

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 11/12/2024

Issue: IHC HOMECARE OXYGEN “WAREHOUSE BUILDING B” SITE PLAN

Address: 11520 S. Redwood Road

File No: PLSPR202400130

Applicant: Jonathan Johnson (CoreArch)

Property Owner: Intermountain Healthcare (IHC)

Submitted by: Andrew McDonald, Planner II
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application (file# PLSPR202400130) with a requirement that the final plat for the Intermountain Homecare Office & Warehouse 1st Amendment Subdivision officially records in the Office of the Salt Lake County Recorder.

ACREAGE:	Approximately 14.8 (acres)
CURRENT ZONE:	MU-SOUTH (Mixed Use-South)
NEIGHBORING ZONES:	North – MU-SOUTH Planned Development (PD) South – MU-SGATE (Mixed Use-South Gateway) West – R-1.8 (Single Family Detached, 1.8 units per acre) East – MU-SOUTH (PD)

STANDARD OF APPROVAL:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of titles 16 & 17 of the City Code, and other city requirements, shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND:

CoreArchitecture, on behalf of IHC, has filed an application to amend the current site plan for the IHC Office Warehouse Building on the corner of Redwood Road and 11400 South. This application is being processed in conjunction with the applicant’s application to amend Lot 1 boundaries of the Intermountain Homecare Offices & Warehouse Subdivision.

The Planning Commission approved the Site Plan application for the main facility (100,523 sf²) in 2013. The Staff Report is included in the supporting materials. IHC would like to construct a secondary warehouse (9,600 ft²) to consolidate their operations. The warehouse would be accessory to the main facility. The warehouse is intended to be constructed on the longer piece that is currently vacant, and just north-west of the existing warehouse. This parcel is currently occupied by an animal hospital that is no longer in business. The old hospital building is going to remain standing/vacant, and is considered an accessory building to the main building offices on Lot 1.

The vacant parcel is being amended into Lot 1 of the Intermountain Homecare Office & Warehouse Subdivision. The oxygen warehouse will be constructed on the south half of the parcel that currently is undeveloped. The Warehouse is considered a permitted accessory use to the main facility constructed on Lot 1 in 2013. IHC will not be permitted to construct additional detached accessory buildings. Future additions to the existing facility would require a site plan amendment application.

PUBLIC NOTICE:

City Code §17.04.060.B requires public notice be provided to the owner of record for properties located within 300 feet of the subject property. City Code §17.18.040.F requires additional 300 feet notice as an impact control measure. This control measure ensures that property owners are notified of uses and projects with a greater likelihood for negative impacts on properties beyond the immediate vicinity. A copy of the required mailing notice has been included in the supporting materials. A map of the 600 feet notice recipients has also been included.

ARC MEETING:

An Architectural Review Committee (ARC) meeting is held between the applicant and the members of ARC. The purpose of ARC is to discuss the applicant's proposal with the applicant. The Committee compares the proposal to the City's overall high architectural & design standards, and those for the underlying zone. This application was scheduled for an ARC meeting on May 15, 2024. The Committee, after discussion, recommended approval of the design with changes made to the exterior relief features. The changes are reflected in the included renderings in the supporting materials.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The application meets the standards of review.
- A solid, masonry fence will be required to extend the full length of the west property line. There is an existing masonry fence on site that is being relocated for this purpose. A power junction box prevents the fence from extending all the way to the right-of-way.
- The facility will be landscaped according to City Code requirements. Landscaping plans are provided in the supporting materials. Additional landscaping will screen the residences to the west from the warehouse property as it matures (see landscaping plan).

- The subject property has irrigation easements that, with the consent of the provider, are to being relocated in time. These easements are private and will not involve the City.
- The site area has sufficient parking for the proposed warehouse use. The site plan provides roughly 91 parking stalls in addition to other stalls meant for fleet vehicles. City Code parking requirements only require 12 parking stalls be provided.
- The warehouse docks face west, and the building is setback just over 114 from the west property line and residences to the west.
- Exterior lighting plans are according to City Code requirements. The exterior lighting is motion activated. Once activated, the light will turn off after a timed countdown. The lighting plan has been included in the supporting materials.
- The warehouse is accessory to the main offices on Lot 1 that front Redwood Road.
- All building materials are high quality, durable, and low maintenance.
- The applicant has provided impact control measures to support the application. An Operations Plan, Rehabilitation & Containment Plan, and a Circulation & Access Plan. The purpose of these measures are detailed in City Code §17.18.040 (see supporting materials).
- The initial establishment of the proposed use requires public noticing be extended an additional 300 feet. This is a listed Impact Control Measure. The City Code Provisions detailing the purpose of each control measure has been included in the supporting materials.
- The applicant has provided responses to Staff's concerns that provide some additional information to understand the project. This response has been included in the supporting materials.

Conclusion: The proposed application meets the City Code requirements and as such should be approved.

Recommendation: Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Application, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the proposed Application.
- Schedule the Application for a decision at some future date.

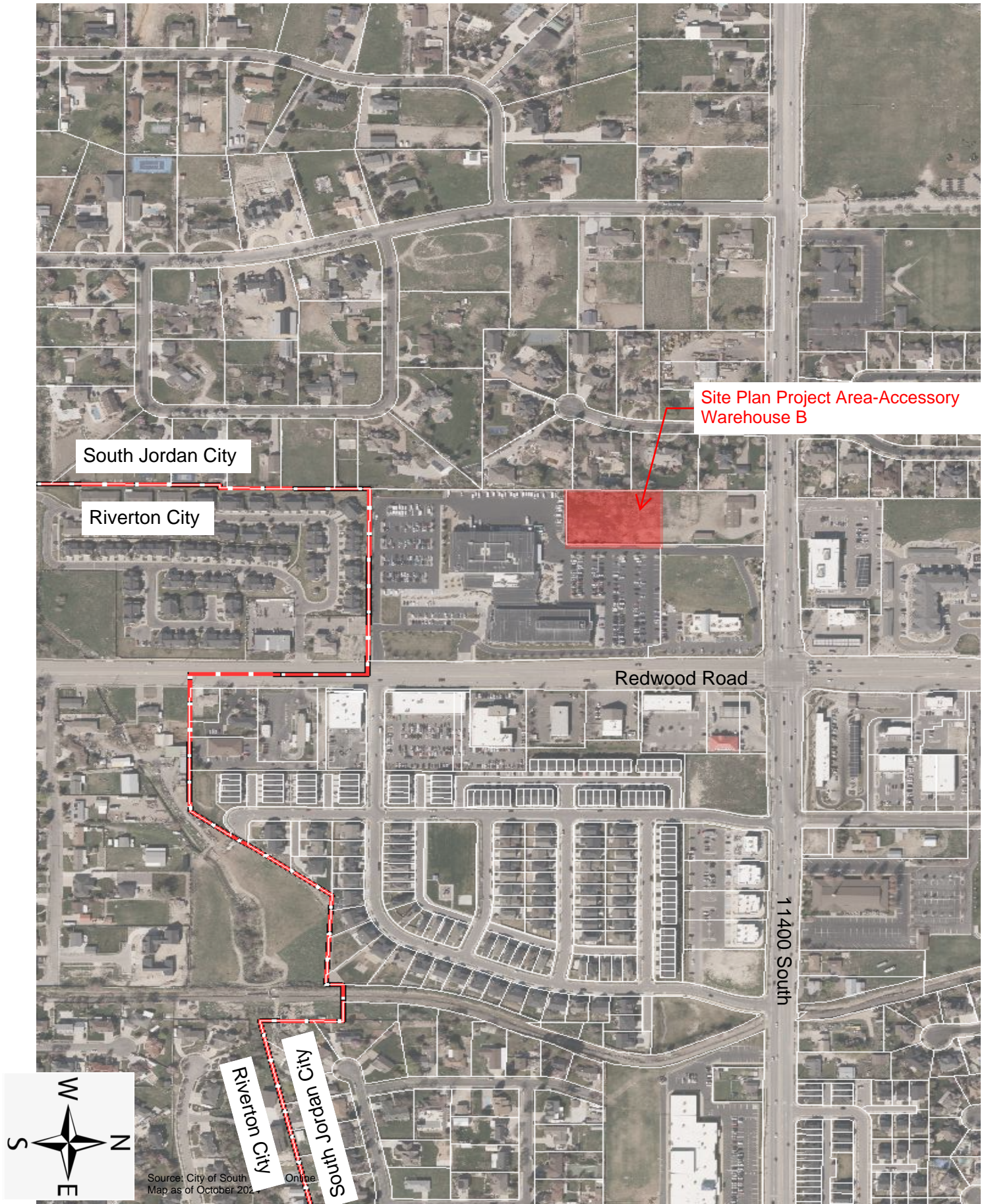
SUPPORT MATERIALS:

- Location Map
- Current Zoning Map
- Proposed Plans
- City Code §17.18.040 *“Impact Control Measures”*
- 2013 Site Plan Staff Report
- ARC Meeting Minutes
- Applicant’s Responses to Impact Control Measures
- Public Mailing Notice



Andrew McDonald, AICP
Planner II, Planning Department

Location Map



Current Zoning Map

Subject Properties

MU-SGATE

MU-SOUTH

MU-SOUTH (PD)

MU-SOUTH (PD) (PD)

MU-SOUTH (PD) (PD) (PD)

R-1.0

R-2.5

R-4.0

R-4.0 TH (PD)

R-4.0 (PD)

R-4.0 (PD) (PD)

A-5

C-C

Source: City of South Jordan Online GIS
Current Zoning Map as of October 2024



Source: City of South Jordan Online GIS
Current Zoning Map as of October 2024

NOTE:
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESSIBLE ISLE SHALL NOT EXCEED A 1:48 (2.0%) SLOPE. THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH HORIZONTAL. THE ACCESSIBLE SIDEWALK INCLUDING THE SIDEWALK PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%) & A CROSS SLOPE OF 1:48 (2.0%). ALL EXTERIOR DOORWAY ACCESS REQUIRE AN EXTERIOR LANDINGS RICHES IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.0%) SLOPE.

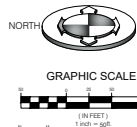
NOTE:
SAWTOOTH WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWTOOTHING, AND TIE-IN SLOPE INTO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT ALL PRESENT SHALL BE MAINTAINED UNLESS OTHERWISE NOTED. SEE NOTES 86, 70, 82, & 83 ON CON.U FOR FURTHER DETAIL.

NOTE:
PROTECT, RELOCATE, AND REMOVE TREES PER LANDSCAPING PLANS.

NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT ACCORDANCE WITH CURRENT CITY/STATE STANDARDS AND SPECIFICATIONS.

NOTE:
ALL RETAINING WALLS OVER 4' IN HEIGHT SHALL BE DESIGNED AND APPROVED BY A LICENSED GEOTECHNICAL ENGINEER.

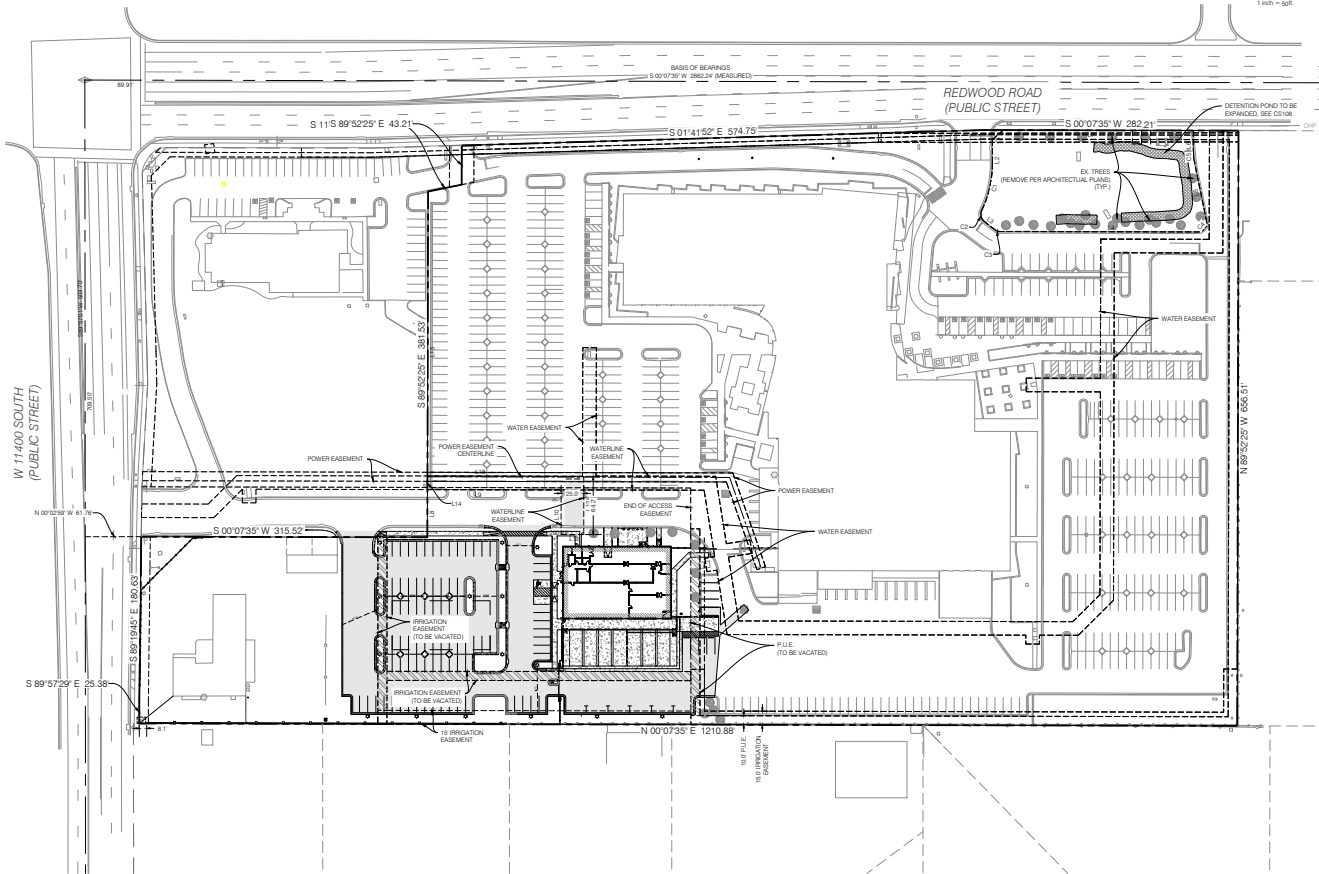
NOTE:
CONTRACTOR TO CHECK ARCHITECTURAL PLANS FOR THE SPECIFIC LOCATION OF THE ADD-ALTERNATE.



