

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 06/13/2023

Issue: SoJo Professional Office Building
SITE PLAN APPLICATION

Address: 10509 S River Heights Dr South Jordan, UT 84095
File No: PLSPR202300018
Applicant: Zach Olson

Submitted by: Miguel Aguilera, Planner I
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202300018**, to allow for construction of a two-story Office building in the P-O zone at 10509 S River Heights Dr.

ACREAGE:	1.80 acres
CURRENT ZONE:	P-O (Professional Office) Zone
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	EC (Economic Center)
NEIGHBORING ZONES/USES:	North – P-O (Mother’s Helper Daybreak) South – P-O (Copper Creek Senior Living) West – C-C (Costco/ Sportsman’s Warehouse) East – R-2.5 (Single Family Residential)/ R-M-7 (Multi-family Residential)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions, or deny the site plan.

BACKGROUND:

The proposed development is located on a vacant parcel on the east side of River Heights Dr., just south of South Jordan Pkwy. It is bordered by River Heights Dr. to the west, the Copper

Creek Senior Living to the south, Costco to the west, and the Mother's Helper Daybreak daycare center to the north.

The project will be a two-story, 31,000 Square foot office building (called the SoJo Professional Office by the applicant) located on the south side of the 1.80 acre parcel adjacent to River Heights Dr. The offices will be condo style, with 10 max proposed for the whole building. The main parking area will be to the north and east, wrapping around behind the building away from River Heights Dr. A landscape buffer is planned bordering the building and parking area on all sides of the parcel. Vehicle access will be through River Heights Dr from both the north and south.

The office building will be two-stories. The building façade will be stucco and glass on the east facing the parking lot and it will be brick and glass facing River Heights Dr. Composite Woodgrain siding and metal will be placed around building entrances. The building's colors are a white, black, and brown. The building received a positive recommendation from the Architectural Review Committee (ARC).

Landscaping will be a variety of trees, shrubs, and rock groundcovers. Rock and gravel decorative weed cover will be used around the building, parking lot islands, and landscaped areas on the borders of the parcel. A mix of 36 trees and 261 shrubs will be planted long all landscaped areas. The landscaping plans meet city landscaping requirements for trees and ground cover.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The proposed building use is office and is permitted in the P-O zone.
- The Architectural Review Committee reviewed the proposed building on April 26, 2023. The project received a positive recommendation from the committee.
- The City's general plan describes the area of this proposed building as having "the potential for office infill and redevelopment"
- This project would support General plan's Work Goal 4: Support commercial and office developments that contribute to the welfare and quality of life of South Jordan citizens

Conclusion:

- The proposed project will meet the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

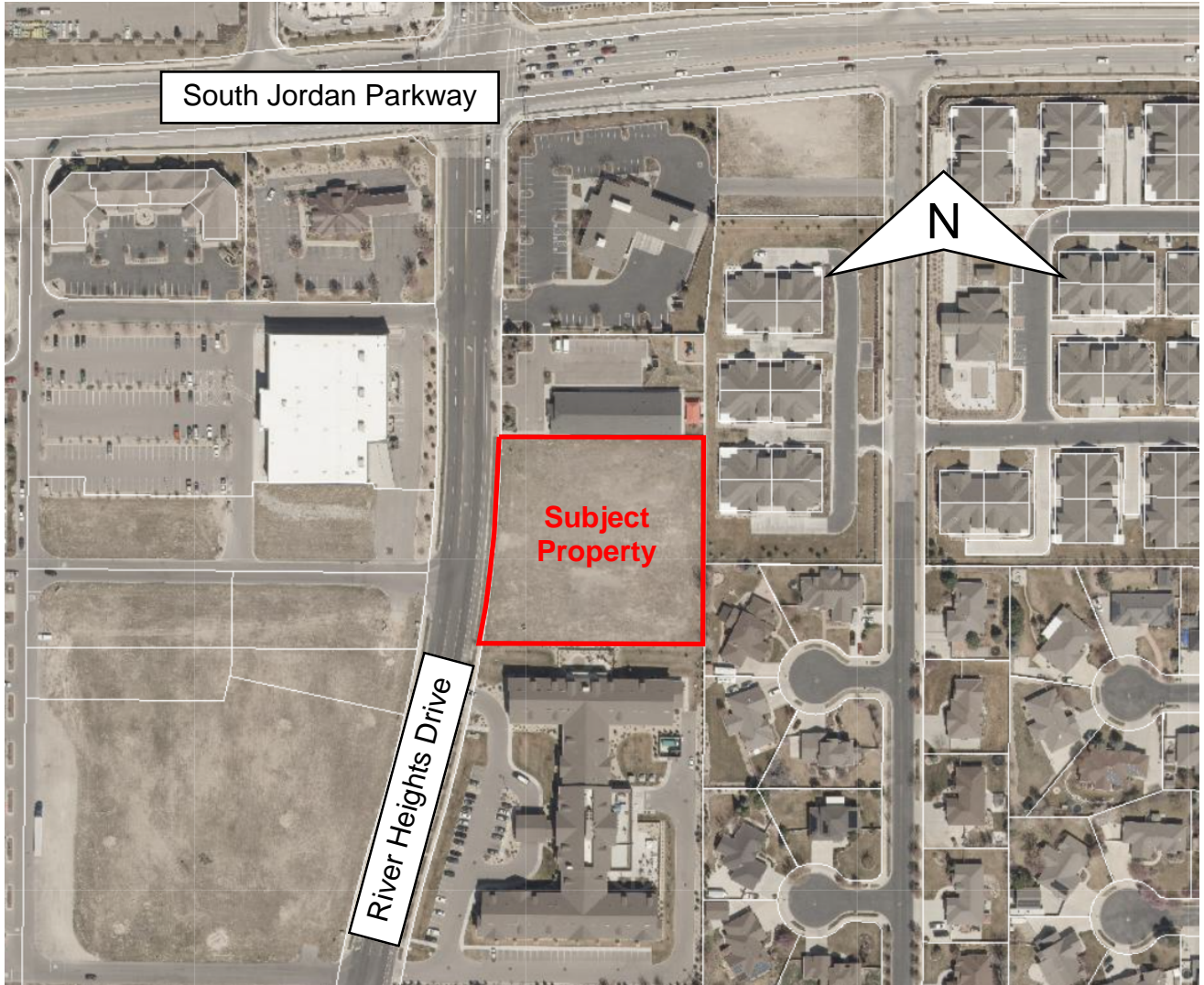
- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Zoning Map
- Site Plan
- Grading Plan
- Landscape Plan
- Building Elevations

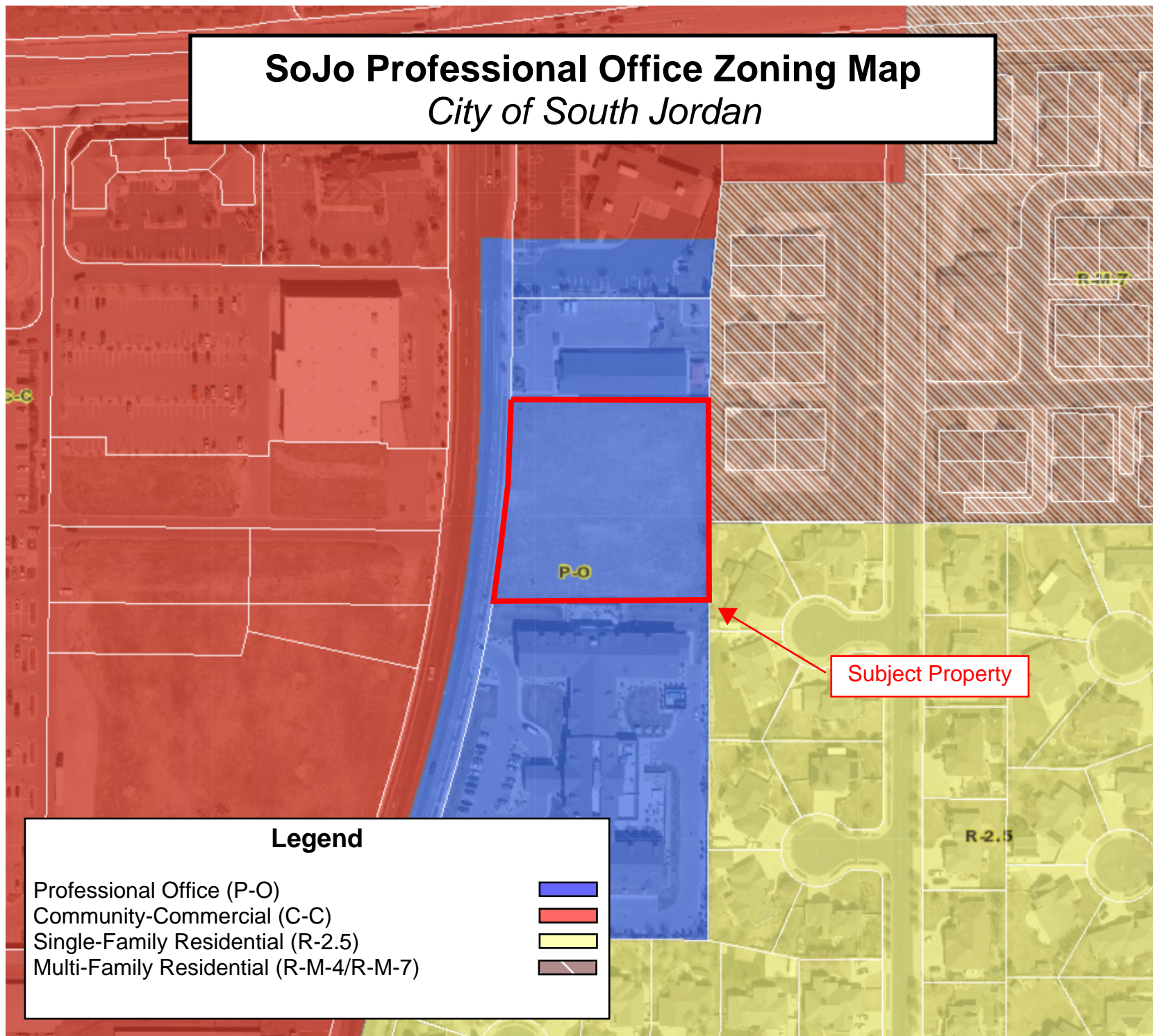
*Miguel Aguilera*_____

Miguel Aguilera
Planner I
Planning Department



SoJo Professional Office Zoning Map

City of South Jordan



811

Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'

SOJO PROFESSIONAL OFFICE BUILDING

10509 SOUTH RIVER HEIGHTS DRIVE
SOUTH JORDAN, UTAH

DATE PRINTED
May 11, 2023

INDEX OF DRAWINGS

1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY
C-001	GENERAL NOTES
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-300	GRADING AND DRAINAGE PLAN
C-400	UTILITY PLAN
C-500	EROSION CONTROL PLAN
C-600	DETAILS
C-601	DETAILS
C-602	DETAILS
C-603	DETAILS
L-100	LANDSCAPE PLAN
L-200	IRRIGATION PLAN
L-300	LANDSCAPE AND IRRIGATION DETAILS

NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS." THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

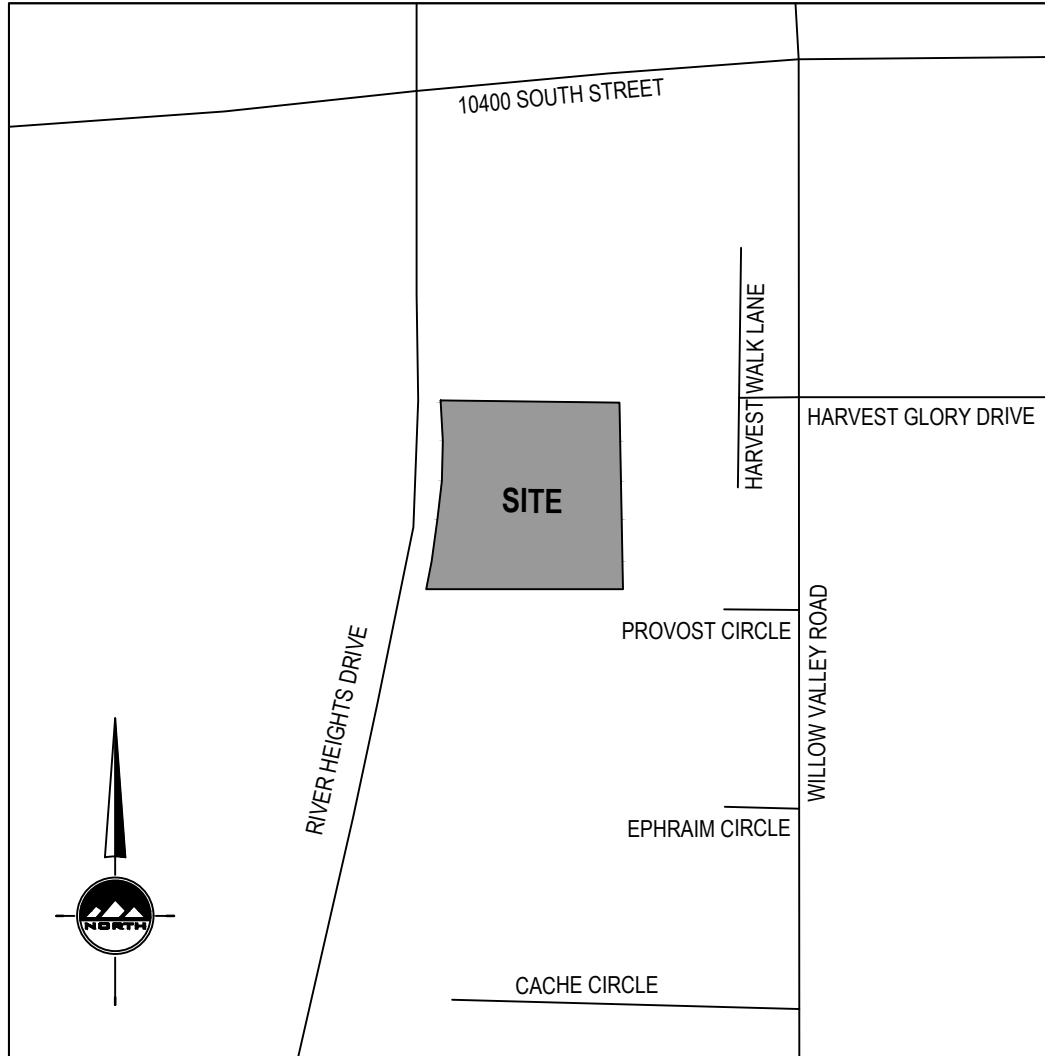
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTICE TO DEVELOPER/CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



VICINITY MAP
(NOT TO SCALE)

GENERAL NOTES

- ALL WORK SHALL CONFORM TO SOUTH JORDAN CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = CENTER OF SECTION 17, T3W, R1S SALT LAKE BASE & MERIDIAN
ELEV. = 4685.21.

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

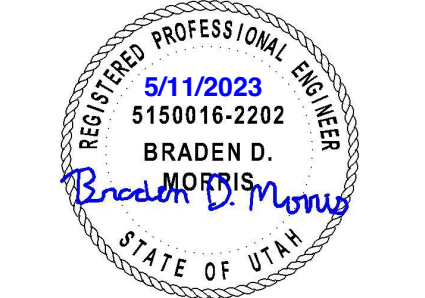
RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047
CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



COVER SHEET

PROJECT NUMBER
11820

PRINT DATE
5/11/23

DRAWN BY

CHECKED BY

PROJECT MANAGER

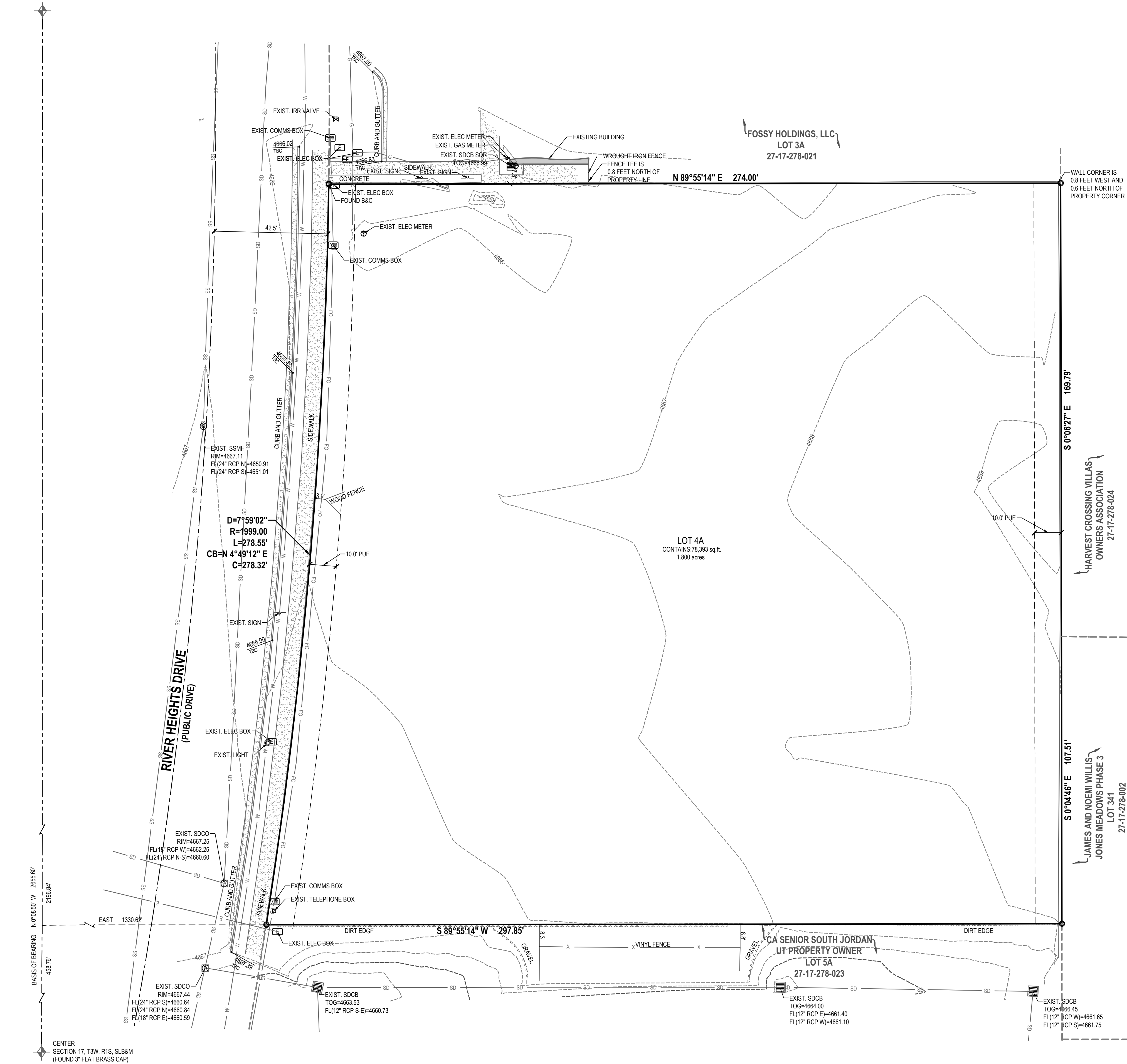
City Engineer
City of South Jordan
Approved 05/30/2023
Brad Klauer City Engineer

C-000

811
CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.
Know what's below.
Call before you dig.

BENCHMARK
CENTER
SECTION 17, T3W, R1S, SLB&M
ELEV = 4685.21'

NORTHWEST CORNER
SECTION 17, T3W, R1S, SLB&M
(FOUND 2.5' FLAT BRASS CAP)



SURVEYOR'S NARRATIVE

I, Patrick M. Harris, do hereby state that I am a Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a boundary and topography survey to our client. The Basis of Bearing is the line between the Center and the Northwest Corner of Section 17, Township 3 South, Range 1 South, Salt Lake Base and Meridian, measuring North 0°06'50" West 2655.60 feet.

BOUNDARY DESCRIPTION

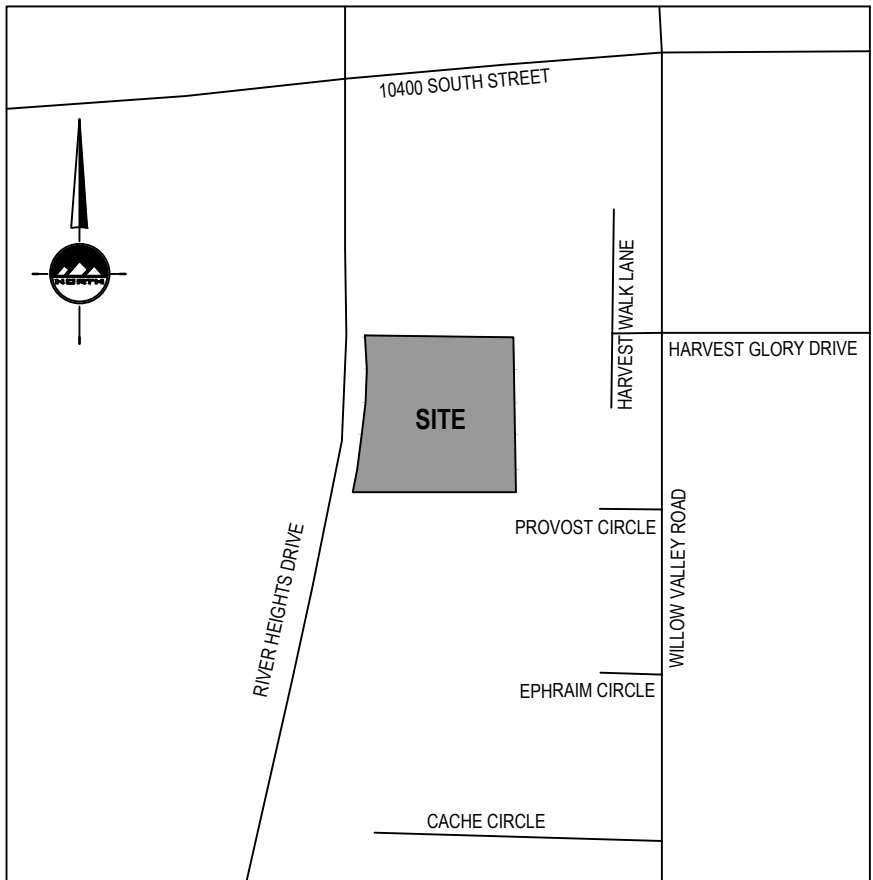
Lot 4A, Harvest Village at South Jordan Subdivision Phase II Amended, according to the plat thereof as recorded in the office of the Salt Lake County Recorder.

08/31/22
Date
Patrick M. Harris
License no. 286882

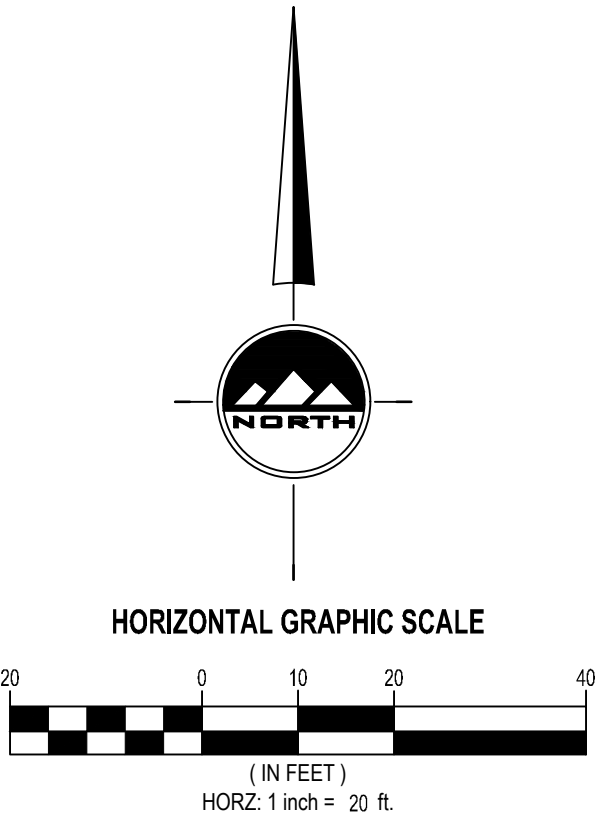
LEGEND

	SECTION CORNER		MINOR CONTOURS 1' INCREMENT
	MONUMENT		MAJOR CONTOURS 5' INCREMENT
	SET NAIL & WASHER		CONCRETE
	SET ENSIGN REBAR AND CAP		ADJACENT RIGHT OF WAY
	WATER METER		RIGHT OF WAY
	WATER MANHOLE		SECTION LINE
	WATER VALVE		PROPERTY LINE
	FIRE HYDRANT		ADJACENT PROPERTY LINE
	IRRIGATION VALVE		DEED LINE
	SANITARY SEWER MANHOLE		TANGENT LINE
	STORM DRAIN CLEAN OUT		FENCE
	STORM DRAIN CATCH BASIN		EDGE OF ASPHALT
	STORM DRAIN COMBO BOX		SANITARY SEWER
	SIGN		STORM DRAIN LINE
	UTILITY MANHOLE		WATER LINE
	UTILITY POLE		IRRIGATION LINE
	GAS METER		TELEPHONE LINE
	GAS LINE		OVERHEAD POWER
	EXISTING BUILDING		SCHEDULE B-2 EXCEPTIONS

City Engineer
City of South Jordan
Approved 05/30/2023
B. Klawns City Engineer



VICINITY MAP
(NOT TO SCALE)



LOCATED IN THE NORTHEAST QUARTER
OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN, SALT LAKE COUNTY, UTAH



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

**RIVER HEIGHTS DRIVE OFFICE BUILDING
BOUNDARY AND TOPOGRAPHY SURVEY**
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



**BOUNDARY AND
TOPOGRAPHY
SURVEY**

PROJECT NUMBER
11820
DRAWN BY
T. HARRIS
PROJECT MANAGER
P. HARRIS

1.1 South Jordan City General Notes

- All work done or improvements installed within South Jordan City including but not limited to excavation, construction, roadwork and utilities shall conform to the South Jordan City Construction Standards and Specifications, City Municipal Code and the latest edition of the APWA Manual of Standard Specifications and Manual of Standard Plans, and any state or federal regulations and permit requirements of various governing bodies. The contractor is responsible to have a copy of these specifications and to know and conform to the appropriate codes, regulations, drawings, standards and specifications.
- The existence and location of any overhead or underground utility lines, pipes, or structures shown on these plans are obtained by a research of the available records. Existing utilities are located on plans only for the convenience of the Contractor. The contractor shall bear full responsibility for the protection of utilities and the engineer bears no responsibility for utilities not shown on the plans or not in the location shown on the plans. This includes all service laterals of any kind. The Contractor shall, at his own expense, locate all underground and overhead interferences, which may affect his operation during construction and shall take all necessary precautions to avoid damage to same. The Contractor shall use extreme caution when working near overhead utilities so as to safely protect all personnel and equipment, and shall be responsible for all cost and liability in connection therewith.
- The Contractor shall take all precautionary measures necessary to protect existing utility lines, structures, survey monuments and street improvements which are to remain in place, from damage, and all such improvements or structures damaged by the Contractor's operations shall be repaired or replaced satisfactory to the City Engineer and owning utility company at the expense of the Contractor.
- All construction shall be as shown on these plans, any revisions shall have the prior written approval of the City Engineer.
- Permits are required for any work in the public way. The Contractor shall secure all permits and inspections required for this construction.
- Curb, gutter, and sidewalk, found to be unacceptable per City Standards and APWA shall be removed and replaced.
- Contractor shall provide all necessary horizontal and vertical transitions between new construction and existing surfaces to provide for proper drainage and for ingress and egress to new construction. The extent of transitions to be as shown on plans.
- Any survey monuments disturbed shall be replaced and adjusted per Salt Lake County Surveyors requirements.
- All privacy walls, new or existing, are only shown on civil plans for the purpose of reviewing grading relationships, flood control and sight distance at intersections. All walls shall have a minimum 2 ft x 2 ft x 30 inch deep spot footings. Bottom of all footings on all walls shall be a minimum of 30 inches below finished grade. Walls greater than 6 feet require a separate permit and inspection by the Building Department.
- All construction materials per APWA must be submitted and approved by the City Engineer prior to the placement of asphalt within City Right of Way.
- Request for inspection by the City of South Jordan engineering dept. shall be made by the contractor at least 48 hours before the inspection services will be required.
- Work in public way, once begun, shall be prosecuted to completion without delay as to provide minimum inconvenience to adjacent property owners and to the traveling public.
- The contractor shall take all necessary and proper precautions to protect adjacent properties from any and all damage that may occur from storm water runoff and/or deposition of debris resulting from any and all work in connection with construction.
- Power poles and/or other existing facilities not in proper location based on proposed improvements shown hereon will be relocated at no expense to the City of South Jordan. Power lines and all other aerial utilities are to be buried and poles removed as determined by the City Engineer.
- Curb and gutter with a grade of less than four-tenths of one percent shall be constructed by forming. Each joint shall be checked for a grade prior to construction and water tested as soon as possible after construction.
- Contractor to follow Salt Lake County Noise Ordinance Standards.
- Contractors are responsible for all OSHA requirements on the project site.
- Trench backfill material under pavements or surface improvements shall be clean, non-clumping, granular and flowable (2" minus A1-A4 soils are acceptable according to AASHTO 145 soil Classification System). Lime treated flowable fills, if approved, shall have a 28-day strength of 65 PSI.
- A UPDES (Utah Pollutant Discharge Elimination System) permit is required for all construction activities as per state law as well as providing a Storm Water Pollution Prevention Plan to the City.
- Developer is responsible for locating and repairing all underground streetlight wires, water lines, storm drain lines and irrigation lines until 90% of the bond has been released.
- All City maintained utilities including: waterline, fire hydrants, streetlight wiring, and storm drain must be in public right of way or in recorded easements.
- Contractor shall work South Jordan City regular working hours of Monday through Friday. If Contractor permits overtime work or work on a Saturday, Sunday or any legal holiday, Contractor shall receive prior approval by City Engineer. Contractor shall obtain all permits and pay Overtime Inspection Fee's to The City of South Jordan on the Thursday prior to the Saturday, Sunday or legal holiday requested.
- Prior to 90% bond release, a legible as-built drawing must be submitted to the City of South Jordan stamped and signed by a professional engineer. As-builts must show all changes and actual field locations of storm drainage, waterlines, irrigation, street lighting, and power. As-builts will be held to the same standard as approved design drawings, no "redlined plans" allowed. In the absence of changes, copies of the approved drawings will be required stating "installed as per drawings". As-built drawings for new developments shall be submitted to the City in the following formats and quantities prior to the 90% bond release: 1 .dxf copy, 1 .pdf copy.
- Filter fabric wrapped around an inlet grate is not an acceptable inlet sediment barrier. See Chapter 9 of South Jordan City Construction Standards and Specifications for details of approved storm water BMPs.
- Asphalt paving between October 15 and April 15 is not allowed without a written exception from the Engineering Department.

1.2 City of South Jordan Traffic Notes

- When a designated "Safe Route To School" is encroached upon by a construction work zone the safe route shall be maintained in a manner acceptable to South Jordan City and the Jordan School District.
- If the improvements necessitate the obliteration, temporary obstruction, temporary removal or relocation of any existing traffic pavement marking, such pavement marking shall be restored or replaced with like materials to the satisfaction of the City Engineer, Public Works Director or designee.
- The street Sign Contractor shall obtain street names and block numbering from the Planning Department prior to construction.
- The Contractor shall be responsible for providing and installing all permanent signs shown on the plans. Street name signs shall conform in their entirety to current City Standards. All other signs shall be standard size unless otherwise specified on the plans. All sign posts shall be installed in accordance with the current City Standards.
- All permanent traffic control devices called for hereon shall be in place and in final position prior to allowing any public traffic onto the portions of the road(s) being improved hereunder, regardless of the status of completion of paving or other off-site improvements called for per approved construction drawings unless approved by the City Engineer.

