

SOUTH JORDAN CITY PLANNING COMMISSION

STAFF REPORT

MEETING DATE: SEPTEMBER 9, 2025

FILE OVERVIEW

Item Name	Mimi's Cottage Conditional Use Permit
Address	2306 W Old Rosebud Ln
File Number	PLCUP202500140
Applicant	Chris Kotrodimos
Property Owner	Robert L Pikus; Regina G Pikus
Staff Author	Miguel Aguilera

PROPERTY OVERVIEW

Acreage	1.00 Acres		
Recorded Subdivision	Triple Crown Estates		
Current Zone	R-1.8 (Single-family Residential)		
Current Land Use	SN (Stable Neighborhood)		
Neighboring Properties	<i>Zone</i>		<i>Land Use</i>
	<i>North</i>	R-1.8	SN
	<i>East</i>	R-1.8	SN
	<i>South</i>	R-1.8	SN
	<i>West</i>	R-1.8	SN

ITEM SUMMARY

The applicant is requesting the Planning Commission approve a Conditional Use Permit (CUP) for a proposed detached garage and guesthouse. The CUP is specific for the allowance for second story windows. Staff is recommending approval of the application.



TIMELINE

- **July 10, 2025**, the applicant submitted a complete CUP application to Staff for review. The application was revised a total of 2 times to address all staff comments. The application was reviewed by the following departments:
 - Planning: Staff reviewed the application and worked with the applicant to revise the site plan to conform to applicable city regulations. Resubmitted materials addressed staff comments.

REPORT ANALYSIS

Application Summary: The property owner is in the process of obtaining permits for the new detached structure. It will be a two-story building with a garage at ground level and an accessory dwelling unit at the second level. For now, the owner will continue with the building and ADU permit processes without the windows and will only be installed should the CUP be granted.

The building will be located 12 feet from the nearest property line to the west. The owner would like to install seven windows on the second story of the west façade to allow natural lighting into the loft and hallway. City code 17.40.020.13c states that “Any portion of an accessory building within twenty feet (20') of a property line shall meet the following requirements, except as approved by the Planning Commission as a conditional use permit: Openings (e.g., windows and doors) that are visible from the property line shall not be located in an exterior wall when the floor height exceeds four feet (4') above grade”.

The applicant has indicated the owner will mitigate any potential detrimental effects of the proposed windows. The main detriment from these windows is the potential impact to privacy of neighboring properties. Opaque windows are a solution to this and the owner is willing to make these changes for approval of the windows. She has indicated that of the 7 proposed second story windows, she is willing to make four of them opaque. She would like the remaining three windows on the northern end of the west façade to remain normal glass so that a loft will have visibility to the outside.

FINDINGS AND RECOMMENDATION

Findings:

- The property owner has indicated the need for natural light on the second story of the structure.
- The property owner has indicated her willingness to mitigate potential detrimental effects by making the windows opaque. The four opaque windows will light a walkway in the structure.
- The non-opaque windows will be for the second-story loft.



- The proposed building will move forward with construction and include the second story, west façade windows only if the CUP is approved.

Conclusions:

- The application is in conformance with all other minimum requirements of City Code §17.40 and §17.84.

Planning Staff Recommendation:

Staff recommends approval of the application based on the report analysis, findings, and conclusions listed above.

PLANNING COMMISSION ACTION

Required Action:

Final Decision

Scope of Decision:

This is an administrative decision to be decided by the Planning Commission.

Standard of Approval:

The Planning Commission shall approve a conditional use permit application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed conditional use in accordance with applicable standards.

The Planning Commission may deny a conditional use permit application if the reasonably anticipated detrimental effects cannot be substantially mitigated with reasonable conditions of approval to achieve compliance with applicable standards.

Motion Ready:

I move that the Planning Commission approves:

1. File PLCUP202500140: Mimi's Cottage Conditional Use Permit allowing second story window's on the proposed building's west façade, with the condition those windows be opaque or for lighting purposes only.

Alternatives:

1. Approval with conditions
2. Denial of the application.
3. Schedule the application for a decision at some future date.



SUPPORTING MATERIALS

1. Attachment A, Location Map
2. Attachment B, Zoning Map
3. Attachment C, Site Plan
4. Attachment D, Building Elevations