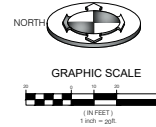
REVISIONS	DESCRIPTION	DATE
1		
2		
3		
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5		
6		
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8		
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10		

PROJECT INFORMATION	
DATE:	10/24/24
PROJECT #:	24-006
PA / PR:	JL
PL:	CHT

DRAWING SET STATUS	SITE PLAN SUBMITTAL SET
THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR	
SHEET TITLE	



CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
1	ASPHALT PAVEMENT WITH GRANULAR BASE	10C3111
2	CONCRETE CURB AND GUTTER PER ASPA #205 TYPE A	10C3111
3	RELEASE CURB & GUTTER	10C3111
4	TRUNCATED DOME / RUMBLE STRIP	10C3111
5	SEWER/RA FOR ASPA #201 (WITH "Y" CONCRETE & "P" BASE)	10C3112
6	ADA RAMP	10C3112
7	ADA SIGN	10C3112
8	CONCRETE PAVEMENT WITH GRANULAR BASE	10C3111
9	SAWCUT & TRENCH PER SOUTH JORDAN CITY STANDARDS	10C3111
10	RESERVED PARKING SIGN	10C3111
11	TRANSITION CURB & GUTTER	10C3111
12	CURB WALL	10C3111
13	12" WIDE CONCRETE PROTECTION	10C3111
14	8" CONCRETE WATERWAY FOR ASPA #211	10C3111
15	8" CURB REVEAL	10C3111



SITE AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	9,800	12.2
LANDSCAPE	28,043	35.4
LANDSCAPE	12,345	15.6
TOTAL	60,188	100.0

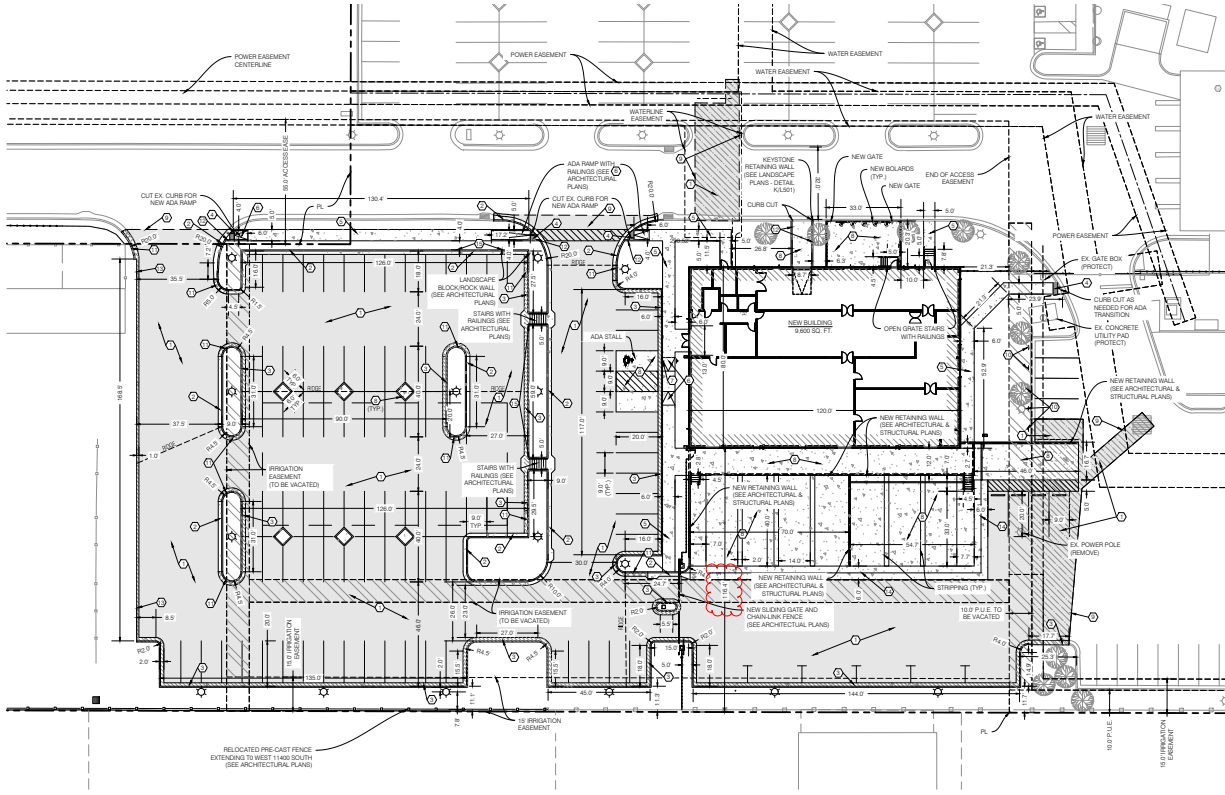
NOTE:
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE SHALL NOT EXCEED A 1:48 (2.08%) SLOPE. THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4" HORIZONTAL ON 12" VERTICAL WHEN BEVELED THE ACCESSIBLE MEANS OF EGRESS INCLUDING THE REQUIRED PORTION SHALL NOT EXCEED A SLOPE OF 1:48 (2.08%) & A CROSS SLOPE OF 1:48 (2.08%). ALL EXTERIOR DOOR WAY ACCESS REQUIRE AN EXTERIOR LANDING 60" MIN IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.08%) SLOPE.

PARKING COUNT		
PARTICULARS	PROVIDED	
STANDARD	ADA	
PARKING STALLS	100	
TOTAL	100	

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWCUTS, AND TIE IN SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING GRADE PER SLOPES LISTED ON CON-1. NOTE 70: SEE NOTES 68, 70, 82, & 83 ON CON-1 FOR FURTHER DETAIL.

NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT ACCORDANCE WITH CURRENT CITY/STATE STANDARDS AND SPECIFICATIONS.

NOTE:
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233 SOUTH PLEASANT GROVE BLVD.
SUITE #105
PLEASANT GROVE, UTAH 84062
PHONE: (801) 749-3300
central@archmtn.com

THE ARCHITECT HAS REVIEWED THIS PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF SALT LAKE COUNTY ZONING ORDINANCES AND THE CITY OF SALT LAKE COUNTY SUBMITTAL SET.

PROFESSIONAL STAMP

10/04/24
No. 18369774
M. CHESSE
UTAH LICENSED PROFESSIONAL ENGINEER

CONSULTANT INFORMATION

ARCHITECTURE

RENDERING/ENGINEERING & LAND SURVEYING
4108 SOUTH GARDEN STREET SUITE # 100
SANDY, UTAH 84070 (801) 540-7162
www.architectural.com

OWNER

Intermountain Health

PROJECT NAME AND ADDRESS
INTERMOUNTAIN
HOMECARE OXYGEN
WAREHOUSE
17328 SOUTH BENDWOOD ROAD
SOUTH JORDAN, UTAH 84095

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT INFORMATION

DATE: 10/24/24
PROJECT #: 24-006
PA / PRE: JCU
PL: GHT

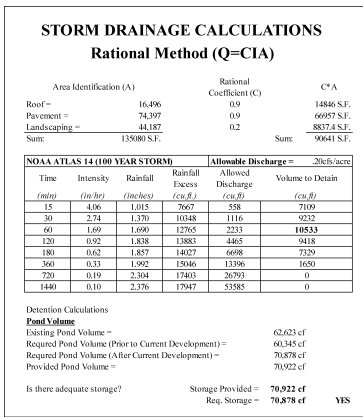
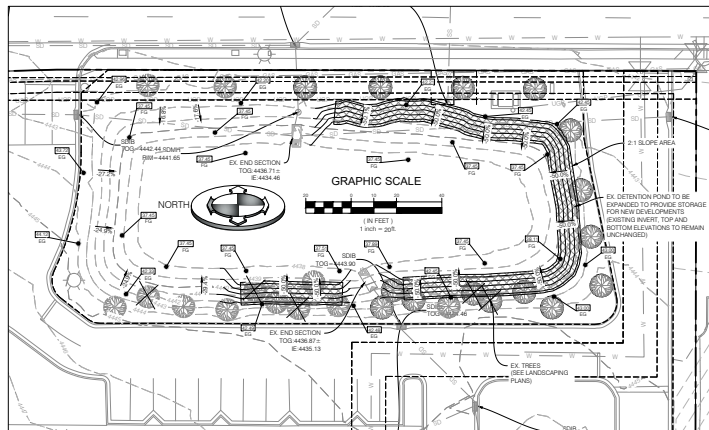
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SITE PLAN SUBMITTAL SET

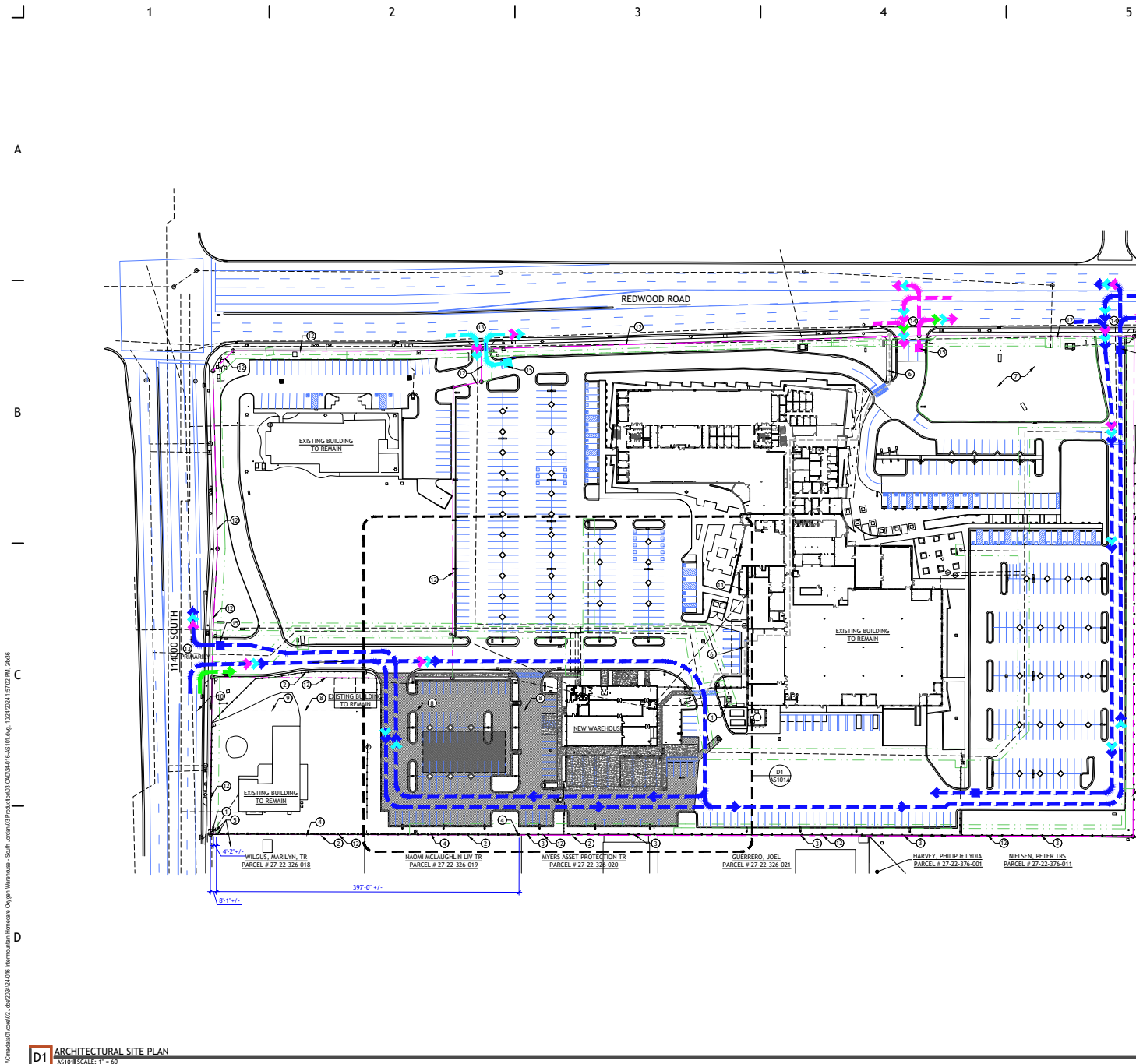
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SHEET TITLE

SITE PLAN

SHEET NUMBER
CS106





SHEET NOTES

1. EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
2. EXISTING 6" VINYL FENCE TO REMAIN.
3. EXISTING 8" TALL PRECAST MASONRY FENCE TO REMAIN.
4. RELOCATED EXISTING 8" TALL PRECAST MASONRY FENCE. SEE DS/AS001. THE ROUGH DIMENSION FOR THE ANTICIPATED AMOUNT OF RELOCATED FENCE IS PROVIDED. BASED ON THE LENGTHS OF EXISTING FENCE, IT IS ANTICIPATED THAT THERE IS ENOUGH EXISTING FENCING TO MEET THE NEEDS FOR THE EXTENDED FENCE. IT IS ANTICIPATED TO USE THE EXISTING PRECAST PANELS, BID FOOTINGS, FOUNDATIONS, COLUMNS AND CAPS AS NEW. THE EXISTING FENCE IS AN OLYMPIUS PRECAST BRAND (CONTACT SCOTT MACKINTOSH (801) 571-5041 SCOTTMACKINTOSH@PRECAST.COM). ADJUST FOR GRADE CHANGES ALONG FENCE LINE AS REQUIRED - SEE CIVIL GRADING PLAN FOR GRADING INFORMATION. INSTALL THE WEST FACE OF THE COLUMN AS CLOSE TO THE WEST PROPERTY LINE AS POSSIBLE. THE INTENT IS TO HAVE THE FULL WIDTH OF FENCE ON INTERMOUNTAIN'S PROPERTY. THERE WILL BE A SMALL GAP BETWEEN THE EXISTING VINYL FENCE AND THE RELOCATED FENCE. INFILL THE GAP WITH (2) LAYERS OF HEAVY DUTY LANDSCAPE FABRIC AND 3" OF LANDSCAPE ROCK TO MATCH THE REST OF THE SITE.
5. INTENT IS TO USE TYPICAL FULL LENGTH 12' PANELS UNTIL THE END OF THE TRANSFORMER TO THE FENCE IS SHOWN. THE CONTRACTOR IS TO ASSURE ROCKY MOUNTAIN POWER REQUIRED CLEARANCES ARE MAINTAINED. DASHED LINE REPRESENTS ADA PEDESTRIAN PATHWAY (2% MAXIMUM SLOPE) TO BUILDING.
6. MODIFY EXISTING DETENTION BASIN AS REQUIRED FOR NEW IMPROVEMENTS. STORM DRAIN CALCULATIONS HAVE BEEN CALCULATED TO INCLUDE THE FULL ADD ALTERNATE AREA. SEE CIVIL AND LANDSCAPE.
7. NEW SANITARY SEWER LINE AS PER CIVIL.
8. SAW CUT EXISTING ASPHALT FOR NEW SEWER LINE AS REQUIRED. ONCE COMPLETE WELL-HOLE AS REQUIRED, BUT DO NOT PATCH ASPHALT IN THIS AREA. SEE CIVIL.
9. BORE NEW SEWER LINE INTO EXISTING RIGHT OF WAY IN ORDER TO CONNECT TO THE EXISTING SEWER MAIN AS REQUIRED. SEE CIVIL.
11. EXISTING BUILDING ELECTRICAL ROOM TO REMAIN. SEE ELECTRICAL.
12. MAGENTA COLOR DASHED LINE REPRESENTS PROPERTY LINE. SEE CIVIL AND PLAT DRAWINGS FOR ADDITIONAL INFORMATION.
13. RIGHT IN AND RIGHT OUT ONLY.
14. RIGHT AND LEFT IN AND OUT.
15. VEHICLE QUEUING AREA.

GENERAL NOTES

- A. UNLESS NOTED OTHERWISE, ITEMS NOT NOTED ARE EXISTING TO REMAIN. REVIEW ENGINEERING SHEETS FOR ADDITIONAL INSTRUCTIONS.
- B. EXCEPT AS NOTED ON THIS PLAN AND OTHER SHEETS, THE MAJORITY OF THE SCOPE OF THIS PROJECT WILL OCCUR IN THE ENLARGED AREA REFERENCED ON THIS PLAN.
- C. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- D. COORDINATE SITE PLAN WITH ARCHITECTURAL, CIVIL, LANDSCAPE, AND ELECTRICAL SITE PLANS. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- E. PARKING PAINT STRIPING TO BE BLUE TO MATCH EXISTING (VERIFY WITH OWNER). EXISTING STRIPING IS ILLUSTRATED AS BLUE TO HELP DISTINGUISH FROM OTHER LINES (WHETHER ACTUALLY BLUE OR NOT).
- F. PRIMARY ROOF DRAINS FROM BUILDING ARE TO BE TIE TO THE SITE STORM DRAIN SYSTEM. SEE CIVIL AND PLUMBING.
- G. SEE CIVIL AND PLAT DRAWINGS FOR REVISED PROPERTY LINE INFORMATION.
- H. SEE CIVIL DRAWINGS FOR EXISTING CONDITIONS AND THE SITE DEMOLITION PLAN.
- I. ROUGH UTILITY INFORMATION IS SHOWN ON THIS SHEET FOR REFERENCE. SEE CIVIL FOR ADDITIONAL INFORMATION REGARDING UTILITIES AND ASPHALT PATCHING.
- J. SEE SITE ELECTRICAL DRAWINGS FOR DIRECTION REGARDING ELECTRICAL UTILITIES AND BORING / ASPHALT PATCHING.

CIRCULATION LEGEND

- TRUCK CIRCULATION
 - EMPLOYEE CIRCULATION
 - VISITOR CIRCULATION
 - BICYCLE CIRCULATION
 - PEDESTRIAN CIRCULATION
 - QUEUING LOCATION
- NOTE: CIRCULATION LINES CAN HAVE MULTIPLE ARROWS ON THEM INDICATING THAT MULTIPLE TYPES OF TRAFFIC CAN UTILIZE THE ACCESS POINT OR CIRCULATE IN THE AREA.