- The Contractor shall be responsible for notifying Utah Transit Authority (UTA) if the construction interrupts or relocates a bus stop or has an adverse effect on bus service on that street to arrange for temporary relocation of stop.
- Before any work is started in the right-of-way, the contractor shall install all advance warning signs for the construction zone. The contractor shall install temporary stop signs at all new street encroachments into existing public streets. All construction signing, barricading, and traffic delineation shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) per the current edition adopted by UDOT and be approved by the City of South Jordan before construction begins.
- All signs larger than 36" X 36" or 1296 square inches per sign pole shall be mounted on a Slip Base system per UDOT standard drawing SN 108 (detail drawing attached to standard drawings) with a "Z" bar backing. Signs of this size are not allowed to be mounted on a yielding pole.
- Sign components such as sheathing, EC film, inks, letters and borders are all required to be from the same manufacturer. Only EC film may be used to achieve color. Vinyl EC film is not accepted.
- All new roundabouts, crosswalks, stop bars and legends shall be installed with 90 mil preformed thermo plastic.
- Paving asphalt binder grade shall be PG 64-22 unless otherwise approved by the City Engineer.

1.3 City of South Jordan Street Light Notes

- All work shall be installed in accordance with the most current South Jordan City Standards and N.E.C. (National Electric Code). A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction. No deviation of streetlight, pull boxes, conduits, etc. locations shall be permitted without prior WRITTEN APPROVAL from the City Engineer or his/her representative.
- Location of the Street light pole.
 - Shall not be installed within 5 feet of a fire hydrant. The location shall be such that it does not hinder the operation of the fire hydrant and water line operation valves.
 - Shall be a minimum of 5 feet from any tree, unless written approval is received from the City Engineer. Branches may need to be pruned as determined by the Engineering Inspector in the field at the time of installation.
 - Shall not be installed within 5 feet from the edge of any driveway.
- Anti-seize lubricant shall be used on all cover bolts and ground box bolts.
- All existing street lighting shall remain operational during construction.
- Any structure such as block walls, chain link fences, retaining walls, etc. shall leave a minimum of eighteen (18) inches to the face of the street light pole on all sides.
- All service point(s) shall be coordinated with Rocky Mountain Power and whenever possible be located near the center of the circuit. Service point(s) shall be shown on the plans with a schematic from Rocky Mountain Power. Pole locations as shown on the approved plans may be adjusted in the field by the Engineering Inspector at time of installation at no additional cost to the City.
- It shall be required that in the absence of an existing workable circuit to attach to, that all installations shall require a new service for operation of the circuits in this case developer and or his engineer shall contact Rocky Mountain Power.
- Wherever there is an overhead utility that may conflict with the installation of the street light circuits and/or streetlight poles, those conflicts must be resolved between the developer and the utilities involved before the street light bases are constructed at no expense to the City of South Jordan or Rocky Mountain Power. The resolution must be approved by the City of South Jordan and Rocky Mountain Power.
- The contractor shall furnish a complete service to the transformers and control systems if required on the plans and/or is deemed necessary by Rocky Mountain Power and/or South Jordan City.
- A street light plan showing wiring location, wiring type, voltage, power source location, conduit size and location shall be submitted to the City of South Jordan and be approved prior to construction.
- The contractor shall be required to perform a 10 day burn test of the street lights after they are connected and energized by Rocky Mountain Power. This test shall be coordinated and witnessed by a South Jordan Engineering Inspector.
- Each streetlight shall have its own photo cell independent of a master control.

1.4 City of South Jordan Grading Notes

- In the event that any unforeseen conditions not covered by these notes are encountered during grading operations, the Owner and City Engineer shall be immediately notified for direction.
- It shall be the responsibility of the Contractor to perform all necessary cuts and fills within the limits of this project and the related off-site work, so as to generate the desired subgrade, finish grades and slopes shown.
- Contractor shall take full responsibility for all excavation. Adequate shoring shall be designed and provided by the Contractor to prevent undermining of any adjacent features or facilities and/or caving of the excavation.
- The Contractor is warned that an earthwork balance was not necessarily the intent of this project. Any additional material required or leftover material following earthwork operations becomes the responsibility of the Contractor.
- Contractor shall grade to the lines and elevations shown on the plans within the following horizontal and vertical tolerances and degrees of compaction, in the areas indicated: Horizontal Vertical Compaction a. Pavement Area Subgrade 0.1" +0.0" to -0.1" See Soils Report b. Engineered Fill 0.5" +0.1" to -0.1" See Soils Report Compaction Testing will be performed by the developer or his representative.
- All cut and fill slopes shall be protected until effective erosion control has been established.
- The use of potable water without a special permit for building or construction purposes including consolidation of backfill or dust control is prohibited. The Contractor shall obtain all necessary permits for construction water from the Public Works Department.
- The Contractor shall maintain the streets, sidewalks and all other public right-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be promptly removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe and usable condition.
- In the event that any temporary construction items is required that is not shown on these drawings, the Developer agrees to provide and install such item at his own expense and at the direction of the City Engineer. Temporary construction includes ditches, berms, road signs and barricades, etc.
- All grading work shall conform to the soils report as prepared by the Soils Engineer and approved by the City Engineer, and as shown on these plans.

1.5 City of South Jordan Fire Department Notes

- On any new home or building installation, accessible fire hydrants shall be installed before combustible construction commences and said fire hydrants shall be in good working order with an adequate water supply.
- Contractor shall call the Public Works Department and Engineering Inspector for underground inspection, pressure and flush verification of all fire hydrants and fire lines before back filling.

- Painting of the curbs and hydrant and any work necessary for protection of hydrants from physical damage shall be approved before being constructed.
- A flow test must be witnessed by the Fire Department prior to occupancy for verification of required on-site water supply.
- All on-site fire main materials must be U.L. listed and A.W.W.A. approved.
- The turning radius for any fire apparatus access road and/or fire lane, public or private, shall be not less than forty-five feet (45') outside radius and twenty-two feet (22') inside radius and shall be paved.
- A fire apparatus road shall be required when any portion of an exterior wall of the first story is located more than one-hundred fifty feet (150') from Fire Department vehicle access roads and/or fire lanes, public or private, in excess of onehundred fifty feet (150') in length shall be provided with an approved turn around area.
- Access roads shall be marked by placing approved signs at the start of the designated fire lane, one sign at the end of the fire lane and width signs at intervals of one-hundred feet (100') along all designated fire lanes. Signs to be placed on both sides of an access roadway if needed to prevent parking on either side. Signs shall be installed at least 5' measured from the bottom edge of the sign to the near edge of pavement. Where parking or pedestrian movements occur, the clearance to the bottom of the sign shall be at least 7'. The curb along or on the pavement or cement if curb is not present, shall be painted with red weather resistant paint in addition to the signs.
- Electrically controlled access gates shall be provided with an approved emergency vehicle detector/receiver system. Said system shall be installed in accordance with the South Jordan City F.D. approval. Gates are only allowed with prior approval.
- All underground fire lines that service automatic fire sprinkler systems shall be no smaller than six (6) inches in diameter. All fire lines material shall be Ductile Iron. (Ductile Iron from the FIV to the building shall be permitted or Ductile Iron from the main water line to the WIV).
- Post Indicator Valves (PIV) shall be between 6 and 40 feet from buildings not exceeding three stories or equivalent in height and between 30 and 40 feet on buildings in excess of three or more stories in height or equivalent.
- Roads and accesses shall be designed and maintained to support the imposed loads of fire apparatus. Surface shall be paved before the application of combustible material.

1.6 South Jordan City Water Notes

- The following South Jordan City Water Notes are intended for general water standards only and are not all inclusive. The City has included the Culinary Water Design and Construction Standards within the City Construction Standards and Specifications.
- No work shall begin until the water plans have been released for construction by the Engineering Department. Following water plan approval, forty-eight (48) hour notice shall be given to the Engineering Inspector and the Public Works Department (253- 5230) prior to the start of construction. Notice must be given by 2:00 P.M. the business day prior to an inspection.
- All work within South Jordan City shall conform to South Jordan City Standards and Specifications, AWWA and APWA.
- For Residential Developments - The developer shall purchase and install meter boxes and setters according to City Standards on newly developed lots and real property at the time of water main installation. The developer shall also provide the site address, lot number, meter size and pay meter fees prior to building permit approval.
- For Commercial and Condominium Developments - The developer shall purchase and install water meters, meter boxes and setters according to City Standards.
- All water facilities shall be filled, disinfected, pressure tested, flushed, filled and an acceptable water sample obtained prior to commissioning the new water line to the South Jordan City Culinary Water Distribution System.
- South Jordan Public Works Department must approve water shut down which may require evening and weekend shut down as deemed necessary, requiring the contractor to be billed for overtime. 48 hour notice is required.
- Water stub-out installations will not be construed as a commitment for water service.
- Conditional Approval of Valved Outlet (6" and Larger): In the event the water plans show one or more valved outlets extending out of paved areas, installations of these outlets is acceptable, however, if the outlets are incorrectly located or not used for any reason when the property is developed, the developer shall abandon the outlets at the connection to the active main in accordance with the city standards and at the developer's expense.
- All lines to be pressure tested according to South Jordan City and AWWA standards and chlorinated prior to use and final acceptance.
- All fittings to be coated with poly fm grease and wrapped with 8-mil thick polyethylene.
- No other utility lines may be placed in the same trench with water line unless approved by the City Engineer.
- Any conflict with existing utilities shall be immediately called to the attention of the City Engineer or designee.
- All water vaults will be constructed per City of South Jordan standard drawings and specifications. No vaults are allowed in traffic areas without prior approval of the City Engineer.
- Landscape and irrigation adjacent to vaults shall drain away from vaults.
- Once the waterline has been tested, approved and city water is flowing through the pipe, only City personnel are authorized to shut down and charge the waterline.
- Megalug following ring or an approved equivalent shall be used on all fittings.
- APWA plan 562. City requires stainless steel tie-down restraints with turnbuckles only. 5/8" rebar is not acceptable. Megalug followers required on all fittings and all dimensions of thrust blocking still apply. Thrust blocks may be eliminated if horizontal tie down restraints have been pre-engineered and receive prior City approval.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION	NO	NUMBER
AR	ACCESSIBLE ROUTE	OC	ON CENTER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OCEW	ON CENTER EACH WAY
AWWA	AMERICAN WATER WORKS ASSOCIATION	OHP	OVERHEAD POWER
BOS	BOTTOM OF STEP	PC	POINT OF CURVATURE OR PRESSURE CLASS
BVC	BEGIN VERTICAL CURVE	PCC	POINT OF COMPOUND CURVATURE
C	CURVE	PI	POINT OF INTERSECTION
CB	CATCH BASIN	PIV	POST INDICATOR VALVE
CF	CURB FACE OR CUBIC FEET	PL	PROPERTY LINE
CL	CENTER LINE	PRC	POINT OF REVERSE CURVATURE
CO	CLEAN OUT	PRO	PROPOSED
COMM	COMMUNICATION	PT	POINT OF TANGENCY
CONC	CONCRETE	PVC	POINT OF VERTICAL CURVATURE
CONT	CONTINUOUS	PVI	POINT OF VERTICAL INTERSECTION
DIA	DIAMETER	PVT	POINT OF VERTICAL TANGENCY
DIP	DUCTILE IRON PIPE	R	RADIUS
ELEC	ELECTRICAL	RD	ROOF DRAIN
ELEV	ELEVATION	ROW	RIGHT OF WAY
EOA	EDGE OF ASPHALT	S	SLOPE
EVC	END OF VERTICAL CURVE	SAN SWR	SANITARY SEWER
EW	EACH WAY	SD	STORM DRAIN
EXIST	EXISTING	SEC	SECONDARY
FF	FINISH FLOOR	SS	SANITARY SEWER
FG	FINISH GRADE	STA	STATION
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOW LINE OR FLANGE	SWL	SECONDARY WATER LINE
GB	GRADE BREAK	TBC	TOP BACK OF CURB
GF	GARAGE FLOOR	TOG	TOP OF GRATE
GV	GATE VALVE	TOA	TOP OF ASPHALT
HC	HANDICAP	TOC	TOP OF CONCRETE
HP	HIGH POINT	TOF	TOP OF FOUNDATION
IRR	IRRIGATION	TOW	TOP OF WALL
K	RATE OF VERTICAL CURVATURE	TOS	TOP OF STEP
LD	LAND DRAIN	TYP	TYPICAL
LF	LINEAR FEET	VC	VERTICAL CURVE
LP	LOW POINT	WIV	WALL INDICATOR VALVE
MH	MANHOLE	WL	WATER LINE
MJ	MECHANICAL JOINT		
NG	NATURAL GROUND		
NIC	NOT IN CONTRACT		

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	EXISTING WATER METER		EXISTING FENCE
	PROPOSED WATER METER		PROPOSED FENCE
	EXISTING WATER MANHOLE		EXISTING FLOW LINE
	PROPOSED WATER MANHOLE		PROPOSED FLOW LINE
	EXISTING WATER BOX		GRADE BREAK
	EXISTING WATER VALVE		EXISTING STORM DRAIN LINE
	PROPOSED WATER VALVE		PROPOSED STORM DRAIN LINE
	EXISTING FIRE HYDRANT		PROPOSED STORM DRAIN LINE
	PROPOSED FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE DEPARTMENT CONNECTION		HIGHWATER LINE
	EXISTING SECONDARY WATER VALVE		EXISTING SANITARY SEWER
	PROPOSED SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		EXISTING STORM DRAIN SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		
	DENSE VEGETATION		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



GENERAL NOTES

PROJECT NUMBER 11820 PRINT DATE 5/11/23
DRAWN BY CHECKED BY
PROJECT MANAGER

C-001

City Engineer
City of South Jordan
Approved 05/30/2023
Braden D. Morris City Engineer

811

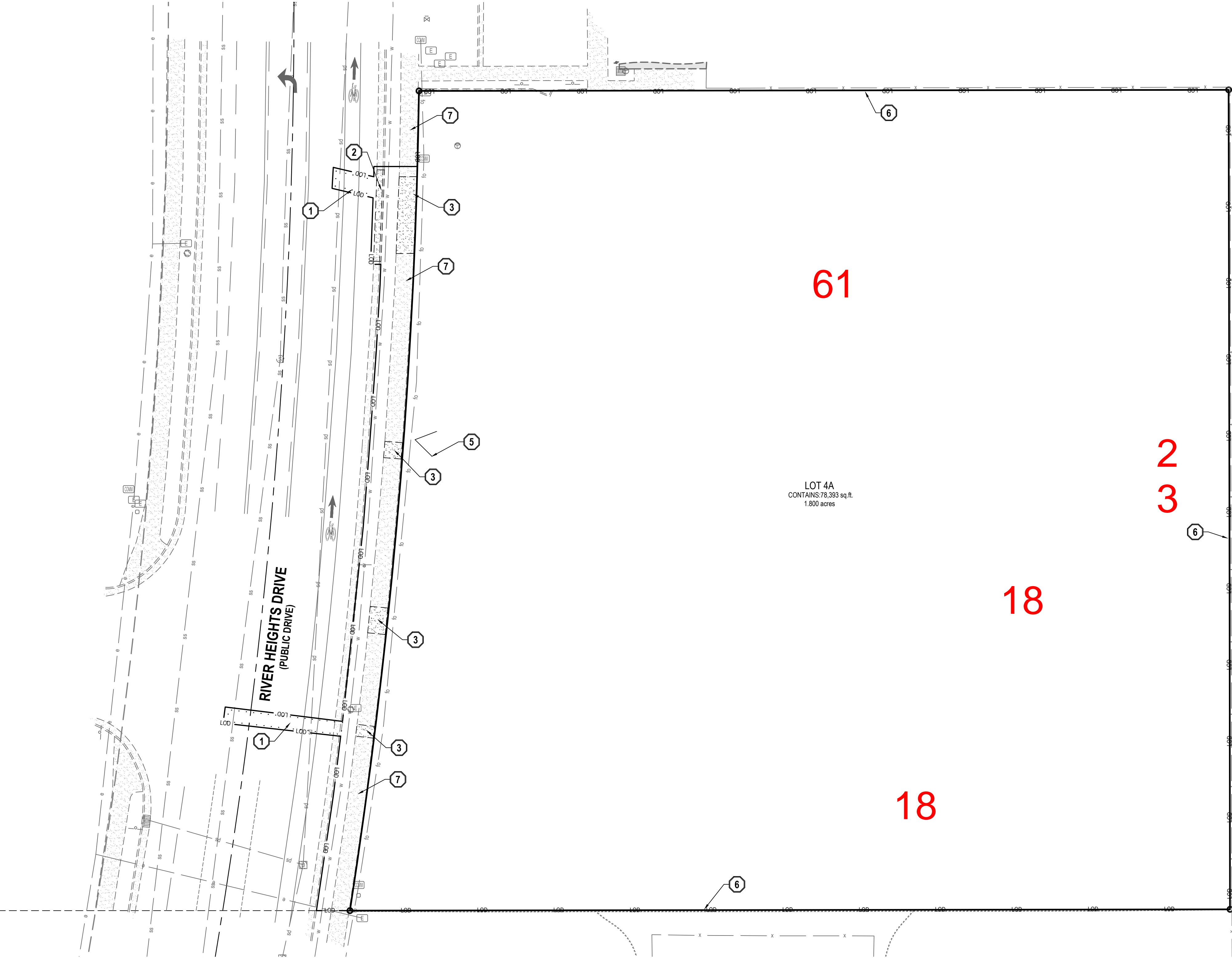
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

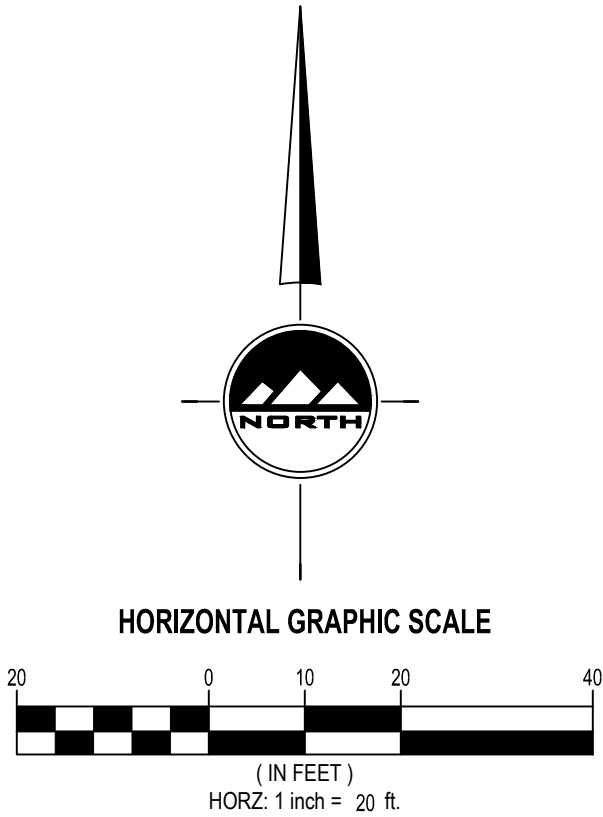
CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



Does the project
plan to install a
6ft fence on the
south side of the
property?

City Engineer
City of South Jordan
Approved 05/30/2023
Brad D. Morris City Engineer



GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- SAWCUT AND PATCH EXISTING ASPHALT PAVEMENT PER SOUTH JORDAN CITY STREET REPAIR/ REPAVING POLICY AND STANDARD DRAWING NO. 3010.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
- REMOVE EXISTING PAVEMENT MARKINGS FROM EXISTING ASPHALT PAVEMENT BY GRINDING OR WATER BLASTING, OR APPROVED EQUAL, TO MINIMIZE SURFACE SCARRING.
- REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE.
- LIMIT OF DISTURBANCE.
- PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

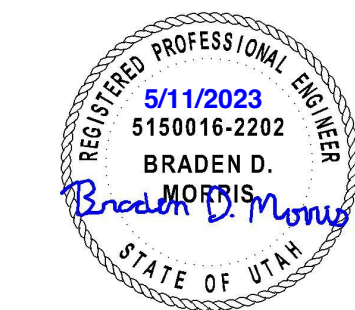
CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047
CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



DEMOLITION PLAN

PROJECT NUMBER
11820
PRINT DATE
5/11/23
DRAWN BY
CHECKED BY

PROJECT MANAGER

C-100

811

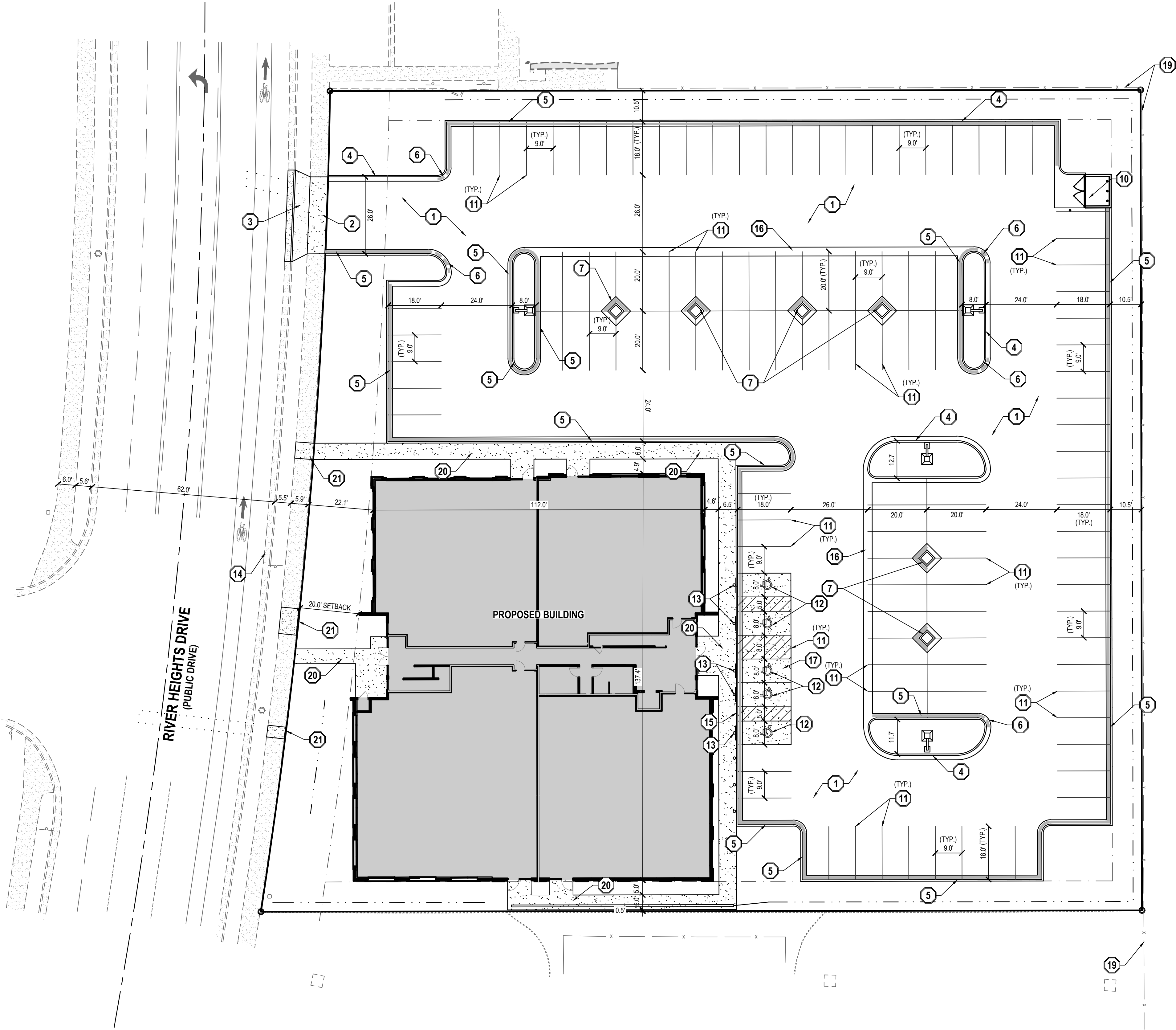
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH SOUTH JORDAN CITY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

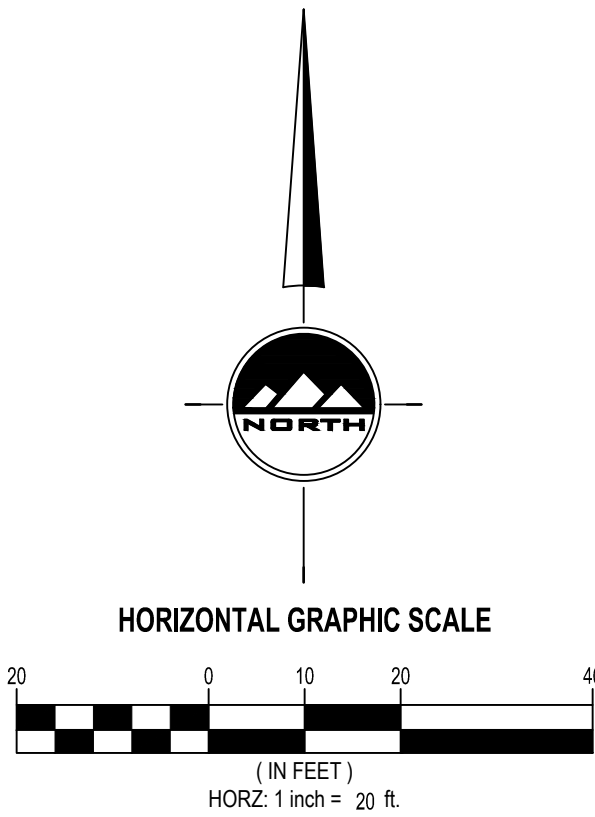
- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 8" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 6/C-600.
 - 8" THICK CONCRETE SIDEWALK W/ 8" BASE COURSE PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
 - 8" THICK TYPE 'A' FLARED DRIVEWAY APPROACH W/ 8" BASE COURSE PER APWA STANDARD PLAN NO. 221.1 AND SPECIFICATIONS.
 - 24" COLLECTION CURB AND GUTTER PER DETAIL 7/C-600.
 - 24" REVERSE PAN CURB AND GUTTER PER DETAIL 8/C-600.
 - TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 - 4.0' TREE ISLAND WITH 6" CURB WALL PER APWA STANDARD PLAN NO. 209 TYPE P AND SPECIFICATIONS.
 - LIGHT. SEE ELECTRICAL PLANS FOR INFORMATION.
 - *STOP* SIGN PER M.U.T.C.D. STANDARD PLANS.
 - TRASH ENCLOSURE: WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE PER DETAIL 6/C-600.
 - 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
 - PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
 - *HANDICAP PARKING* SIGN PER DETAIL 4/C-600.
 - 30" TYPE 'A' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.1 AND SPECIFICATIONS.
 - 24" CONCRETE CURB AND GUTTER WITH 0" CURB FACE.
 - 3" WATERWAY PER DETAIL 9/C-600.
 - CONCRETE PAVEMENT: 6 1/2" THICK CONCRETE PAVEMENT OVER 4" BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 12/C-600.
 - ACCESSIBLE ROUTE FROM BUILDING ENTRANCE TO ROW.
 - EXISTING FENCE TO REMAIN ALONG THE NORTH AND EAST PROPERTY LINES.
 - 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
 - REPLACE EXISTING SIDEWALK. MATCH EXISTING SIDEWALK THICKNESS PER SOUTH JORDAN STANDARDS AND SPECIFICATIONS.

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT / HARDSCAPE	45,776	58%
BUILDING FOOTPRINT	15,474	20%
LANDSCAPING	17,138	22%
TOTAL SITE	78,388	100%

- FLOOR AREA CALCULATION (SQ. FT.):**
- LEVEL 1: 15,474 SQ. FT.
 - LEVEL 2: 15,031 SQ. FT.
 - TOTAL: 30,505 SQ. FT.

- PARKING CALCULATIONS:**
- 1 STALL / 300 SQ. FT. GENERAL OFFICE
 - 30,505 SQ. FT. / 300 = 102 STALLS REQUIRED
 - 123 STALLS AVAILABLE

PARKING DATA TABLE	
SURFACE STANDARD STALLS	118
SURFACE HANDICAP-ACCESSIBLE STALLS	5
TOTAL STALLS PROVIDED	123



City Engineer
City of South Jordan
Approved 05/30/2023
Brad Klauer City Engineer

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

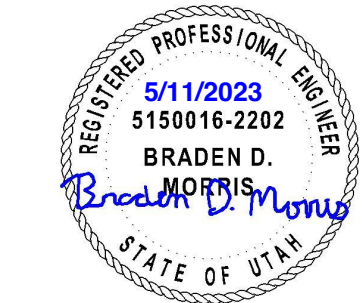
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



SITE PLAN

PROJECT NUMBER
11820

PRINT DATE
5/11/23

DRAWN BY
CHECKED BY

PROJECT MANAGER

C-200

811

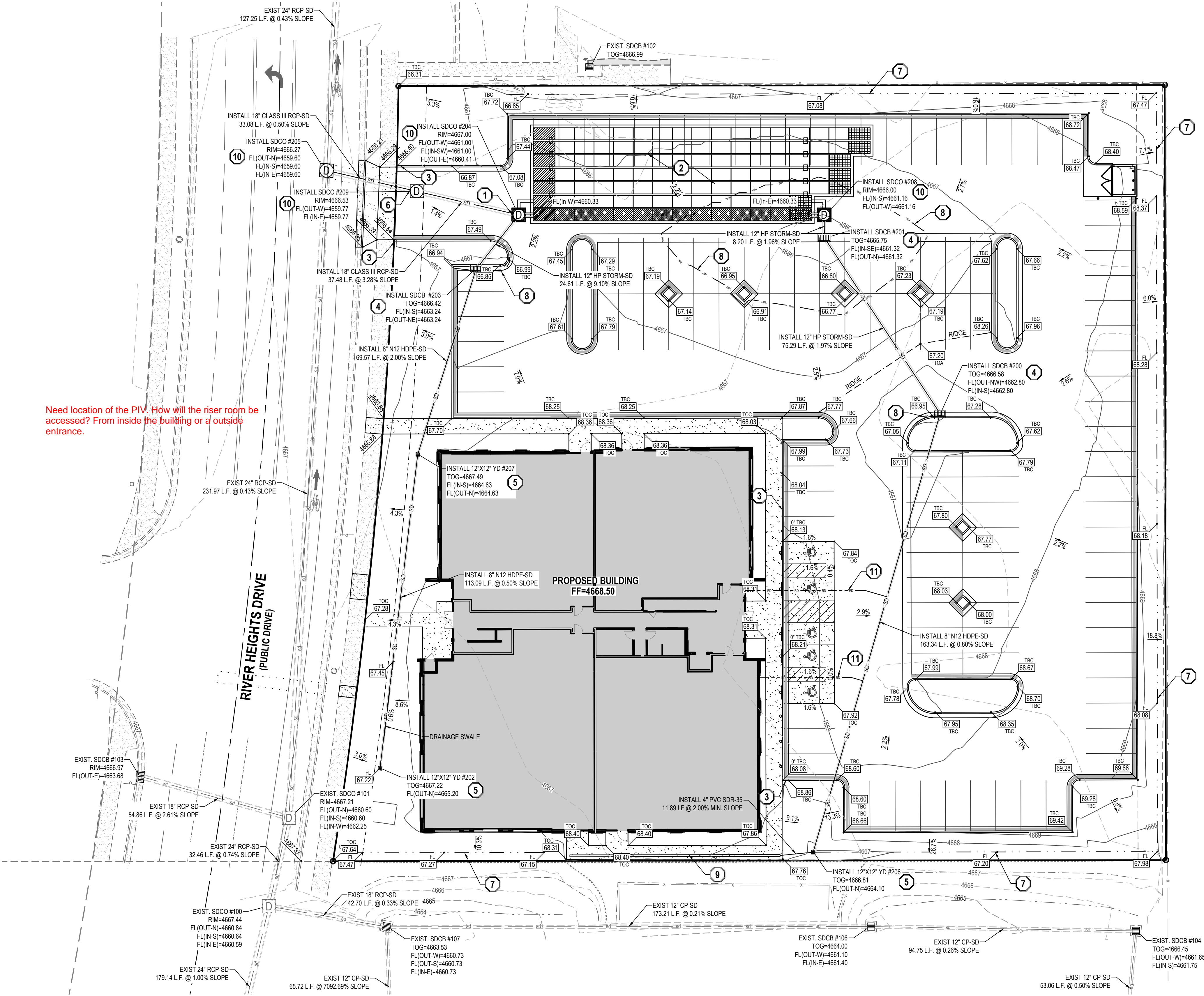
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



Need location of the PIV. How will the riser room be accessed? From inside the building or a outside entrance.