LOCATION MAP

Mimi's Cottage
South Jordan City

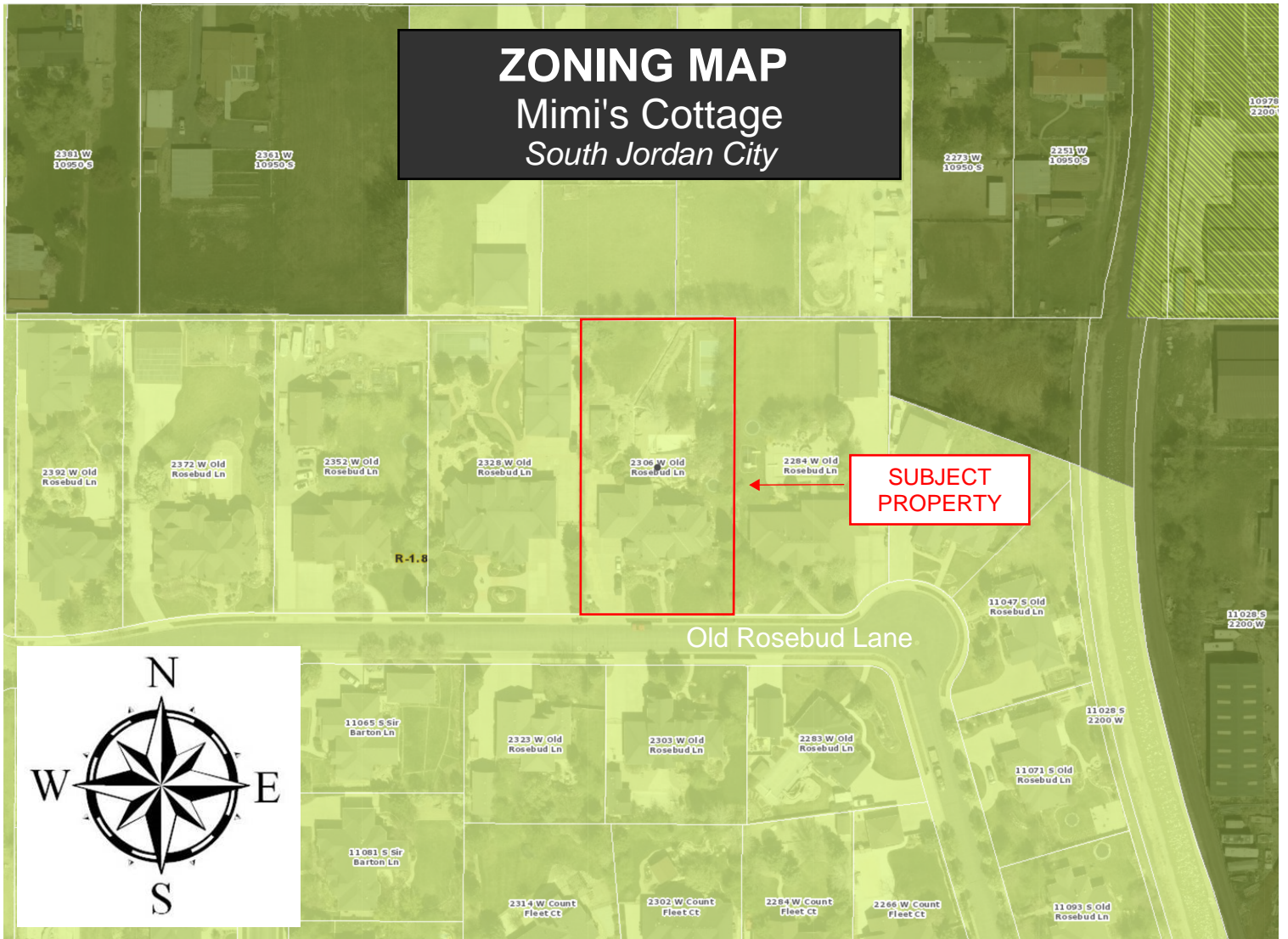
SUBJECT
PROPERTY



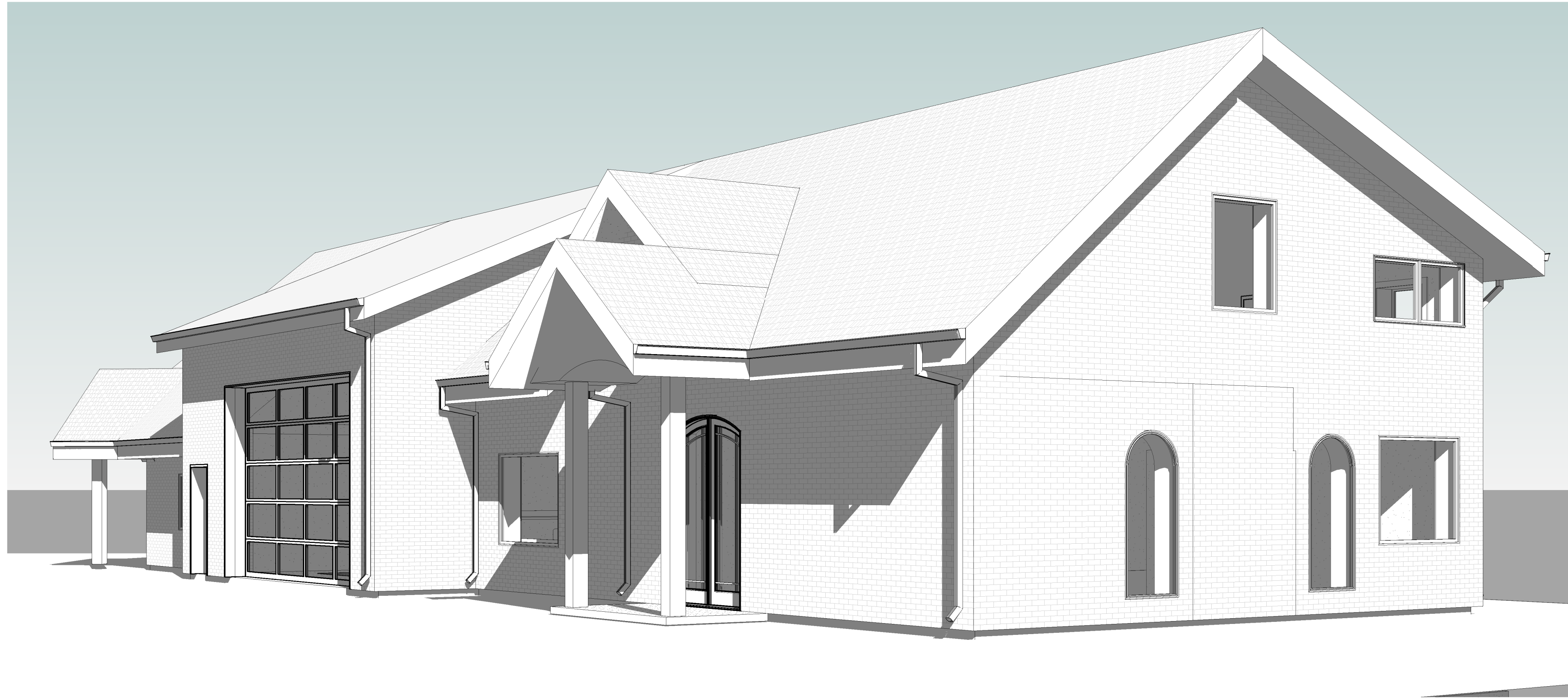
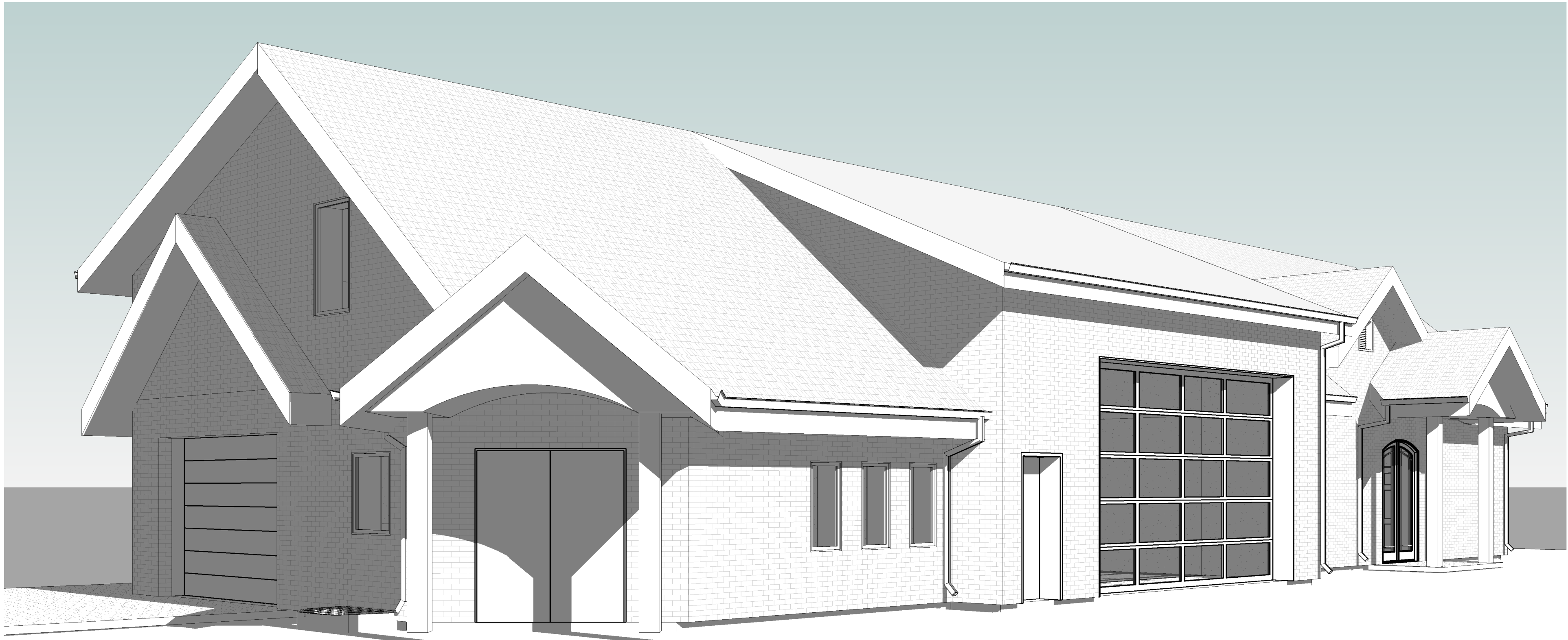
ZONING MAP