SITE PATTERN LEGEND

- NEW ASPHALT SURFACE - SEE CIVIL AND GEOTECHNICAL REPORT
- NEW CONCRETE - SEE CIVIL
- TEMPORARY CONCRETE PAD AS SHEET NOTED

ZONING INFORMATION / PARKING TABULATIONS

ZONE = MU-SOUTH: MIXED USE - SOUTH CENTER
TOTAL NEW BUILDING WAREHOUSE AREA = 9600 SF
TOTAL STALLS REQUIRED FOR NEW BUILDING (AT 1 PER 800 SF) = 1200 / 800 = 1.5
TOTAL EXISTING BUILDING PARKING STALLS (WITH ADA) = 532 STALLS
TOTAL EXISTING BUILDING ADA PARKING STALLS = 30 STALLS (6+ VAN)
TOTAL NET NEW PARKING PROVIDED = 91 STALLS
TOTAL NEW BUILDING ADA STALLS = 1 (VAN ACCESSIBLE)
TOTAL SITE STALLS PROVIDED (WITH ADA) = 623 STALLS
TOTAL REQUIRED ADA STALLS @ 2% OF TOTAL = 13 STALLS
TOTAL REQUIRED VAN ACCESSIBLE (13/4) = 3 STALLS MIN.
TOTAL ADA STALLS PROVIDED = 31 STALLS
TOTAL VAN ACCESSIBLE ADA STALLS PROVIDED = 7 STALLS

CORE ARCHITECTURE
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OWNER



**INTERMOUNTAIN
HOMECARE OXYGEN
WAREHOUSE**

PROJECT NAME AND ADDRESS
15325 SOUTH REDWOOD ROAD, BUILDING B
SOUTH JORDAN, UTAH 84095

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION
DATE: 10/24/24
PROJECT #: 24-016
PA / PH: JSL
PIC: GWT

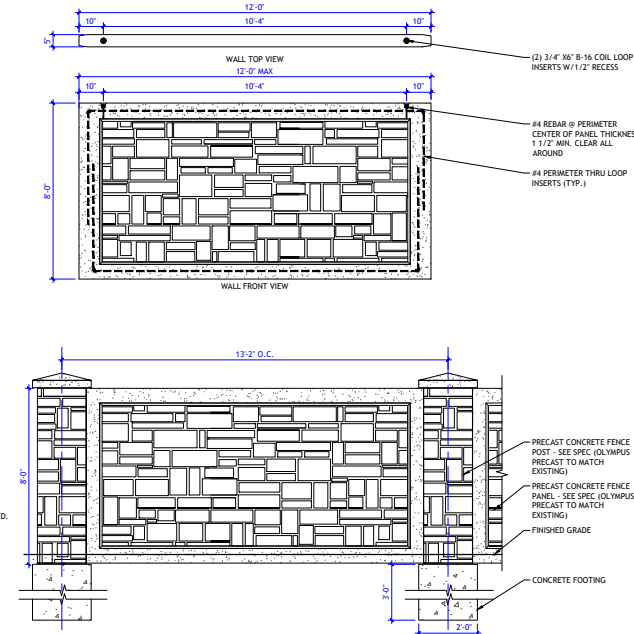
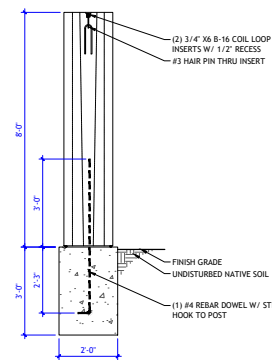
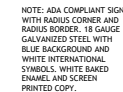
DRAWING SET STATUS
SITE PLAN SUBMITTAL SET

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SHEET TITLE

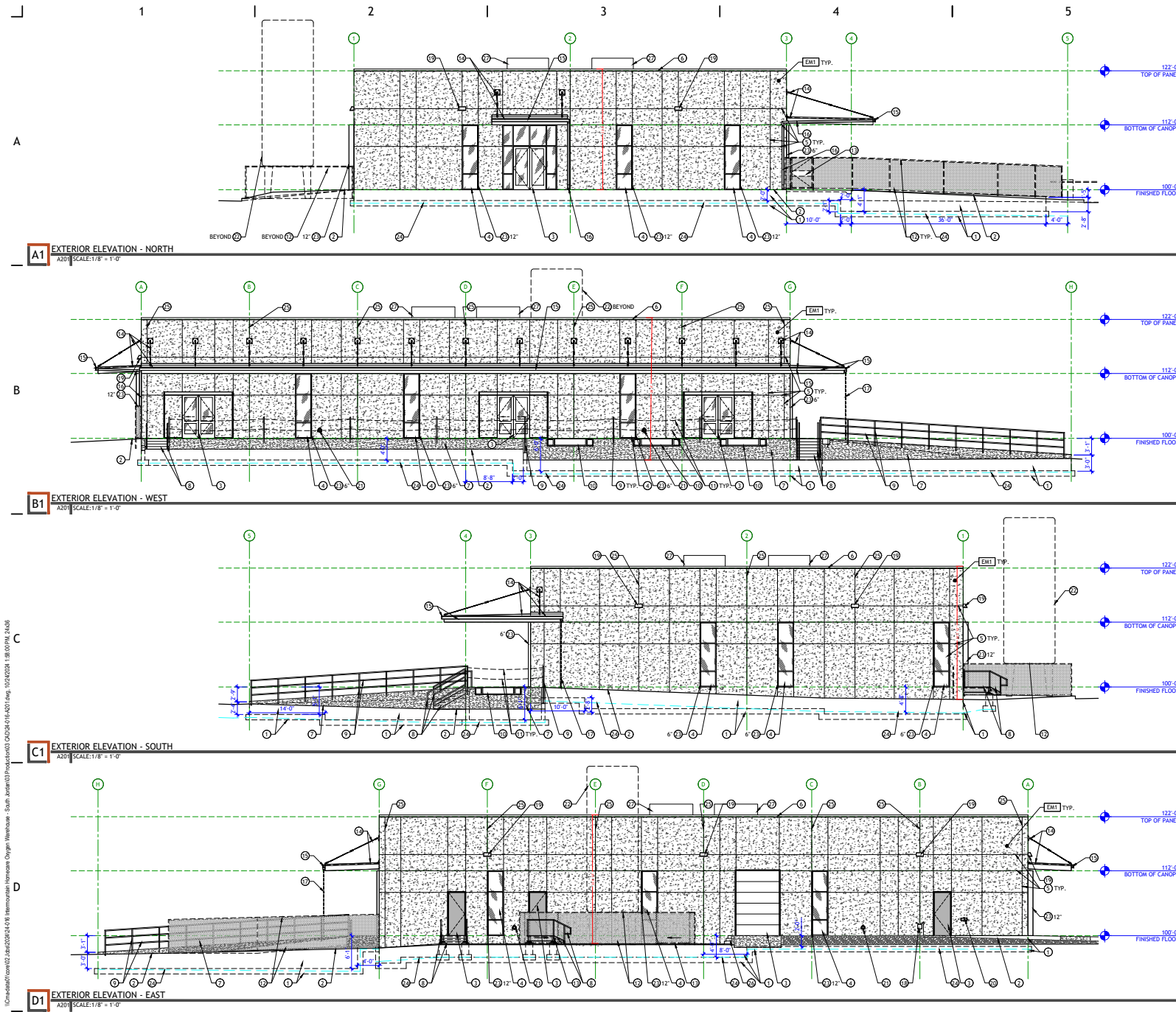
**ARCHITECTURAL
SITE CIRCULATION
& ACCESS PLAN**

SHEET NUMBER
AS101



AA A101 SCALE: 3/4" = 1'-0"





- ### SHEET NOTES
1. CONCRETE FOOTINGS AND FOUNDATION WALLS. SEE A100 AND STRUCTURAL.
 2. FINISHED GRADE. SEE CIVIL FOR GRADING INFORMATION.
 3. SCHEDULED DOOR SYSTEM. SEE A101 AND A601.
 4. SCHEDULED WINDOW SYSTEM. COLOR: MATCH EXISTING (CLEAR ANODIZED). SEE A601.
 5. CONCRETE V-GROOVE REVEAL.
 6. PRE-FINISHED METAL CAP AS PER SECTIONS AND DETAILS. COLOR TO MATCH EXISTING.
 7. EXPOSED CONCRETE DOCK / RETAINING WALL.
 8. STAIR AND RAILING SYSTEM AS PER SECTIONS AND DETAILS.
 9. GALVANIZED STEEL RAILING SYSTEM.
 10. DOCK LEVELER.
 11. REMOVABLE STEEL SAFETY DOCK CHAINS (YELLOW).
 12. 6" TAIL GALVANIZED CHAIN LINK FENCE.
 13. FENCE GATE. SEE A101 AND A601.
 14. SUSPENDED POWDER COATED STEEL CANOPY SYSTEM PER D11/A351. COLOR TO MATCH EXISTING.
 15. RAIN GUTTER TO MATCH EXISTING.
 16. RAIN GUTTER DOWNPOUT TO MATCH EXISTING.
 17. RAIN CHAIN TO MATCH EXISTING.
 18. GAS METER. SEE PLUMBING AND COORDINATE WITH UTILITY COMPANY.
 19. EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL.
 20. FIRE DEPARTMENT CONNECTION (F.D.C.) FOR FIRE SPRINKLER SYSTEM.
 21. SECONDARY ROOF DRAIN SCUPPER. SEE D11/A351 AND PLUMBING.
 22. DASHED LINES INDICATE EXTERIOR EQUIPMENT. SEE EQUIPMENT PLAN.
 23. VERTICAL WINDOW FIN TO MATCH WINDOW FINISH (6" OR 12" DEPTH AS NOTED).
 24. COLORED DASHED LINE REPRESENTS ANTICIPATED 30' FROST LINE. SEE CIVIL FOR FINISHED GRADE.
 25. LINE REPRESENTS CONCRETE PANEL JOINT.
 26. KEYSTONE RETAINING WALL. SEE LANDSCAPING, DETAIL K/1501.
 27. MECHANICAL ROOFTOP UNIT. SEE MECHANICAL.

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PROFESSIONAL STAMP

MATTHEW JOHNSON
REGISTERED PROFESSIONAL ENGINEER
STATE OF UTAH
NO. 12198076-0001

OWNER

Intermountain Health

PROJECT NAME AND ADDRESS

**INTERMOUNTAIN
HOMECARE OXYGEN
WAREHOUSE**

15325 SOUTH REDWOOD ROAD, BUILDING B
SOUTH JORDAN, UTAH 84095

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	10/24/24
PROJECT #:	24-016
PA / PM:	JSJ
PC:	GWT

DRAWING SET STATUS

SITE PLAN SUBMITTAL SET

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A201

- ### GENERAL NOTES
- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
 - B. BELOW GRADE CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS WATER PROOFING MATERIAL.
 - C. PROVIDE CODE COMPLIANT PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL (MATCH EXISTING). THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY. COORDINATE ALL DETAILS WITH THE OWNER AND CITY.
 - D. SEE PLUMBING SHEETS AND ROOF PLAN FOR PRIMARY AND SECONDARY ROOF DRAINAGE. THE PRIMARY SYSTEM SHALL TERMINATE BELOW GRADE INTO A STORM DRAIN SYSTEM AS PER THE CIVIL. THE SECONDARY SYSTEM SHALL TERMINATE IN A WALL MOUNTED SCUPPER AS PER D11/A351 AND D31/A701.
 - E. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.

EXTERIOR MATERIALS LEGEND

EMI	ARCHITECTURAL GRADE EXPOSED CONCRETE - SAND BLAST FINISH NO PAINT
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B1 EXTERIOR RENDERING
A200 SCALE: NONE



D1 EXTERIOR RENDERING
A200 SCALE: NONE



233 SOUTH PLEASANT GROVE BLVD.
SUITE #103
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
core@corearch.com

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PROFESSIONAL STAMP



OWNER



PROJECT NAME AND ADDRESS
**INTERMOUNTAIN
HOMECARE OXYGEN
WAREHOUSE**
1525 SOUTH REDWOOD ROAD, BUILDING B
SOUTH JORDAN, UTAH 84095

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION

DATE: 10/24/24
PROJECT #: 24-016
PA / PM: JSJ
PIC: GWT

DRAWING SET STATUS
SITE PLAN SUBMITTAL SET

THIS DRAWING SET IS INTENDED TO BE PRINTED IN COLOR

SHEET TITLE

EXTERIOR RENDERINGS

SHEET NUMBER
A202



D1 EXTERIOR RENDERING
A202 SCALE: NONE

A

B



B1 EXTERIOR RENDERING
A200 SCALE: NONE

C

D



D1 EXTERIOR RENDERING
A200 SCALE: NONE

233 SOUTH PLEASANT GROVE BLVD.
SUITE #103
PLEASANT GROVE, UTAH 84062
PHONE: (801) 769-3000
core@corearch.com

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PROFESSIONAL STAMP

OWNER

PROJECT NAME AND ADDRESS

**INTERMOUNTAIN
HOMECARE OXYGEN
WAREHOUSE**

1525 SOUTH REDWOOD ROAD, BUILDING B
SOUTH JORDAN, UTAH 84095

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION

DATE: 10/24/24
PROJECT #: 24-016
PA / PM: JSJ
PIC: GWT

DRAWING SET STATUS

**SITE PLAN SUBMITTAL
SET**

THIS DRAWING SET IS INTENDED
TO BE PRINTED IN COLOR

SHEET TITLE

**EXTERIOR
RENDERINGS**

SHEET NUMBER

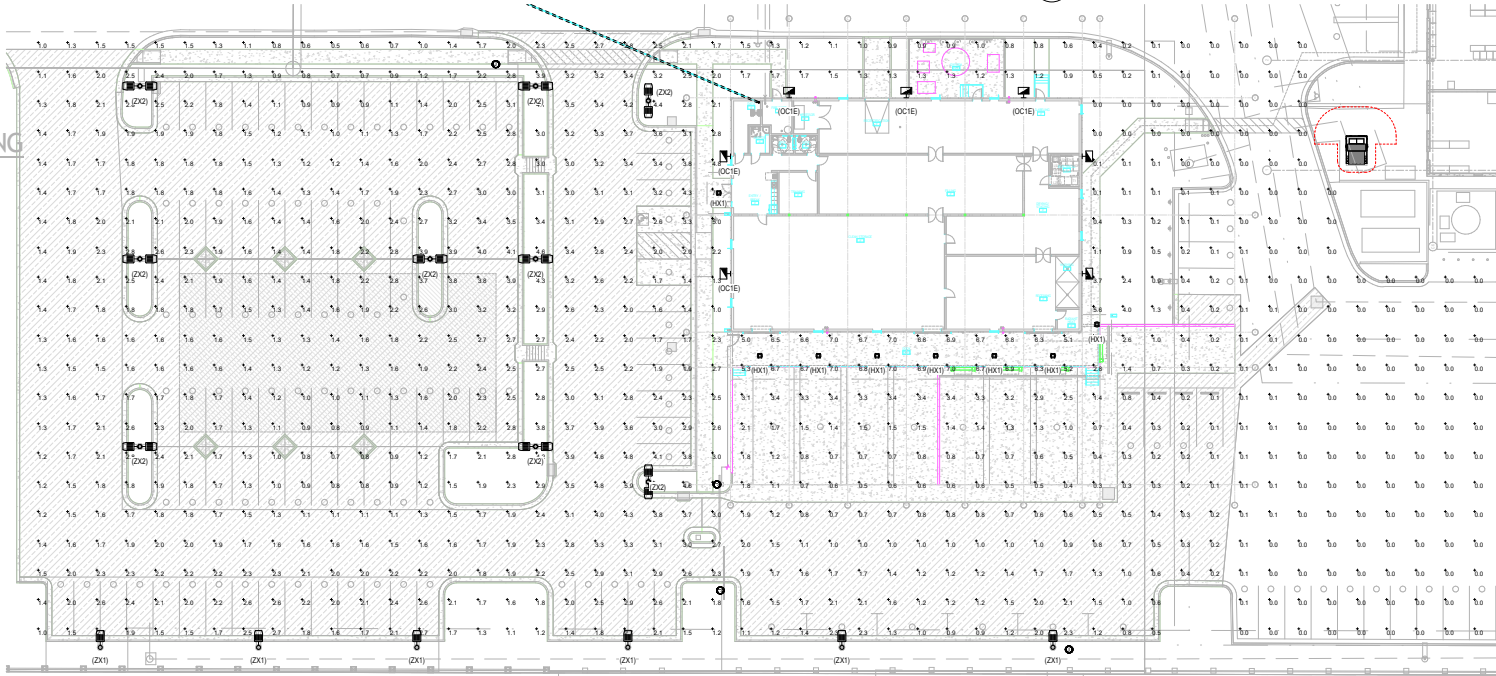
A205

Luminaire Schedule						
Tag	Description	/LUF	Luminaire Lumens	Luminaire Watts	Total Watts	BUG Rating
HX1	SURFACE MOUNT CANOPY MOUNT	0.765	6254	39.7709	318.167	B2-U3-G2
OC1	EXTERIOR WALL PACK	0.765	2762	20.1	140.7	B1-U0-G1
ZX1	AREA POLE LIGHT-15FT	0.765	6083	50.9015	305.409	B1-U0-G2
ZX2	AREA POLE LIGHT-20FT	0.765	7820	67.7927	1220.269	B1-U0-G2

SUMMARY							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING	Illuminance	Fc	1.63	7.2	0.0	N.A.	N.A.
TRESPASS	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.