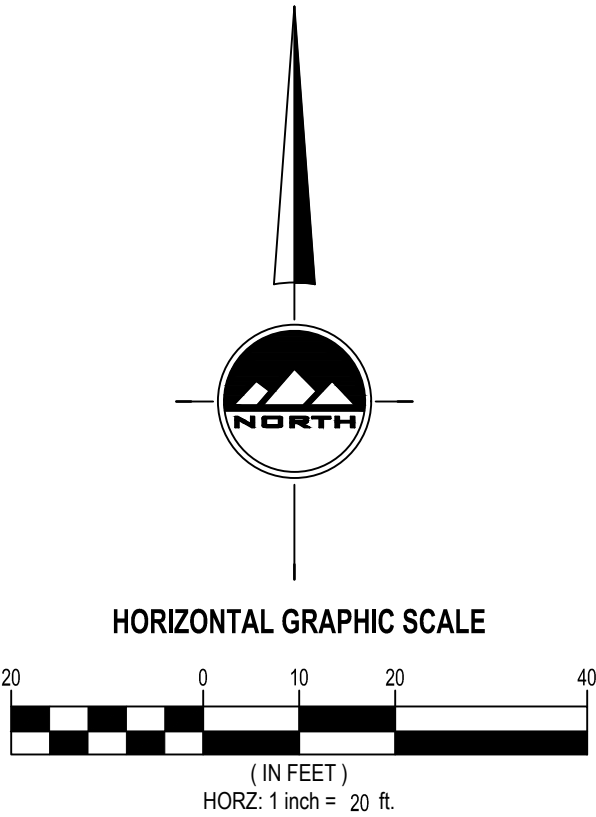
GENERAL NOTES

- ALL WORK TO COMPLY WITH SOUTH JORDAN CITY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XX.XX REPRESENTS AN ELEVATION OF 48XX.XX ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER SOUTH JORDAN CITY'S STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 2.97' ORIFICE PLATE PER DETAIL 11/C-600 INSTALLED ON WEST SIDE OF STORM DRAIN BOX.
- UNDERGROUND DETENTION BASIN
110 CULTREC RECHARGER 330XLHD CHAMBERS
INSTALL PER MANUFACTURER'S RECOMMENDATIONS
SEE DETAILS ON SHEET C-602 AND C-603
STORAGE REQUIRED = 5,799 CF
TOP OF STONE = 4663.37
TOP OF CHAMBERS = 4662.87
BOTTOM OF CHAMBERS = 4660.33
BOTTOM OF STONE = 4659.83
- TRANSITION FROM 0" HIGH TO FULL HEIGHT CURB.
- INSTALL CURB INLET PER APWA PLAN NO. 315.
- INSTALL 12"x12" CATCH BASIN PER DETAIL 13/C-600.
- INSTALL SNOUT IN STORM DRAIN BOX PER DETAIL 15/C-600.
- DRAINAGE SWALE TO PREVENT STORM WATER RUNOFF FROM LEAVING SITE PER DETAIL 14/C-600.
- PARKING LOT SURFACE DETENTION PROVIDED AT HWL ELEVATION OF 4666.50.
- INSTALL 75 LF PRE-SLOPED 4" WIDE TRENCH DRAIN, ACO BRAND, K100 KLASSIKDRAIN, WITH 4200 GRATE.
- INSTALL STORM DRAIN CLEANOUT BOX PER APWA PLAN NO. 331.3 TYPE C.
- INSTALL 4" N-12 HDPE ROOF DRAIN PIPE @ 2.0% MIN. SLOPE. CONNECT TO STORM DRAIN PIPE WITH INSERT-A-T.



City Engineer
City of South Jordan
Approved 05/30/2023
Brad Olson City Engineer

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



**GRADING AND
DRAINAGE PLAN**

PROJECT NUMBER 11820 PRINT DATE 5/11/23
DRAWN BY CHECKED BY
PROJECT MANAGER

C-300

811

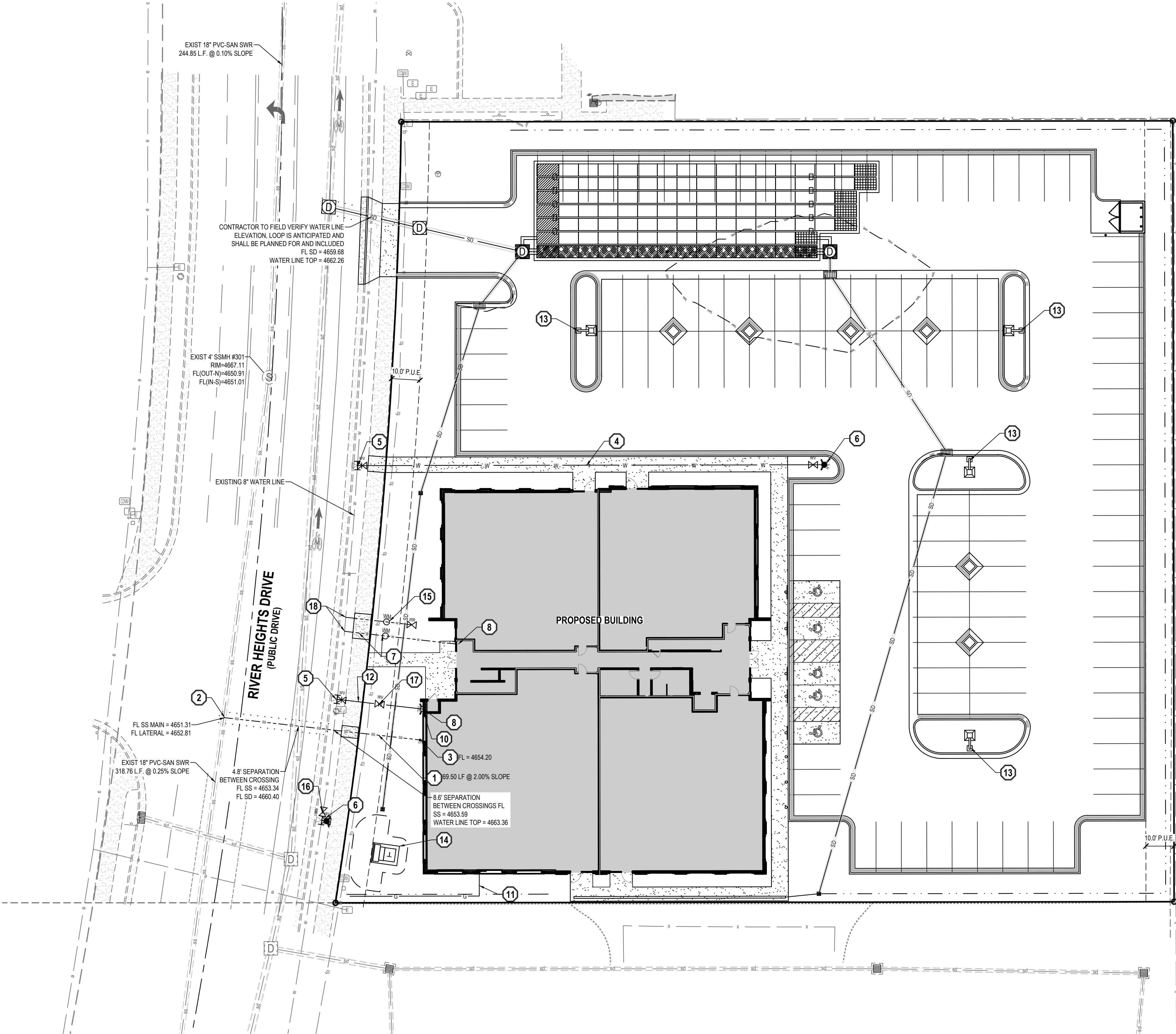
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



- SEWER NOTES
1.

ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2.

CONTRACTOR TO FIELD VERIFY LOCATIONS AND INVERTS ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3.

FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

- GENERAL NOTES
1.

ALL WORK TO COMPLY WITH THE SOUTH JORDAN CITY'S STANDARDS AND SPECIFICATIONS.
2.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
3.

ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER SOUTH VALLEY SEWER DISTRICT STANDARD PLANS AND SPECIFICATIONS.
4.

ALL WATER INFRASTRUCTURE TO BE INSTALLED PER SOUTH JORDAN CITY'S STANDARD PLANS AND SPECIFICATIONS.
6.

DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
7.

PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
8.

THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
9.

NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
10.

THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
11.

THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1

4" SDR-35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING. INSTALLATION AND TRENCHING PER SOUTH VALLEY SEWER STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
- 2

CONNECT TO EXISTING SANITARY SEWER MAIN. FIELD VERIFY LOCATION AND ELEVATION.
- 3

SANITARY SEWER CLEANOUT PER SOUTH VALLEY SEWER STANDARDS AND SPECIFICATIONS.
- 4

8" DR-18, BLUE C-900 PVC WATERLINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER SOUTH JORDAN CITY STANDARD DRAWING 3010 ON SHEET C-501.
- 5

CONNECT TO EXISTING WATER LINE WITH 8" X 8" TEE AND THRUST BLOCK AND (1) 8" GATE VALVE.
- 6

FIRE HYDRANT ASSEMBLY COMPLETE SOUTH JORDAN CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND STANDARD DRAWING 3056 ON SHEET C-601.
- 7

2" CULINARY WATER METER AND 2" LATERAL TO METER AND 4" HDPE DR-9 CULINARY SERVICE LATERAL FROM THE WATER METER TO BUILDING PER SOUTH JORDAN CITY STANDARD DRAWING 3091 ON SHEET C-601.
- 8

SEE MECHANICAL PLANS FOR CONTINUATION.
- 9

EXISTING ELECTRICAL INFRASTRUCTURE; CONTRACTOR TO VERIFY IN FIELD AND PROTECT IN PLACE.
- 10

FIRE DEPARTMENT CONNECTION.
- 11

PROPOSED GAS LINE. COORDINATE WITH DOMINION ENERGY FOR EXACT LOCATION AND INSTALLATION REQUIREMENTS.
- 12

6" DR-18, BLUE C-900 PVC WATERLINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER SOUTH JORDAN CITY STANDARD DRAWING 3010 ON SHEET C-501. TRANSITION TO WELDED STAINLESS STEEL PIPE AND EXTEND IN TO FIRE RISER ROOM INCLUDING 90° BEND AND THRUST BLOCKS TO BLIND FLANGE 12" ABOVE THE FLOOR. COORDINATE WITH FIRE PROTECTION CONTRACTOR FOR EXACT LOCATION.
- 13

LIGHT. SEE ELECTRICAL PLANS FOR INFORMATION.
- 14

ELECTRICAL EQUIPMENT. SEE SEE ELECTRICAL PLANS FOR INFORMATION.
- 15

1" CULINARY WATER METER AND 1" LATERAL TO METER PER SOUTH JORDAN CITY STANDARD DRAWING 3090 ON SHEET C-601. INSTALL BACKFLOW PREVENTION DEVICE PER SOUTH JORDAN CITY STANDARDS. SEE IRRIGATION PLANS FOR ADDITIONAL INFORMATION.
- 16

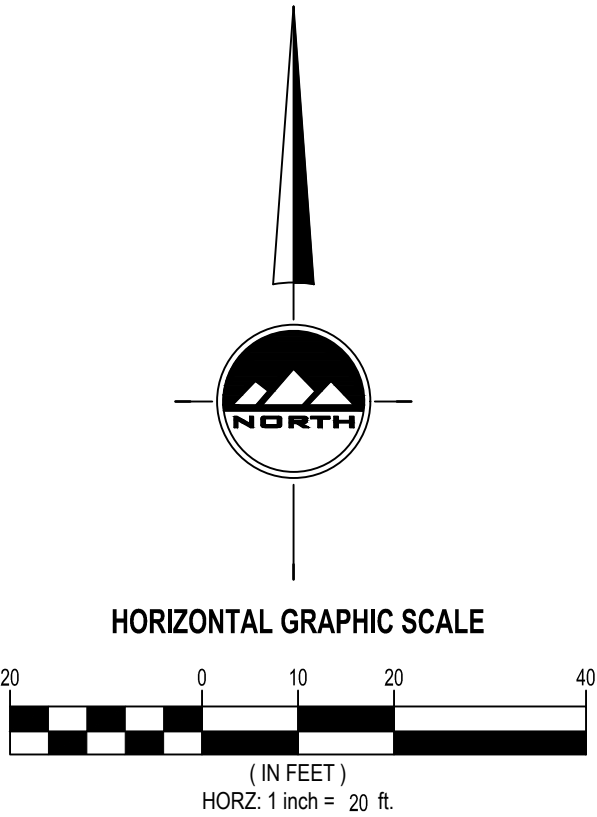
INSTALL VALVE ON MAIN LINE DOWNSTREAM OF FIRE HYDRANT.
- 17

INSTALL POST INDICATOR VALVE.
- 18

HOT TAP INTO EXISTING WATER LINE.

FIRE FLOW REQUIREMENTS

BUILDING CONSTRUCTION TYPE	VB
TOTAL BUILDING GROSS AREA	30,505 SQUARE FEET
REDUCTION BASED ON FIRE SPRINKLERS	50%
FIRE FLOW REQUIREMENT	2,375 GPM



City Engineer

City of South Jordan

Approved 05/30/2023

Braden D. Morris

City Engineer

ENSIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500

Sandy, UT 84070

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:

THRIVE DEVELOPMENT, LLC

7585 SOUTH UNION PARK AVE. STE 200

MIDVALE, UTAH 84047

CONTACT:

ZACHARY OLSON

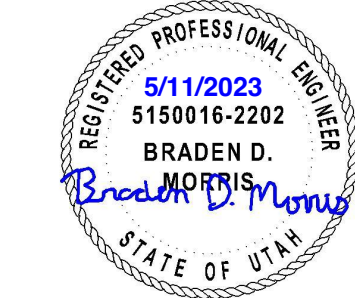
PHONE: 801-948-8800

SOJO PROFESSIONAL

OFFICE BUILDING

10509 S RIVER HEIGHTS DR

SOUTH JORDAN, UTAH



UTILITY PLAN

PROJECT NUMBER

11820

PRINT DATE

5/11/23

DRAWN BY

CHECKED BY

PROJECT MANAGER

C-400

811

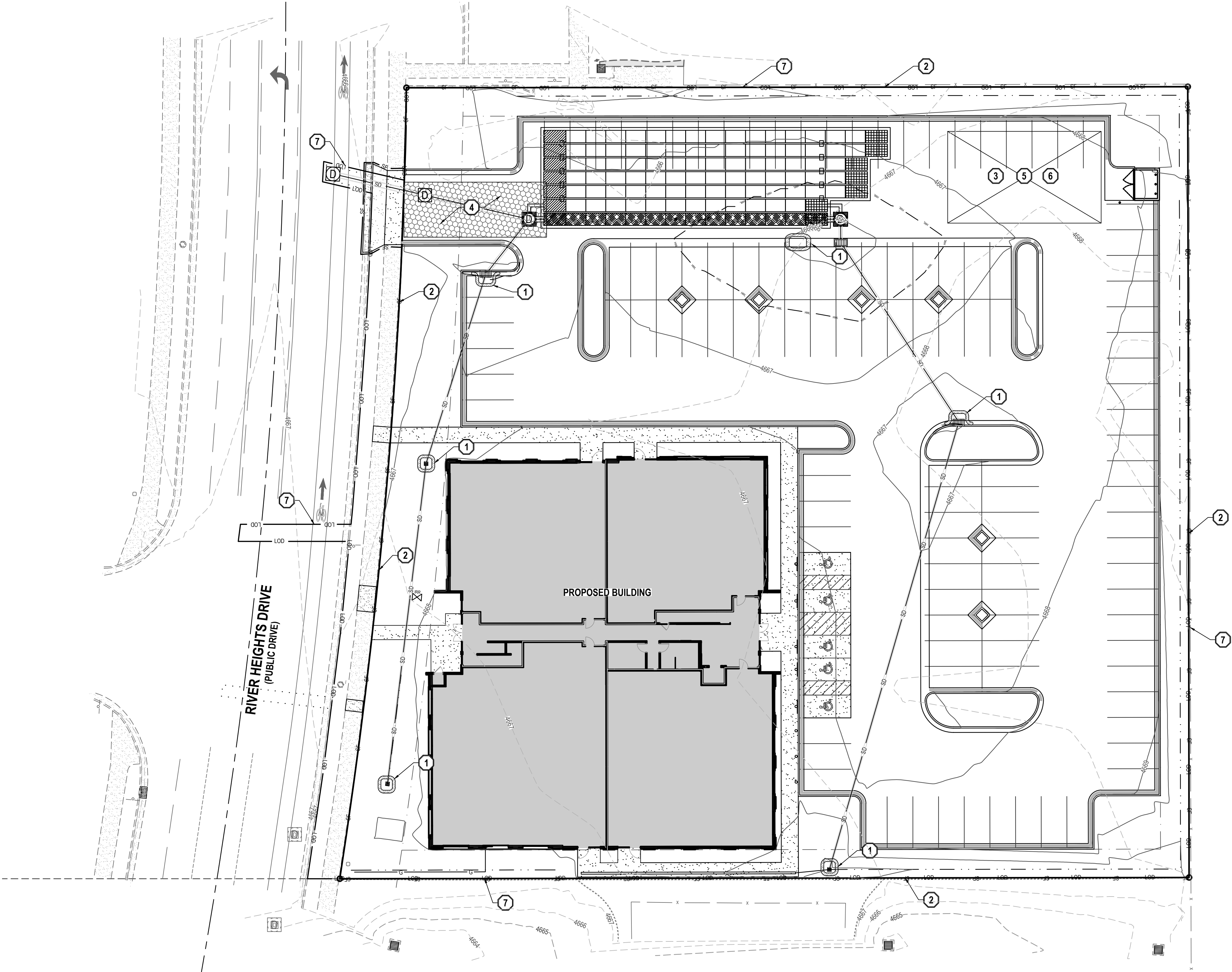
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



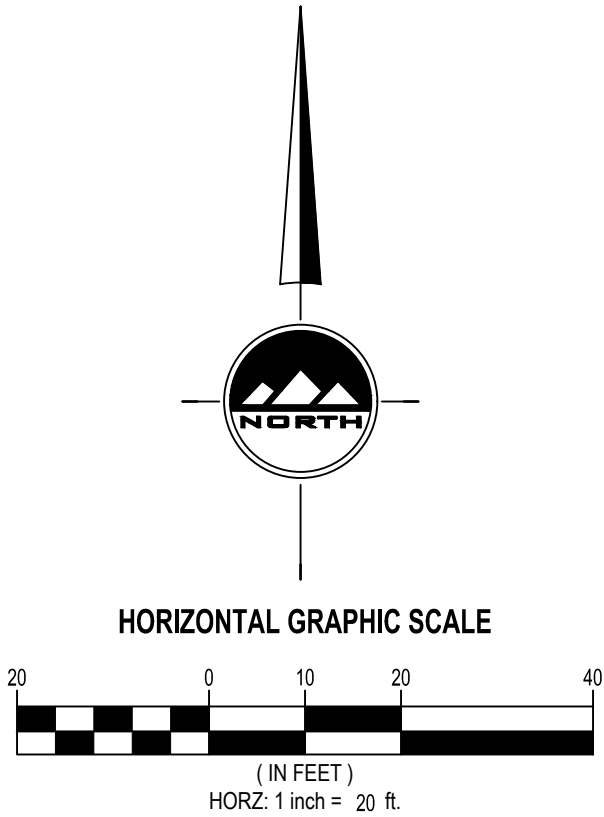
GENERAL NOTES

- THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY. MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
- DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
- DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
- VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
- NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- INLET PROTECTION PER DETAIL 2/C-600.
- SILT FENCE PER DETAIL 3/C-600.
- PORTABLE TOILET PER DETAIL 1/C-600.
- VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 10/C-600.
- SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- SUGGESTED STOCKPILE AREA.
- LIMIT OF DISTURBANCE.



City Engineer
City of South Jordan
Approved 05/30/2023
Brad Klauer City Engineer

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

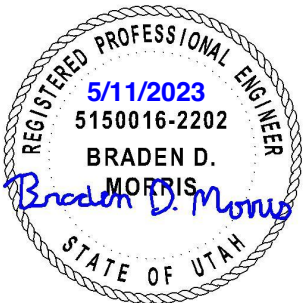
RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH



EROSION CONTROL PLAN

PROJECT NUMBER
11820

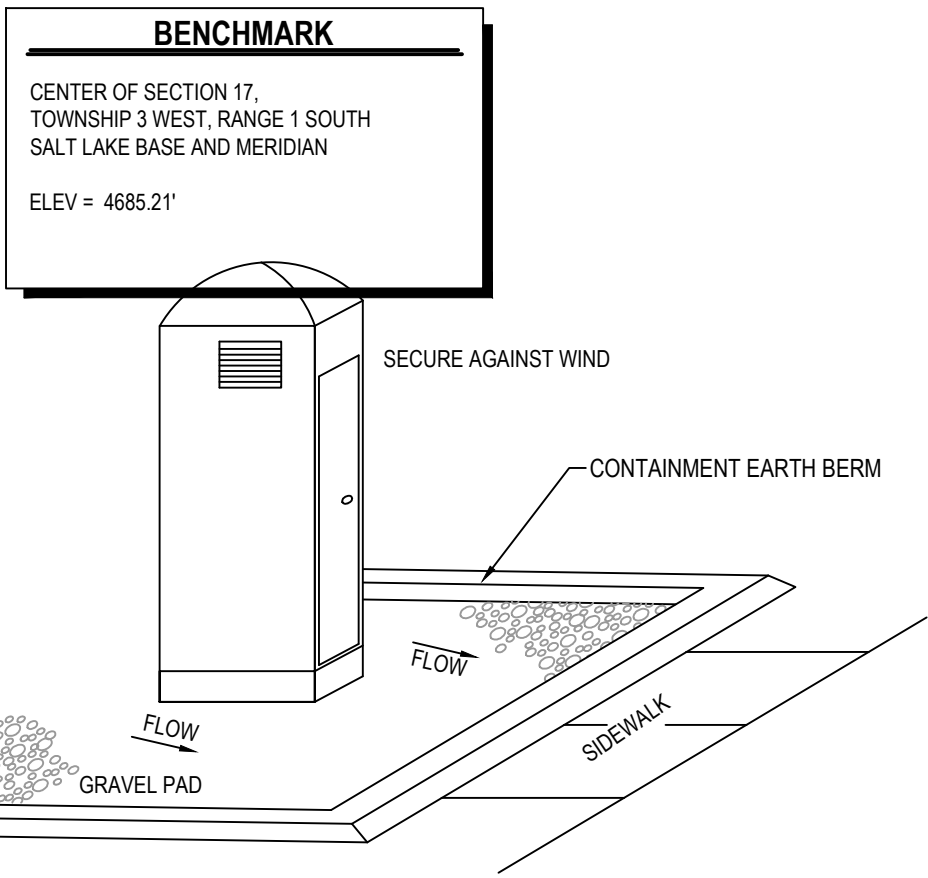
PRINT DATE
5/11/23

DRAWN BY

CHECKED BY

PROJECT MANAGER

C-500

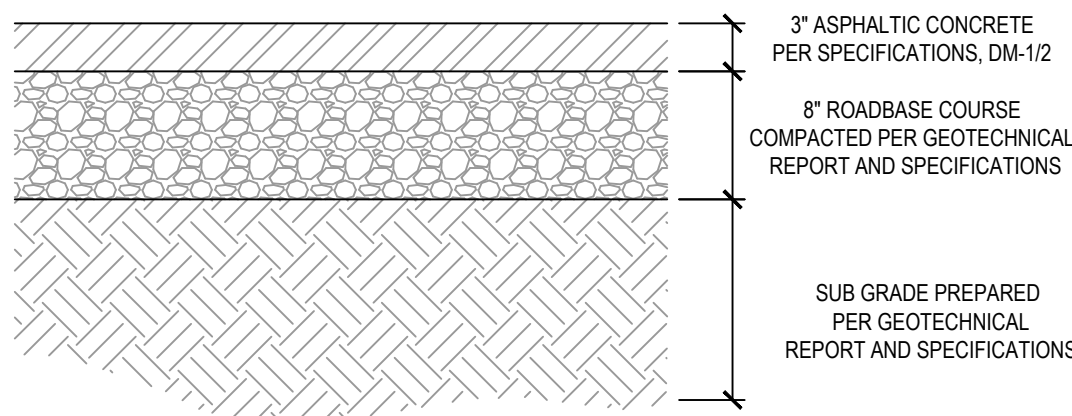


1 PORTABLE TOILET

SCALE: NONE

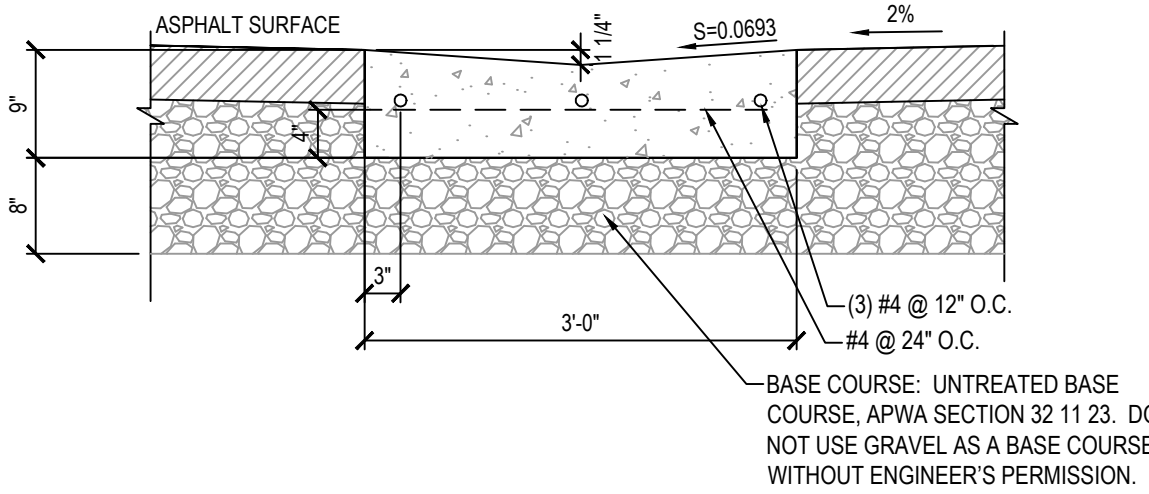
ASPHALT NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.
- SEE GEOTECHNICAL REPORT.



5 STANDARD ASPHALT SECTION

SCALE: NONE



NOTE:

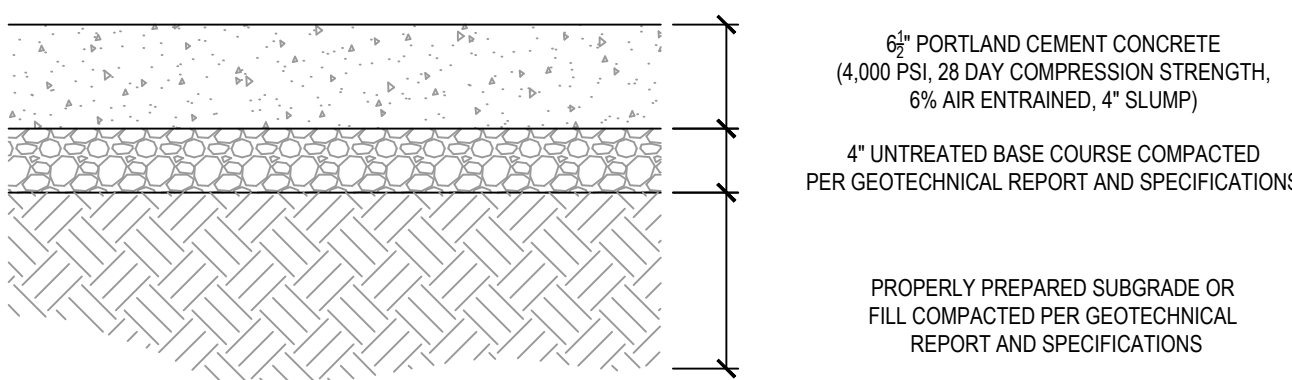
- CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 211.