Mimi's Cottage

South Jordan City



MIMI'S COTTAGE (APARTMENT & POOL HOUSE)
2306 W OLD ROSEBUD LANE
SOUTH JORDAN, UTAH 84095



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SHEET NUMBER KEY

PHASE
↓
DISCIPLINE
↓
TYPE
↓
SEQUENCE IN TYPE
A-A2.1

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IMPLEMENTATION

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Designed by:	Submitted:	REV:	Appr.
JTP	28 APR 2025		
Drawn by:	File:	Date	
CJK			
Reviewed by:	Scale:	Description	
JTP	1 1/2" = 1'-0"		
Submitted by:	Project Number:	Rev.	
JTP	24034		

MIMI'S COTTAGE
POOL HOUSE & APARTMENT
2306 W Old Rosebud Ln
South Jordan, UT 84095

COVER SHEET

SHEET NUMBER
G0.1

D

C

B

A

D

- C

B

A

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Designed by:	Submitted:	REV:
JTP	28 APR 2025	
Drawn by:	File:	
CJK		
Reviewed by:	Scale:	
JTP	1 : 1	
Submitted by:	Project Number:	

GENERAL NOTES, SYMBOLS, ABBREVIATIONS

PLOT DATE: 4/29/2025 3:43:03 PM

D

C

B

A

1

2

3

4

5



1 SITE PLAN
1" = 20'-0"

SITE PLAN GENERAL NOTES

1. ASSURE EXISTING GRADE ALLOWS SURFACE WATER TO DRAIN AWAY FROM HOUSE AT ALL POINTS. ASSURE DRAINAGE WATER IS DIRECTED TOWARD THE STREET OR TO AN APPROVED DRAINAGE COURSE, DO NOT DRAIN ON NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

KEYED NOTES

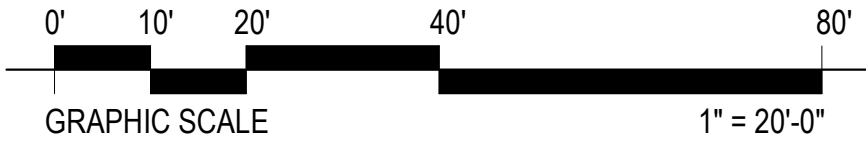
- 03.26 4" CONCRETE FLOOR SLAB (INTERIOR, CONDITIONED SPACES) OVER A 6-MIL (0.006 INCH; 152 M) POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES (152 MM) SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR THE PREPARED SUBGRADE WHERE NO BASE COURSE EXISTS (R506.2.3) OVER A 4-INCH-THICK (102 MM) BASE COURSE CONSISTING OF CLEAN GRADED SAND, GRAVEL, CRUSHED STONE OR CRUSHED BLAST-FURNACE SLAG (R506.2.2 BASE)
- 23.01 AIR CONDITIONING CONDENSER
- 26.10 75KW GENERATOR LOCATION
- 32.04 8'-0" WIDE DOUBLE LOCKABLE GATE

SITE PLAN LEGEND

- NEW CONSTRUCTION
- NEW CONCRETE
- EXISTING CONCRETE

LINE TYPE LEGEND

- PROPERTY LINE
- EASEMENT
- SETBACK
- ROAD



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RECORDING
PURPOSES OR
IMPLEMENTATION

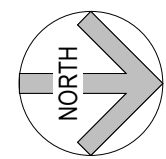
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**MIMI'S COTTAGE
POOL HOUSE & APARTMENT
2306 W Old Rosebud Ln
South Jordan, UT 84095**