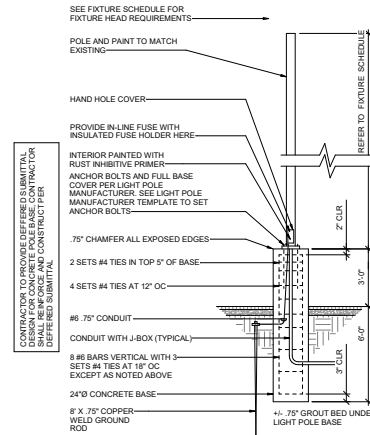
B1 SITE LIGHTING SUMMARIES

SCALE: 1/4" = 1'-0"



D1 SITE CALCULATION PLAN

SCALE: 1" = 20'-0"



B4 PARKING LOT LIGHT POLE BASE DETAIL

SCALE: 1/8" = 1'-0"

REVISIONS	
DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	03 JULY 2024
PROJECT #:	24-016
DRAWN BY:	BAA
PM / PA:	CORE

DRAWING SET STATUS SITE PLAN SUBMITTAL SET

THIS DRAWING SET IS INTENDED
TO BE PRINTED IN COLOR

SHEET TITLE

SITE CALCULATION PLAN AND SCHEDULES

SHEET NUMBER

ES201A

A

B

C





D

EXTERIOR LIGHTING FIXTURE SCHEDULE

GENERAL NOTES

The diagrams illustrate the dimensions for two types of fixtures. The first is a cylinder with 'DIAMETER' and 'HEIGHT' labels. The second is a rectangular prism with 'LENGTH', 'WIDTH', and 'HEIGHT' labels.

1. SUBSTITUTIONS AND/OR EQUAL FIXTURES MUST RECEIVE APPROVAL PRIOR TO BIDDING. THEY MUST BE SUBMITTED TO THE ENGINEER NO LESS THAN 2 WEEKS PRIOR TO BID OPENING.
2. SAMPLES MUST BE PROVIDED FOR ANY AND ALL FIXTURES UPON A/E REQUEST PRIOR TO RELEASING FIXTURES.
3. ALL FIXTURES SHALL BE LISTED AND APPROVED FOR THEIR INTENDED USE AND LOCATION.
4. VERIFY THE PROPER MOUNTING KITS OR ACCESSORIES TO FACILITATE INSTALLATION AS SHOWN AT EACH LOCATION ON THE DRAWINGS.
5. COMPLY WITH THE "INTERIOR LIGHTING" SECTION OF THE SPECIFICATIONS.
6. ALL LIGHT FIXTURES TO BE EITHER "OLC" OR "LIGHTING FACTS" LISTED OR TO BE APPROVED BY ARCHITECT/ENGINEER AND OWNER.
7. CONTRACTOR ALLOWANCE PRICES ARE ACCURATE WHEN THIS JOB WAS SPECIFIED. CONTRACTOR AND ELECTRICAL DISTRIBUTOR SHALL VERIFY THIS ALLOWANCE AND REPORT ANY PROBLEMS TO THE ENGINEER BEFORE THE BID. ALLOWANCE PRICE MAY OR MAY NOT INCLUDE LAMP(S) OR FREIGHT AS NOTED, AND DO NOT INCLUDE ANY TAXES.

ID	Type Image	DESCRIPTION	SIZE (NOMINAL)	BUDG RATING	LUMENS	LUMINAIRE	CRI	DRIVER	MANUFACTURER				
				BACK	UP	OLC ARE		TEMP		VOLTAGE	WATTS		
(HX1)		DESCRIPTION: SURFACE MOUNT CANOPY LIGHT MOUNTING: SURFACE FINISH: SCBA OPTICS: TYPE 'N' FORWARD THROW OPTIONS: EM: NONE	LENGTH: 10" WIDTH: 10" DEPTH: 3.35"				6,254	4000K	80	LED 0-10V DIMMING	277.0V	60	PORTOR LIGHTING (P2-CAT2)
(OC1E)		DESCRIPTION: EXTERIOR WALL PACK, WET RATED, FULLY GASKETED MOUNTING: WALL FINISH: SCBA OPTICS: TYPE 'N' FORWARD THROW OPTIONS: EM: NONE	LENGTH: 7" WIDTH: 7" DEPTH: 9"	1	0	1	3,000	4000K	80	LED 0-10V DIMMING	277.0V	20	COOPER (IS1)
(ZX1)		DESCRIPTION: AREA POLE LIGHT, CUTOFF SINGLE MOUNTING: POLE FINISH: SCBA OPTICS: TYPE 'N' DISTRIBUTION OPTIONS: HOUSE-SIDE SHIELD WIND RATING: - EM: NONE	LENGTH: 32" WIDTH: 18" DEPTH: 7" POLE HEIGHT: 19' - 0"	1	0	2	6,083	4000K	80	LED 0-10V DIMMING	277.0V	51	LITHONIA (DSX1 LED)
(ZX2)		DESCRIPTION: AREA POLE LIGHT, CUTOFF DUAL-HEAD MOUNTING: POLE FINISH: SCBA OPTICS: TYPE 'N' DISTRIBUTION OPTIONS: HOUSE-SIDE SHIELD WIND RATING: - EM: NONE LUMENS/WATTS LISTED EQUALS TOTAL PER POLE	LENGTH: 32" WIDTH: 18" DEPTH: 7" POLE HEIGHT: 20' - 0"	1	0	2	15,640	4000K	80	LED 0-10V DIMMING	277.0V	136	LITHONIA (DSX1 LED)

HX1

PORTOR LIGHTING
commercial exterior lighting

PT-CAT2 SERIES
LED Square Canopy Luminaire with CCT and Wattage Selector

Model: HX1

Size: 10" x 10"

Type: Canopy

Portor CAT2 series is a LED Square Canopy Luminaire that combines high energy efficient and data driven technology to deliver high lighting performance and features a rugged mounting plate that make installation a breeze. The CAT2 Series features color adjustable technology that lets the user choose between 3000K, 4000K, or 5000K.

Perfect application for parking garages, hallways, toll stations, and shopping centers.

ELECTRICAL
Luminaire is built with the highest quality driver that is UL listed (UL1077), and has long lasting high-phosphor LED packages. Please see the following:

Wattage	Size	Wattage	Efficiency
40W	8.50"	60W	up to 110 lm/W
60W	8.50"		
75W	8.50"		

Based on other wattage ratings: 4000K - other wattage ratings apply

OPTICAL SYSTEM
Featuring a durable, patented recessed frosted lens with low glare that delivers high performance distribution.

ENERGY SAVINGS
Save 65% energy using than traditionally HPS fixtures, low heat production requires less maintenance and operation cost.

LIGHTING
ETL Listed, DLC Premium Listed, IP65 rated

WARRANTY
5 year limited warranty, based for 50,000 hours. See Warranty documentation for details.

TECHNICAL SPECIFICATION

Category	Specification
Color	3000K-5000K tunable
CH	80+
DIMMABLE	0-10V dimming
LIGHTING ANGLE	180°
VOLTAGE	120V-277V
POWER EFFICIENCY	100lm/W
POWER FACTOR	0.9
THD	<10%
WORKING TEMPERATURE	-40°F ~ 104°F
STORAGE TEMPERATURE	-40°F ~ 104°F
FINISHING	IP65 corrosion resistant
WARRANTY	5 year limited

ORDERING SAMPLE

Series	Wattage	CCT	Accessories/Options
P1-CAT2	40W-4000K/5000K	30°	(OPTIONAL: 0-10V DIMMING)
P2-CAT2	LED Square Canopy Luminaire Series	30°	PSA P18

PORTOR LIGHTING

www.portorlighting.com

Specification subject to change without notice

1/3

OC1E

Project

Category 1

Type

Requirement

Notes

Date



McGraw-Edison
Impact Elite LED
Wall Mount Luminaire

Interactive Menu

- Ordering Information [view](#)
- Product Specifications [view](#)
- Energy and Performance Data [view](#)
- Control Options [view](#)

Product Certifications



Quick Facts

- 15 Optical Distributions
- Lumen packages range from 2,459 to 11,480 (DIM: 0-10V)
- Efficiency up to 149 lumens per watt

Dimensional Details





COOPER

COMMERCIAL OUTDOOR

1/3

ZX1 AND ZX2

D-Series Size 1
LED Area Luminaire



Specifications

ETC: 0.05 ft
0.01 ft
0.01 ft

Length: 16.25"

Width: 16.25"

Height: 10"

Weight: 10.5 lb

Weight: 10.5 lb

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 60% and expected service life over 100,000 hours.

Ordering Information

Size	Color	Light temperature	Beam spread	Beam angle	Beam diameter	Beam length	Beam width	Beam height	Beam area	Beam volume
DSX1 LED	P1	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P2	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P3	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P4	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P5	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P6	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P7	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P8	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P9	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P10	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P11	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P12	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P13	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P14	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P15	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P16	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P17	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P18	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P19	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P20	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P21	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P22	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P23	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P24	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P25	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P26	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P27	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P28	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P29	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P30	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P31	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P32	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P33	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P34	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P35	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P36	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P37	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P38	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P39	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P40	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P41	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P42	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P43	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P44	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P45	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P46	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P47	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P48	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P49	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P50	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P51	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P52	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P53	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P54	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P55	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P56	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P57	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P58	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P59	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P60	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P61	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P62	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P63	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P64	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P65	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P66	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P67	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P68	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P69	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P70	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P71	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P72	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P73	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P74	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P75	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P76	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P77	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P78	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P79	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DSX1 LED	P80	4000K	30°	30°	16.25"	16.25"	16.25"	16.25"	16.25"	16.25"
DS										

17.18.040: IMPACT CONTROL MEASURES

Impact control measures, as explained by this section, generally apply to allowed uses when the context or scale of a proposed project increases the potential for negative impacts (e.g., traffic, sound, hazardous waste, light, vibration, odor, glare, etc.) on surrounding properties or on the public health, safety, and welfare. Additional measures may be required of conditional uses, according to section 17.18.050, "Conditional Uses", of this chapter. Impact control measures do not apply to permitted uses that are accessory to an established residential primary use. The City Engineer and Planning Director may modify the requirements of a required impact control measure upon the applicant's showing of good cause (a reason rationally related to the development) and in the best interest of the City. With all required impact control measures, the applicant shall provide the applicable documentation, at the applicant's expense, and demonstrate that the design of a project and operation of the use will adequately mitigate the contextual impact. If the City Engineer or Planning Director determine that the regulations of this section conflict with other regulations of this Code, the more restrictive regulations shall apply.

A. **Traffic Study:** The purpose of a traffic study is to identify the extent of traffic impacts generated by a use or project on transportation system capacity, level of service, and safety. At applicant's expense, the City shall commission a traffic study from a licensed professional engineer. The applicant shall pay the fee for the traffic study prior to the commencement of the study. Proposed uses and projects that meet any of the following criteria shall provide a traffic study:

1. Initial establishment of uses identified in the required impact control measures table in this section.
2. Project that may generate more than one hundred (100) trips in a peak hour or one thousand (1,000) total daily trips.
3. New construction project that exceeds ten (10) acres.
4. All uses proposing to access residential streets and that may generate more than twenty five (25) trips in a peak hour or two hundred fifty (250) total daily trips.

B. **Circulation And Access Plan:** The purpose of a circulation plan is to identify a proposed project's potential traffic conflicts generated by proposed access points and vehicular, pedestrian, and bicycle routes. The circulation plan shall show adjacent roads, access points, primary travel routes, drop off and pick up areas, stacking and queuing areas, connections with adjacent properties, and pedestrian and bicycle routes. All projects that meet any of the following criteria shall provide a circulation and access plan:

1. Initial establishment of uses identified in the required impact control measures table in subsection H of this section.
2. New construction projects proposing the use of a drive-through, car wash, or vehicle bay.
3. Projects that require a traffic study per subsection A of this section.
4. Projects that include proposed private streets in residential areas.

C. **Operations Plan:** The purpose of an operations plan is to identify the potential sound, vibration, light, glare, odor, crime, hazardous materials, fire, and environmental impacts generated by a use or project based on the operational nature, scale, or practices of an establishment. The operations plan shall include the following information, if applicable: date of commencement of operations; proposed hours and days of operation; a general description of the operation; a projection of the number of persons on site (e.g., employees and customers); types of

accessory uses anticipated; hazardous materials to be used or produced on site; and all other relevant information to describe the nature, scale, practices of the establishment. Initial establishment of uses identified in the required impact control measures table in subsection H of this section shall provide an operations plan.

D. Sound Study: The purpose of a sound study is to determine the potential for detrimental effects from sound generated by the proposed use or project. A sound study shall be commissioned, at the expense of the applicant, from a member of a national acoustical association (i.e., National Council of Acoustical Consultants, Acoustical Society of America, or Institute of Noise Control Engineering) or an expert consultant with demonstrated experience and capacity as determined by the Planning Director. The sound study shall include sufficient information to determine the likelihood of compliance with Salt Lake County Health Department noise regulations and the requirements of this title. All uses that meet any of the following criteria shall provide a sound study:

1. Initial establishment of uses identified in the required impact control measures table in subsection H of this section.
2. All nonresidential uses that anticipate using outdoor speakers or public address systems.
3. Initial establishment of the following uses shall require a sound study when located within three hundred feet (300') of a property line of a Residential Zone, an existing dwelling unit, a religious assembly use, or an elementary, secondary education use:
 - a. Outdoor animal activities associated with nonresidential uses, including kennels, runs and corrals.
 - b. Drive-through facilities.
 - c. Car washes or car vacuums.

E. Rehabilitation And Containment Plan: A containment plan shall be prepared by a qualified expert documenting hazardous materials to be stored, used, or produced in significant quantities and the policies and practices to prevent and contain the accidental or inappropriate discharge of those materials. The plan shall demonstrate that the proposed use will comply with all State and Federal requirements and that the public and the environment will be protected from hazardous conditions. A rehabilitation plan shall also include actions that will be taken upon cessation of activities or uses involving potentially hazardous materials to ensure that the site is free from hazardous materials for future activities or uses. A containment and rehabilitation plan shall be provided for the following uses:

1. Uses identified in the required impact control measures table in subsection H of this section.
2. Accessory uses that involve significant quantities of hazardous materials.

F. Additional Notice: The purpose of the additional notice control measure is to ensure that property owners are notified of uses and projects with a greater likelihood for negative impacts on properties beyond the immediate vicinity. Uses and projects requiring additional notice according to this section shall provide notice to all property owners of record within six hundred feet (600') of the boundary of the subject property for any statutorily required public hearing, in addition to other noticing requirements of this Code and State law. The additional notice requirement shall apply to the following uses and projects:

1. Initial establishment of uses identified in the required impact control measures table in this section.
2. New construction projects that exceed ten (10) acres.

G. Residential Protection Area:

- 1. The purpose of a residential protection area is to minimize the impact of a use on existing residential areas that are planned to remain residential and areas that are planned to become residential in the future. A residential protection area minimizes impacts on residential areas by applying additional restrictions to a use or prohibiting a use with the protection area as outlined below.
- 2. A residential protection area is the area within a distance prescribed by the required impact control measure table in subsection H of this section. A residential protection area is measured from the boundary of a residential land use designation into the adjoining non-residential land use designation on the future land use map.
- 3. Uses or buildings that were compliant when initially established are not nonconforming uses or buildings, according to the requirements of this chapter, due to subsequent rezoning and development of a residential use within the residential protection area.
- 4. Residential protection areas shall be applied according to the following:
 - a. Prohibited: Uses are prohibited, except for associated parking or open space, within the distance identified in the required impact control measures table in this section.
 - b. Stadium/Theater/Auditorium: The residential protection area identified in the required impact control measures table of this section may be reduced to one hundred feet (100') when the activities associated with the use are conducted within completely enclosed structures and the floor area of the structure is less than one thousand (1,000) square feet.
 - c. Gas Station: Underground fuel storage tanks are prohibited within the residential protection area for the gas station use as identified in the required impact control measures table in this section. The following exceptions to the residential protection area are allowed:
 - (1) The residential protection area is reduced to one hundred feet (100') from the property line of properties with a residential land use designation that do not have an existing residential dwelling unit.
 - (2) The residential protection area shall not apply to properties located on the opposite side of a minor collector road or greater, as classified by the City's master transportation plan, from the gas station use.
 - d. Aircraft Transportation: Aircraft transportation landing and takeoff facilities shall be located no closer than one thousand feet (1,000') from the property line of a residential zone, except for rotor craft used by emergency services in temporary situations.
 - e. P-O Zone: Drive-through facilities are prohibited.