9 3' WATERWAY

SCALE: NONE

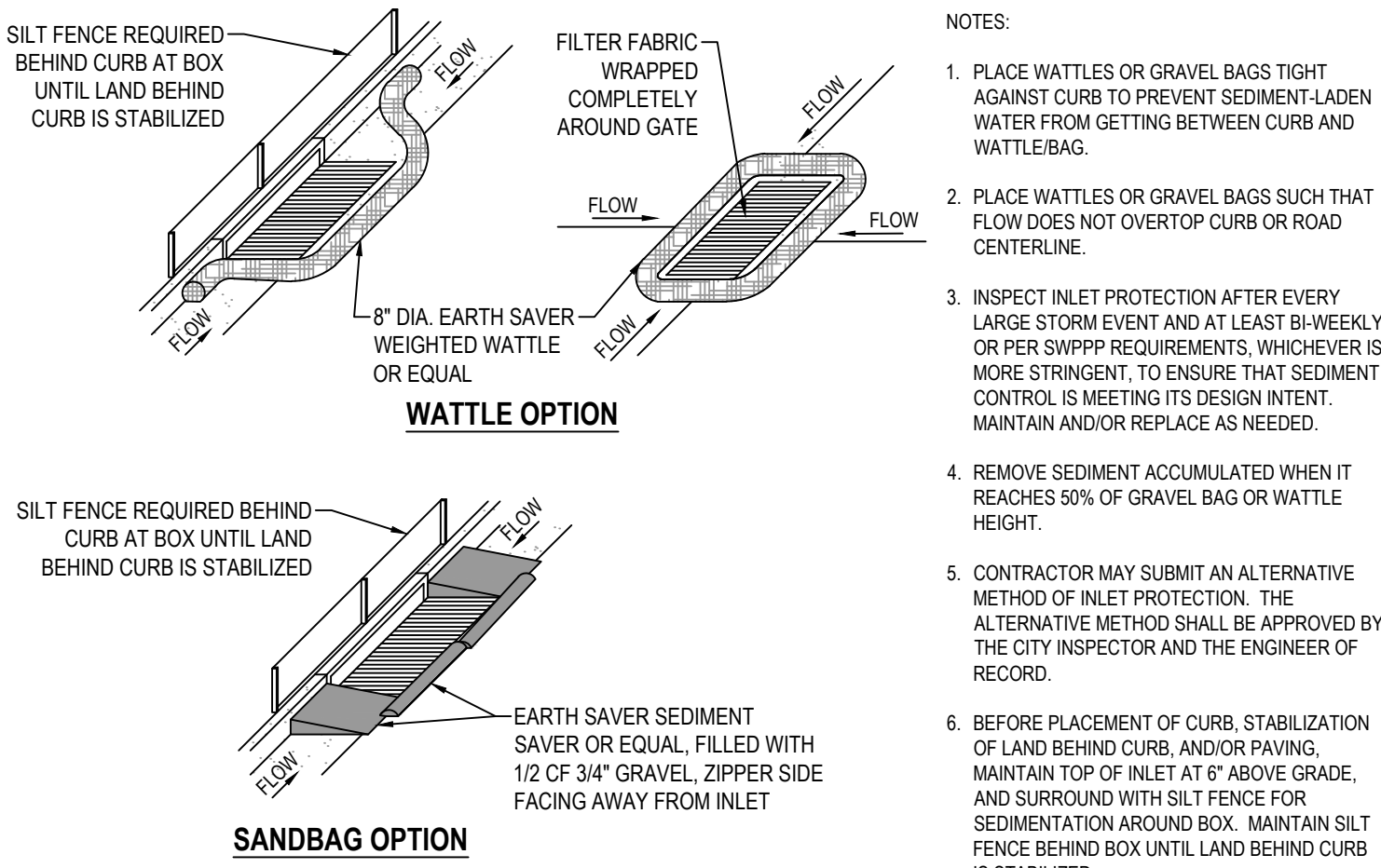
CONCRETE NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-180 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



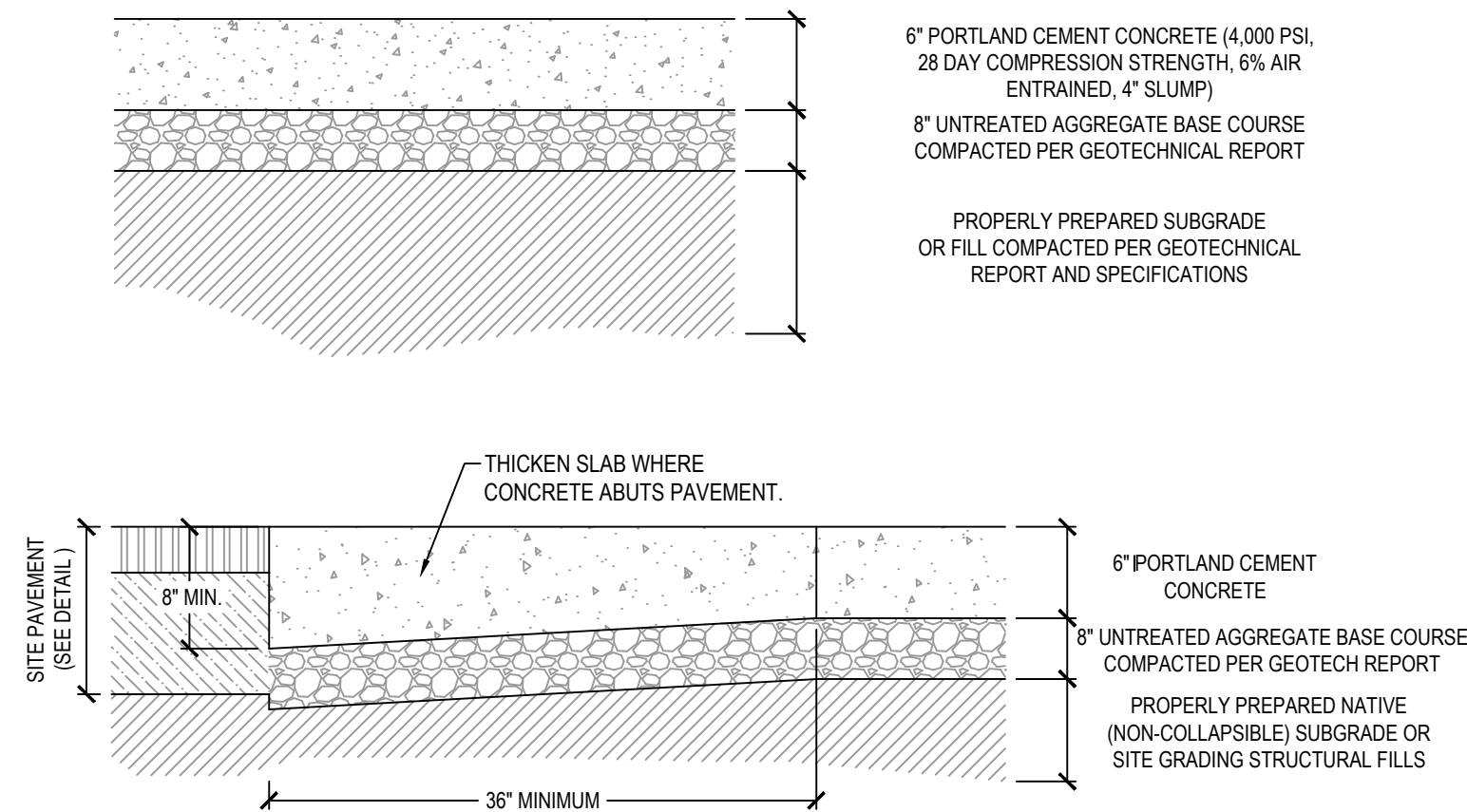
12 CONCRETE PAVEMENT SECTION

SCALE: NONE



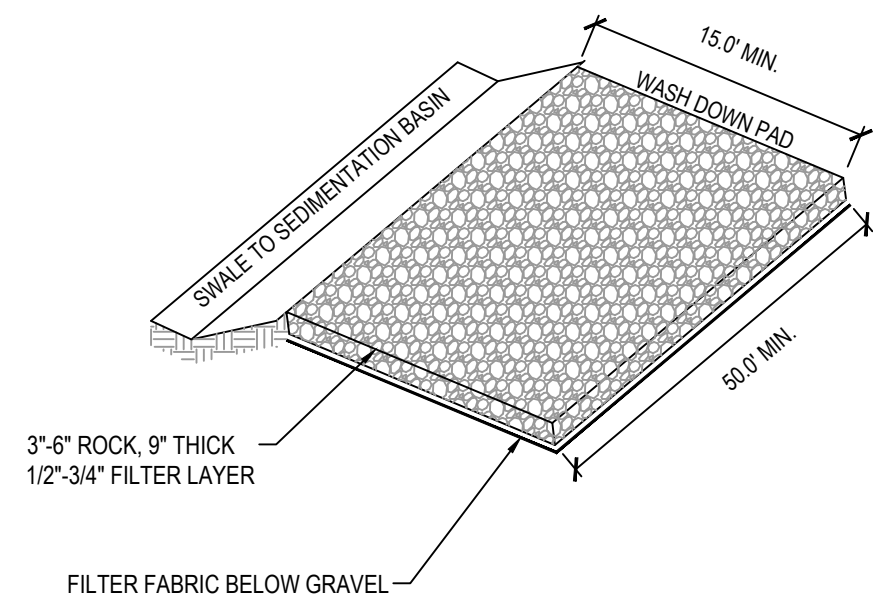
2 SAG INLET PROTECTION

SCALE: NONE



6 DUMPSTER PAD / APRON SECTION

SCALE: NONE

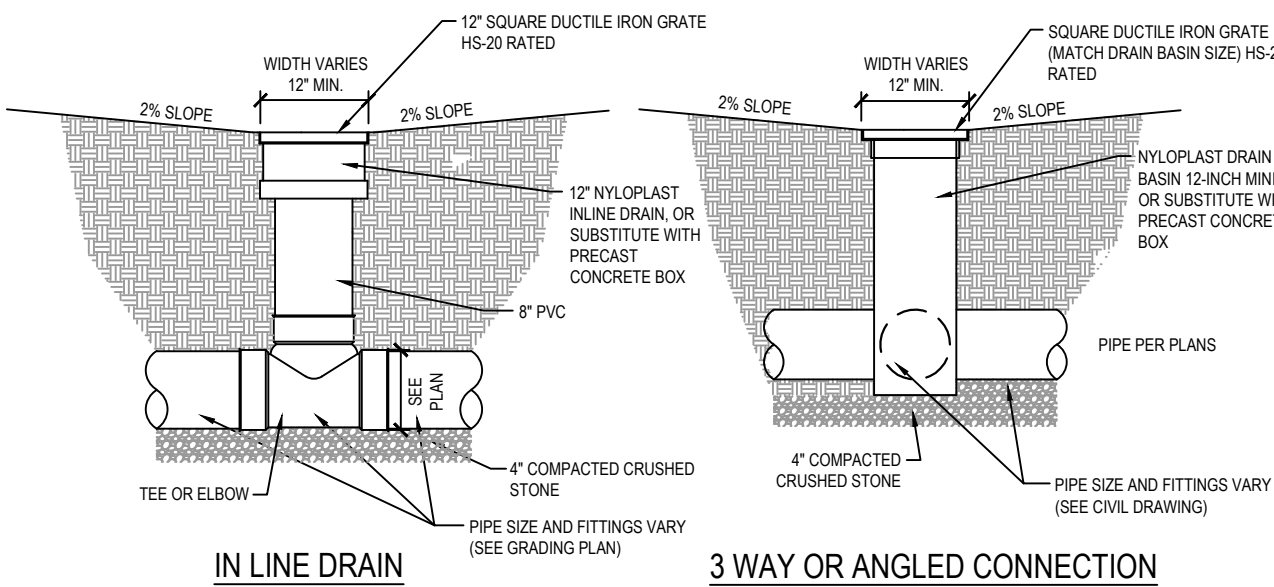


NOTE:

- PLACE SIGN ADJACENT TO ENTRANCE * CONSTRUCTION TRAFFIC ONLY - ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION

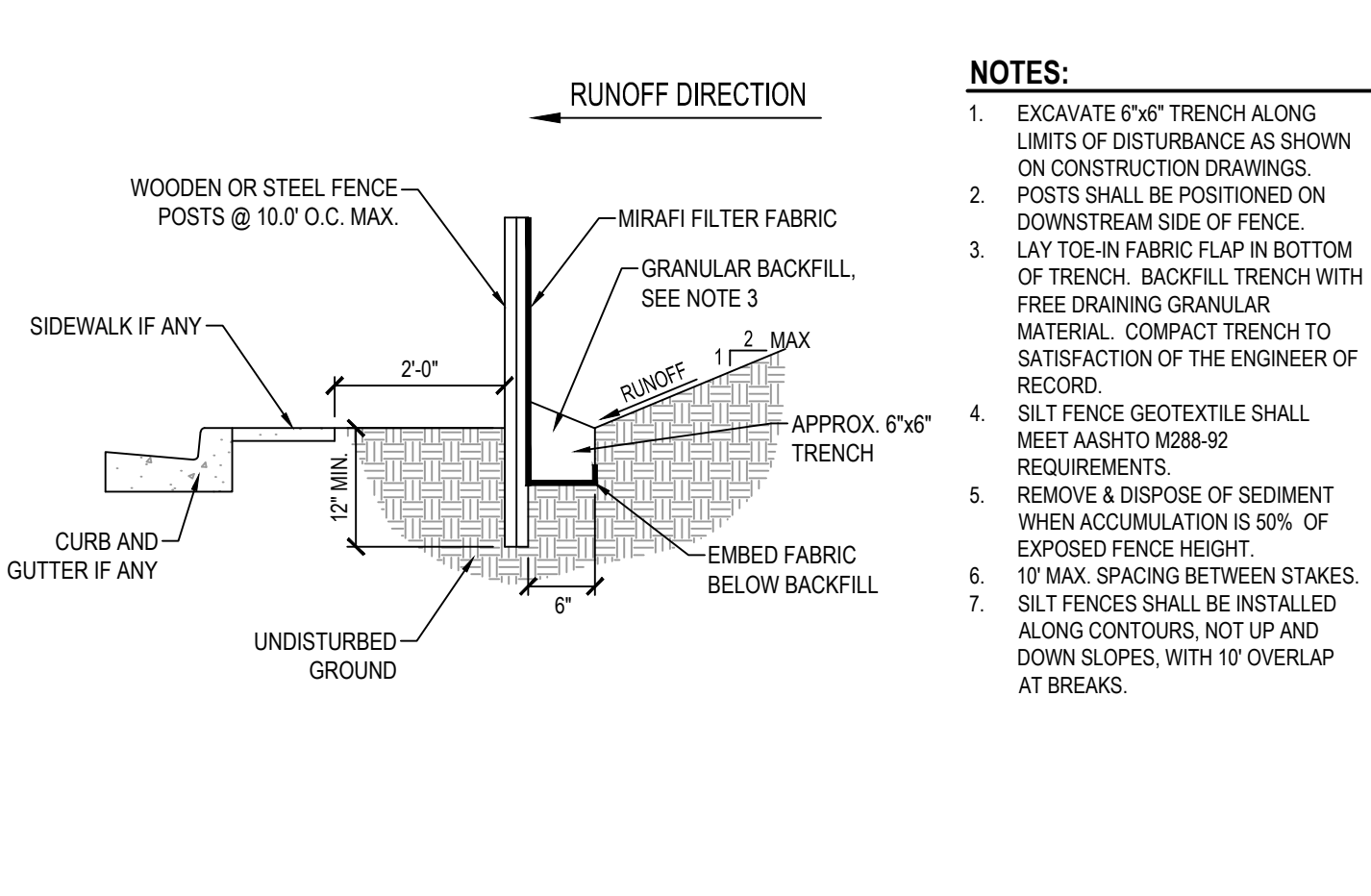
10 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE



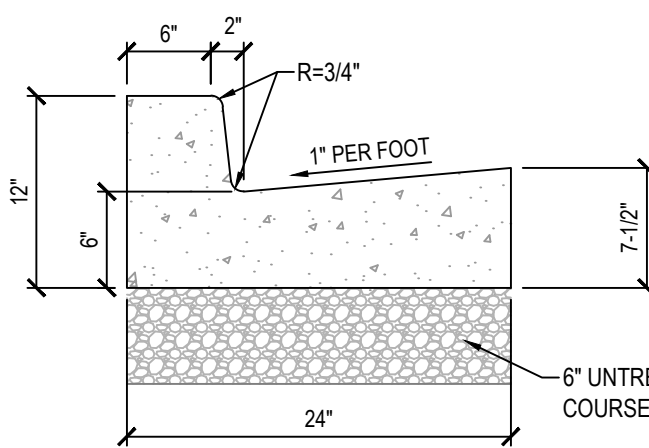
13 DRAIN BASIN / IN LINE DRAIN / 12" X 12" YD

SCALE: NONE



3 TEMPORARY SILT FENCE

SCALE: NONE

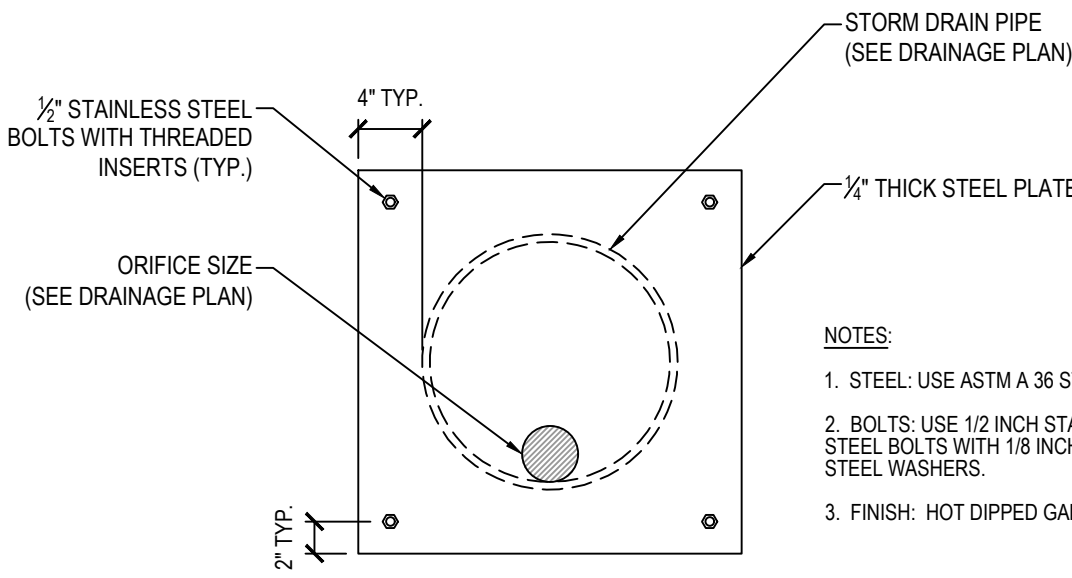


NOTE:

- CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

7 24" COLLECTION CURB AND GUTTER

SCALE: NONE

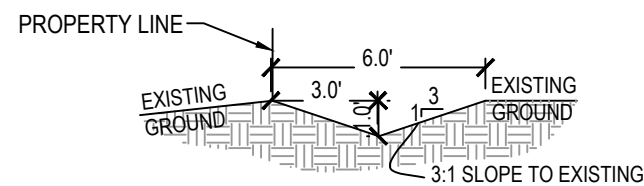


NOTES:

- STEEL: USE ASTM A 36 STEEL.
- BOLTS: USE 1/2 INCH STAINLESS STEEL BOLTS WITH 1/8 INCH STAINLESS STEEL WASHERS.
- FINISH: HOT DIPPED GALVANIZED.

11 ORIFICE PLATE

SCALE: NONE

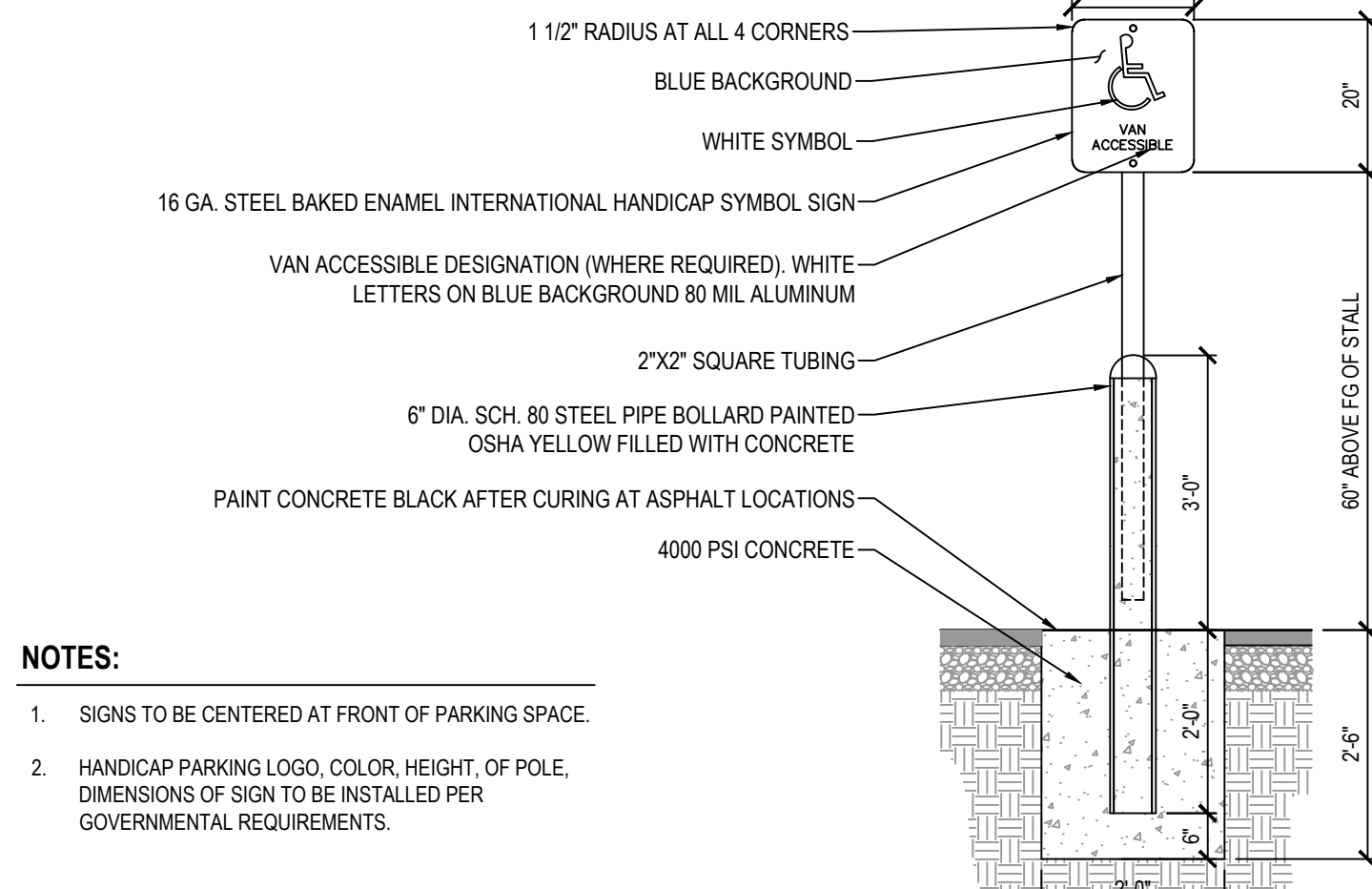


NOTES:

- PROTECT CHANNEL FROM EROSION AS NECESSARY WITH RIP RAP, EROSION CONTROL MATS AND/OR ROCK CHECK DAMS.
- SEDIMENT TRAPS REQUIRED AT 200' SPACING OR AS SHOWN ON PLANS, WHICHEVER IS MORE STRINGENT.
- FOR SWALES STEEPER THAN 5%, STABILIZE SWALES WITH RIP RAP LINING IN SWALE AND ROCK CHECK DAMS SPACED AT EVERY THREE FEET OF DROP IN FLOWLINE.

14 DRAINAGE SWALE

SCALE: NONE

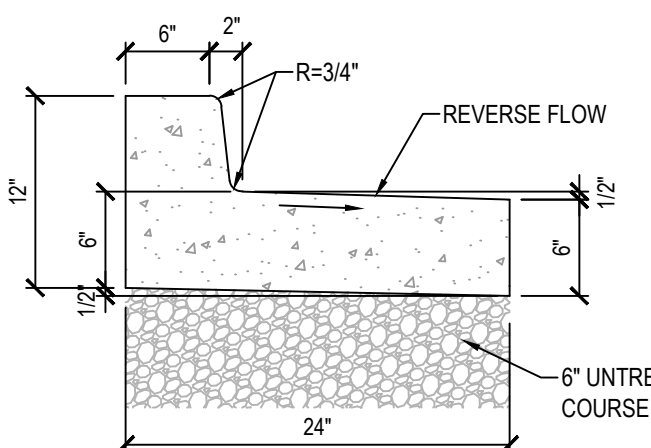


NOTES:

- SIGNS TO BE CENTERED AT FRONT OF PARKING SPACE.
- HANDICAP PARKING LOGO, COLOR, HEIGHT, OF POLE, DIMENSIONS OF SIGN TO BE INSTALLED PER GOVERNMENTAL REQUIREMENTS.

4 ACCESSIBLE PARKING SIGN - BOLLARD

SCALE: NONE

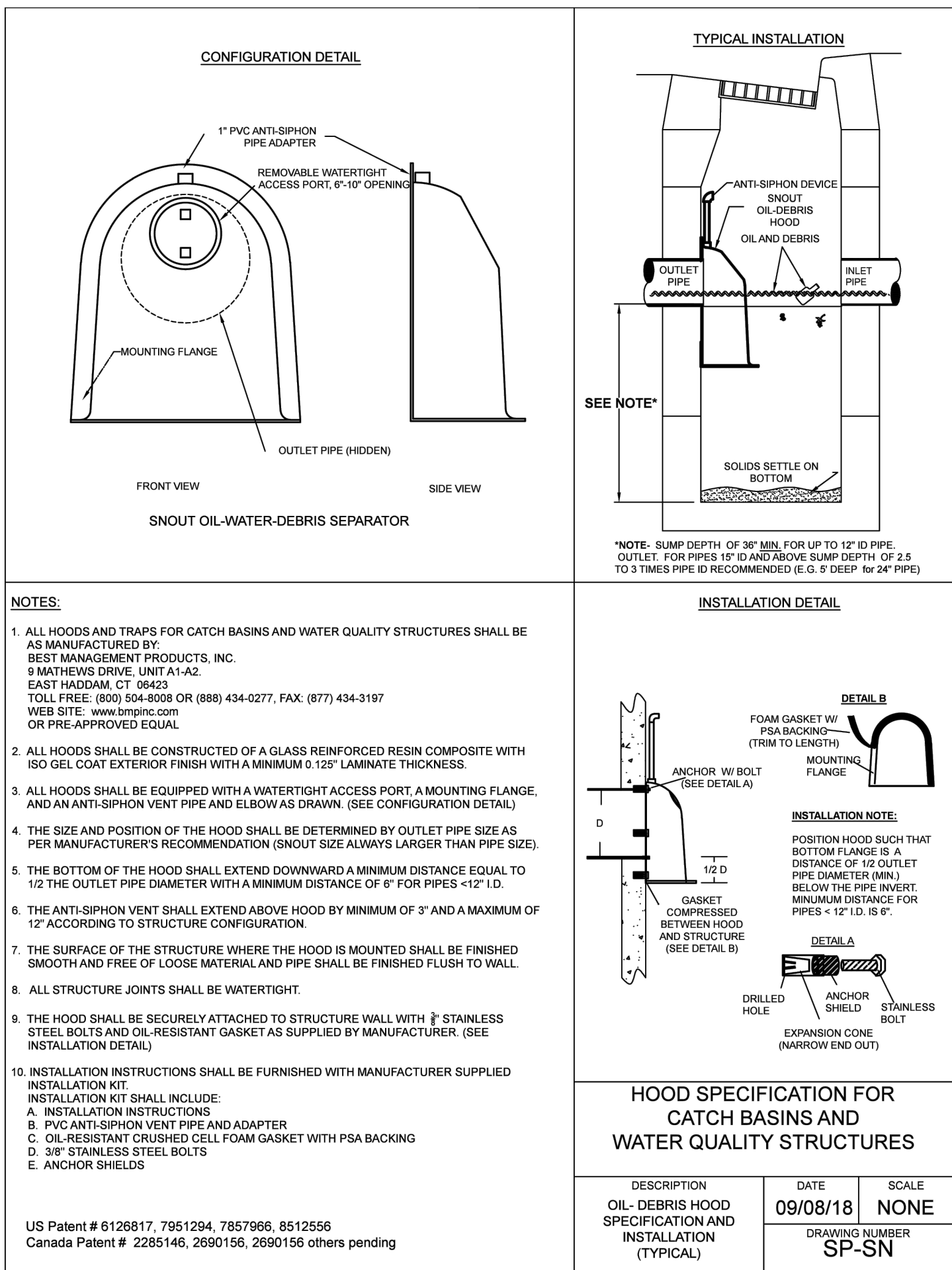


NOTE:

- CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.

8 24" REVERSE PAN CURB AND GUTTER

SCALE: NONE



NOTES:

- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 9 MATHEWS DRIVE, UNIT A-142, EAST HADDAM, CT 06423 TOLL FREE: (800) 554-8008 OR (888) 434-3277, FAX: (877) 434-3197 WEB SITE: www.bmpinc.com OR PRE-APPROVED EQUAL.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATER TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL.)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION (SNOUT SIZE ALWAYS LARGER THAN PIPE SIZE).
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES 12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.
- ALL STRUCTURE JOINTS SHALL BE WATER TIGHT.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 1/2" STAINLESS STEEL BOLTS AND OIL RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL.)
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE: A. INSTALLATION INSTRUCTIONS B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING D. 3/8" STAINLESS STEEL BOLTS E. ANCHOR SHIELDS

HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

DESCRIPTION	DATE	SCALE
OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	09/08/18	NONE
DRAWING NUMBER	SP-SN	

15 STORM DRAIN SNOUT

SCALE: NONE



SALT LAKE CITY

45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

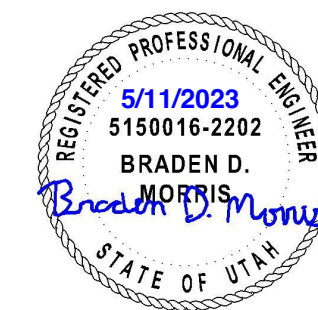
SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH

City Engineer

City of South Jordan

Approved 05/30/2023

City Engineer



DETAILS

PROJECT NUMBER

PRINT DATE

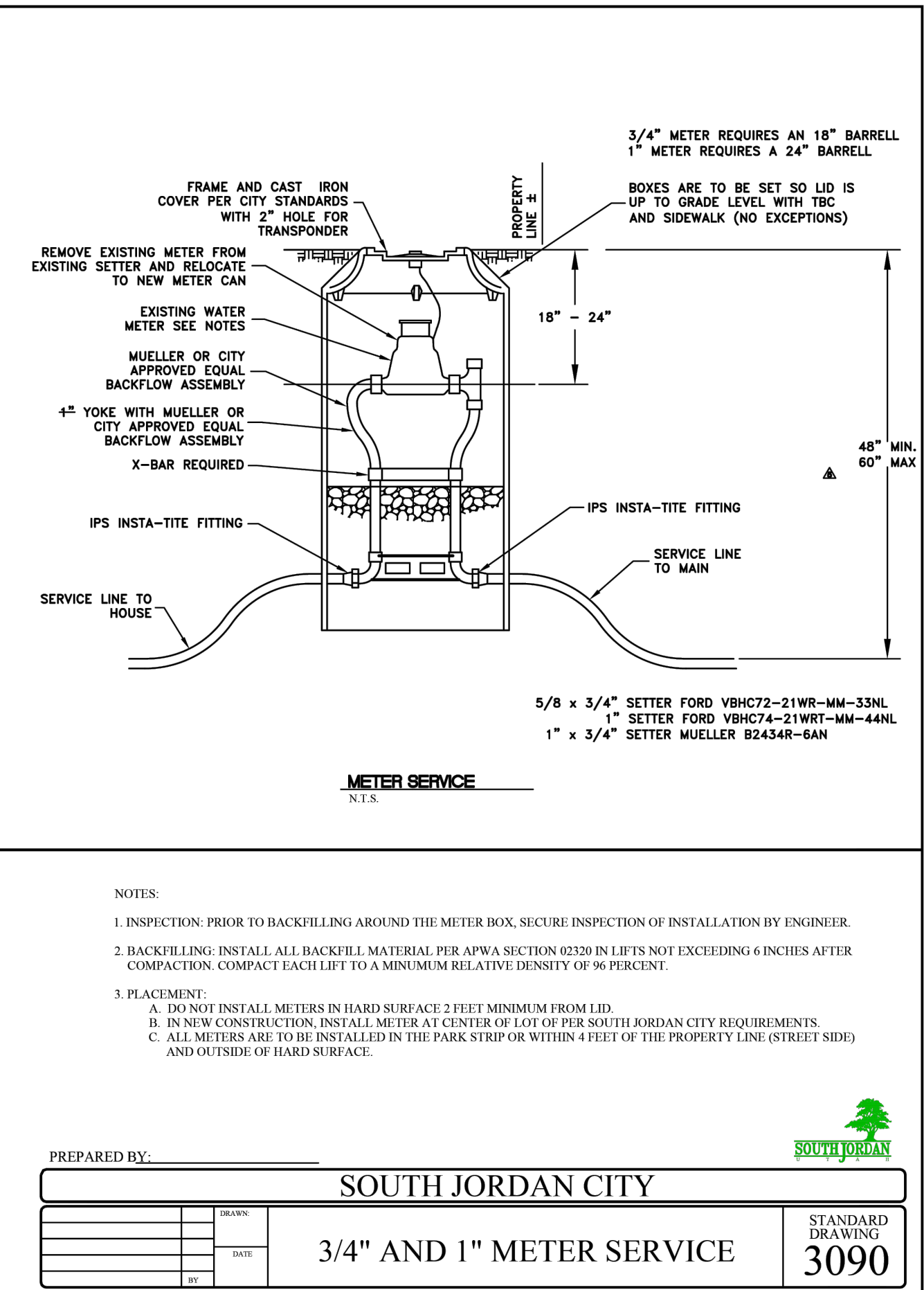
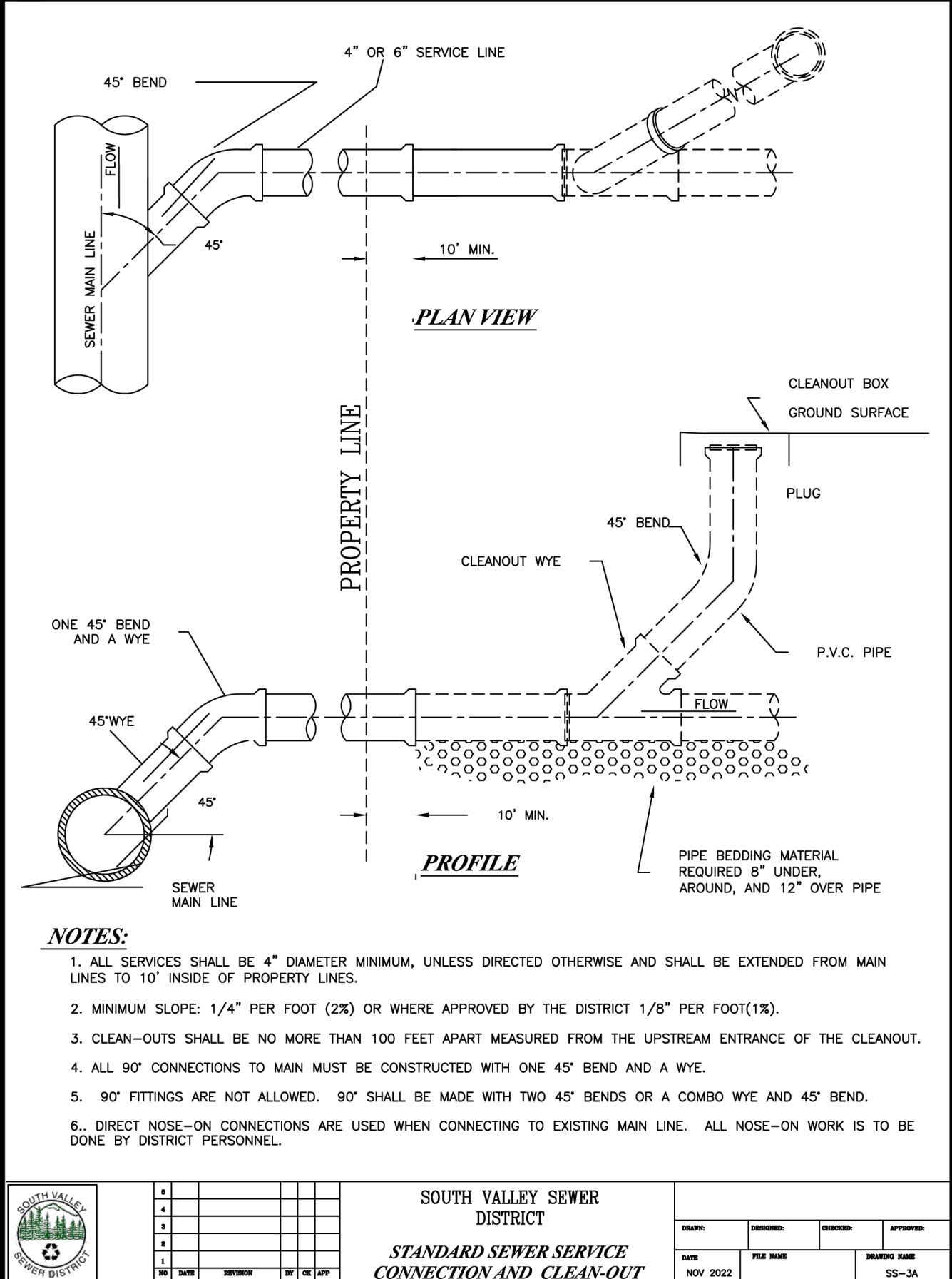
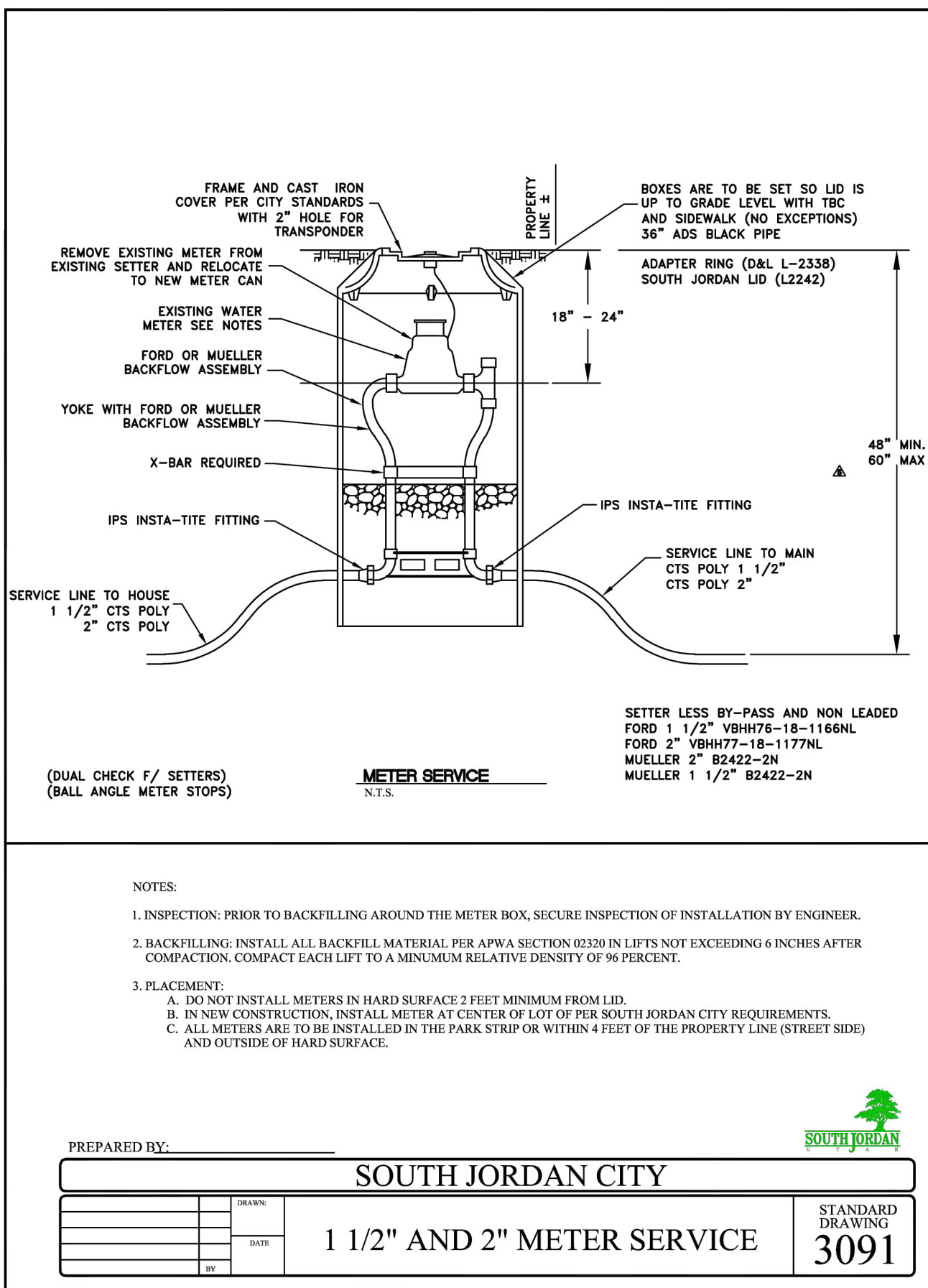
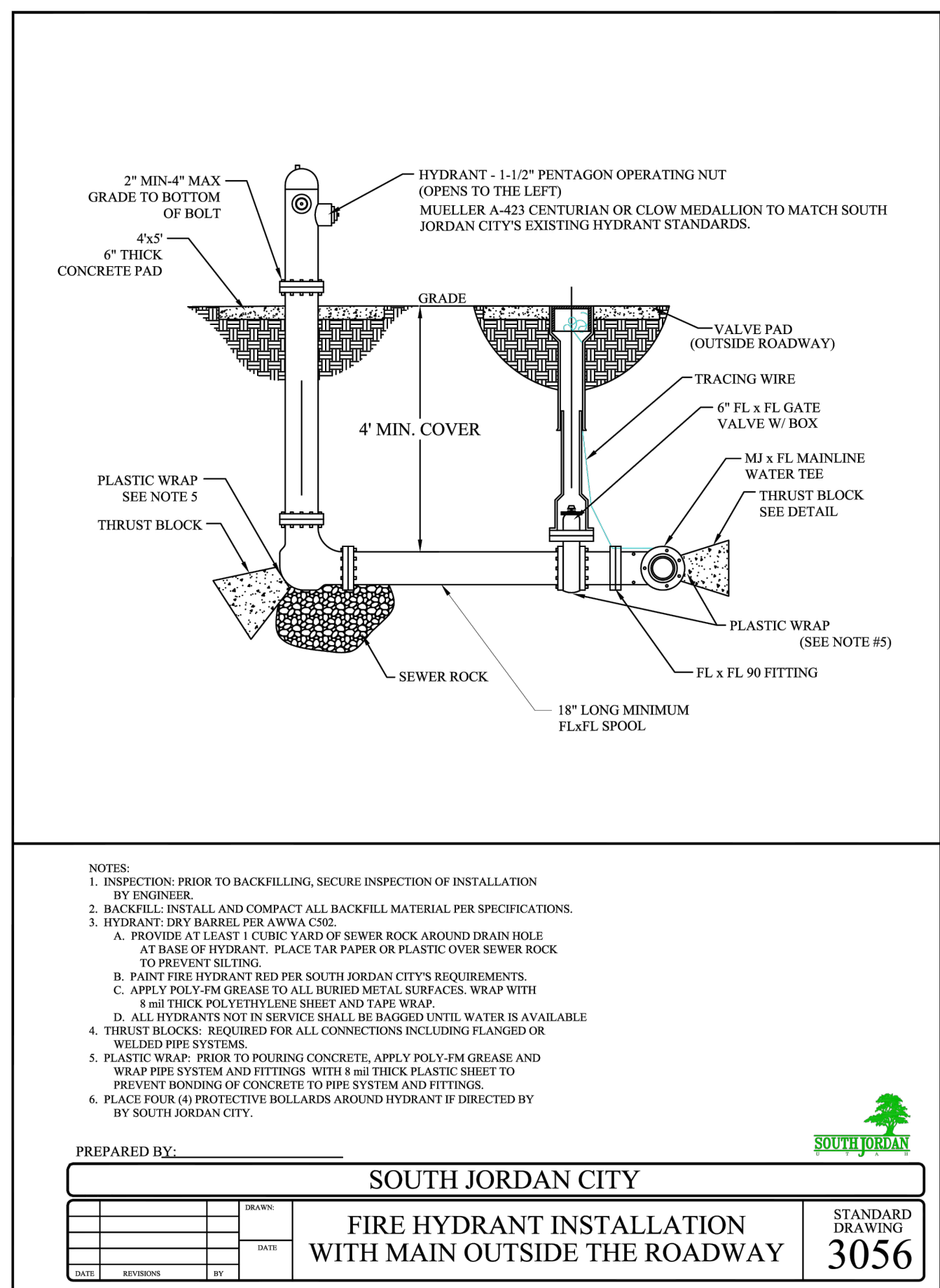
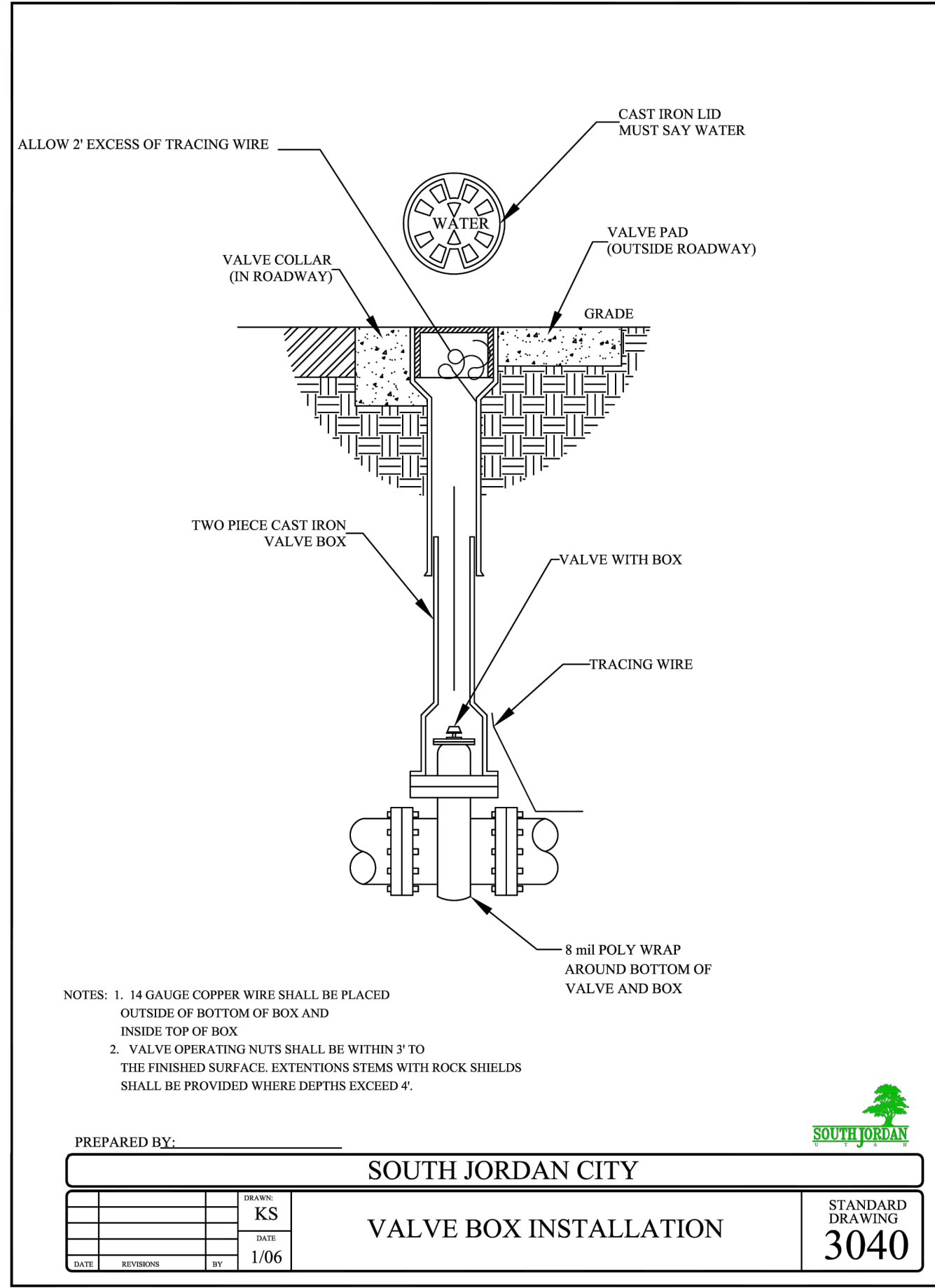
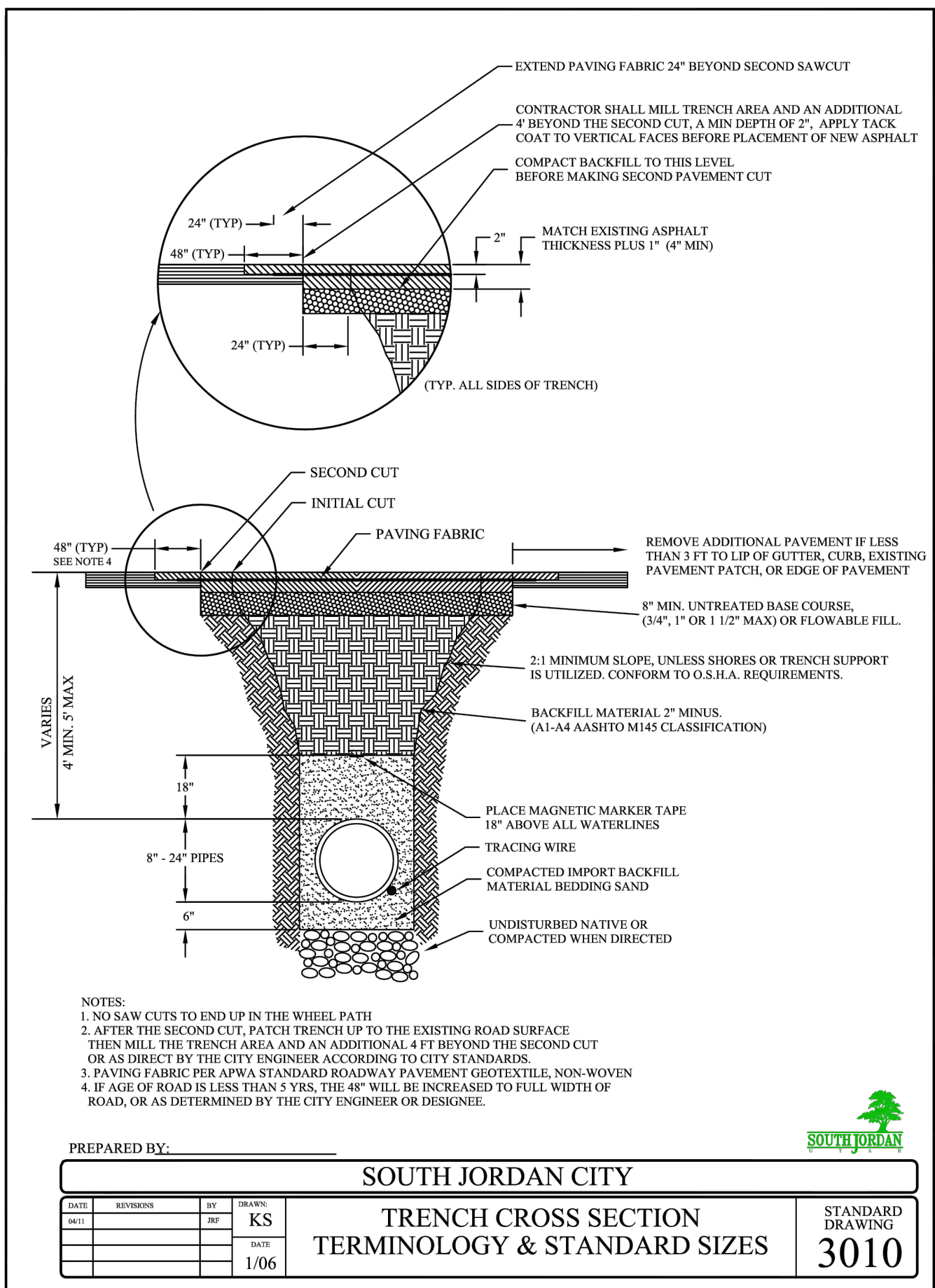
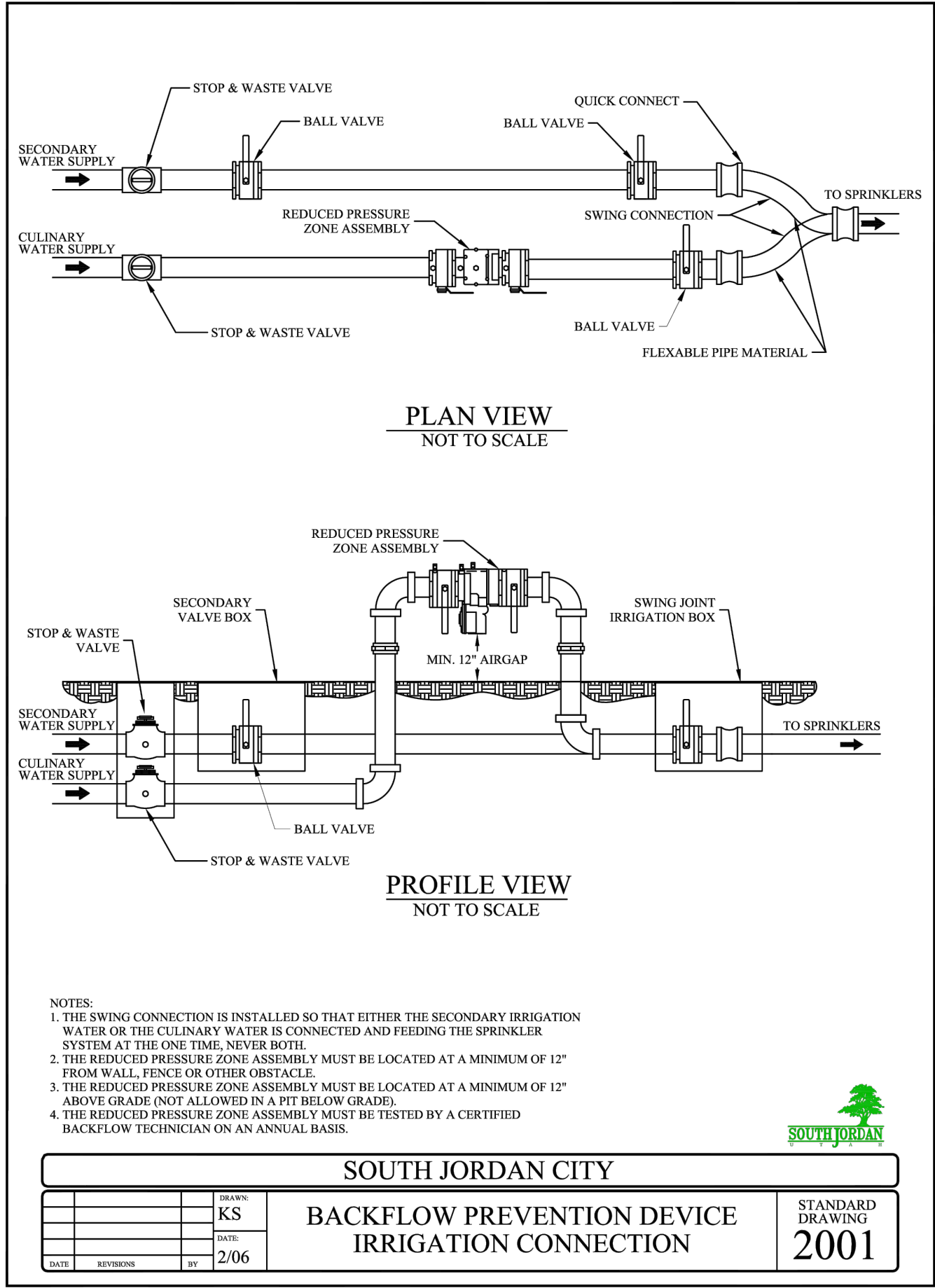
5/11/23

DRAWN BY

CHECKED BY

PROJECT MANAGER

C-600



City Engineer
City of South Jordan
Approved 05/30/2023
Brad Klawns City Engineer

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-946-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH

REGISTERED PROFESSIONAL ENGINEER
5/11/2023
5150016-2202
BRADEN D. MORTIS
Brad Mortis
STATE OF UTAH

DETAILS

PROJECT NUMBER 11820
PRINT DATE 5/11/23
DRAWN BY
CHECKED BY

PROJECT MANAGER

C-601

SOJO PROFESSIONAL OFFICE BLDG

10509 S. RIVER HEIGHTS DR.
SOUTH JORDAN, UT

DRAWING INDEX

TITLE	SHEET NO.
COVER SHEET	1 OF 5
SYSTEM LAYOUT SHEET	2 OF 5
SYSTEM CALCULATION SHEET	3 OF 5
SYSTEM OVERLAY SHEET	4 OF 5
330XLHD DETAIL SHEET	5 OF 5

PROJECT INFORMATION				
PROJECT NO.	22-153			
CULTEC SALES REP	CAMERON BROWN 479-269-7044 CAMERON.BROWN@CULTEC.COM			
CULTEC PROJECT SUPERVISOR	ANN SCHWENZER 479-269-7116 ANN.SCHWENZER@CULTEC.COM			
ENGINEER OF RECORD	ENSIGN LLC			
ITERATION	DATE	BY	COMMENTS	FOR SHEET REVISION
00	06/05/23	JAS	SUBMITTAL DRAWINGS	C-300 S & O PLAN 06/02
01	0/9/2023	EA	REVISED LAYOUT PER UPDATED ENGINEERS PLANS	GRADING AND DRAINAGE PLAN 0/10/2023
02	0/9/2023	MPW	REVISED LAYOUT AND VOLUMES PER ECRH WITH UPDATED ENGINEERS PLANS	C-300 GRADING AND DRAINAGE PLAN 0/10/2023
03	06/05/23	JAS	REVISED SYSTEM TO REFLECT NEW STORAGE AND WATER QUALITY VOLUME	C-300 GRADING AND DRAINAGE PLAN 0/10/2023
04	5/11/2023	MPW	REVISED SYSTEM TO REFLECT STORAGE CAPACITY OF AT LEAST 8,799 CF	C-300 GRADING AND DRAINAGE PLAN 0/10/2023



CULTEC, Inc.
Subsurface Stormwater Management Systems
P.O. Box 280
878 Federal Road
Brookfield, CT 06804
www.cultec.com

PH: (203) 775-4416
PH: (800) 4-CULTEC
FX: (203) 775-1462
tech@cultec.com

NOTE: THESE SHOP DRAWINGS MAY CONTAIN COMPONENTS INCLUDING BUT NOT LIMITED TO: MANHOLES, CATCH BASINS, STORM PIPES AND FITTINGS, MANFOLDS, CASTINGS AND OTHER NECESSARY APPOINTMENTS THAT MAY NOT BE SUPPLIED BY CULTEC, INC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUPPLIER TO CONFIRM WITH CULTEC THE MATERIALS PROVIDED.

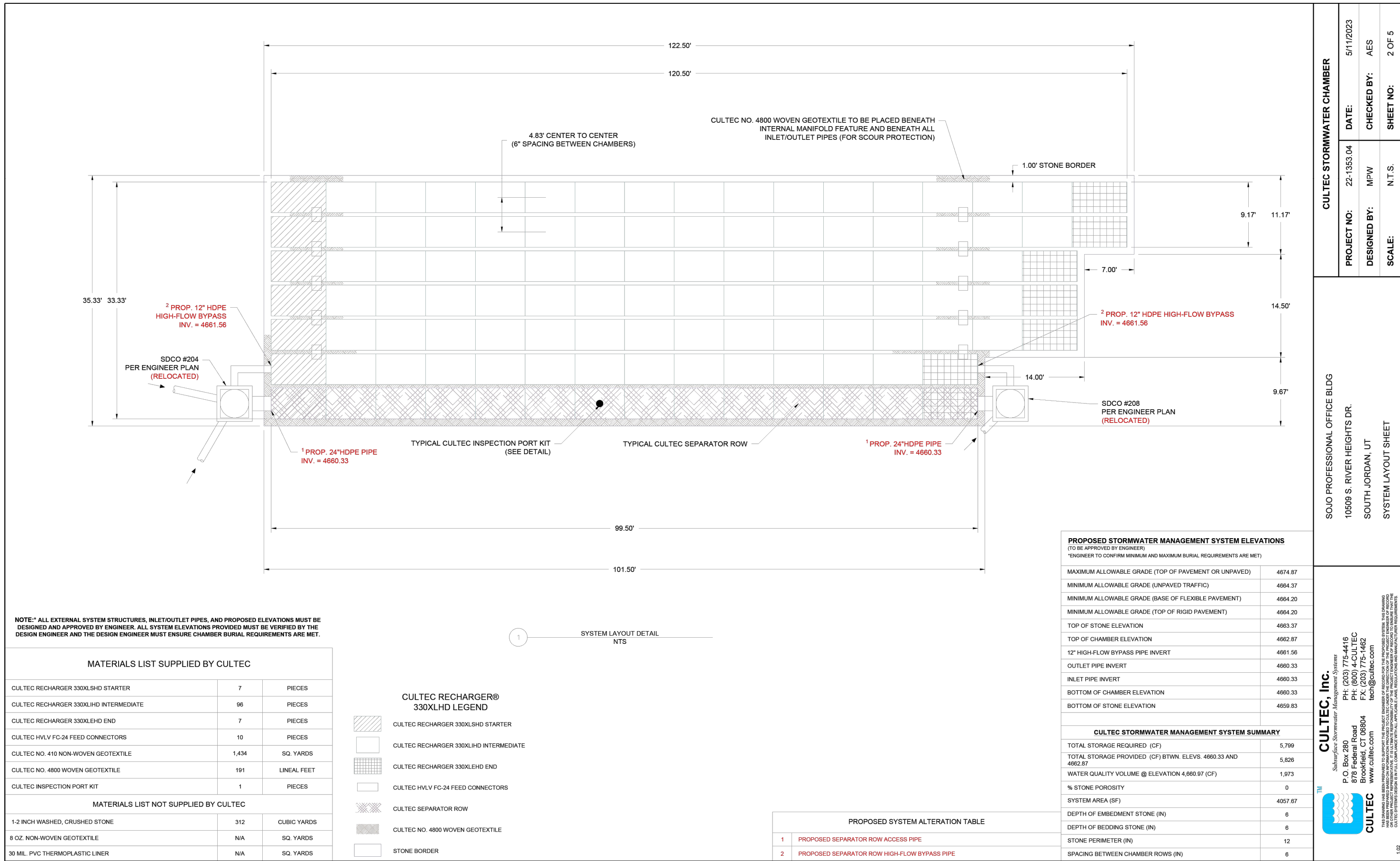
BEFORE YOU BEGIN - REQUIRED MATERIALS AND EQUIPMENT

- PROPER GEOTECHNICAL SOIL EVALUATION BY A QUALIFIED ENGINEER OR SOIL SCIENTIST TO DETERMINE SUITABILITY OF STRUCTURAL INSTALLATION.
- OSHA COMPLIANCE
- CULTEC WARNING TAPE, OR EQUIVALENT
- ASSURANCES FROM LOCAL UTILITIES THAT NO UNDERGROUND GAS, ELECTRICAL, OR OTHER POTENTIALLY DANGEROUS PIPELINES OR CONDUITS ARE ALREADY BURIED AT THE SITE
- ACCEPTABLE 1-2 INCH (25 - 51 mm) WASHED, CRUSHED STONE AS DETAILED IN CULTEC'S INSTALLATION INSTRUCTIONS.
- CLEANLINESS OF STONE TO BE VERIFIED BY ENGINEER
- ACCEPTABLE FILL MATERIAL AS SHOWN IN CULTEC'S INSTALLATION INSTRUCTIONS.
- ALL CULTEC CHAMBERS AND ACCESSORIES AS SPECIFIED IN THE ENGINEERS PLANS INCLUDING CULTEC NO. 410 NON-WOVEN GEOTEXTILE, CULTEC STORMPETER AND CULTEC NO. 4800 WOVEN GEOTEXTILE, WHERE APPLICABLE.
- RECIPROCATING SAW OR ROUTER
- STONE BUCKET
- STONE CONVEYOR AND/OR TRACKED EXCAVATOR
- TRANSPORT OR LASER LEVEL MEASURING DEVICE
- COMPACTION EQUIPMENT WITH MAXIMUM GROSS VEHICLE WEIGHT OF 12,000 LBS (5,440 KGS), VIBRATORY ROLLERS MAY ONLY BE USED ON THE STONE BASE PRIOR TO THE INSTALLATION OF CHAMBERS.
- CHECK CULTEC CHAMBERS FOR DAMAGE PRIOR TO INSTALLATION. DO NOT USE DAMAGED CULTEC CHAMBERS. CONTACT YOUR SUPPLIER IMMEDIATELY TO REPORT DAMAGE OR PACKING LIST DISCREPANCIES.

REQUIREMENTS FOR CULTEC CHAMBER SYSTEM INSTALLATIONS

- INSTALLING CONTRACTORS ARE EXPECTED TO COMPREHEND AND USE THE MOST CURRENT INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING A SYSTEM INSTALLATION. IF THERE IS ANY QUESTION AS TO WHETHER YOU POSSESS THE MOST CURRENT INSTRUCTIONS, CONTACT CULTEC AT (203) 775-4416 OR VISIT WWW.CULTEC.COM
- CONTACT CULTEC AT LEAST THIRTY DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE FOR A PRE-CONSTRUCTION MEETING.
- ALL CULTEC SYSTEM DESIGNS MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
- USE CULTEC INSTALLATION INSTRUCTIONS AS A GUIDELINE ONLY FOR MINIMUM/MAXIMUM REQUIREMENTS. ACTUAL DESIGN MAY VARY. REFER TO APPROVED CONSTRUCTION DRAWINGS FOR JOB-SPECIFIC DETAILS. BE SURE TO FOLLOW THE ENGINEERS DRAWINGS AS YOUR PRIMARY GUIDE.
- THE FOUNDATION STONE SHALL BE LEVEL AND COMPACTED PRIOR TO CHAMBER INSTALLATION.
- OVERLAPPING RIB CONNECTIONS OF CHAMBERS SHALL BE FULLY SHOULDERED PRIOR TO STONE PLACEMENT.
- CENTER-TO-CENTER SPACING SHALL BE CHECKED AND MAINTAINED THROUGHOUT INSTALLATION PROCESS.
- ANY DISCREPANCIES WITH THE SYSTEM SUB-GRADE SOIL'S BEARING CAPACITY MUST BE REPORTED TO THE DESIGN ENGINEER.
- NON-WOVEN GEOTEXTILE MUST BE USED AS SPECIFIED IN THE ENGINEERS DRAWINGS.
- CULTEC REQUIRES THE CONTRACTOR TO REFER TO CULTEC'S INSTALLATION INSTRUCTIONS CONCERNING VEHICULAR TRAFFIC. RESPONSIBILITY FOR PREVENTING VEHICLES THAT EXCEED CULTEC'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE CHAMBER SYSTEM LIES SOLELY WITH THE CONTRACTOR THROUGHOUT THE ENTIRE SITE CONSTRUCTION PROCESS. THE PLACEMENT OF WARNING TAPE, TEMPORARY FENCING, AND/OR APPROPRIATELY LOCATED SIGNS IS HIGHLY RECOMMENDED. IMPRINTED WARNING TAPE IS AVAILABLE FROM CULTEC. FOR ACCEPTABLE VEHICLE LOAD INFORMATION, REFER TO CULTEC INSTALLATION INSTRUCTIONS.
- TRAFFIC OF INSTALLATION EQUIPMENT OR OTHER VEHICULAR TRAFFIC OVER TOP OF THE CULTEC STORMWATER SYSTEM IS STRICTLY RESTRICTED AND PROHIBITED UNTIL SATISFACTORY COVER AND COMPACTION IS ACHIEVED ACCORDING TO CULTEC'S MANUFACTURER INSTALLATION INSTRUCTIONS.
- EROSION AND SEDIMENT CONTROL MEASURES MUST MEET LOCAL CODES AND THE DESIGN ENGINEER'S SPECIFICATIONS THROUGHOUT THE ENTIRE SITE CONSTRUCTION PROCESS.
- CULTEC SYSTEMS MUST BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. FAILURE TO DO SO WILL VOID THE LIMITED WARRANTY.
- CONTACT CULTEC, INC. AT 203-775-4416 WITH ANY QUESTIONS OR FURTHER CLARIFICATION OF REQUIREMENTS.
- PLACEMENT OF EMBEDMENT STONE MUST BE IN ACCORDANCE WITH CULTEC'S INSTALLATION INSTRUCTIONS. STONE COLUMN HEIGHT DIFFERENTIAL MUST NEVER EXCEED 12" (305 mm) BETWEEN CHAMBER ROWS. ADJACENT CHAMBERS OR STONE PETERMETER, STONE MUST BE PLACED OVER THE CROWN OF THE CHAMBERS TO ANCHOR THE CHAMBERS IN PLACE AND MAINTAIN ROW SPACING.
- EMBEDMENT STONE MUST ONLY BE PLACED BY EXCAVATOR OR TELESCOPING CONVEYOR BOOM. PLACEMENT OF EMBEDMENT STONE WITH BULLDOZER IS NOT AN ACCEPTABLE METHOD OF INSTALLATION AND MAY CAUSE DAMAGE TO THE CHAMBERS. ANY CHAMBERS DAMAGED USING AN UNACCEPTABLE METHOD OF BACKFILL ARE NOT COVERED UNDER THE CULTEC LIMITED WARRANTY.