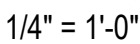
SITE PLAN

SHEET NUMBER
A0.1


$$1/4^m = 1'-0''$$

03.18	FRAMED THEATRE TIERS, CONTRACTOR TO CONSULT WITH OWNER
03.04	PROVIDE BLOCK OUT FOR CONCRETE FOR DOOR OPENING TO BE UP TO 7-FT
03.18	FOOTING AND FOUNDATION, SEE STRUCTURAL
03.26	4" CONCRETE FLOOR SLAB (INTERIOR, CONDITIONED SPACES) OVER A 6-MIL (0.006 INCH; 152 M) POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES (152 MM) SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR THE PREPARED SUBGRADE WHERE NO BASE COURSE EXISTS (R506.2.3) OVER A 4-INCH-THICK (102 MM) BASE COURSE CONSISTING OF CLEAN GRADED SAND, GRAVEL, CRUSHED STONE OR CRUSHED BLAST-FURNACE SLAG (R506.2.2 BASE)
05.02	GUARDS - GUARDS SHALL BE SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. GUARDS SHALL NOT HAVE OPENING THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT. THE TRIANGULAR OPENING AT THE OPEN SIDE OF A STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW THE PASSAGE OF A SPHERE 6 INCHES IN DIAMETER. (IBC SECTION 1015)
06.08	MAXIMUM RISER HEIGHT SHALL BE 8 INCHES, RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS (R311.7.5.1), MINIMUM TREAD DEPTH SHALL BE 9 INCHES, TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT RIGHT ANGLE TO TREAD'S LEADING EDGE (R311.7.5.2)
10.02	SOUND ATTENUATION INSULATION IN WALL SURROUNDING BATHROOM AND MECHANICAL ROOM
09.11	TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBERED-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO LONGER ALLOWED. SHOWERS SHALL BE FINISHED TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR. MATERIALS SHALL BE NON-ABSORBENT
10.02	9 SF WINDOW WELL MINIMUM EXTENDING A MINIMUM OF 36" FROM WINDOW WITH PERMANENTLY AFFIXED EGRESS LADDER
11.03	REFRIGERATOR
11.07	MICROWAVE
12.03	COUNTERTOPS, CONTRACTOR TO CONSULT WITH OWNER
12.02	TOILET - 1.28 GALLONS PER FLUSH MAX
22.08	NEW 50-GALLON WATER HEATER, WITH EXPANSION TANK, METAL PAN SHALL BE UNDER THE WATER HEATER
22.11	KITCHEN SINK, CONTRACTOR TO CONSULT WITH OWNER
22.13	BATH TUB/SHOWER COMBO
22.14	PEDESTAL SINK, CONTRACTOR TO CONSULT WITH OWNER
23.04	FURNACE

1. ALL DIMENSIONS ARE TO FACE OF STUD IN NEW CONSTRUCTION
2. ALL FLOOR FINISH CHANGES OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION, UNLESS NOTED OTHERWISE.
3. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS WILL BE 2 x 4 STUDS @ 16" O.C., PROVIDE FIRE BLOCKING AT SPACES OVER 10'-0".
4. ALL FASTENERS INSTALLED INTO PRESERVATIVE TREATED WOOD ARE TO BE ZINC COATED OR TREATED (IBC 2304.10.6.1).
5. FIRE-BLOCKING MATERIAL SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, AND IN CONCEALED SPACES BETWEEN STAIR STRINGERS (R302.11).
6. ALL INTERIOR WALLS AND CEILINGS TO BE FINISHED WITH 1/2" STANDARD GYPSUM BOARD, WITH SMOOTH FINISH AND ROUND CORNERS
7. BACKFILL IS NOT TO BE PLACED ADJACENT TO BASEMENT WALLS UNTIL BRACING IS IN PLACE (R404.1.7).
8. TEMPERATURE LIMITING DEVICES ARE REQUIRED FOR BATHTUBS AND SHOWERS AND SHALL BE SET AT 120 DEGREES F MAXIMUM (P2708.3 AND 2713.1)
9. PLUMBING SUBCONTRACTOR TO VERIFY PRIMARY WATER SHUTOFF LOCATION BEFORE INSTALLATION CONTRACTOR TO PLAN FOR TWO SHUTOFF VALVES FOR BUILDING.

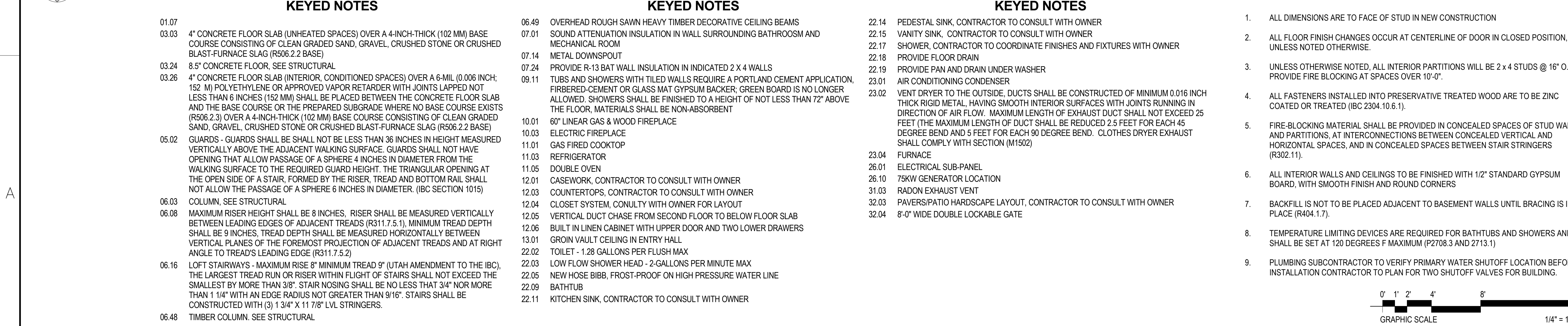


JTP	28 APR 2025
Drawn by: CJK	File:
Reviewed by: JTP	Scale: As indicated
Submitted by: JTP	Project Number: 24034