H. Required Impact Control Measures Table:

Key:
X = Required

		Required Impact Control Measures
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Category	Uses	A. Traffic	B. Circulation And Access	C. Operations	D. Sound	E. Rehabilitation And Containment	F. Additional Notice	G. Residential Protection Area
Agricultural	Animal husbandry			X				100'
	Horticulture			X				100'
	Plant nursery			X			X	100' ¹
	Public agricultural facility		X	X	X		X	150' ¹
Residential :								
Group living	Community residential facility		X	X			X	
	Dormitory	X	X	X			X	300'
	Institutional facility		X	X	X		X	1 Mile
Household	Live-work	X	X	X			X	
	Multi-family	X	X				X	
	Neighborhood residential facility							
	Single-family, attached		X				X	
	Single-family, detached		X					
Public:								
Civic and community	Cemetery							
	Community services		X	X				
	Public safety		X	X	X		X	
	Religious assembly and worship		X	X				

Education	Elementary/ secondary education	X	X	X			X	
	University/c ollege	X	X	X			X	
	Vocational/p rofessional	X	X	X			X	
Open space	Natural open space							
	Park open space							
Utility and communic ation	Energy conversion			X				100'
	Telecommu nication facility							
	Utility services			X		X	X	1,000' ²
Commerci al:								

Services	Animal services			X	X		X	100'
	Business support							
	Daycare		X	X				
	Financial institution			X			X ³	
	Hospital	X	X	X			X	100'
	Light service and repair			X				100'
	Lodging							100'
	Medical/dental office or clinic							
	Mortuary/funeral home							50 ⁵
	Office							
	Personal services			X				
	Professional services							
	Restaurant							50 ⁵
	Self-storage		X	X				
	Vehicle repair		X	X	X	X	X	200'
	Vehicle services		X	X	X	X	X	150'

Recreation and assembly	Arts and recreation		X	X	X			
	Convention/reception center	X	X	X			X	50' ⁵
	Indoor gun range		X	X	X			100'
	Instruction and training		X	X				
	Outdoor gun range		X	X	X			1,500'
	Outdoor recreation	X	X	X	X		X	50' ⁵
	Stadium/theater/auditorium	X	X	X	X ⁴		X	250'
Retail	Gas station	X	X	X		X	X	300'
	General retail							
	Kiosk, freestanding		X	X				50' ⁵
	Shopping center/department store	X	X	X			X	
	Vehicle sales and rental							200'
Industrial:								
Manufacturing and production	Assembly			X				100'
	Fabrication			X	X	X	X	300'
	Manufacturing			X	X	X	X	500'
	Mining			X	X	X	X	500'

Sales and service	Commercial service and repair		X	X	X	X	X	500'
	Food and drink preparation			X	X	X	X	500'
	Heavy equipment sales and rental			X			X	200'
	Research and development			X	X		X	300' ⁴
	Storage yards			X	X	X	X	300'
	Wholesale and warehouse			X		X	X	300'
Transportation	Aircraft transportation	X	X	X	X	X	X	500'
	Parking facility	X	X	X			X	150'
	Passenger terminal/station	X	X	X	X		X	100'
	Railroad facility			X	X	X	X	300'
Waste	Refuse			X	X	X	X	500'
	Salvage			X	X	X	X	500'

Notes

¹When located in an R-1.8 Zone, the residential protection area shall apply to adjacent residential properties.

²Only applies to major utility facilities.

³Only applies to nondepository financial institutions.

⁴Only applies to outdoor or open air facilities.

⁵Buildings used for nonresidential uses located within 100 feet of the property line of properties with a residential land use designation shall not exceed 35 feet in height.

HISTORY

Amended by Ord. [2018-21](#) on 10/16/2018

Amended by Ord. [2019-01](#) on 3/5/2019

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 03-26-2013

Issue: INTERMOUNTAIN HOMECARE
OFFICE/WAREHOUSE
SITE PLAN REVIEW

Address: 11520 S. Redwood Road

File No: SP-2013.03

Applicant: Intermountain Healthcare

Submitted By: Greg Schindler, City Planner
Chris Clinger, Associate Engineer

Staff Recommendation (Motion Ready): Approve File No. SP-2013.03 with the following:

1. That all project be constructed as indicated in this report and that all South Jordan City requirements are met, staff review comments are addressed and staff redline corrections are made prior to issuance of building permit.
-

BACKGROUND

ADDRESS	11520 S. Redwood Road
ACREAGE	11.94 acres
CURRENT LU DESIGNATION	Village Mixed Use
CURRENT ZONING	Mixed Use-South Center (MU-South) (7.27 ac.) Mixed Use-South Gateway (MU-SGATE) (4.67ac.)
CURRENT USE	Vacant
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	North - Village Mixed Use, (MU-South)/IHC Clinic South - Riverton City/Townhomes & Office Building East - Village Mixed Use, (MU-South)/Various Retail & One Single Family Residence West - Rural Residential, (R-1.8)/Single Family Residences

Intermountain Health Services has applied for site plan review of an office building for the Intermountain Homecare division. The proposed building will include two stories of offices for Intermountain Homecare employees, medical equipment sales, service and fitting space for customers and warehouse/storage area (single story) for healthcare supplies. The estimated number of employees for the facility equals approximately 650 FTE's. The site is located at 11520 S. Redwood Road, immediately south of the IHC Clinic.

Project Details

Construction Limit Area: 11.94 acres
Proposed Building Area: Approx. 137,219 sq. ft.
Office & Retail Area: Approx. 97,794 sq. ft. (71.3%)
Warehouse/storage Area: Approx. 39,425 sq. ft. (28.7%)

Parking Spaces Required: 458
Parking Spaces Proposed: 529

Landscaped Area: 107,198 sq. ft. (2.46 ac)
Trees Required: 153 total (30% evergreen = 46)
Trees Proposed: 284 total (110 evergreen)

Architectural Review

The exterior design, materials and colors of the building were reviewed by the Architectural Review Committee on March 13, 2013 and recommended for approval by the Planning Commission. The building will be constructed of primarily brick, glass, aluminum and concrete. The material colors will be dark reddish brown brick called "*ironstone*", clear glass, silver/gray anodized aluminum window framing, and natural color concrete. The building is being designed to meet Leadership in Energy and Environmental Design (LEED) Silver certification requirements.

Fencing

Section 17.54.190(B) of the Planning and Land Use Code requires fencing between incompatible uses as follows:

"Incompatible land uses shall be screened with six foot (6') vinyl, simulated wood or masonry fences as determined by the planning commission. A minimum six foot (6') decorative masonry wall is required between commercial or office zones and agricultural or residential zones. A higher fence or wall may be allowed or required by the planning commission in unusual circumstances. A building permit is required for fences or walls over six feet (6') high."

There is an existing 6' tall masonry fence, installed by the developer of townhomes in Riverton, that runs along the south property line of the project. The applicant is proposing to construct an 8' tall masonry fence along the west property line between the project and the single family homes in Bonanza Estates and Equestrian Estates. The reason for the increased height to 8' is to better buffer these residences from daytime incoming and outgoing homecare deliveries which will occur at the loading dock area on the west side of the building. The loading dock itself is located 170 ft. from the west property line 265 ft. from the south property line. However homecare employees will be picking up healthcare supplies to deliver to customers on a daily basis. It is also anticipated that at various times during the week, a semi-truck/trailer will be making deliveries to the facility. These

deliveries will include medical equipment and supplies as well as oxygen deliveries to refill the on-site oxygen tank.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

Based on the application material submitted and information reported in the report above the following findings can be made:

1. The property is zoned Mixed Use-South Center (MU-South) and Mixed Use-South Gateway (MU-SGATE)
2. The use as office service/office with customers on site is permitted in the MU-South and MU-SGATE zones. The warehouse part of the building is considered an accessory use and is permitted as such.
3. Maximum height of the building is allowed to be 35 ft. Un-occupied penthouse structures are not counted toward the overall height.
4. Height of the building to the top of the parapet is 32' for the warehouse area and two story section of the office/retail area. The penthouse area extends 10 ft. above the roof.
5. The landscaping design and number of trees proposed for the site exceeds the MU-South and MU-SGATE requirements.
6. The combination of the existing 6 ft. tall masonry fence along the south property line and proposed fencing along the west property line, meets or exceeds the Municipal Code requirements.
7. The proposed number of parking spaces to be provided meets and exceeds the Municipal Code requirements.
8. The Architectural Review Committee reviewed and recommended approval of the design, materials and colors of the proposed building.
9. The project promotes and is consistent with the following sections of the City's General Plan:
 - a. Policy LU-3.9 – Office uses should be encouraged in areas that provide buffers between residential uses and heavily used traffic arteries and other intense uses, and in locations that promote economic development and expansion of the employment base.
 - b. Policy E-1.4 – Promote energy efficient building construction and LEED certifications for commercial, industrial and major residential projects.
 - c. Policy ED-1.11 – Actively recruit targeted retail, restaurant and employment base businesses with higher paying salaries.
 - d. Policy ED-1.12 – Seek a better balance of the 'jobs to dwelling unit' ratio in the City by promoting new businesses and job opportunities for City residents.

Conclusions:

Based on the information submitted and the findings listed, the following conclusions can be made:

1. The proposed development will have a positive economic impact in the City by providing employment opportunities for South Jordan Residents.

2. The proposed development will meet the South Jordan City Development Code and Zoning Code requirements.
3. The proposal promotes the stated purpose of the Redwood Mixed Use Zones by providing orderly, aesthetically pleasing development and a balance of uses in the area.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Site Plan subject to the requirements listed, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

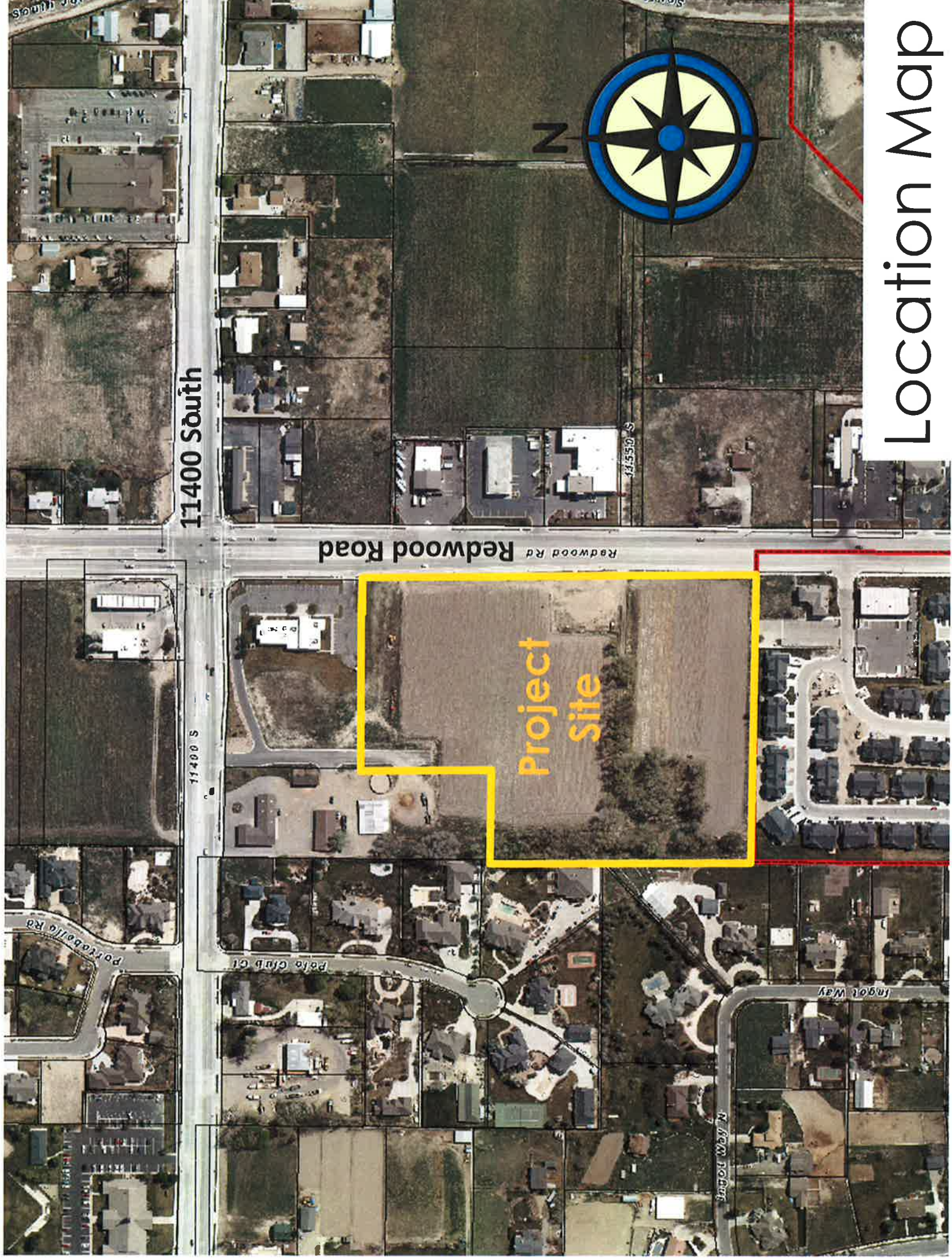
- Minimal. There will be increased property tax revenue as result of the development as well as positive economic impact with an increase in daytime population utilizing local business for various services.

ALTERNATIVES:

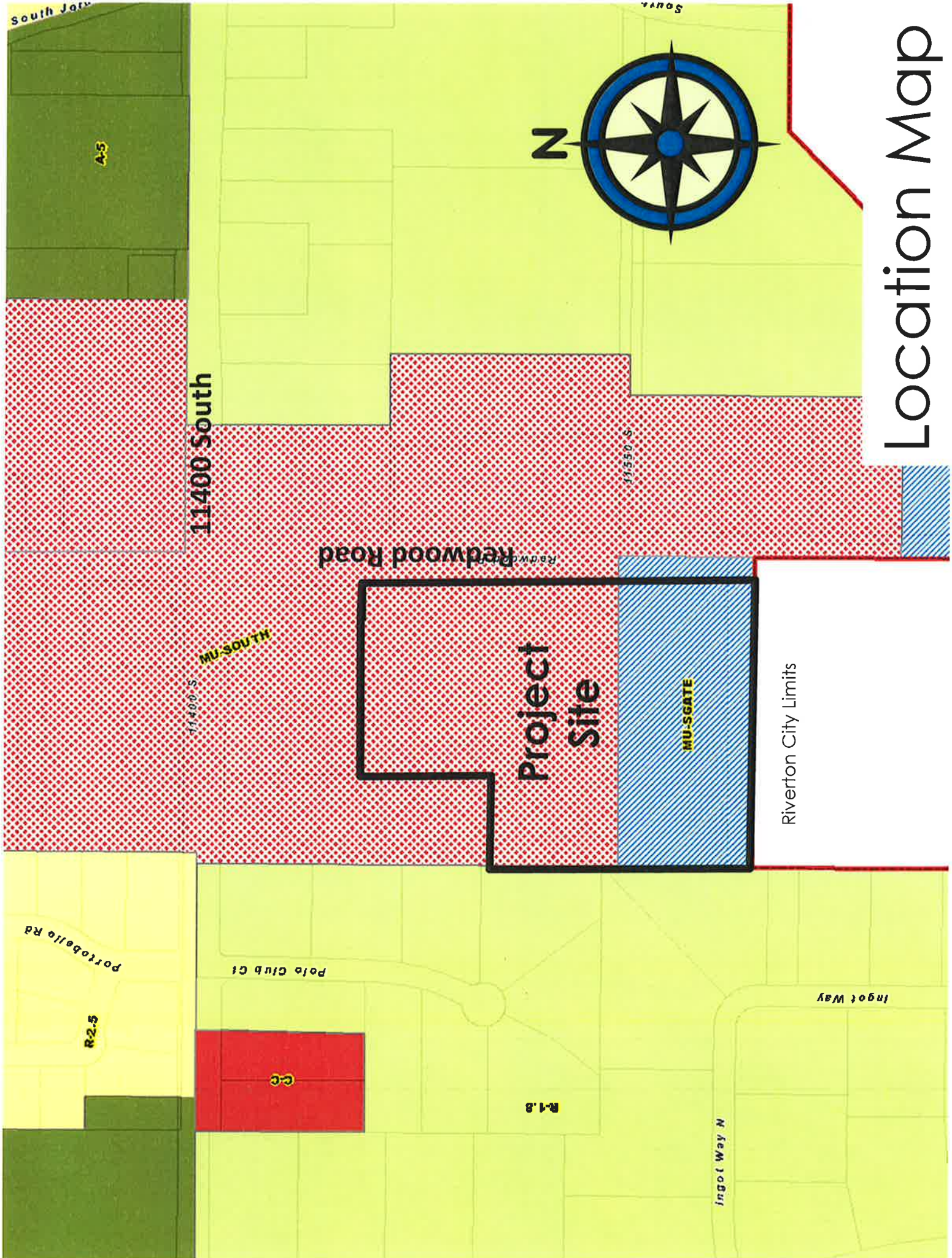
- Approve the Site Plan.
- Deny the Site Plan.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