THIS DRAWING HAS BEEN PREPARED TO SUPPORT THE PROJECT ENGINEER OF RECORD FOR THE PROPOSED SYSTEM. THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO CULTEC UNDER THE DIRECTION OF THE PROJECT ENGINEER OF RECORD OR OTHER PROJECT REPRESENTATIVE. IT IS THE ULTIMATE RESPONSIBILITY OF THE PROJECT ENGINEER OF RECORD TO ENSURE THAT THE CULTEC SYSTEMS DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS AND MANUFACTURER REQUIREMENTS.



CULTEC Recharger 330XLHD Stormwater System Calculations									
Consulting Engineer					Project Information				
BRADEN					Date: May 11, 2023				
P.O. Box 280					Project Location				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				
Brookfield, CT 06804					Project Name				
P.O. Box 280					SOJO PROFESSIONAL OFFICE BLDG				
878 Federal Road					10509 S. RIVER HEIGHTS DR.				
Brookfield, CT 06804					SOUTH JORDAN, UT				
P.O. Box 280					Project Number				
878 Federal Road					22-153-04				

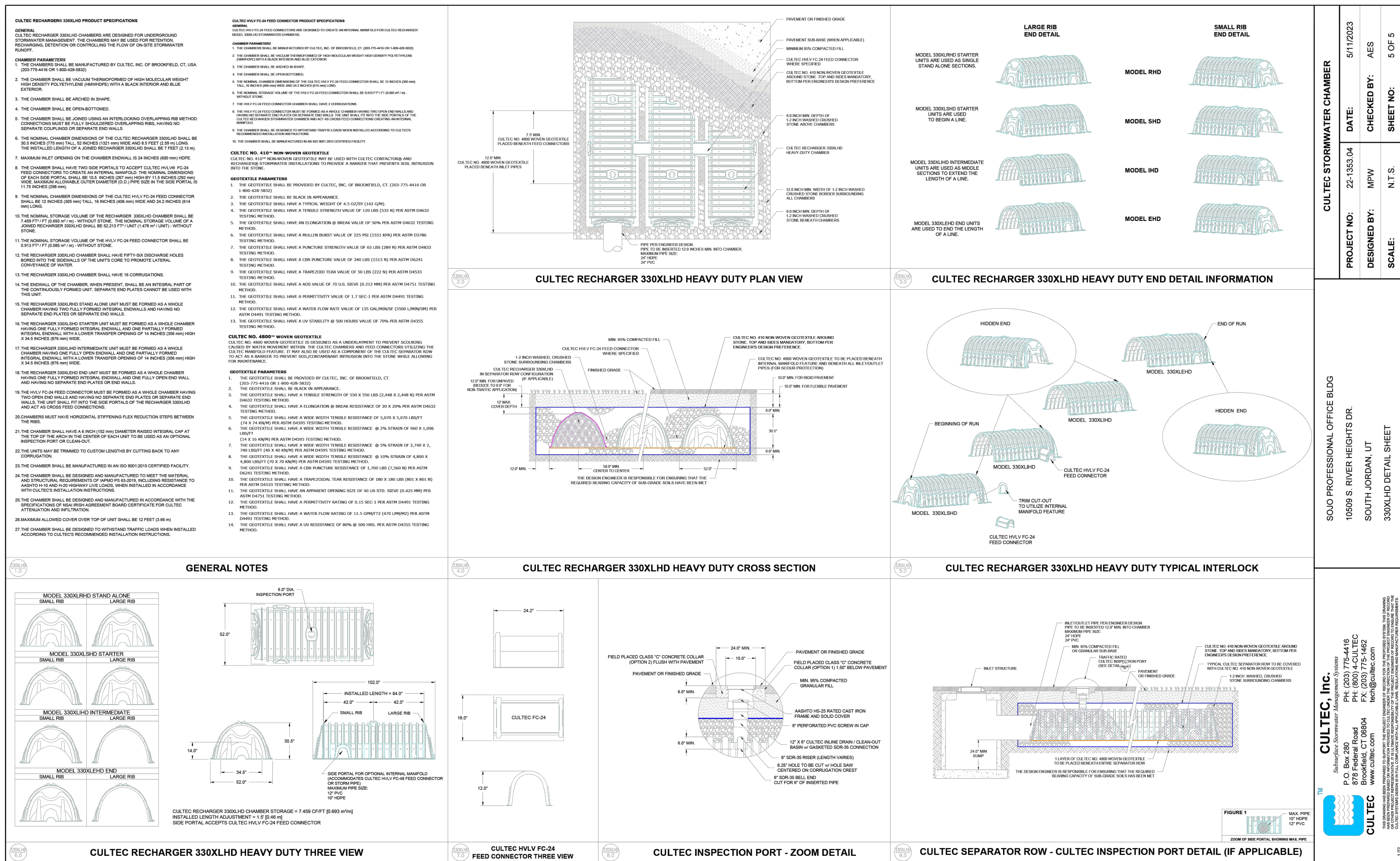
RICHFIELD
Phone: 435.896.2983

ZACHARY OLSON
PHONE: 801-948-8800

R. J. Klawns City Engineer

PROJECT NUMBER	PRINT DATE
11820	5/11/23
DRAWN BY	CHECKED BY

PROJECT MANAGE



811

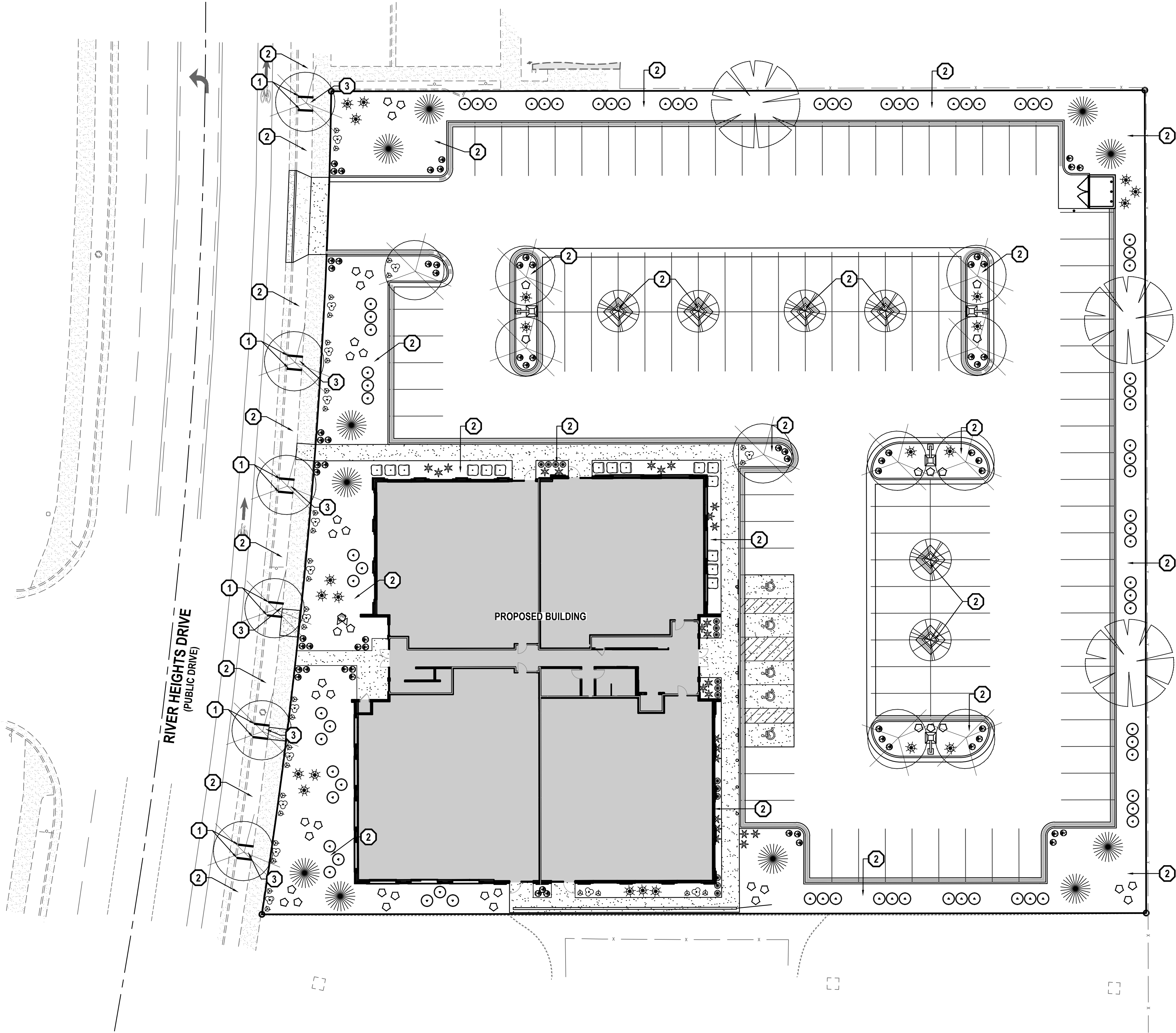
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



Landscape

Trees				
Qty	Symbol	Common Name	Botanical Name	Plant Size
6		Amur Maple	Acer ginnala	2" Cal.
16		Eastern Redbud	Cercis canadensis	2" Cal.
3		Honeylocust	Gleditsia triacanthos	2" Cal.
11		Columnar Norway Spruce	Picea abies 'Cupressina'	7' Min.

Shrubs				
Qty	Symbol	Common Name	Botanical Name	Plant Size
20		Hosta	Hosta 'Gold Standard'	5 Gallon
15		Mountain Lover	Pachistima myrsinites	5 Gallon
49		Cinquefoil	Potentilla fruticosa 'Abbotswood'	5 Gallon
78		Winged Euonymus	Euonymus alatus 'Grove's Compactus'	5 Gallon
36		Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon
63		Fountain Grass	Pennisetum setaceum	1 Gallon

Annuals-Perennials				
Qty	Symbol	Common Name	Botanical Name	Plant Size
36		Daylily	Hemerocallis	1 Gallon
18		Black-Eyed Susan	Rudbeckia hirta	1 Gallon
16		Rockrose	Helianthemum nummularium	1 Gallon

- 1

Install 6" concrete edging
- 2

Install 4" deep 2"-3" dia. Nephi Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.
- 3

Install 4" deep bark mulch over weed barrier, typ.

Landscape Calculations:
Total Landscape Area = 17,695 sq. ft.
Trees Required = 17,695 / 500 = 35 trees required
Total Trees Provided = 36 trees
Evergreen Trees Provided = 11 trees (31%)

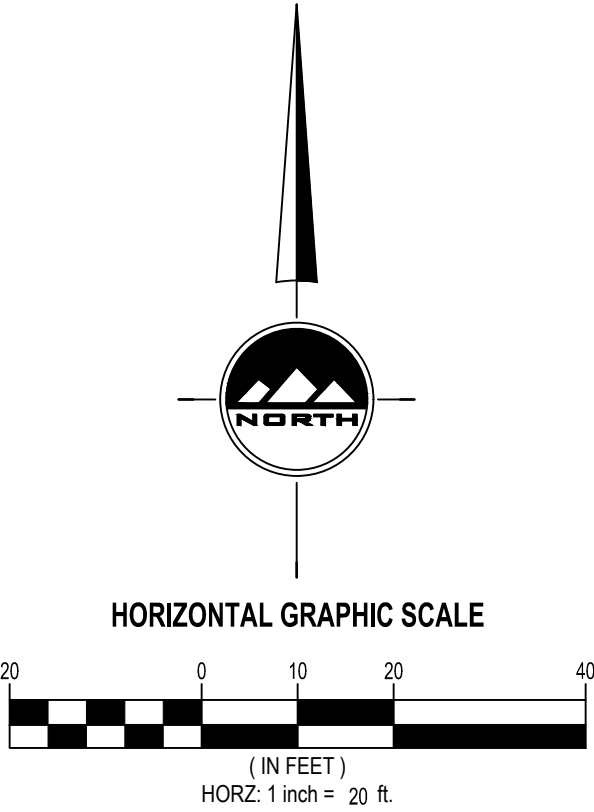
SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT / HARDSCAPE	45,212	57.5%
BUILDING FOOTPRINT	15,500	20%
LANDSCAPING	17,695	22.5%
TOTAL SITE	78,407	100%

City Engineer

City of South Jordan

Approved 05/30/2023

City Engineer



THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500

Sandy, UT 84070

Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-946-8800

SOJO PROFESSIONAL

OFFICE BUILDING

10509 S RIVER HEIGHTS DR

SOUTH JORDAN, UTAH

LANDSCAPE PLAN

PROJECT NUMBER
11820

PRINT DATE
5/11/23

DRAWN BY

CHECKED BY

PROJECT MANAGER

L-100

811

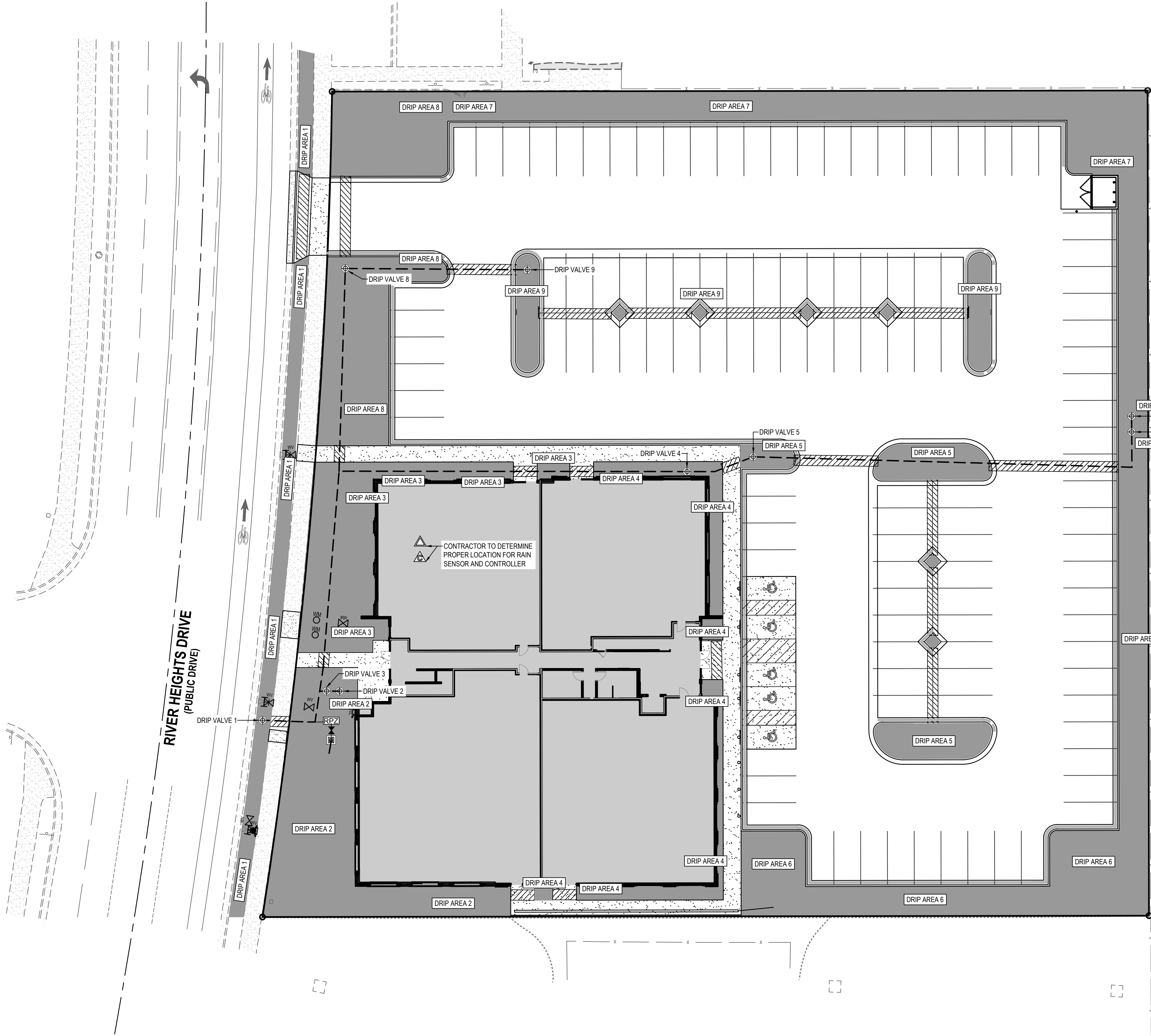
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



Irrigation		
Qty	Symbol	Description
9		Rain Bird XZ-100 COM
		Pipe Sleeve - 2x Pipe Diameter
		Mainline - 1" Schedule 40 PVC
1		1" meter
1		Rain Bird RSD-BEX Rain Sensor
1		Rain Bird ESP-LX Plus Controller
1		Mueller 1" Brass Stop and Waste
1		RPZ Backflow Prevention Device
		Rain Bird XBS Black Stripe Tubing with Rain Bird XB-10 Emitters*

*Install 2 emitters per shrub, 4 emitters per tree

** NOTES **

THIS IRRIGATION SYSTEM WAS DESIGNED AT AND 60 (WORKING) PSI AT THE POINT OF CONNECTION. IF THESE MINIMUM REQUIREMENTS CAN NOT BE MET, PLEASE CONTACT THE DESIGNER. **THIS PLAN WAS DRAWN FOR GRAPHIC CLARITY ONLY.** PLEASE PLACE ALL MAINLINE AND LATERAL LINES IN ADJACENT LANDSCAPE AREAS. SOME FIELD MODIFICATIONS MAY BE NEEDED TO AVOID ON SITE OBSTRUCTIONS.

COORDINATE IRRIGATION CONTROLLER WITH OWNERS'S FACILITY OPERATION DEPARTMENT.

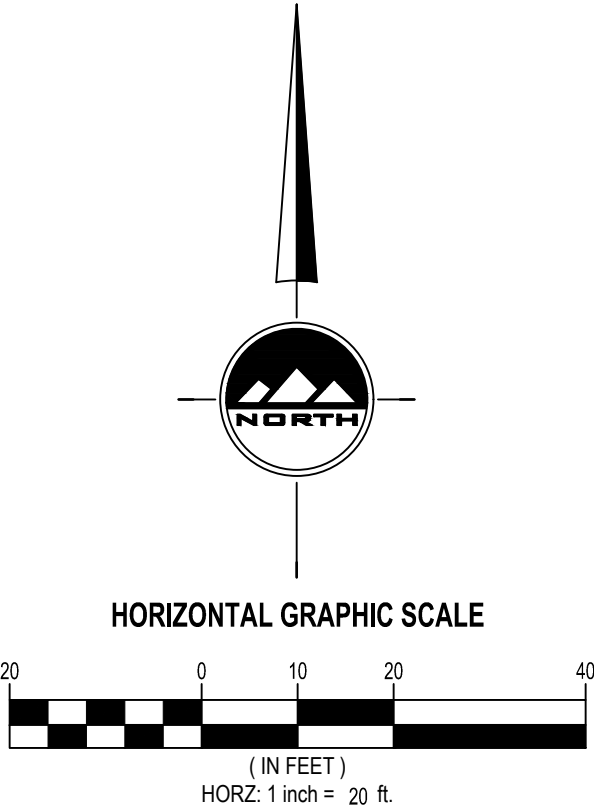
SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT / HARDSCAPE	45,212	57.5%
BUILDING FOOTPRINT	15,500	20%
LANDSCAPING	17,685	22.5%
TOTAL SITE	78,407	100%

City Engineer

City of South Jordan

Approved 05/30/2023

City Engineer



EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

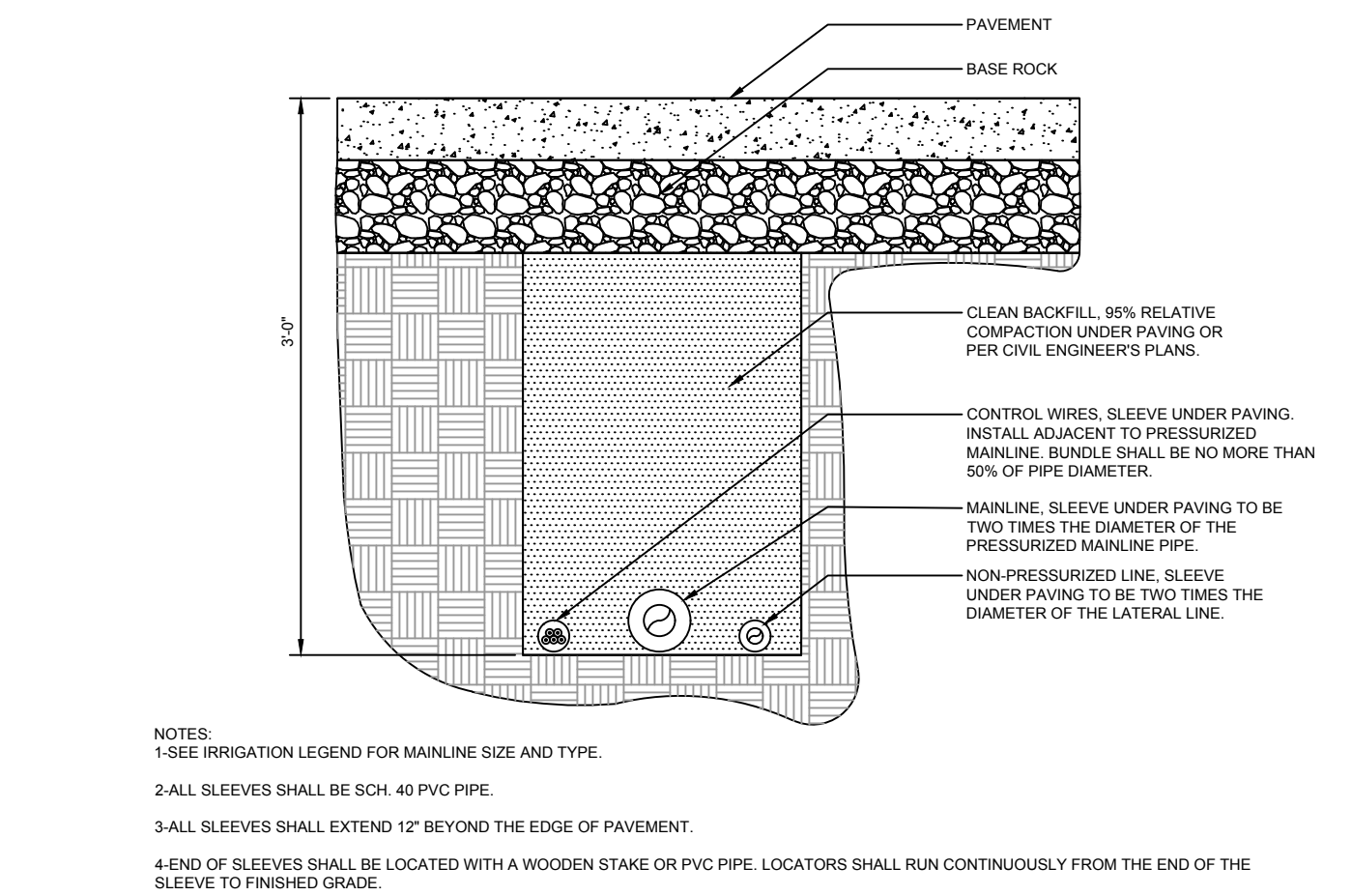
FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047
CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH

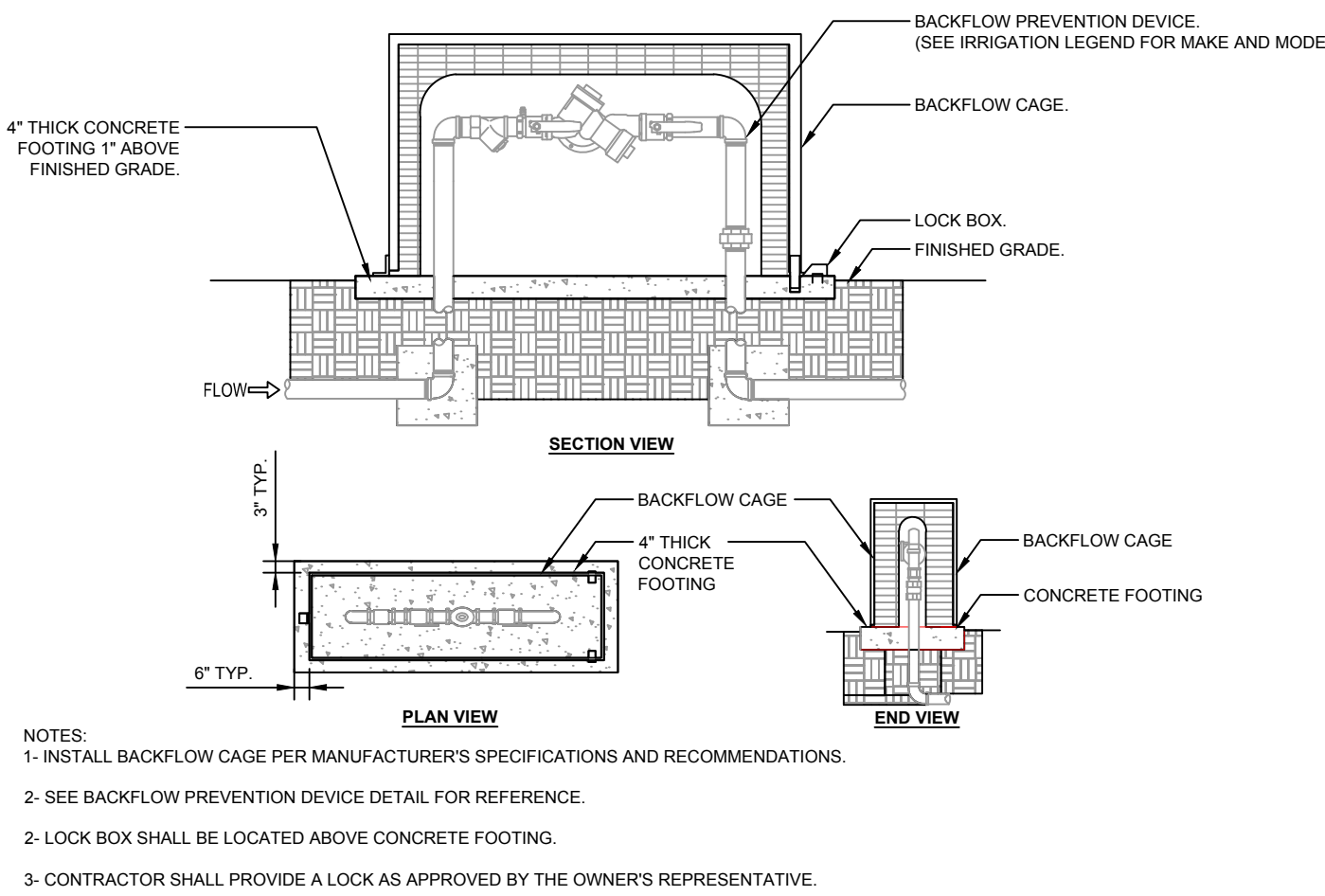
IRRIGATION PLAN

PROJECT NUMBER
11820
PRINT DATE
5/11/23
DRAWN BY
CHECKED BY
PROJECT MANAGER

L-200



13 PIPE BENEATH PAVEMENT SCALE: NONE

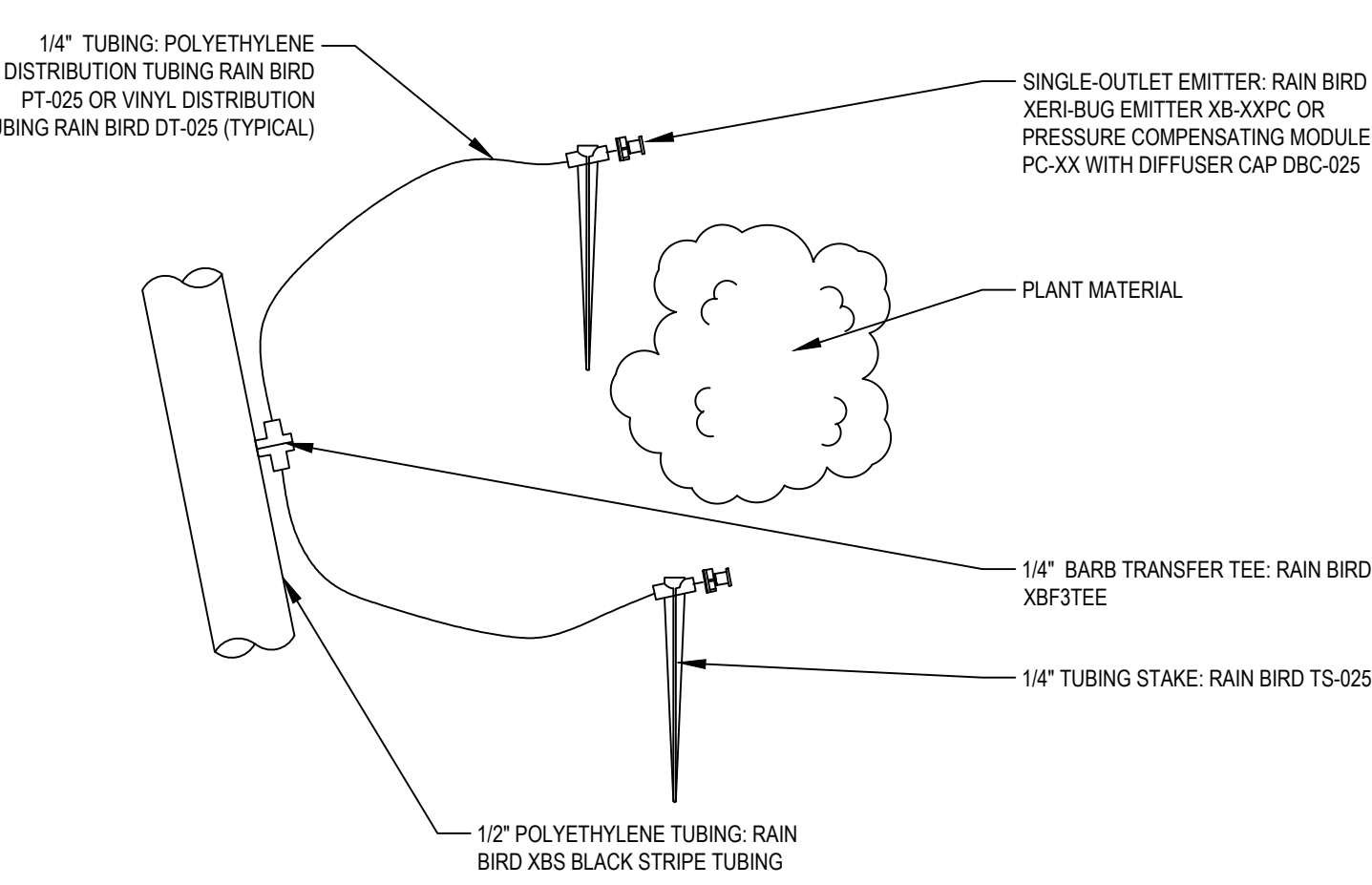


14 BACKFLOW CAGE SCALE: NONE

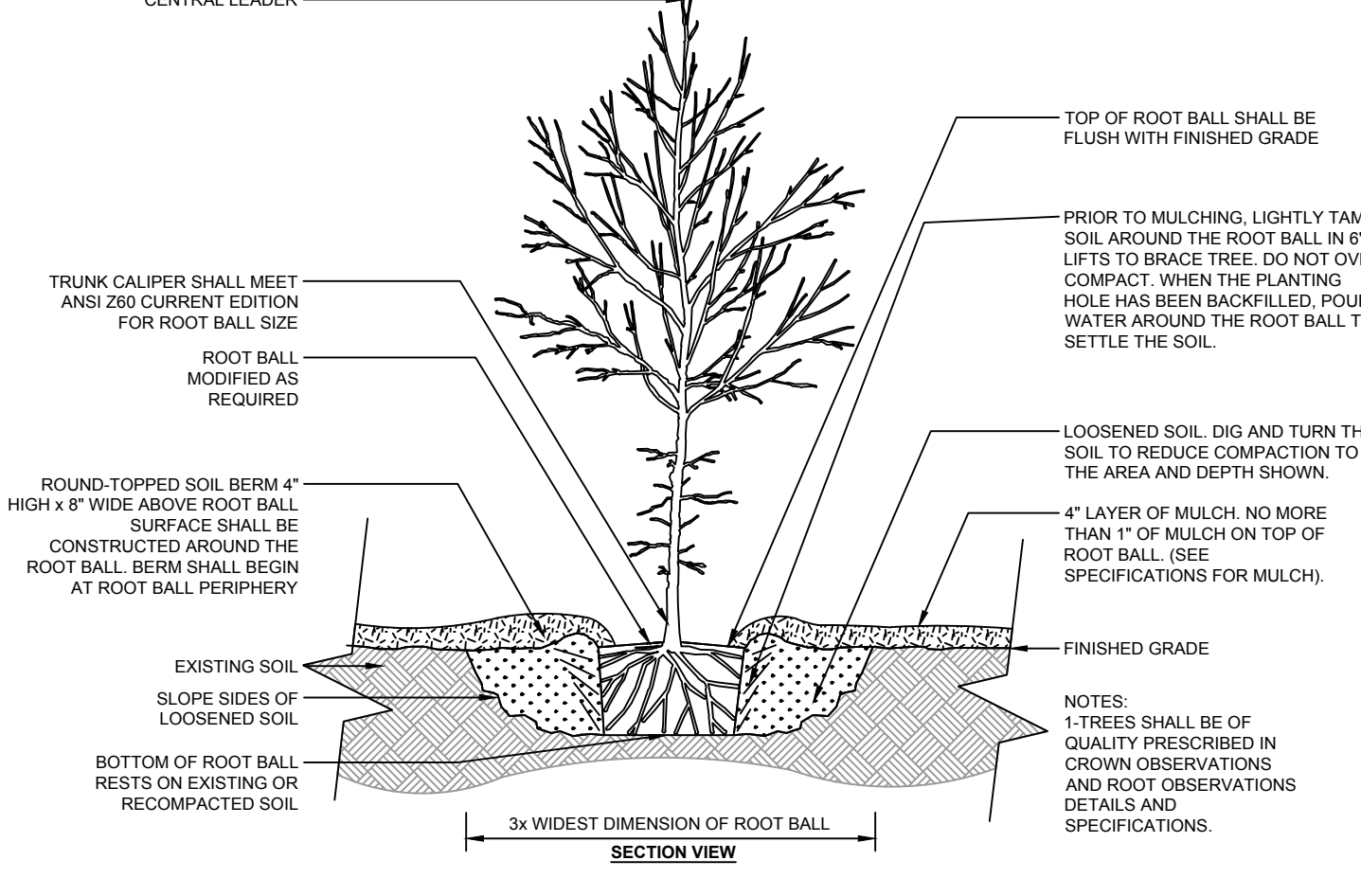
- GENERAL LANDSCAPE NOTES:**
- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS, ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
 - LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
 - NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
 - FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
 - MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
 - LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
 - ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
 - CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
 - PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:
A. 4" TOPSOIL IN ALL SOD AREAS
B. 6" TOP SOIL IN ALL PLANTER BEDS
 - WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