BASEMENT PLAN

SHEET NUMBER

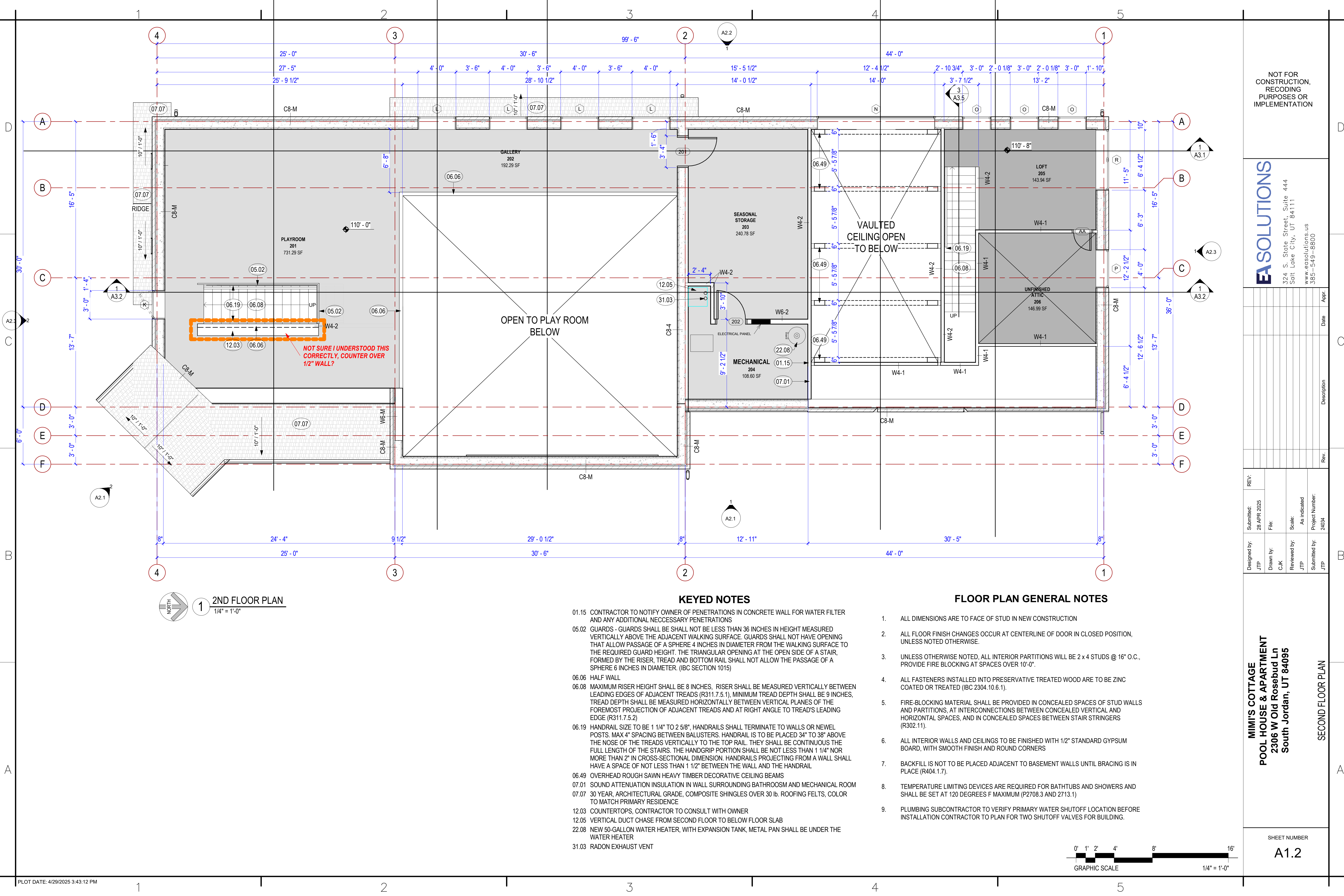
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FIRST FLOOR PLAN

A



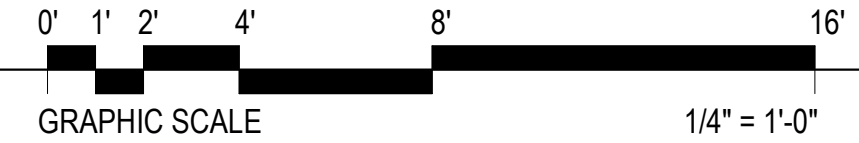
1 2ND FLOOR PLAN
1/4" = 1'-0"

KEYED NOTES

- 01.15 CONTRACTOR TO NOTIFY OWNER OF PENETRATIONS IN CONCRETE WALL FOR WATER FILTER AND ANY ADDITIONAL NECESSARY PENETRATIONS
- 05.02 GUARDS - GUARDS SHALL BE SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. GUARDS SHALL NOT HAVE OPENING THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT. THE TRIANGULAR OPENING AT THE OPEN SIDE OF A STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW THE PASSAGE OF A SPHERE 6 INCHES IN DIAMETER. (IBC SECTION 1015)
- 06.06 HALF WALL
- 06.08 MAXIMUM RISER HEIGHT SHALL BE 8 INCHES, RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF ADJACENT TREADS (R311.7.5.1), MINIMUM TREAD DEPTH SHALL BE 9 INCHES, TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT RIGHT ANGLE TO TREAD'S LEADING EDGE (R311.7.5.2)
- 06.19 HANDRAIL SIZE TO BE 1 1/4" TO 2 5/8", HANDRAILS SHALL TERMINATE TO WALLS OR NEWEL POSTS. MAX 4" SPACING BETWEEN BALUSTERS. HANDRAIL IS TO BE PLACED 34" TO 38" ABOVE THE NOSE OF THE TREADS VERTICALLY TO THE TOP RAIL. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE HANDGRIP PORTION SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL
- 06.49 OVERHEAD ROUGH SAWN HEAVY TIMBER DECORATIVE CEILING BEAMS
- 07.01 SOUND ATTENUATION INSULATION IN WALL SURROUNDING BATHROOM AND MECHANICAL ROOM
- 07.07 30 YEAR, ARCHITECTURAL GRADE, COMPOSITE SHINGLES OVER 30 lb. ROOFING FELTS, COLOR TO MATCH PRIMARY RESIDENCE
- 12.03 COUNTERTOPS, CONTRACTOR TO CONSULT WITH OWNER
- 12.05 VERTICAL DUCT CHASE FROM SECOND FLOOR TO BELOW FLOOR SLAB
- 22.08 NEW 50-GALLON WATER HEATER, WITH EXPANSION TANK, METAL PAN SHALL BE UNDER THE WATER HEATER
- 31.03 RADON EXHAUST VENT

FLOOR PLAN GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF STUD IN NEW CONSTRUCTION
- 2. ALL FLOOR FINISH CHANGES OCCUR AT CENTERLINE OF DOOR IN CLOSED POSITION, UNLESS NOTED OTHERWISE.
- 3. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS WILL BE 2 x 4 STUDS @ 16" O.C., PROVIDE FIRE BLOCKING AT SPACES OVER 10'-0".
- 4. ALL FASTENERS INSTALLED INTO PRESERVATIVE TREATED WOOD ARE TO BE ZINC COATED OR TREATED (IBC 2304.10.6.1).
- 5. FIRE-BLOCKING MATERIAL SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, AND IN CONCEALED SPACES BETWEEN STAIR STRINGERS (R302.11).
- 6. ALL INTERIOR WALLS AND CEILINGS TO BE FINISHED WITH 1/2" STANDARD GYPSUM BOARD, WITH SMOOTH FINISH AND ROUND CORNERS
- 7. BACKFILL IS NOT TO BE PLACED ADJACENT TO BASEMENT WALLS UNTIL BRACING IS IN PLACE (R404.1.7).
- 8. TEMPERATURE LIMITING DEVICES ARE REQUIRED FOR BATHTUBS AND SHOWERS AND SHALL BE SET AT 120 DEGREES F MAXIMUM (P2708.3 AND 2713.1)
- 9. PLUMBING SUBCONTRACTOR TO VERIFY PRIMARY WATER SHUTOFF LOCATION BEFORE INSTALLATION CONTRACTOR TO PLAN FOR TWO SHUTOFF VALVES FOR BUILDING.