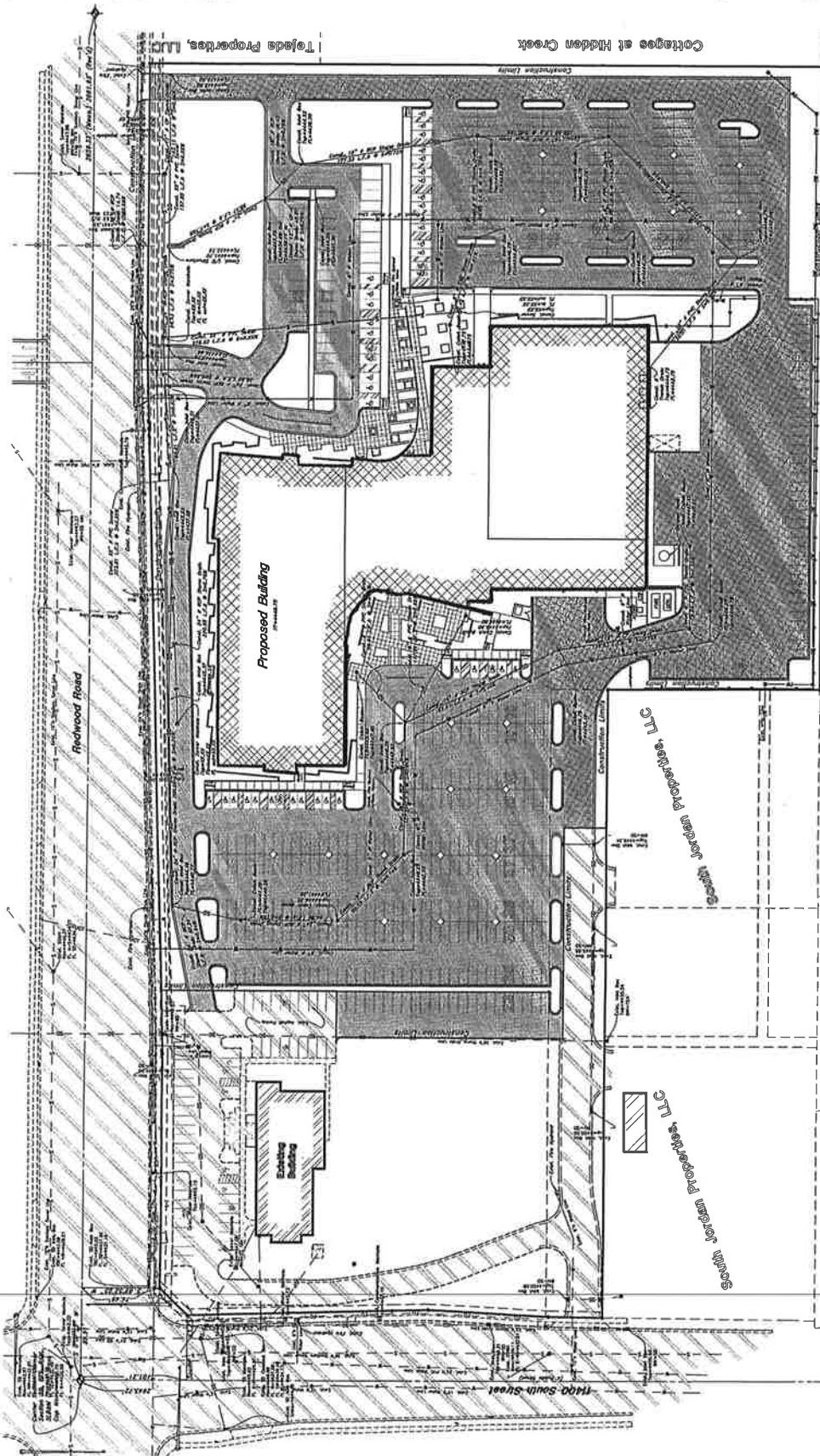
- Aerial Map
- Zoning Map
- Site Plan
- Landscape Plan
- Exterior Elevation Drawings
- Color Rendering of Building



Location Map



Location Map



Legend

Proposed Building

Existing Building

South Jordan Properties, LLC

Cottages at Hidden Creek

Redwood Road

11400 South Street

Utility Plan

Scale 1" = 50'

Graphic Scale

North Arrow

Legend

Proposed Building

Existing Building

South Jordan Properties, LLC

Cottages at Hidden Creek

Redwood Road

11400 South Street

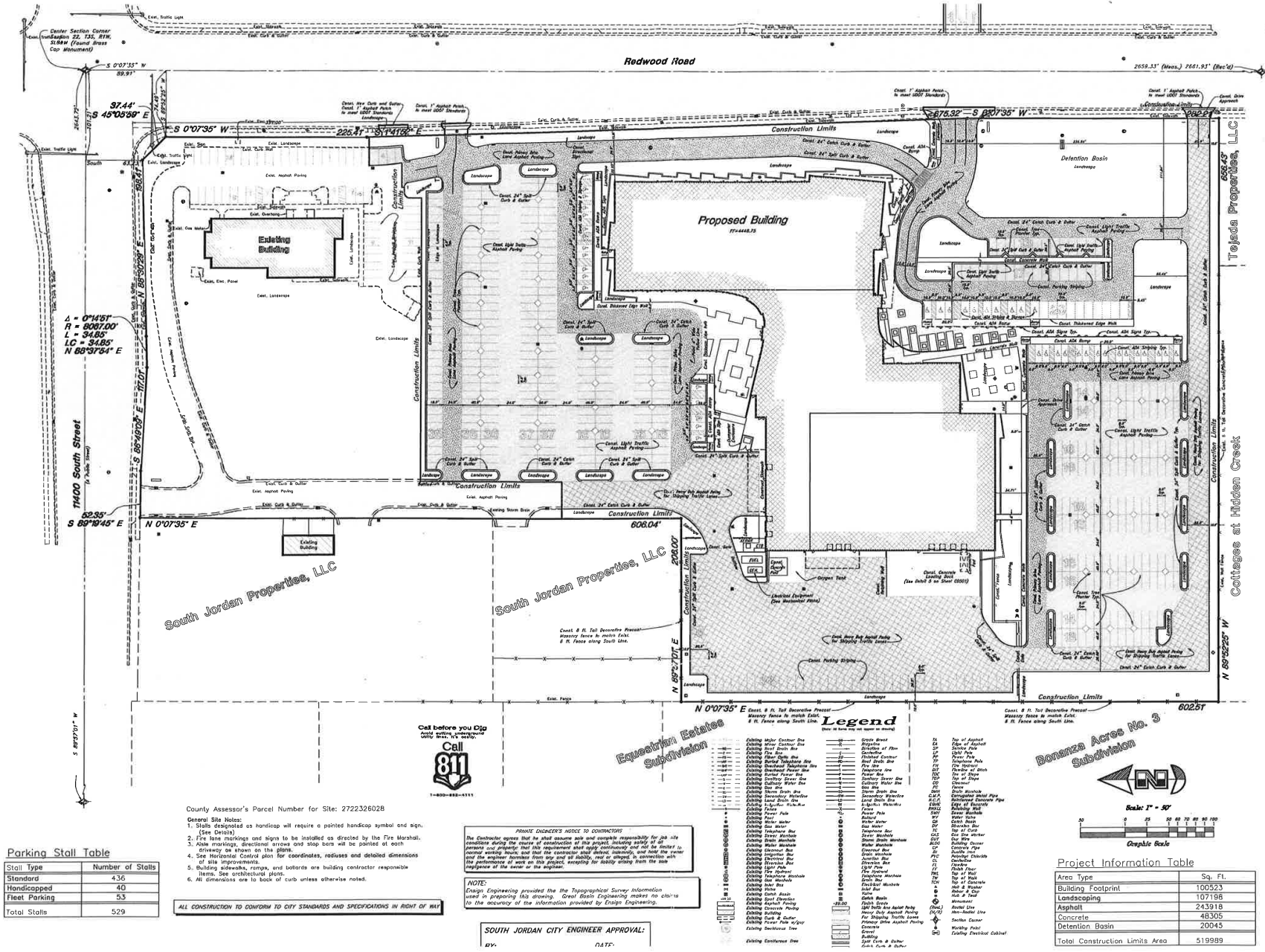
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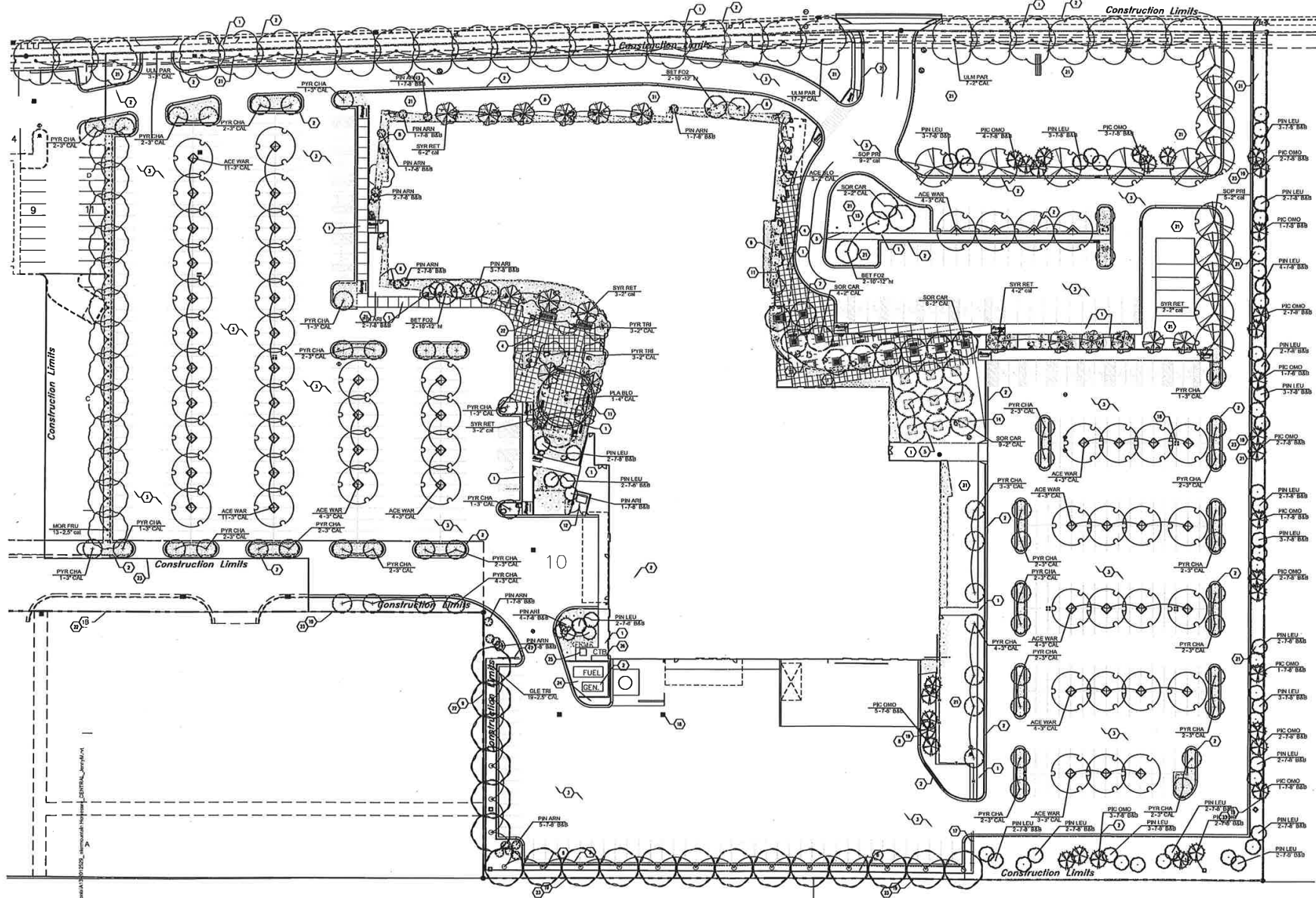
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Graphic Scale

North Arrow

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- KEYNOTES**
- 1 CONCRETE PAVING
 - 2 CONCRETE CURB AND GUTTER
 - 3 ASPHALT PAVING
 - 4 COLORED CONCRETE PAVING
 - 5 STABILIZED CRUSHED AGGREGATE PAVING
 - 6 CONCRETE UNIT PAVERS
 - 7 TREE GRATE
 - 8 CONCRETE MOWSTRIP
 - 9 CONCRETE WALL
 - 10 MEMORIAL / DONOR WALL
 - 11 BENCH
 - 12 DUMPSTER ENCLOSURE
 - 13 FLAGPOLE
 - 14 CONCRETE CURB
 - 15 BOLLARD
 - 16 EDGE OF CANOPY ABOVE
 - 17 CANTILEVER GATE
 - 18 CATCH BASIN
 - 19 CHAINLINK FENCE
 - 20 LIGHT POLE
 - 21 LAWN - SOO
 - 22 WIRE RACK
 - 23 PROPERTY/CONTRACT LIMIT LINE
 - 24 GRAVEL PAVING
 - 25 ELECTRICAL TRANSFORMER
 - 26 ELECTRICAL EQUIPMENT
 - 27 GAS METER

INTERMOUNTAIN HEALTHCARE
INTERMOUNTAIN HOMECARE OFFICE

REVISIONS

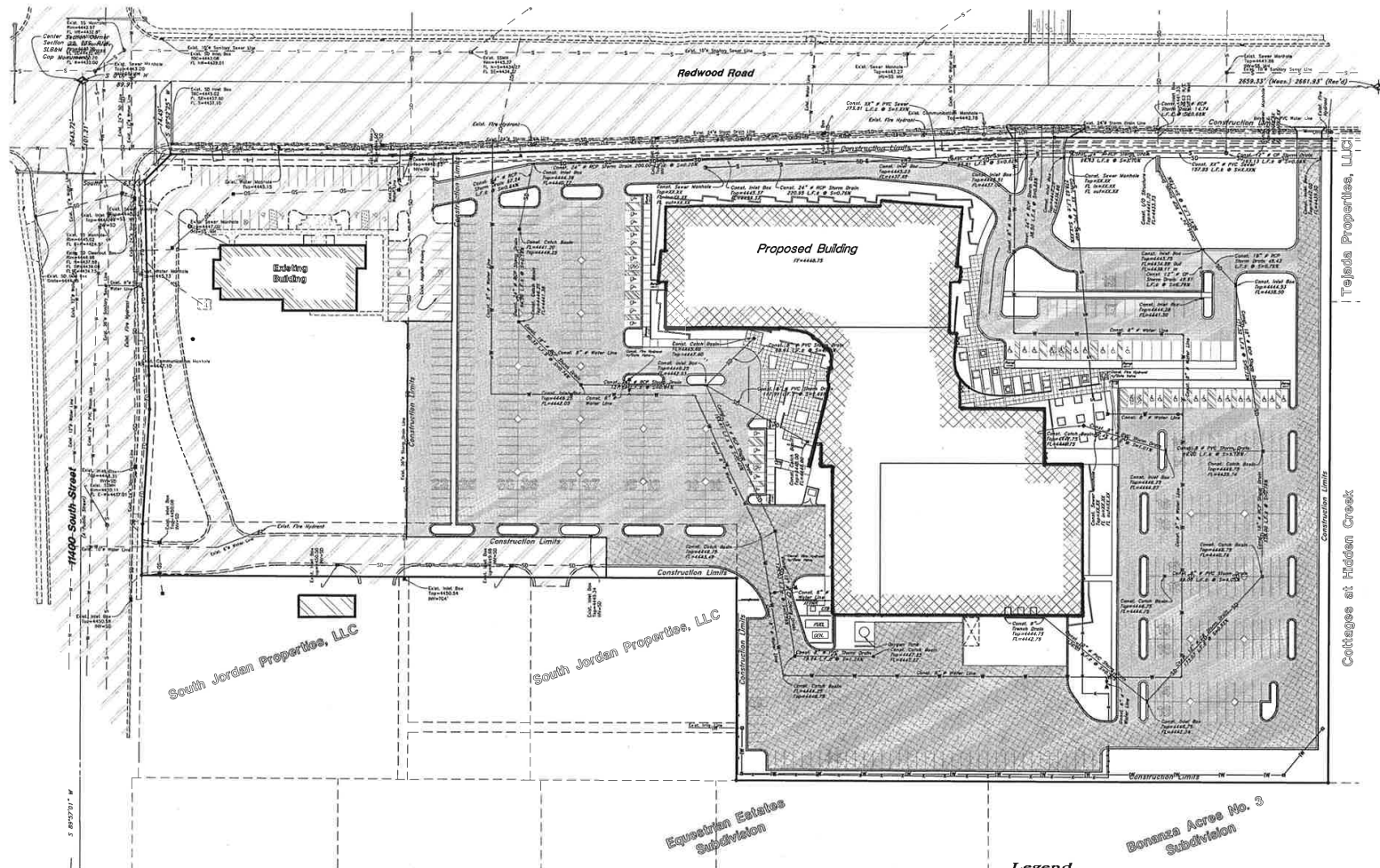
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98	11/11/11	ISSUED FOR PERMIT
99	11/11/11	ISSUED FOR PERMIT
100	11/11/11	ISSUED FOR PERMIT

LANDSCAPE PLAN

SCALE: 1" = 30'-0"

SITE SUBMIT
13 MARCH 2012

LP1.