IRRIGATION NOTES:

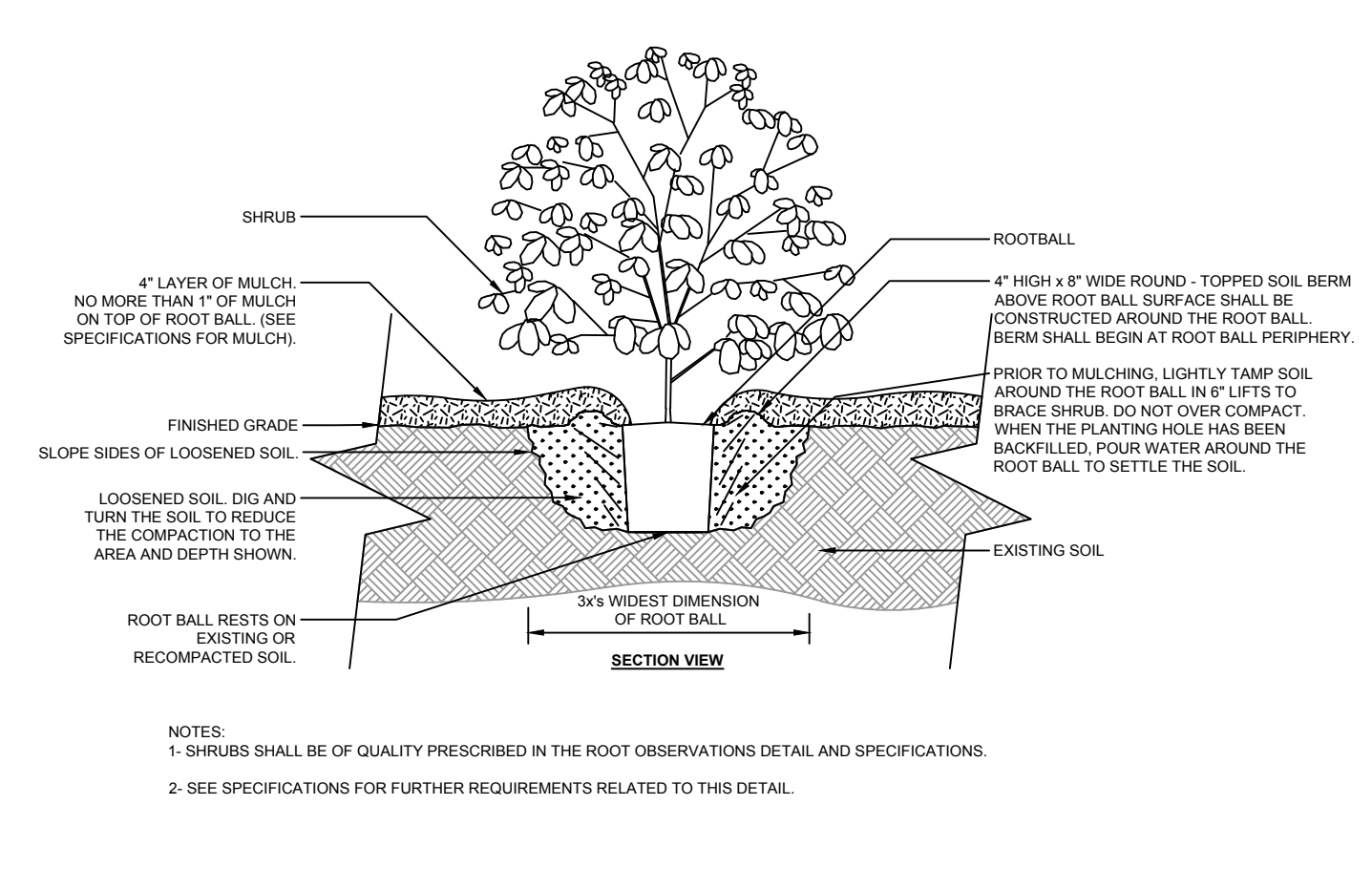
- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPARATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
- FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