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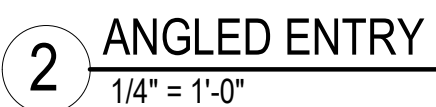
Designed by:	Submitted:	REV:	File:	Scale:	Project Number:
JTP	29 APR 2025			As Indicated	24034
Drawn by:					
CJK					
Reviewed by:					
JTP					
Submitted by:					
JTP					

MIMI'S COTTAGE
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SECOND FLOOR PLAN

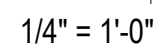
SHEET NUMBER

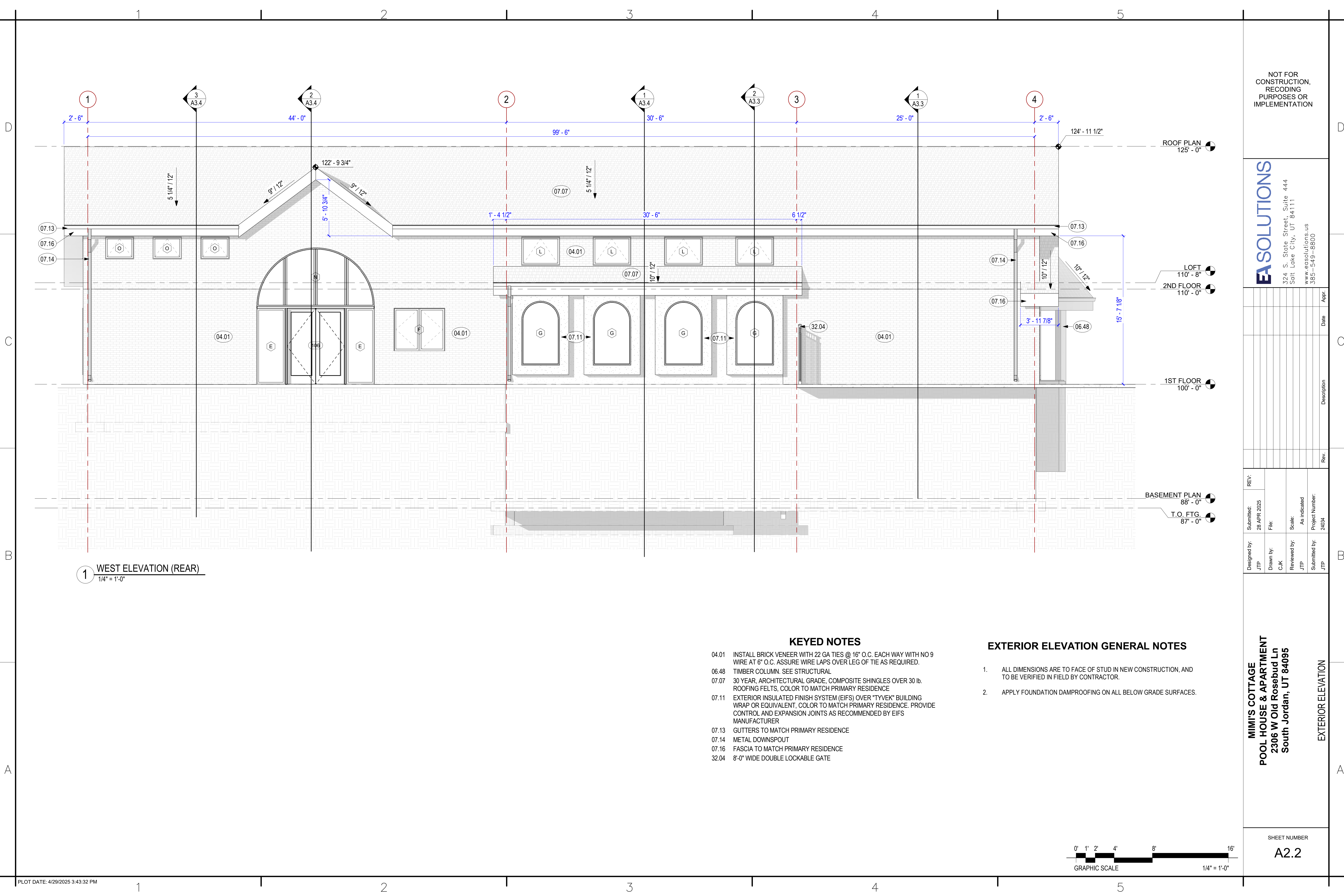
A1.2



01.11	CONTRACTOR TO CONSULT WITH OWNER ON RADIUS OF SOFFIT
04.01	INSTALL BRICK VENEER WITH 22 GA TIES @ 16" O.C. EACH WAY WITH NO 9 WIRE AT 6" O.C. ASSURE WIRE LAPS OVER LEG OF TIE AS REQUIRED.
06.48	TIMBER COLUMN. SEE STRUCTURAL
07.07	30 YEAR, ARCHITECTURAL GRADE, COMPOSITE SHINGLES OVER 30 lb. ROOFING FELTS, COLOR TO MATCH PRIMARY RESIDENCE
07.11	EXTERIOR INSULATED FINISH SYSTEM (EIFS) OVER "TYVEK" BUILDING WRAP OR EQUIVALENT, COLOR TO MATCH PRIMARY RESIDENCE. PROVIDE CONTROL AND EXPANSION JOINTS AS RECOMMENDED BY EIFS MANUFACTURER
07.12	SOFFIT
07.13	GUTTERS TO MATCH PRIMARY RESIDENCE
07.14	METAL DOWNSPOUT
07.16	FASCIA TO MATCH PRIMARY RESIDENCE
08.02	CONTRACTOR TO CONSULT WITH OWNER ON ARCHED DOOR, CIRVE SHOWN FOR REPRESENTATION ONLY, ACTUAL DOOR RADIUS AND DOOR TO BE SELECTED BY OWNER
23.05	ATTIC VENT

1. ALL DIMENSIONS ARE TO FACE OF STUD IN NEW CONSTRUCTION, AND TO BE VERIFIED IN FIELD BY CONTRACTOR.
2. APPLY FOUNDATION DAMPROOFING ON ALL BELOW GRADE SURFACES.





