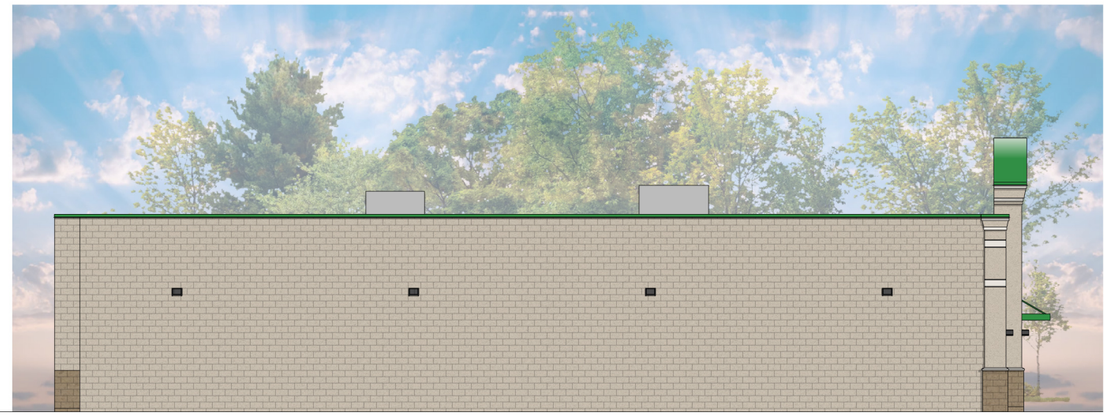
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

Canopy to be supplied and installed by Dollar Tree's sign vendor

- SW ENVY
- SW AESTHETIC WHITE / STO SMOKED PUTTY
- SW BALANCED BEIGE / STO SANDSTONE
- SW VIRTUAL TAUPE

SOUTH JORDAN , UT

Dollar Tree - S. Jordan

0' 4' 8' 16'

RRMM ARCHITECTS