South Jordan Properties, LLC

South Jordan Properties, LLC

Tajeda Properties, LLC
Cottages at Hidden Creek

Equestrian Estates Subdivision

Bonanza Acres No. 3 Subdivision

General Notes
1. The City Engineer has approved the proposed subdivision map for the purpose of recording the same in the public records of the County of Salt Lake, Utah.
2. The City Engineer has approved the proposed subdivision map for the purpose of recording the same in the public records of the County of Salt Lake, Utah.
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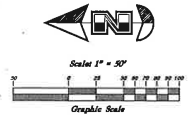
Other Notes
1. The City Engineer has approved the proposed subdivision map for the purpose of recording the same in the public records of the County of Salt Lake, Utah.
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SPRINKLER SYSTEM NOTES
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Legend

Proposed Building	Existing Building	Proposed Parking	Existing Parking
Proposed Driveway	Existing Driveway	Proposed Easement	Existing Easement
Proposed Alley	Existing Alley	Proposed Right-of-Way	Existing Right-of-Way
Proposed Street	Existing Street	Proposed Utility	Existing Utility
Proposed Fence	Existing Fence	Proposed Wall	Existing Wall
Proposed Gate	Existing Gate	Proposed Gatepost	Existing Gatepost
Proposed Sign	Existing Sign	Proposed Signpost	Existing Signpost
Proposed Light	Existing Light	Proposed Lightpost	Existing Lightpost
Proposed Tree	Existing Tree	Proposed Treepost	Existing Treepost
Proposed Plant	Existing Plant	Proposed Plantpost	Existing Plantpost
Proposed Animal	Existing Animal	Proposed Animalpost	Existing Animalpost
Proposed Bird	Existing Bird	Proposed Birdpost	Existing Birdpost
Proposed Fish	Existing Fish	Proposed Fishpost	Existing Fishpost
Proposed Insect	Existing Insect	Proposed Insectpost	Existing Insectpost
Proposed Mammal	Existing Mammal	Proposed Mammalpost	Existing Mammalpost
Proposed Reptile	Existing Reptile	Proposed Reptilepost	Existing Reptilepost
Proposed Amphibian	Existing Amphibian	Proposed Amphibianpost	Existing Amphibianpost
Proposed Fungus	Existing Fungus	Proposed Funguspost	Existing Funguspost
Proposed Bacteria	Existing Bacteria	Proposed Bacteriapost	Existing Bacteriapost
Proposed Virus	Existing Virus	Proposed Viruspost	Existing Viruspost
Proposed Parasite	Existing Parasite	Proposed Parasitepost	Existing Parasitepost
Proposed Protozoan	Existing Protozoan	Proposed Protozoanpost	Existing Protozoanpost
Proposed Eukaryote	Existing Eukaryote	Proposed Eukaryotepost	Existing Eukaryotepost
Proposed Prokaryote	Existing Prokaryote	Proposed Prokaryotepost	Existing Prokaryotepost
Proposed Archaeon	Existing Archaeon	Proposed Archaeonpost	Existing Archaeonpost
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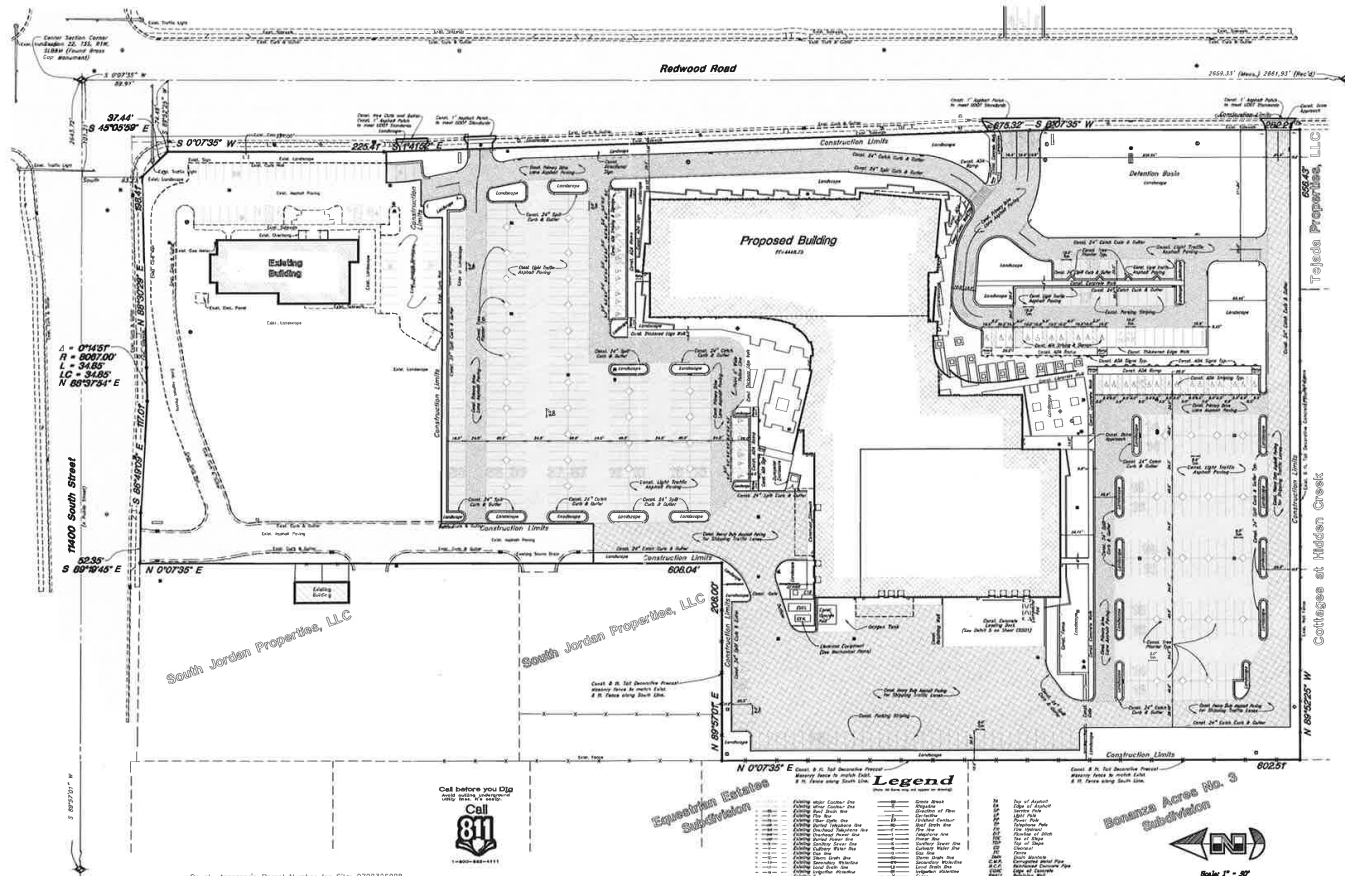
MHN ARCHITECTS, INC.
420 East South Temple
Suite 100
Salt Lake City, Utah 84111
Telephone (801) 595-0700
Telex (801) 595-0717
www.mhn.com

GREAT BASIN
1000 East 1000 North
Suite 100
Salt Lake City, Utah 84111
Telephone (801) 595-0700
Telex (801) 595-0717
www.greatbasin.com

INTERMOUNTAIN HEALTHCARE
Intermountain Homecare Office & Warehouse
11444 South Redwood Road
South Jordan, Utah 84095

NO.	DATE	DESCRIPTION
1	11/11/11	Initial Design
2	11/11/11	Final Design
3	11/11/11	Construction
4	11/11/11	Final Review
5	11/11/11	Final Approval

UTILITY PLAN
City Submittal Documents
CU101



Parking Stall Table

Stall Type	Number of Stalls
Standard	436
Handicapped	40
Fltmt Parking	33
Total Stalls	509

- County Assessor's Parcel Number for Site: 2722356008
- Design Site Notes:**
1. Stalls designated as handicap will require a painted handicap symbol and sign. (See Details)
 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
 3. Lane markings, directional arrows and stop bars will be painted at each driveway or street on the site.
 4. Topographical feature plan for construction, erosion and detailed drainage will be submitted.
 5. Building setbacks, setbacks, and setbacks are building construction responsibility.
 6. All dimensions are in feet unless otherwise noted.

ALL CONSTRUCTION TO CONFORM TO CITY STANDARDS AND SPECIFICATIONS IN RIGHT OF WAY

PRIVATE ENGINEER'S NOTICE TO CONSTRUCT

The Detention system and its related system are not subject to responsibility for the site. The Detention system and its related system are not subject to responsibility for the site. The Detention system and its related system are not subject to responsibility for the site.

NOTE:
Design Engineering provided the Topographical Survey information used in preparing this drawing. Great Basin Engineering is not responsible for the accuracy of the information provided by Design Engineering.

SOUTH JORDAN CITY ENGINEER APPROVAL:
BY: _____ DATE: _____

Legend

1. 1/4\"/>

Project Information Table

Area Type	Sq. Ft.
Building Footprint	100,523
Landscaping	107,198
Asphalt	243,918
Concrete	48,305
Detention Basin	300,445
Total Construction Limits Area	519,989

MHTN ARCHITECTS
MHTN Architects, Inc.
11444 South Redwood Road
South Jordan, Utah 84095
Tel: 801.581.1111
Fax: 801.581.1112
www.mhtn.com

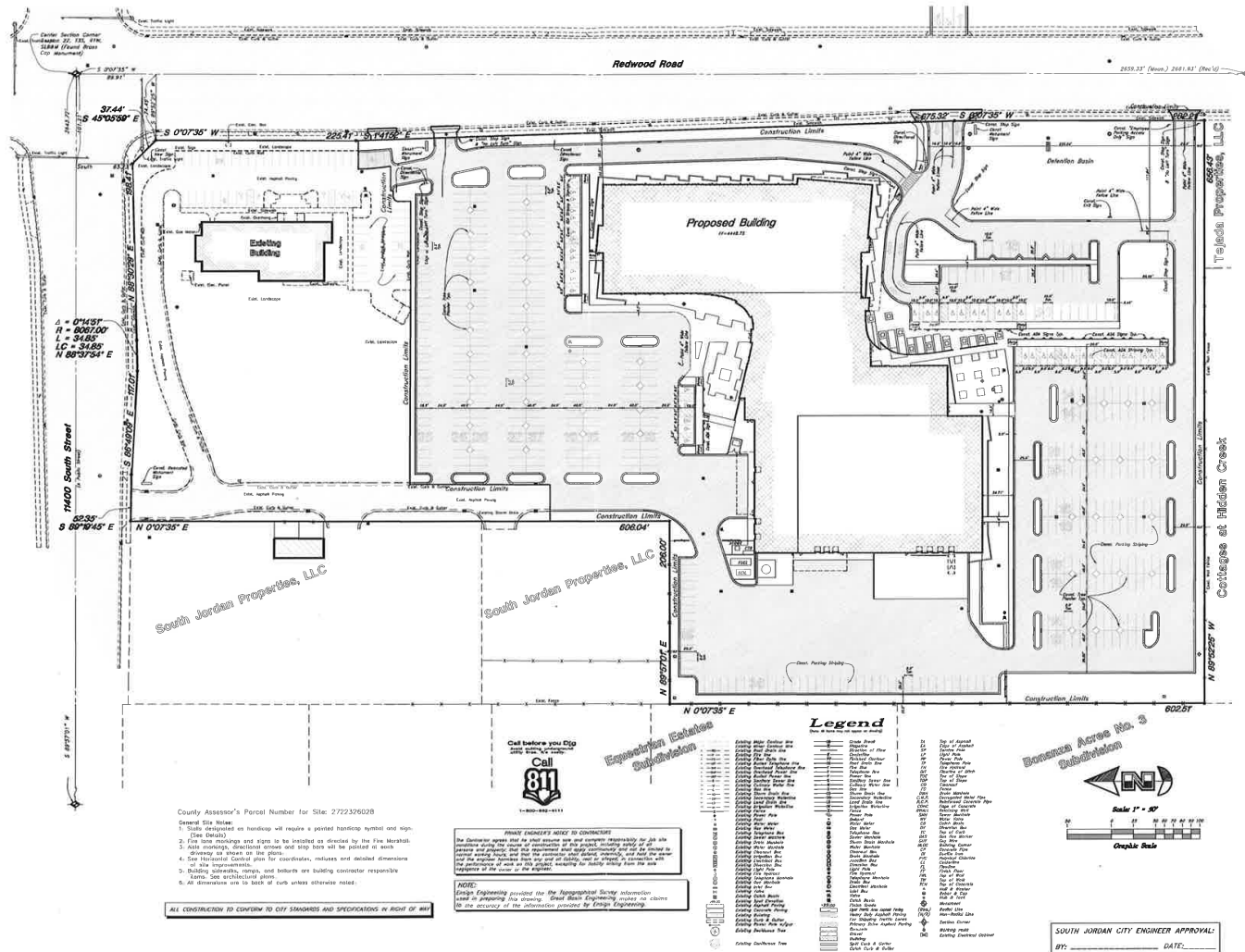
GREAT BASIN
11444 South Redwood Road
South Jordan, Utah 84095
Tel: 801.581.1111
Fax: 801.581.1112
www.greatbasin.com

INTERMOUNTAIN HEALTHCARE
Intermountain Healthcare Office & Warehouse
11444 South Redwood Road
South Jordan, Utah 84095

SITE PLAN

1. 1/4\"/>

12 Mar, 2013
CS101
(Civil Sheet 3 of 10)



MHTN
ARCHITECTS
1100 N. 1000 E., Suite 100
Salt Lake City, UT 84143
TEL: 313.100.1000
FAX: 313.100.1001
WWW.MHTN.COM

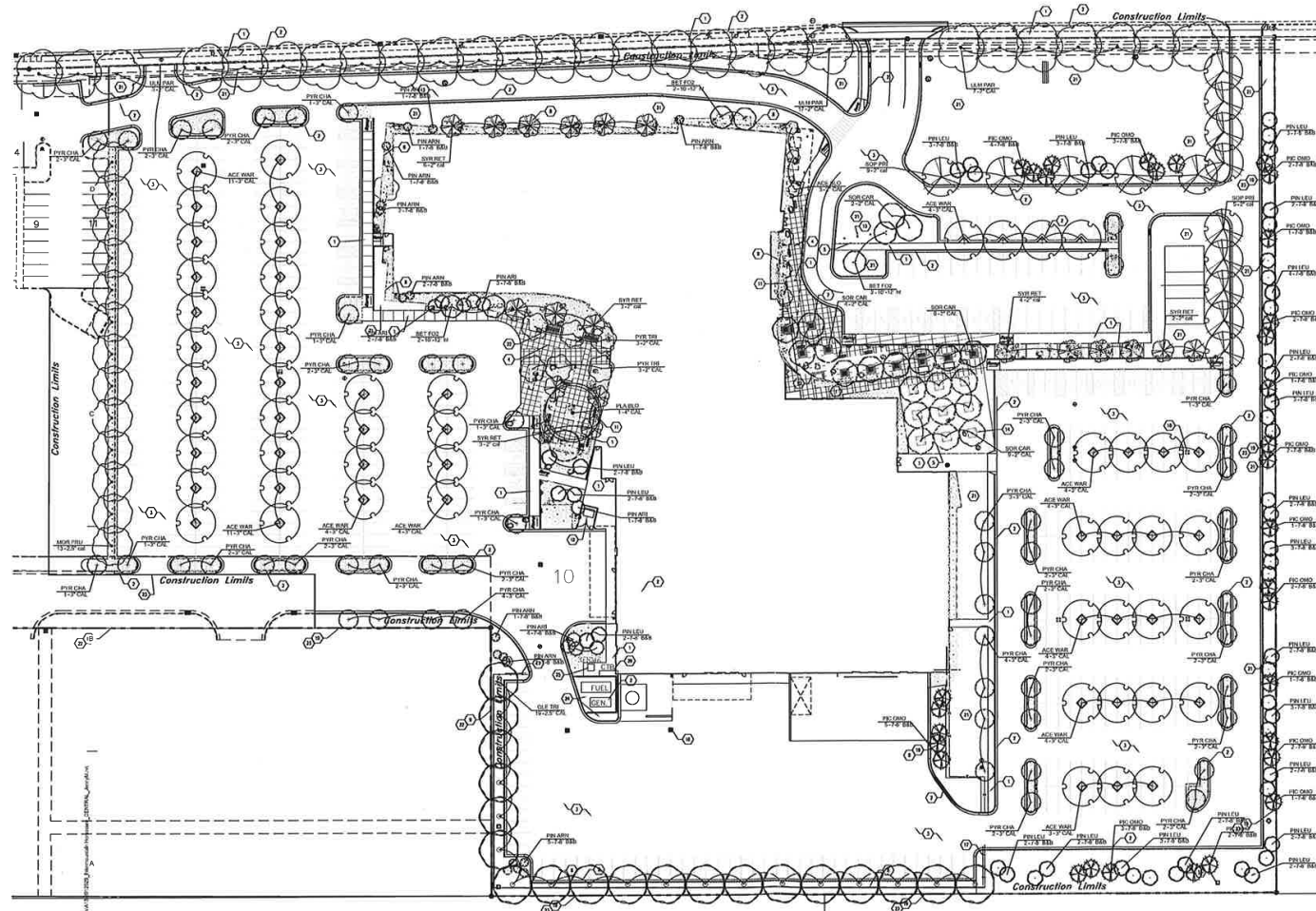
GREAT BASIN
ENGINEERING
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WWW.GREATBASIN.COM