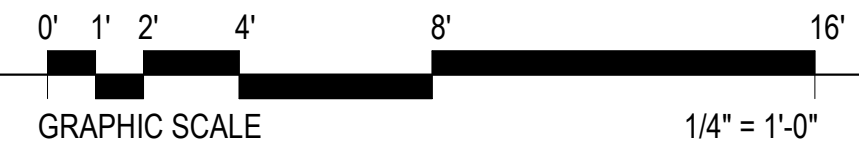
1 WEST ELEVATION (REAR)
1/4" = 1'-0"

KEYED NOTES

- 04.01 INSTALL BRICK VENEER WITH 22 GA TIES @ 16" O.C. EACH WAY WITH NO 9 WIRE AT 6" O.C. ASSURE WIRE LAPS OVER LEG OF TIE AS REQUIRED.
- 06.48 TIMBER COLUMN. SEE STRUCTURAL
- 07.07 30 YEAR, ARCHITECTURAL GRADE, COMPOSITE SHINGLES OVER 30 lb. ROOFING FELTS. COLOR TO MATCH PRIMARY RESIDENCE
- 07.11 EXTERIOR INSULATED FINISH SYSTEM (EIFS) OVER "TYVEK" BUILDING WRAP OR EQUIVALENT, COLOR TO MATCH PRIMARY RESIDENCE. PROVIDE CONTROL AND EXPANSION JOINTS AS RECOMMENDED BY EIFS MANUFACTURER
- 07.13 GUTTERS TO MATCH PRIMARY RESIDENCE
- 07.14 METAL DOWNSPOUT
- 07.16 FASCIA TO MATCH PRIMARY RESIDENCE
- 32.04 8'-0" WIDE DOUBLE LOCKABLE GATE

EXTERIOR ELEVATION GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF STUD IN NEW CONSTRUCTION, AND TO BE VERIFIED IN FIELD BY CONTRACTOR.
- 2. APPLY FOUNDATION DAMPROOFING ON ALL BELOW GRADE SURFACES.



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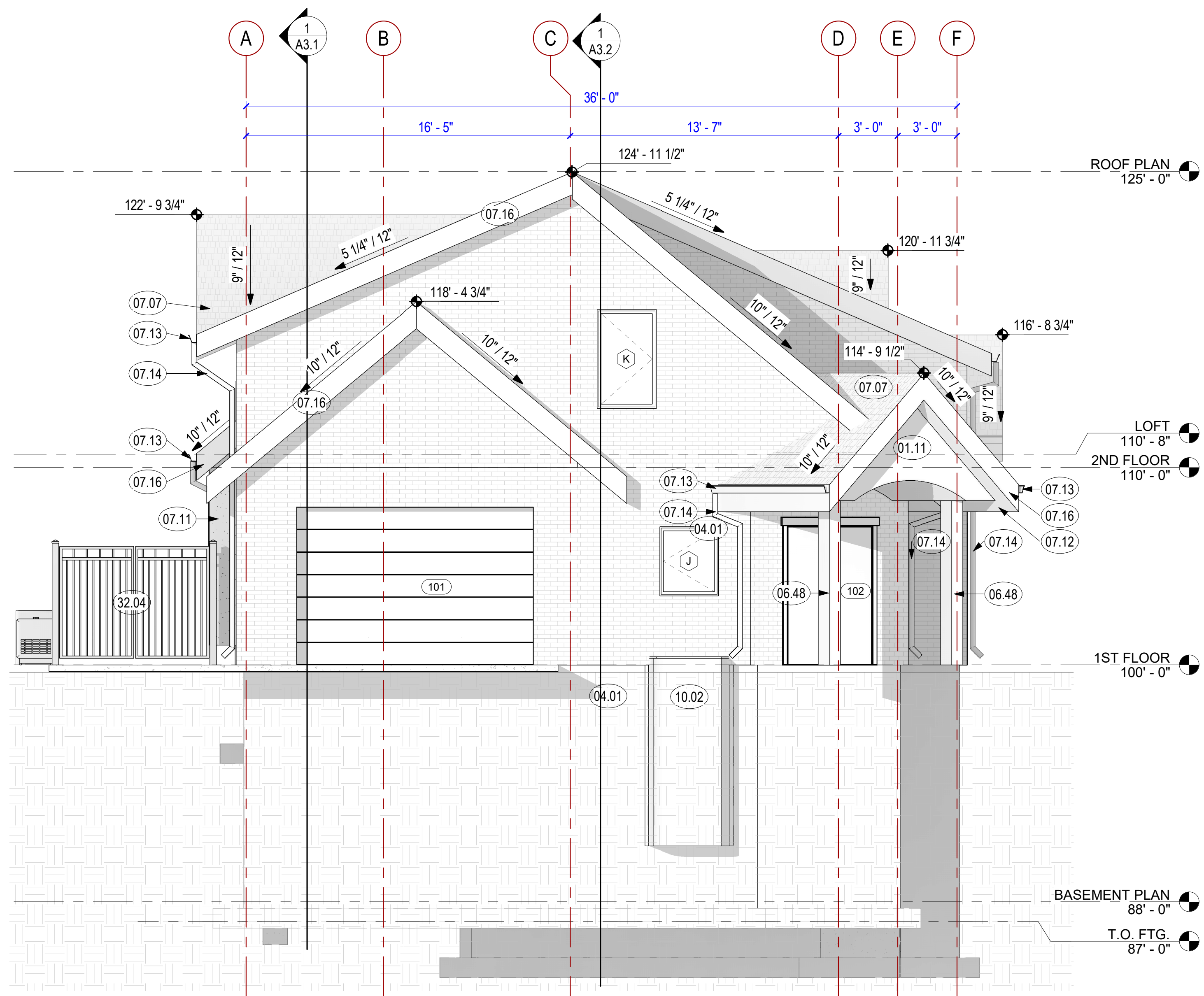
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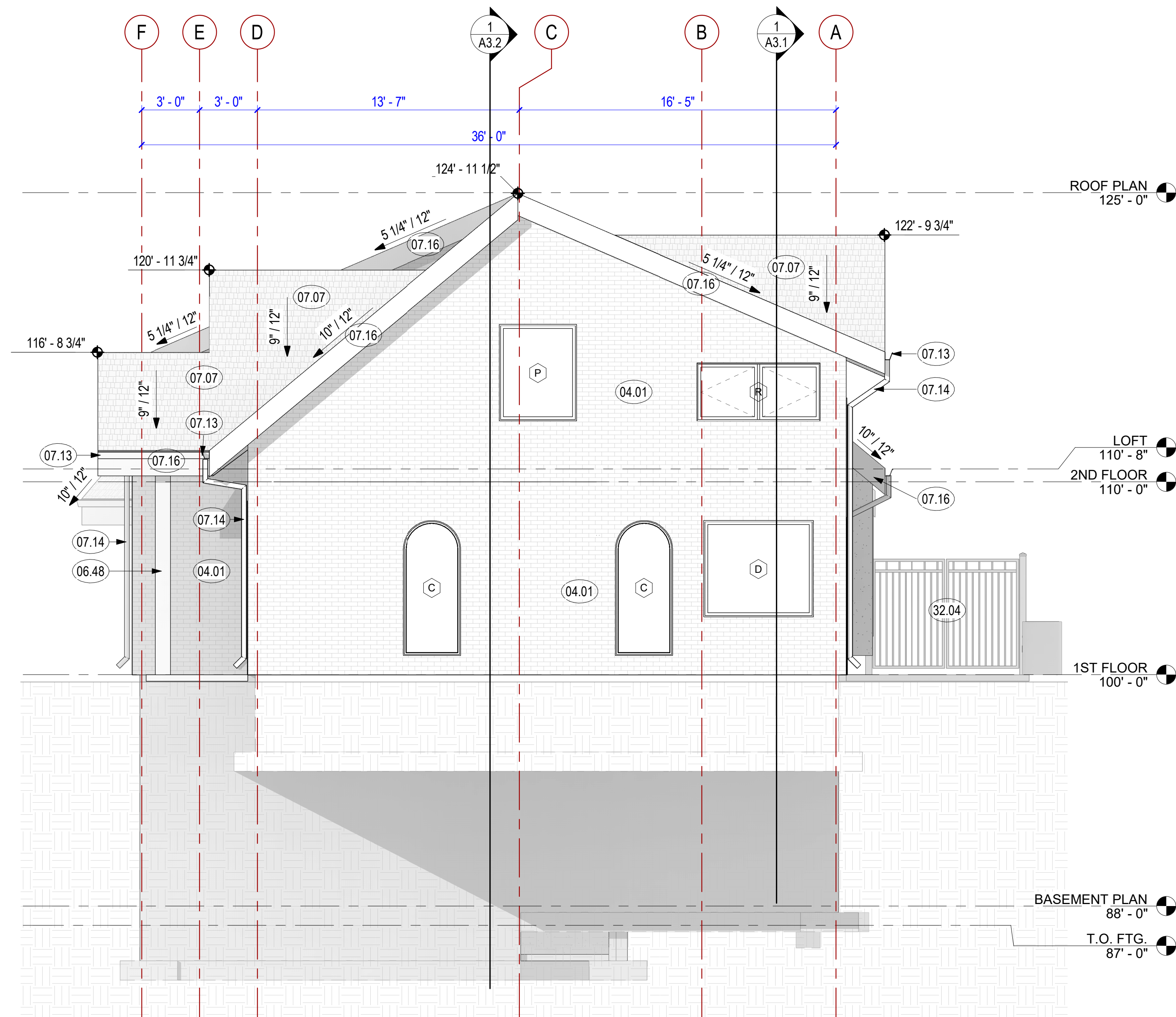
MIMI'S COTTAGE
POOL HOUSE & APARTMENT
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EXTERIOR ELEVATION