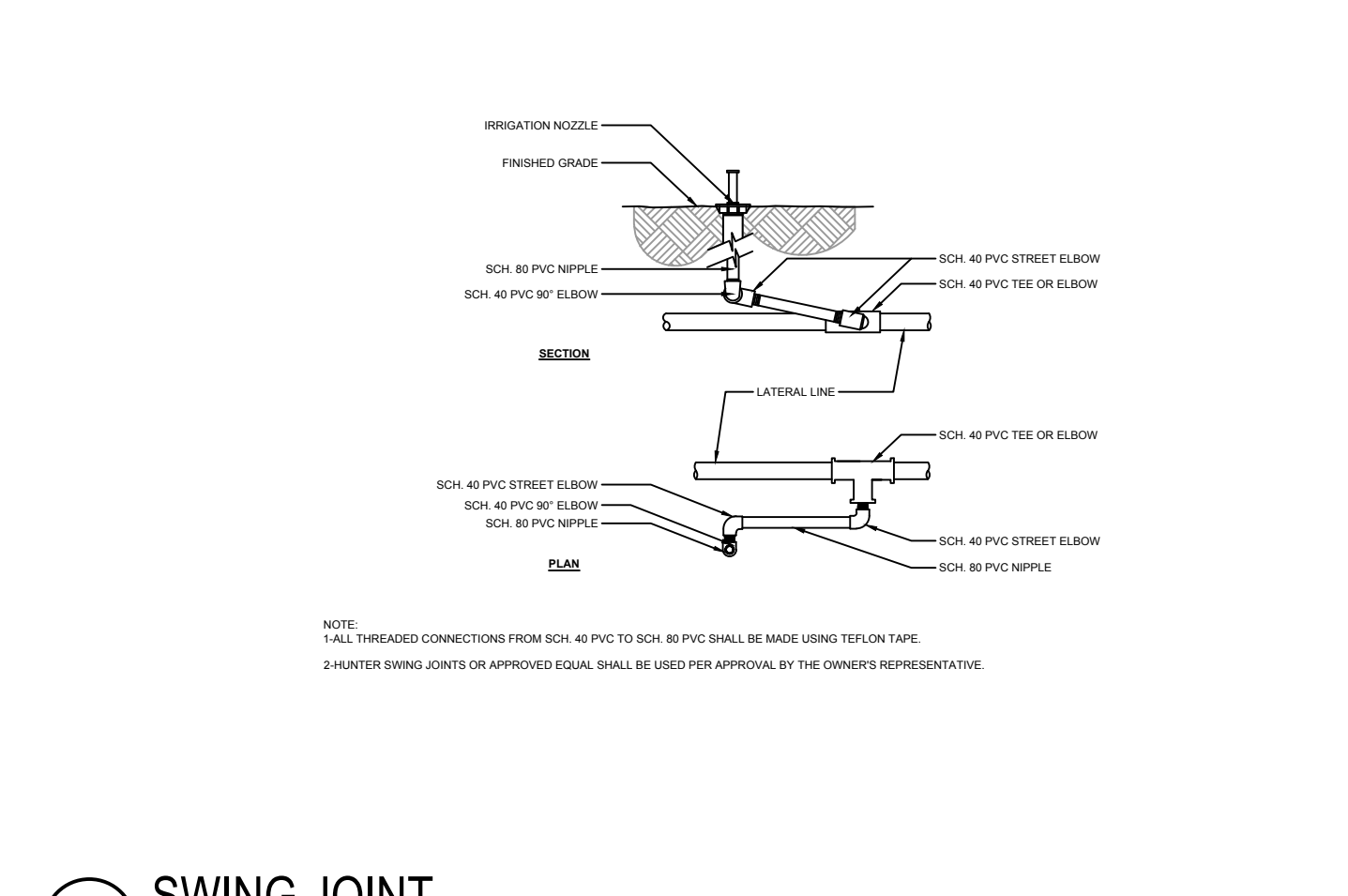
9 DRIP DETAIL SCALE: NONE



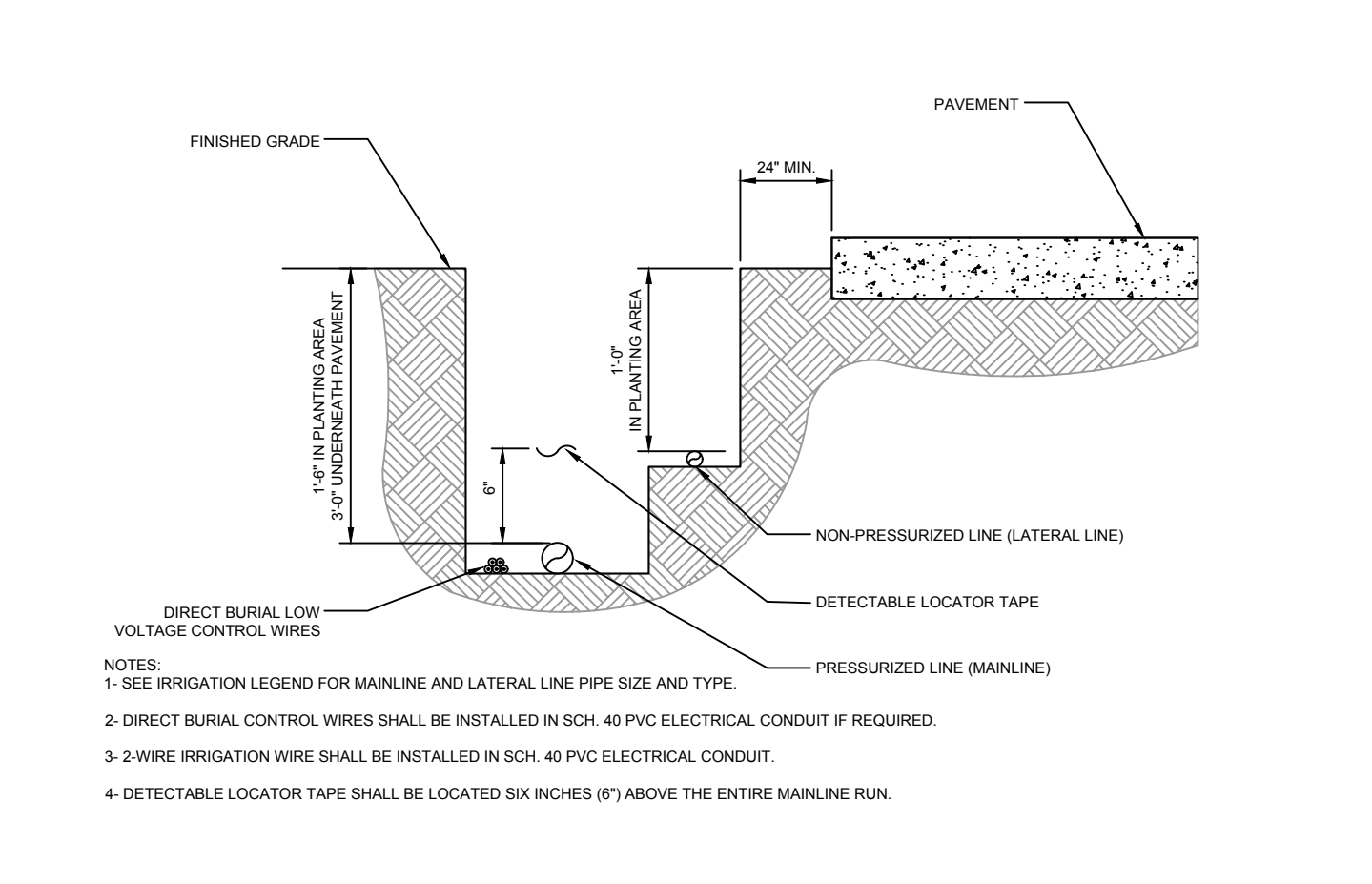
10 TREE PLANTING DETAIL SCALE: NONE



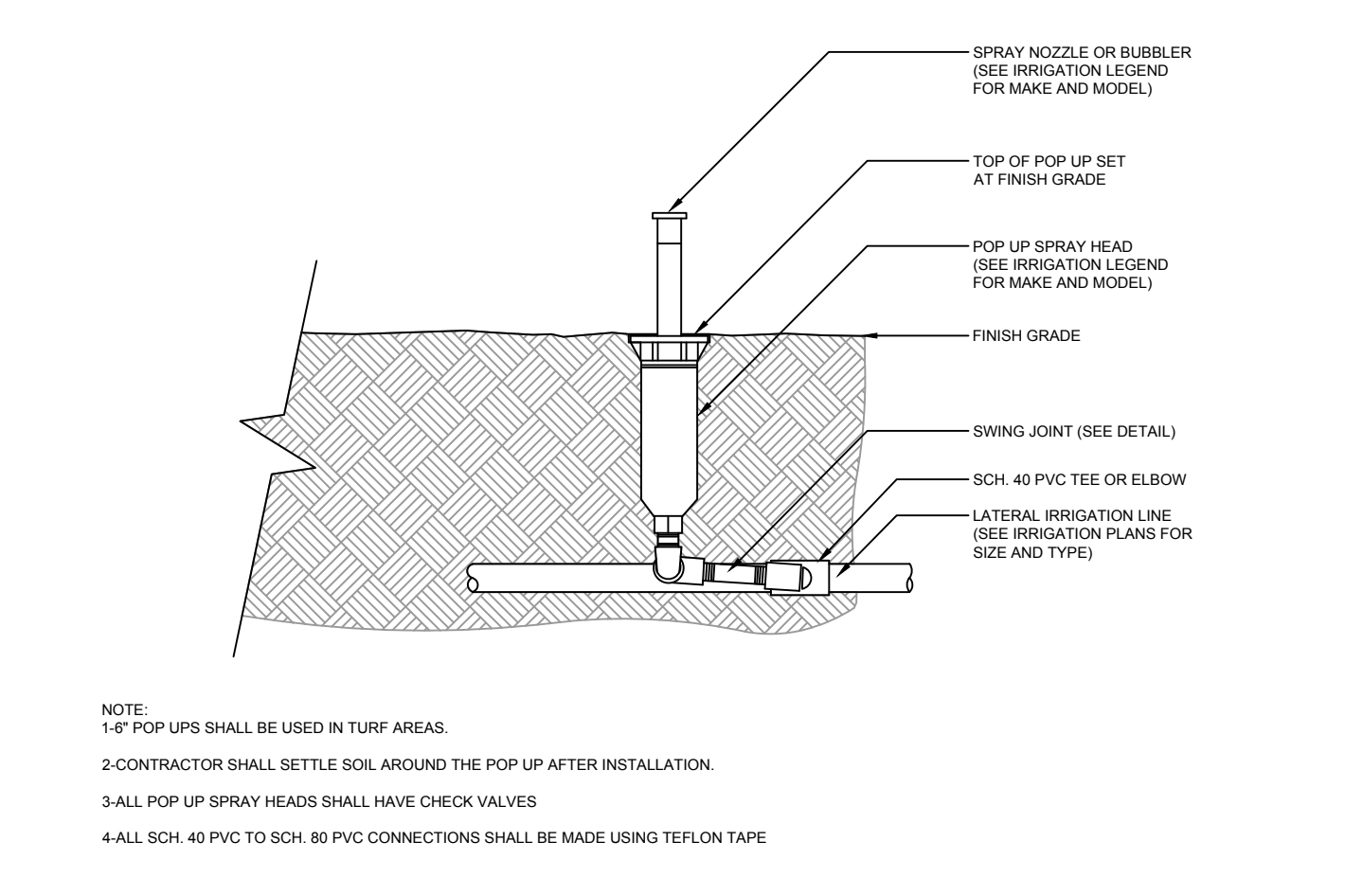
11 SHRUB PLANTING DETAIL SCALE: NONE



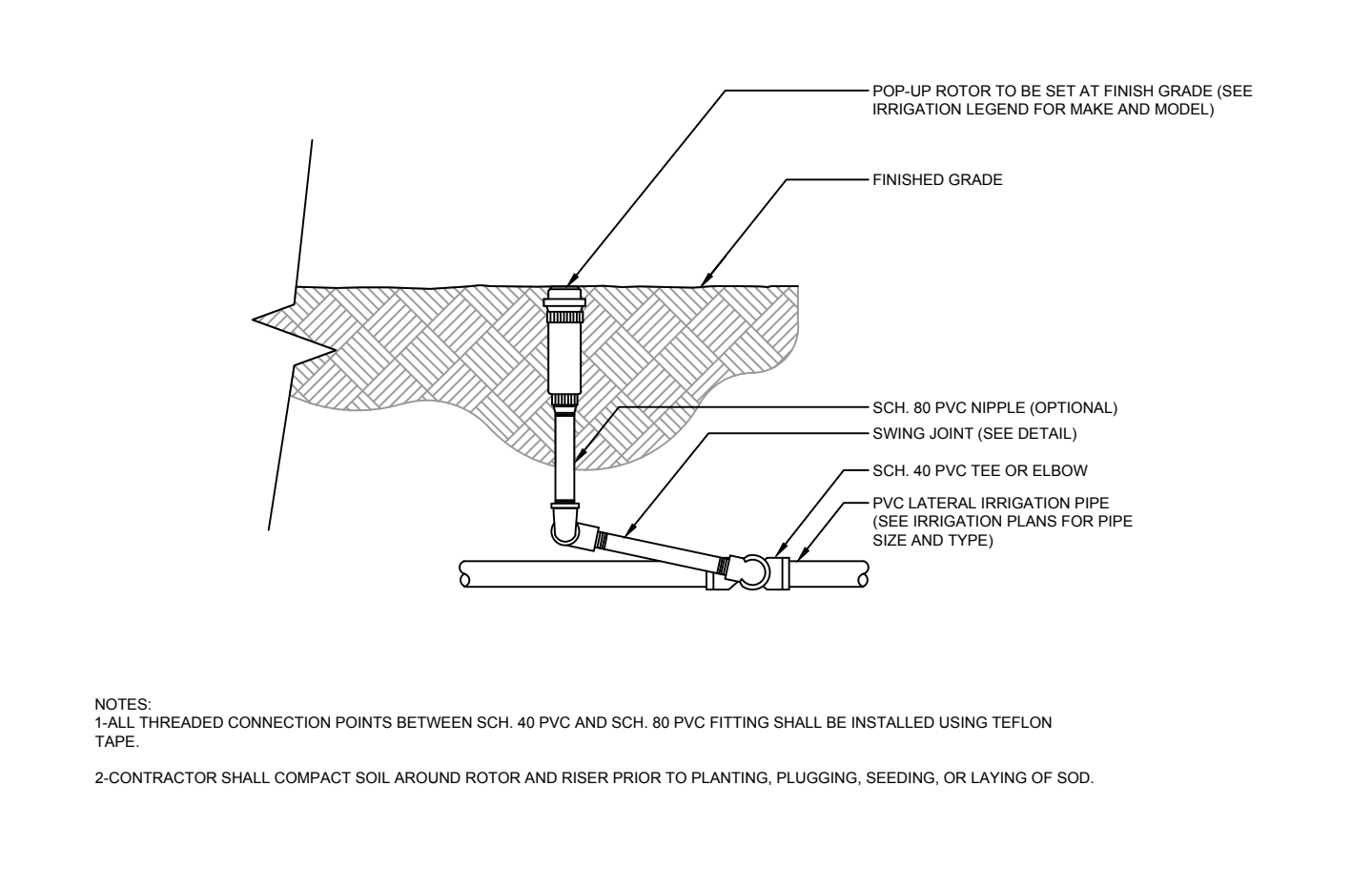
12 SWING JOINT SCALE: NONE



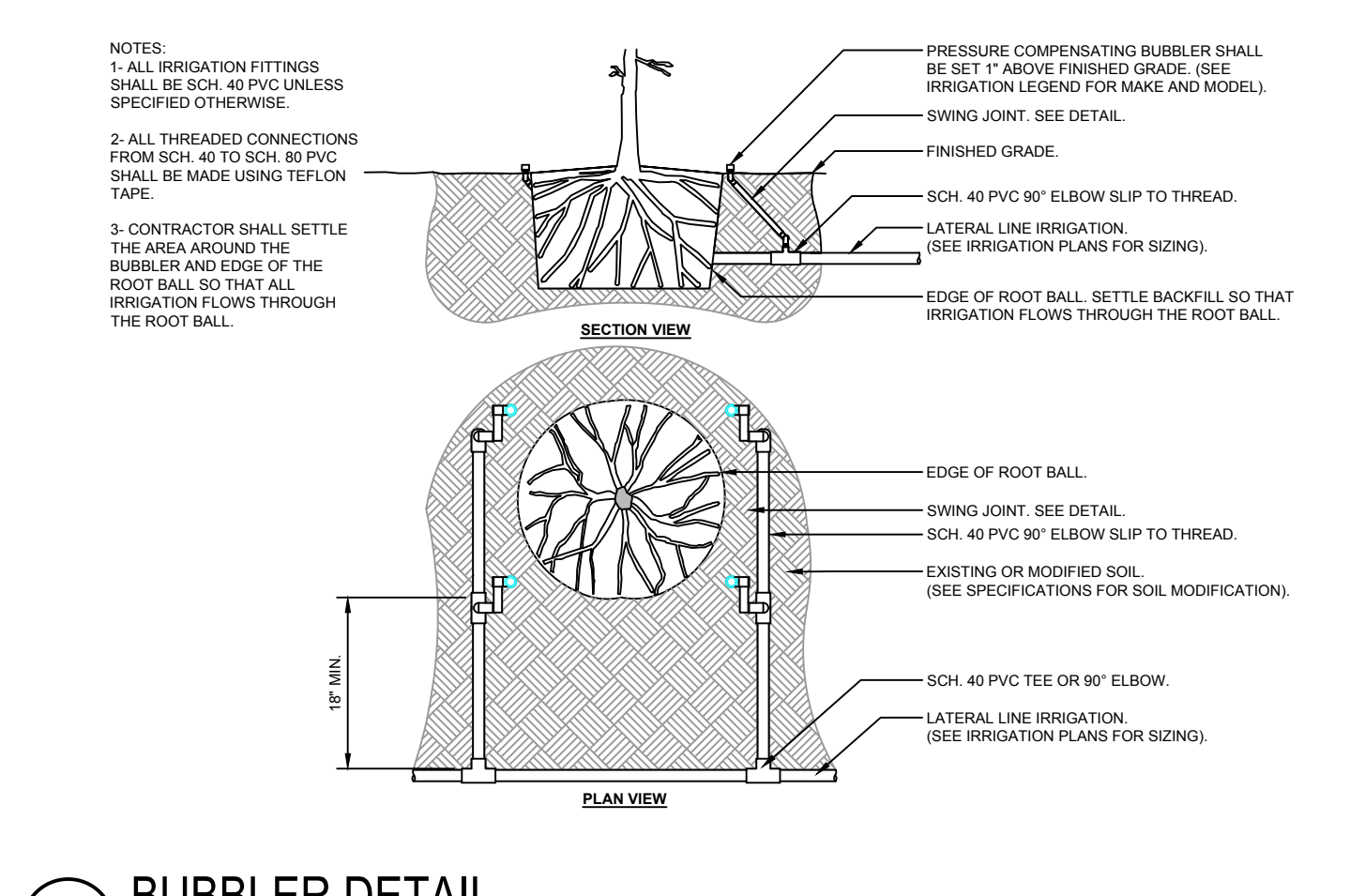
5 IRRIGATION TRENCHING SCALE: NONE



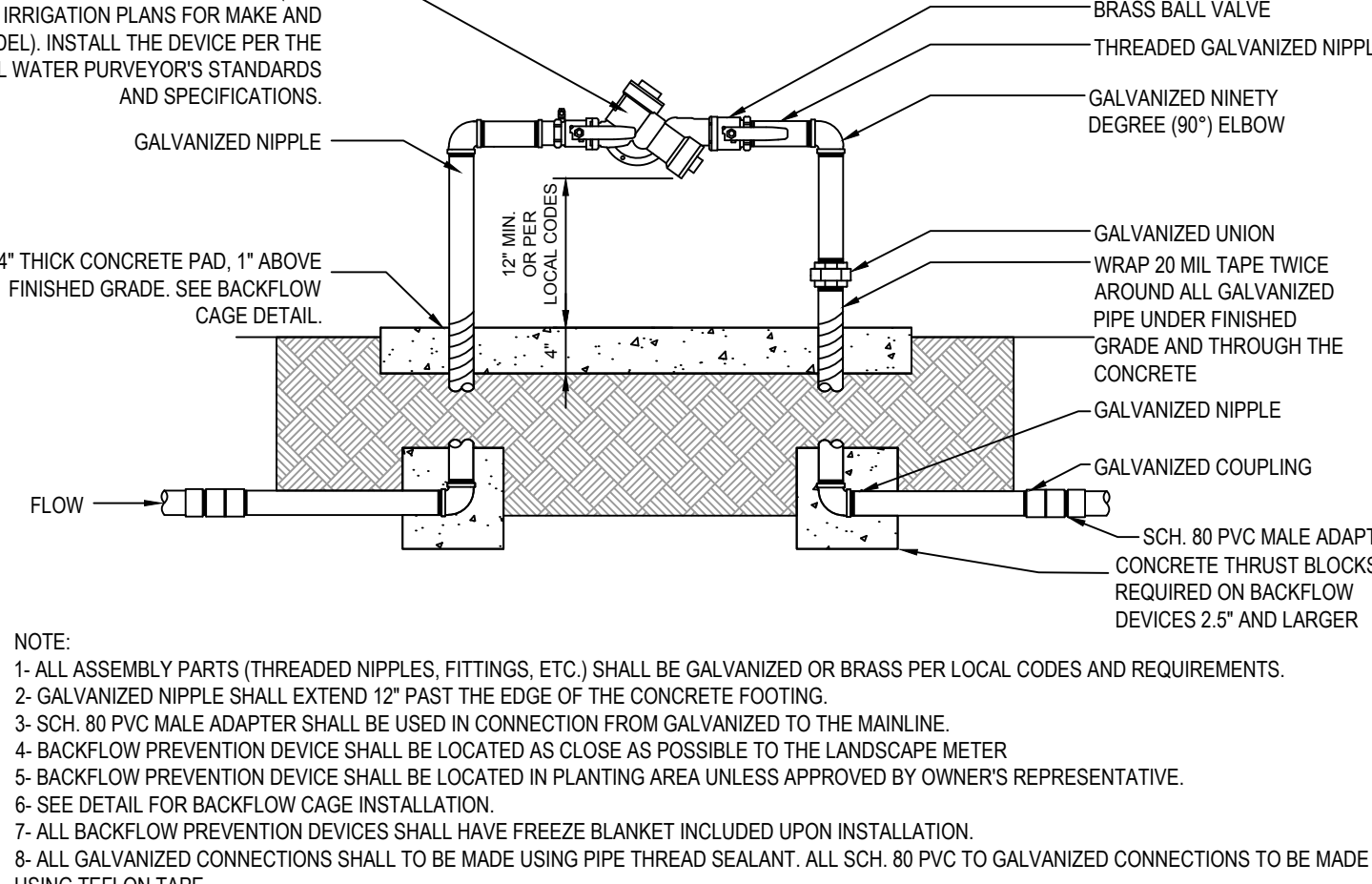
6 POP-UP SPRAY SPRINKLER SCALE: NONE



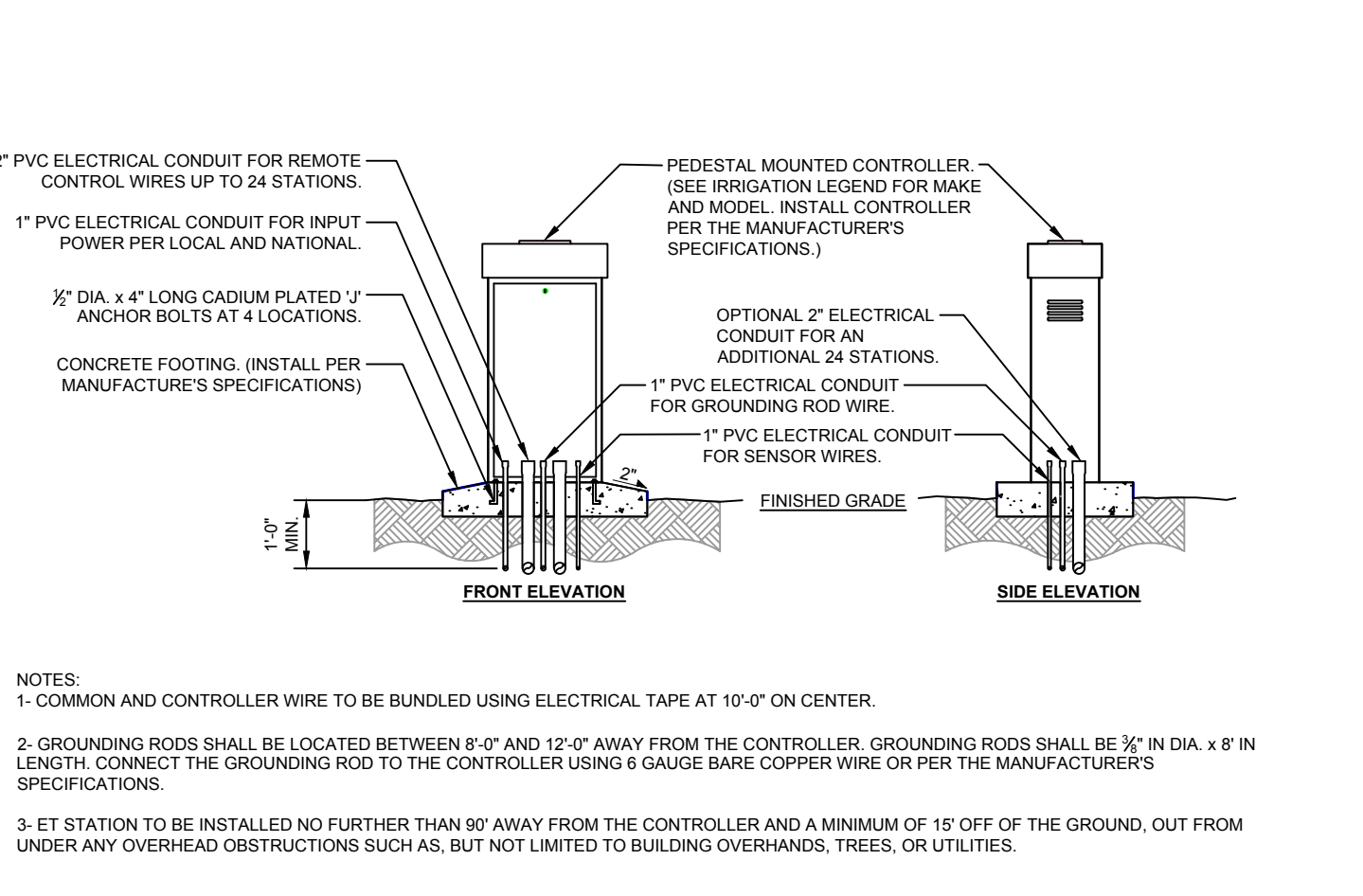
7 ROTOR POP-UP HEAD SCALE: NONE



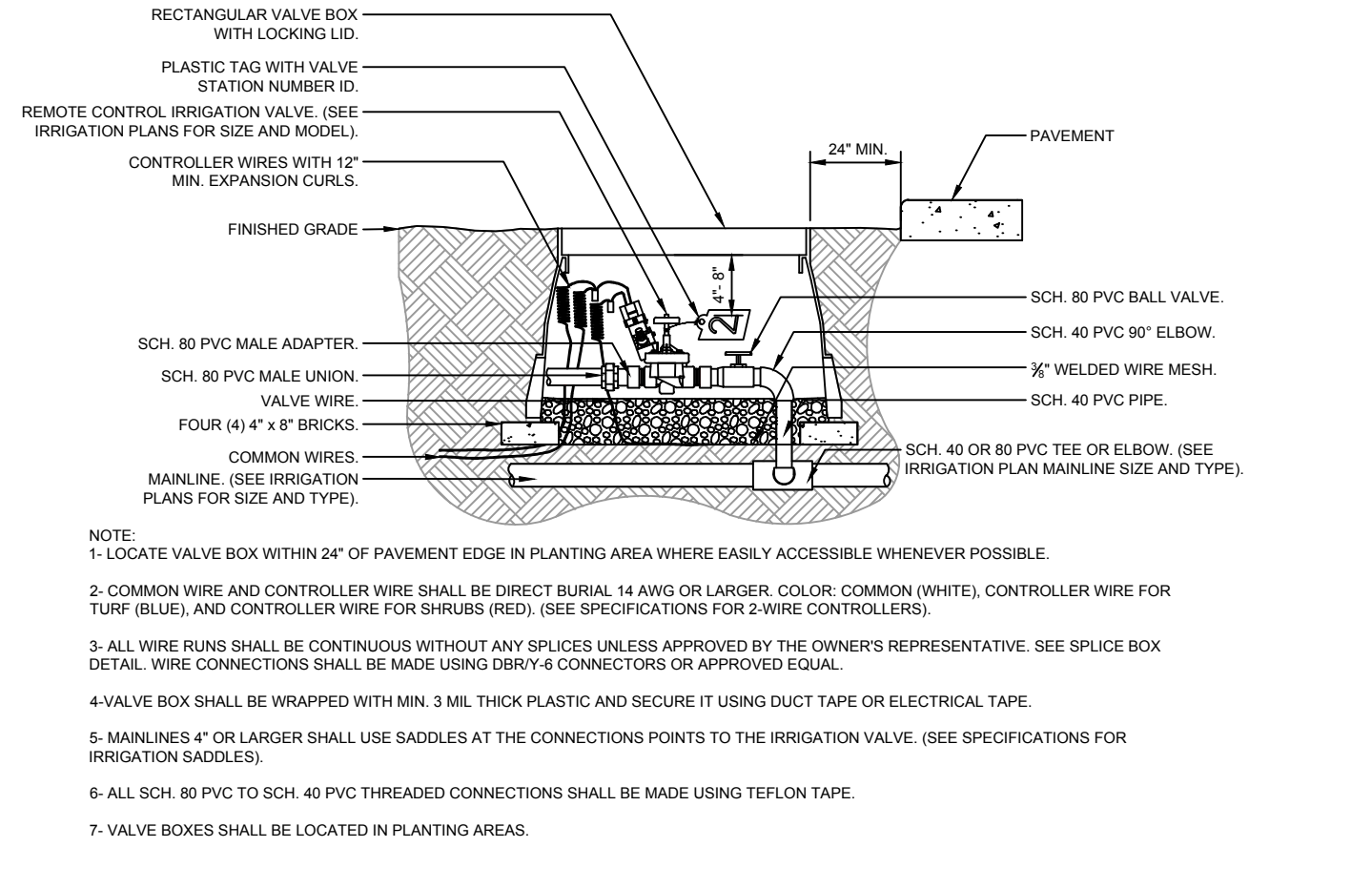
8 BUBBLER DETAIL SCALE: NONE



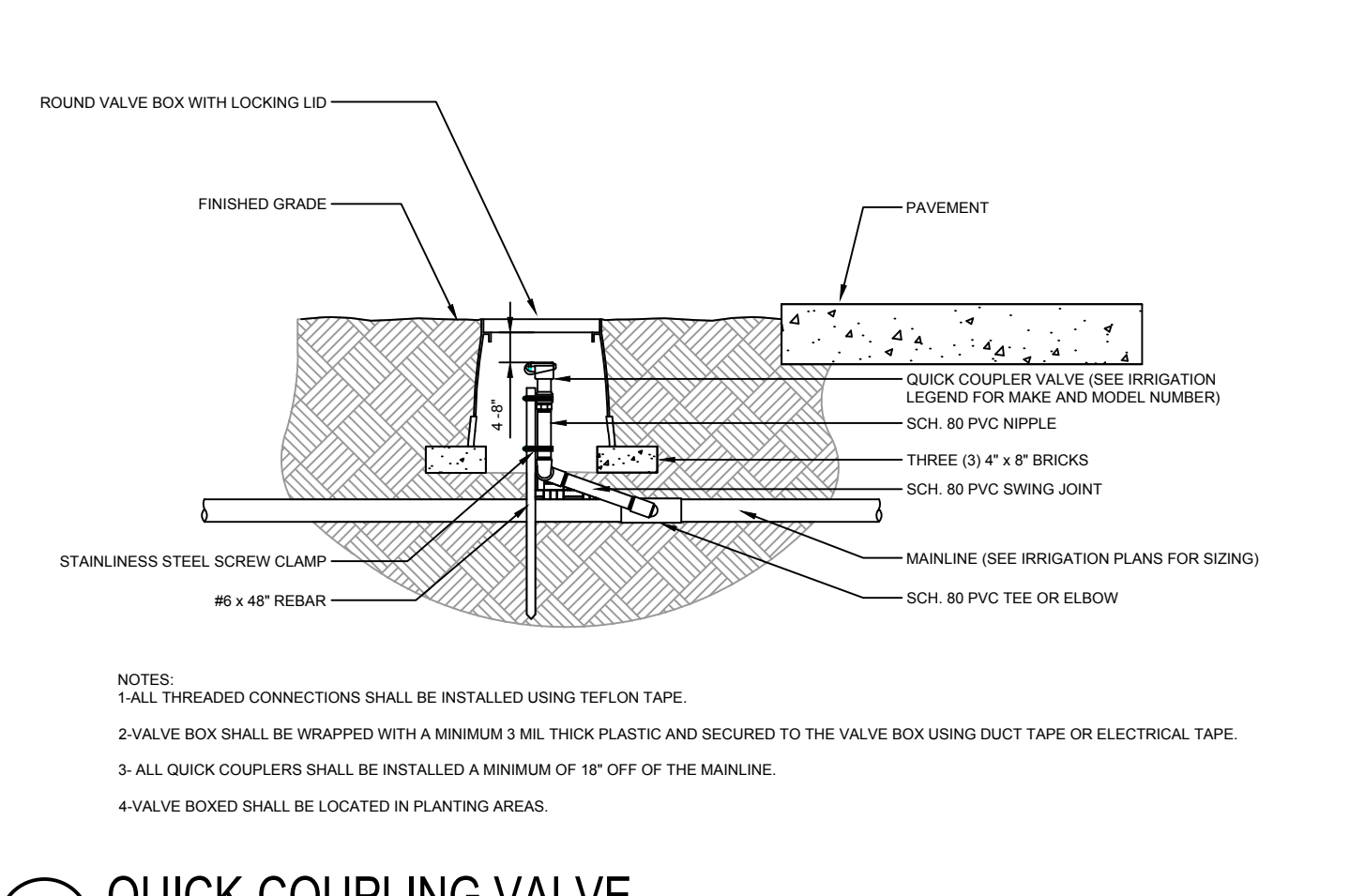
1 BACKFLOW PREVENTER SCALE: NONE



2 IRRIGATION CONTROLLER SCALE: NONE



3 CONTROL VALVE SCALE: NONE



4 QUICK-COUPLING VALVE SCALE: NONE

THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

www.ensigneng.com

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL
OFFICE BUILDING
10509 S RIVER HEIGHTS DR
SOUTH JORDAN, UTAH

City Engineer
City of South Jordan
Approved 05/30/2023
B. J. Kline City Engineer

NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

LANDSCAPE AND IRRIGATION DETAILS

PROJECT NUMBER 11820 PRINT DATE 5/11/23
DRAWN BY CHECKED BY
PROJECT MANAGER

L-300

1

2

3

4

5

6



7585 S UNION PARK AVE., STE 100
SANDY, UT 84071
PHONE: 801.990.3646
www.buildwithmint.com



RIVER HEIGHTS DRIVE OFFICE
10509 RIVER HEIGHTS DRIVE, SOUTH JORDAN UTAH 84095

6/6/22

EXTERIOR
RENDERINGS

SHEET

NOT FOR CONSTRUCTION

A100



OWNER APPROVAL

SIGNATURE

DATE

This drawing, as an instrument of professional service, is the property of MINT ARCHITECTURE L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of MINT ARCHITECTURE L.C. Unauthorized use will be prosecuted to the fullest extent of the law. Copyright © 2020 by MINT ARCHITECTURE L.C.

M:\River Heights Drive Office\Drawings\Architectural\River Heights Drive Office.rvt

PRINTED AT 6/6/2022 4:16:24 PM

1

2

3

4

5

6



7585 S UNION PARK AVE., STE 100
SANDY, UT 84071
PHONE: 801.990.3646
www.buildwithmint.com



RIVER HEIGHTS DRIVE OFFICE
10509 RIVER HEIGHTS DRIVE, SOUTH JORDAN UTAH 84095

6/6/22

EXTERIOR
RENDERINGS

SHEET

A101

NOT FOR CONSTRUCTION

OWNER APPROVAL

SIGNATURE

DATE

This drawing, as an instrument of professional service, is the property of MINT ARCHITECTURE L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of MINT ARCHITECTURE L.C. Unauthorized use will be prosecuted to the fullest extent of the law. Copyright © 2020 by MINT ARCHITECTURE L.C.



M:\River Heights Drive Office\Drawings\Architectural\River Heights Drive Office.rvt

PRINTED AT 6/6/2022 4:16:24 PM

1

2

3

4

5

6



7585 S UNION PARK AVE., STE 100
SANDY, UT 84047
PHONE: 801.990.3646
www.buildwithmint.com



RIVER HEIGHTS DRIVE OFFICE
10509 RIVER HEIGHTS DRIVE, SOUTH JORDAN UTAH 84095

6/6/22

ARCHITECTURAL SITE
PLAN

SHEET

A102

NOT FOR CONSTRUCTION

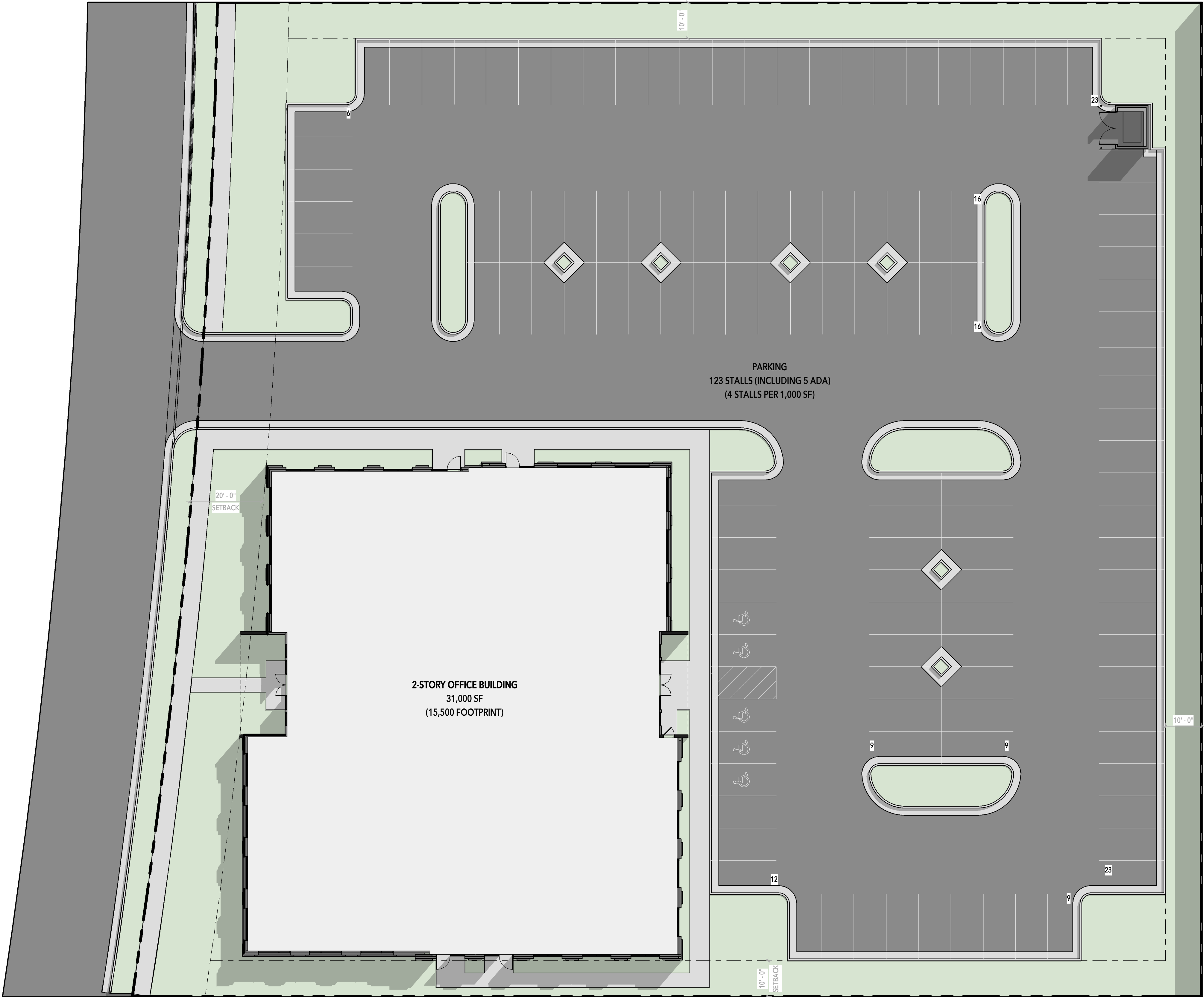
OWNER APPROVAL

SIGNATURE

DATE

This drawing, as an instrument of professional service, is the property of MINT ARCHITECTURE L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of MINT ARCHITECTURE L.C. Unauthorized use will be prosecuted to the fullest extent of the law. Copyright © 2020 by MINT ARCHITECTURE L.C.

1
A102
CONCEPTUAL SITE PLAN
1/16" = 1'-0"



1

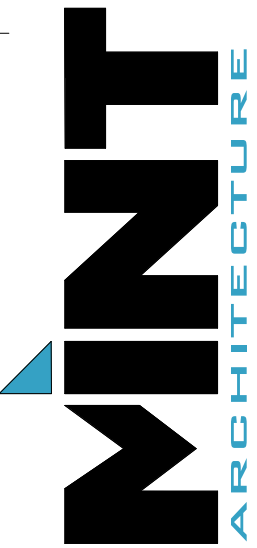
2

3

4

5

6



7585 S UNION PARK AVE., STE 100
SANDY, UT 84071
PHONE: 801.990.3666
www.buildwithmint.com



RIVER HEIGHTS DRIVE OFFICE
10509 RIVER HEIGHTS DRIVE, SOUTH JORDAN UTAH 84095

6/6/22

LEVEL 1 FLOOR PLAN

SHEET

A103

NOT FOR CONSTRUCTION

OWNER APPROVAL

SIGNATURE

DATE

This drawing, as an instrument of professional service, is the property of MINT ARCHITECTURE L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of MINT ARCHITECTURE L.C. Unauthorized use will be prosecuted to the fullest extent of the law. Copyright © 2020 by MINT ARCHITECTURE L.C.

D

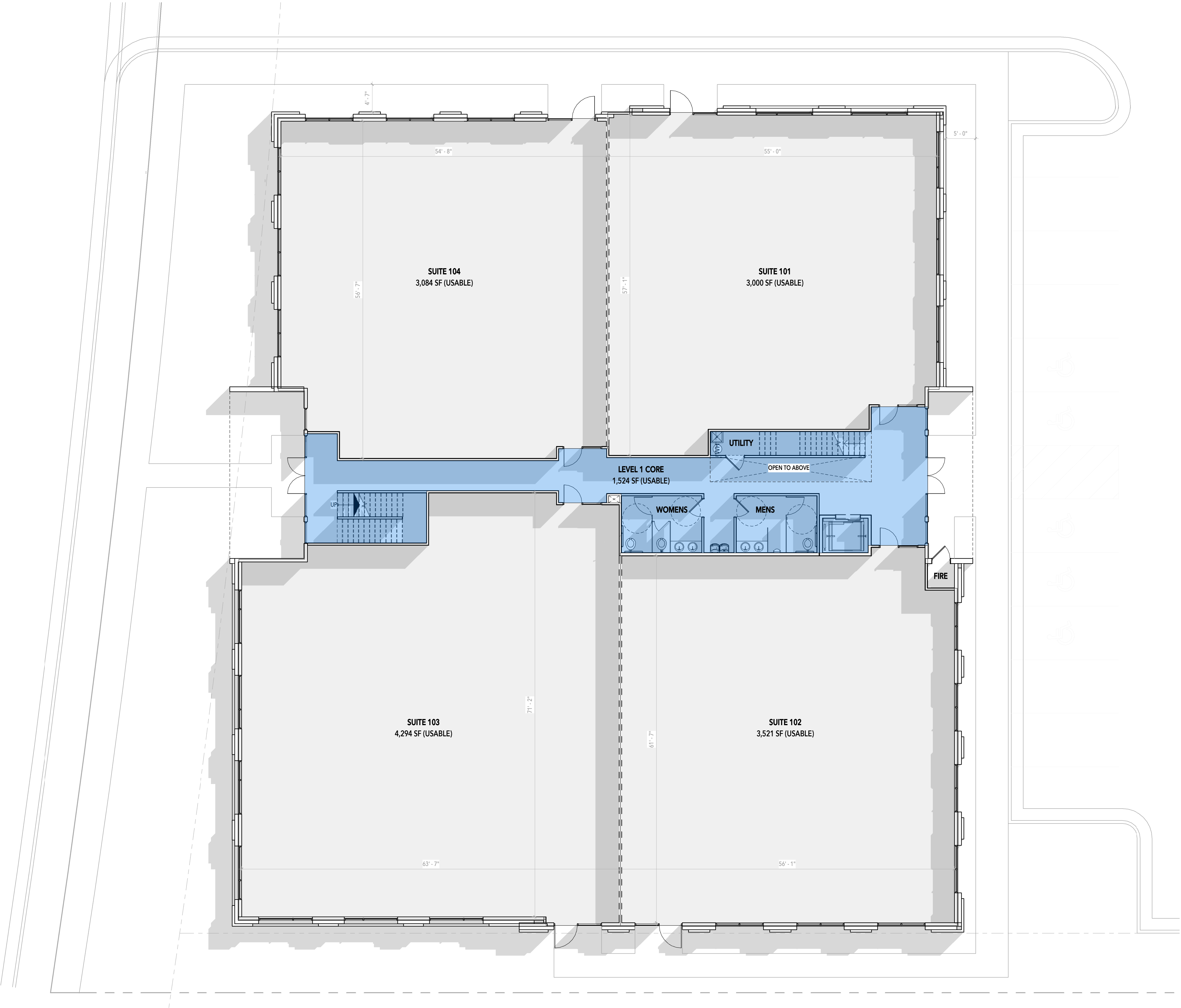
C

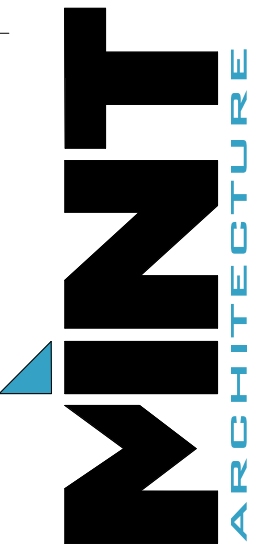
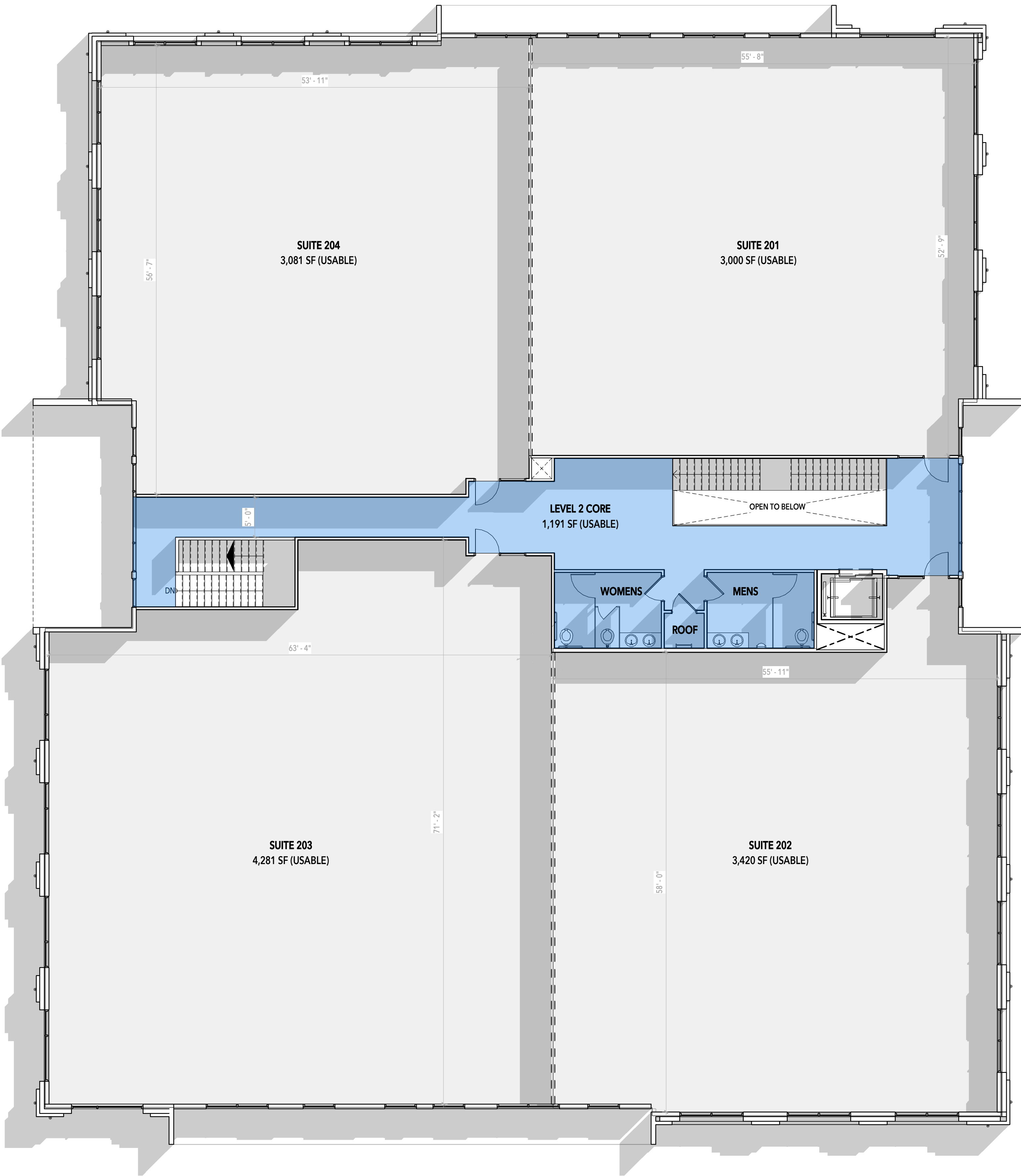
B

A

M:\River Heights Drive Office\Drawings\Architectural\River Heights Drive Office.rvt

PRINTED AT 6/6/2022 4:16:26 PM





7585 S UNION PARK AVE., STE 100
SANDY, UT 84071
PHONE: 801.990.3666
www.buildwithmint.com



RIVER HEIGHTS DRIVE OFFICE
10509 RIVER HEIGHTS DRIVE, SOUTH JORDAN UTAH 84095

6/6/22

LEVEL 2 FLOOR PLAN

SHEET

NOT FOR CONSTRUCTION

1 X LEVEL 2 FLOOR PLAN
A104 1/8" = 1'-0"

OWNER APPROVAL SIGNATURE DATE

This drawing, as an instrument of professional service, is the property of MINT ARCHITECTURE L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of MINT ARCHITECTURE L.C. Unauthorized use will be prosecuted to the fullest extent of the law. Copyright © 2020 by MINT ARCHITECTURE L.C.

1

2

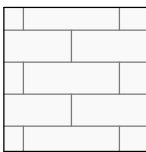

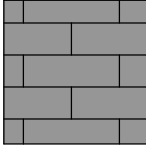


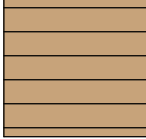
3

4

5

6

EXTERIOR MATERIAL LEGEND

	BRICK FULL BED & THIN BRICK WITH SOLDIER COURSE DETAILS. COLOR WHITE.
	STUCCO GRAY STUCCO
	BRICK FULL BED & THIN BRICK WITH SOLDIER COURSE DETAILS. COLOR BLACK.
	STUCCO GRAY STUCCO
	METAL SIDING BLACK FLAT METAL SIDING
	WOOD GRAINED SIDING TONGUE & GROOVE WOOD GRAINED SIDING

6/6/22

EXTERIOR
ELEVATIONS

SHEET

A105

NOT FOR CONSTRUCTION

OWNER APPROVAL

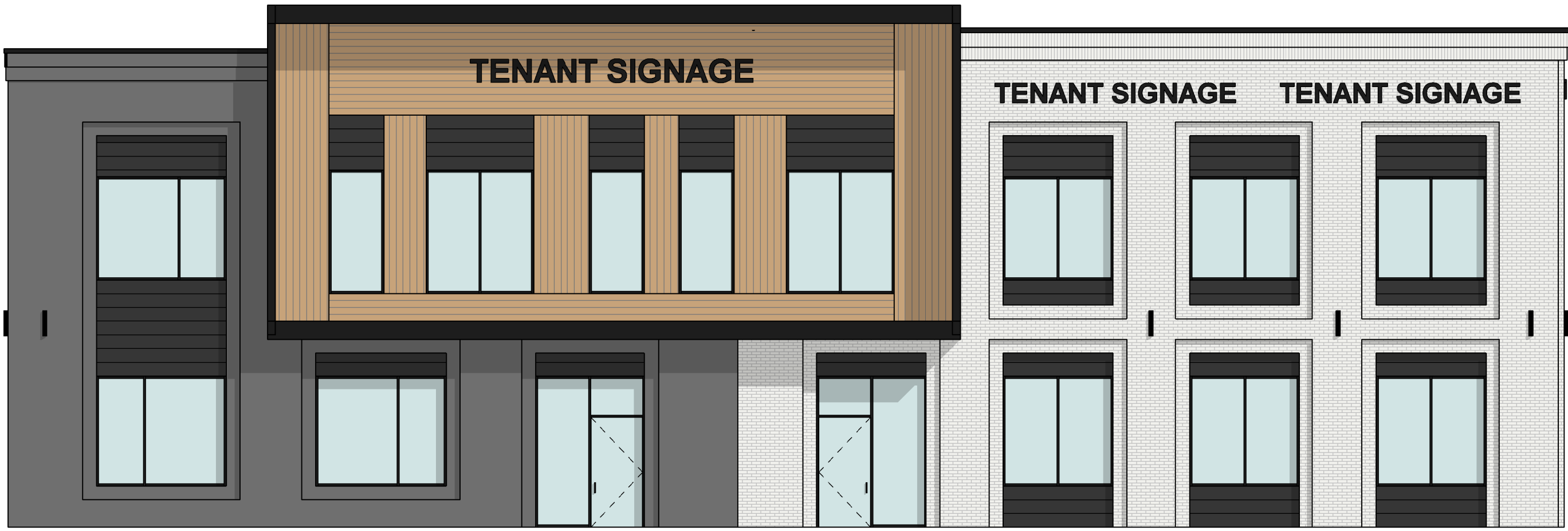
SIGNATURE

DATE

This drawing, as an instrument of professional service, is the property of MINT ARCHITECTURE L.C. and shall not be used, in whole or part, for any other project without the written permission of an authorized representative of MINT ARCHITECTURE L.C. Unauthorized use will be prosecuted to the fullest extent of the law. Copyright © 2020 by MINT ARCHITECTURE L.C.



1 WEST ELEVATION (STREET)
A105 1/8" = 1'-0"



2 NORTH ELEVATION
A105 1/8" = 1'-0"



3 SOUTH ELEVATION
A105 1/8" = 1'-0"



4 EAST ELEVATION (PARKING)
A105 1/8" = 1'-0"

OWNER'S AFFIDAVIT

This Owner's Affidavit (this "Affidavit") is made by Soto Professional Offices, LLC (the "Owner") who is the legal and right property owner(s) of the following parcel(s): 2717278027000 (the "Property").

The Owner acknowledges that Lizmary Olson (the "Representative") is authorized to represent Owner's interests in the Property for the following purposes (check all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Rezone the Property | <input type="checkbox"/> Variance Request |
| <input type="checkbox"/> Change Property's Future Land Use designation | <input type="checkbox"/> Accessory Dwelling Unit |
| <input type="checkbox"/> Development Agreement | <input type="checkbox"/> Reasonable Accommodation Request |
| <input type="checkbox"/> Subdivision or Subdivision Amendment | <input type="checkbox"/> Other: _____ |
| <input checked="" type="checkbox"/> Site Plan (may include a minor site plan or site plan amendment) | _____ |
| <input type="checkbox"/> Small Residential Development | _____ |
| <input type="checkbox"/> Conditional Use Permit | _____ |

The Owner understands that this authorization allows the Representative to submit applications to the City of South Jordan for the above-checked purposes.

OWNER SIGNATURE

G. Lind Johnson

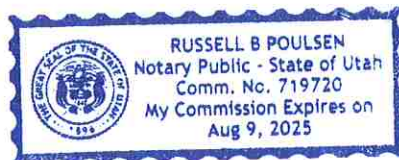
OWNER SIGNATURE

State of Utah)

County of SALT LAKE)

On the 21st day of FEBRUARY, 2023, personally appeared before me GREGG CHARLES JOHNSON, the signer of the above instrument, who duly subscribed and swore before me that he executed the same.

[Signature]
Notary Public



(seal)