SHEET NUMBER
A2.2



2 SOUTH ELEVATION (LEFT)
1/4" = 1'-0"



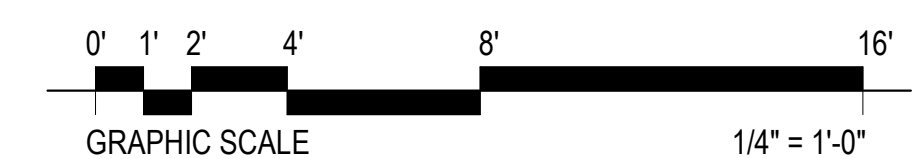
1 NORTH ELEVATION (RIGHT)
1/4" = 1'-0"

KEYED NOTES

- | | |
|-------|--|
| 01.11 | CONTRACTOR TO CONSULT WITH OWNER ON RADIUS OF SOFFIT |
| 04.01 | INSTALL BRICK VENEER WITH 22 GA TIES @ 16" O.C. EACH WAY WITH NO 9 WIRE AT 8" O.C. ASSURE WIRE LAPS OVER LEG OF TIE AS REQUIRED. |
| 06.48 | TIMBER COLUMN. SEE STRUCTURAL |
| 07.07 | 30 YEAR, ARCHITECTURAL GRADE, COMPOSITE SHINGLES OVER 30 lb. ROOFING FELTS, COLOR TO MATCH PRIMARY RESIDENCE |
| 07.11 | EXTERIOR INSULATED FINISH SYSTEM (EIFS) OVER "TYVEK" BUILDING WRAP OR EQUIVALENT, COLOR TO MATCH PRIMARY RESIDENCE. PROVIDE CONTROL AND EXPANSION JOINTS AS RECOMMENDED BY EIFS MANUFACTURER |
| 07.12 | SOFFIT |
| 07.13 | GUTTERS TO MATCH PRIMARY RESIDENCE |
| 07.14 | METAL DOWNSPOUT |
| 07.16 | FASCIA TO MATCH PRIMARY RESIDENCE |
| 10.02 | 9 SF WINDOW WELL. MINIMUM EXTENDING A MINIMUM OF 36" FROM WINDOW WITH PERMANENTLY AFFIXED EGRESS LADDER |
| 32.04 | 8'-0" WIDE DOUBLE LOCKABLE AFFIXED |

EXTERIOR ELEVATION GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUD IN NEW CONSTRUCTION, AND TO BE VERIFIED IN FIELD BY CONTRACTOR.
2. APPLY FOUNDATION DAMPROOFING ON ALL BELOW GRADE SURFACES.



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RECODING
PURPOSES OR
IMPLEMENTATION

EA SOLUTIONS

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Designed by:	Submitted:	REV:				
JTP	28 APR 2025					
Drawn by:	File:					
CJK						
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Submitted by:	Project Number:					
JTP	24034	Rev.	Description	Date	Appr.	

MIMI'S COTTAGE
POOL HOUSE & APARTMENT
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EXTERIOR ELEVATIONS

HEET NUMBER

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