INTERMOUNTAIN HEALTHCARE
Intermountain Healthcare Office & Warehouse
11444 South Redwood Road
South Jordan, Utah 84095

NO.	DESCRIPTION	DATE
1	11444 South Redwood Road	12 May 2013
2	11444 South Redwood Road	12 May 2013
3	11444 South Redwood Road	12 May 2013
4	11444 South Redwood Road	12 May 2013
5	11444 South Redwood Road	12 May 2013
6	11444 South Redwood Road	12 May 2013
7	11444 South Redwood Road	12 May 2013
8	11444 South Redwood Road	12 May 2013
9	11444 South Redwood Road	12 May 2013
10	11444 South Redwood Road	12 May 2013

STRIPING AND SIGNAGE PLAN

12 May 2013
CS102
(Civil Sheet 4 of 16)



- KEYNOTES**
- CONCRETE PAVING
 - CONCRETE CURB AND GUTTER
 - ASPHALT PAVING
 - COLORADO CONCRETE PAVING
 - STABILIZED CRUSHED AGGREGATE PAVING
 - CONCRETE UNIT PAVERS
 - TRIPLE GRADE
 - CONCRETE MONOSTEP
 - CONCRETE WALL
 - MEMORIAL / DONOR WALL
 - BENCH
 - DUMPSTER ENCLOSURE
 - FLAJOLE
 - CONCRETE CURB
 - BOULDER
 - EDGE OF CANOPY ABOVE
 - CANOPY/BEAM GATE
 - GARDENING
 - CHAINLINK FENCE
 - LIGHT POLE
 - WATER - 800
 - WIRE RACK
 - PROPERTY CONTRACT
 - UTILITY LINE
 - GRAVEL PAVING
 - ELECTRICAL TRANSFORMER
 - GAS METER

**INTERMOUNTAIN HEALTHCARE
INTERMOUNTAIN HOME CARE OFFICE
& WAREHOUSE**

11444 SOUTH REDWOOD ROAD, SOUTH JORDAN CITY, UT 84095

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

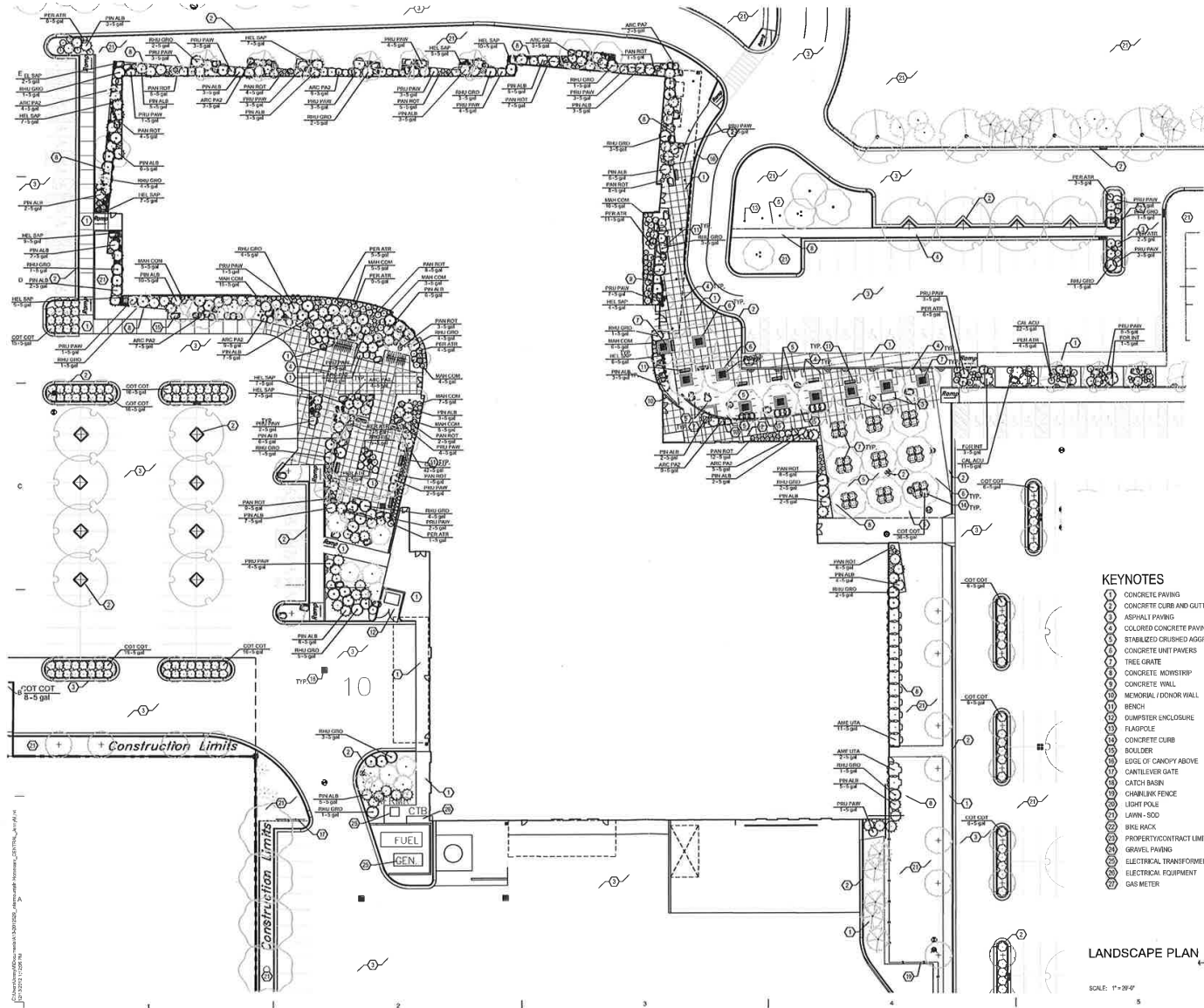
LANDSCAPE PLAN

SITE SUBMITTAL
13 MARCH 2013

LP1.00

LANDSCAPE PLAN

SCALE: 1" = 30'-0"



- KEYNOTES**
- 1 CONCRETE PAVING
 - 2 CONCRETE CURB AND GUTTER
 - 3 ASPHALT PAVING
 - 4 COLORED CONCRETE PAVING
 - 5 STABILIZED CRUSHED AGGREGATE PAVING
 - 6 CONCRETE UNIT PAVERS
 - 7 TREE GRATE
 - 8 CONCRETE MONOTRIP
 - 9 CONCRETE WALL
 - 10 MEMORIAL / DONOR WALL
 - 11 BENCH
 - 12 GUMPESTER ENCLOSURE
 - 13 FLAGPOLE
 - 14 CONCRETE CURB
 - 15 BOULDER
 - 16 LEVEL OF CANOPY ABOVE
 - 17 CANTILEVER GATE
 - 18 CATCH BASIN
 - 19 CHAINLINK FENCE
 - 20 LIGHT POLE
 - 21 LAWN / SOO
 - 22 BIKE RACK
 - 23 PROPERTY/CONTRACT LIMIT LINE
 - 24 GRAVEL PAVING
 - 25 ELECTRICAL TRANSFORMER/GENERATOR
 - 26 ELECTRICAL EQUIPMENT
 - 27 GAS METER

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

MHTN
ARCHITECTS
MHTN Architects, Inc.
400 East South Temple
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www.mhtn.com

INTERMOUNTAIN HEALTHCARE INTERMOUNTAIN HOMECARE OFFICE & WAREHOUSE

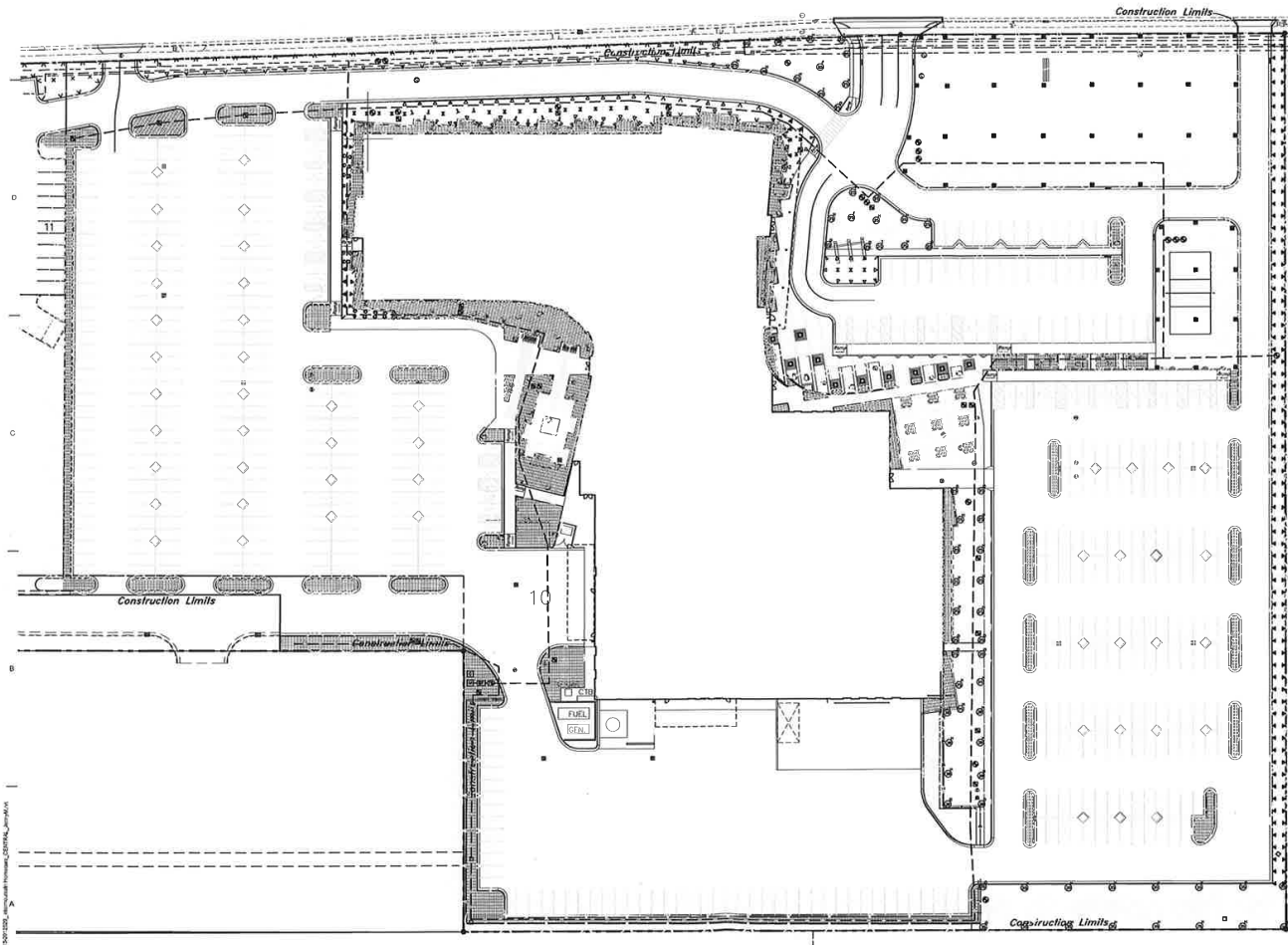
11444 SOUTH REDWOOD ROAD, SOUTH JORDAN CITY, UT 84095

NO.	DESCRIPTION	DATE
1	PRELIMINARY DESIGN	10/10/12
2	SCHEMATIC DESIGN	11/15/12
3	DESIGN DEVELOPMENT	12/10/12
4	FINAL DESIGN	01/10/13
5	CONSTRUCTION DOCUMENTS	02/10/13

ENLARGED PLAZA
LANDSCAPE PLAN

SITE SUBMITTAL
13 MARCH 2013

LP1.01



IRRIGATION PLAN

SCALE: 1" = 30'-0"



INTERMOUNTAIN HEALTHCARE
INTERMOUNTAIN HOMECARE OFFICE
& WAREHOUSE

11444 SOUTH REDWOOD ROAD, SOUTH JORDAN CITY, UT 84095

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
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10	ISSUED FOR PERMIT

IRRIGATION PLAN

SITE SUBMITTAL
 13 MARCH 2013

LI1.00



BRICK - IRONSTONE
COLOR



GLAZING - SOLARBAN 70XL,
SOLEXIA+CLEAR

INTERMOUNTAIN HOMECARE - OFFICE AND WAREHOUSE FACILITY
11444 SOUTH REDWOOD ROAD, SOUTH JORDAN CITY, UTAH



**CITY OF SOUTH JORDAN
ARCHITECTURAL REVIEW COMMITTEE MEETING MINUTES
SOUTH JORDAN CITY HALL – MAPLE CONFERENCE ROOM
WEDNESDAY, MAY 15, 2024**



Attendance City Staff: *Russ Naylor, Kathie L. Johnson, Andrew McDonald, Katelynn White*

Attendance Applicant(s): *Jonathan Johnson, Jake Seiler, Joseph*

Minutes Prepared by: *Katelynn White*

ARCHITECTURAL REVIEW COMMITTEE MEETING

THE MEETING STARTED AT 8:30 A.M. AND THE MEETING WENT AS FOLLOWS:

A. GENERAL BUSINESS ITEMS

A.1. INTERMOUNTAIN HOMECARE OXYGEN WAREHOUSE

Location: 11520 S Redwood Road, South Jordan

Applicant: Intermountain Health; Jake Seiler Core Architecture; Jonathan Johnson

Planner: Andrew McDonald

Project description:

This project will encompass an oxygen warehouse located at the address, 11520 S Redwood Road. The warehouse is proposed to match the existing exterior of the intermountain health on the same property.

What are the required steps to move forward with the project?

- i. Andrew, City Planner, informed applicants on the next step in approval process for this project. Andrew explained that the site plan approval will be contingent on approval and recording of the subdivision amendment.
- ii. The applicant's preference is to use CMU Block for the exterior of this building. This would be in compliance to South Jordan City masonry ordinance.
- iii. Applicant stated the building will not be painted. This will require less maintenance for the structure.
- iv. Kathie, City Council member, expressed concern with the awnings located on the structure based on their flat nature.
- v. Committee expressed that it is unlikely the applicant will need to attend an additional ARC meeting. Andrew will coordinate with Applicant to determine if further changes will need to be made to the Architecture of the building.

Q&A

ADJOURNMENT



233 South Pleasant Grove Blvd.
Suite 105
Pleasant Grove, Utah 84062
(801) 769-3000 Office
(801) 769-3001 Fax

INTERMOUNTAIN HOMECARE OXYGEN WAREHOUSE

11520 SOUTH, REDWOOD RD, BUILDING B,
SOUTH JORDAN, UTAH 84095

SITE PLAN REVIEW RESPONSE #01 OCTOBER 10, 2024

South Jordan City Building Department
Attn: Andrew McDonald

Below you will find our responses to review comments received from South Jordan City. We have included the original comments for reference with our response listed below.

1. Provide an Operations Plan uploaded using "Additional Documents."
The purpose of an operations plan is to identify the potential sound, vibration, light, glare, odor, crime, hazardous materials, fire, and environmental impacts generated by a use or project based on the operational nature, scale, or practices of an establishment. The operations plan shall include the following information, if applicable: date of commencement of operations; proposed hours and days of operation; a general description of the operation; a projection of the number of persons on site (e.g., employees and customers); types of accessory uses anticipated; hazardous materials to be used or produced on site; and all other relevant information to describe the nature, scale, practices of the establishment. Initial establishment of uses identified in the

required impact control measures table in subsection H of this section shall provide an operations plan. Also include how this warehouse addition will improve the operations of the existing site/building and the plans for its involvement with other off-site IHC locations. The applicant discussed these plans with Staff during the DRC meeting and the ARC meeting. These documents will help the Planning Commission understand the project and be better informed as to what is being proposed.

Response: We will comply. See the attached Operations Plan.

2. Provide a Rehabilitation and Containment Plan uploaded to the application using "Additional Documents". Accessory uses that involve significant quantities of hazardous materials are required to provide at Rehabilitation and Containment Plan. A containment plan shall be prepared by a qualified expert documenting hazardous materials to be stored, used, or produced in significant quantities and the policies and practices to prevent and contain the accidental or inappropriate discharge of those materials. The plan shall demonstrate that the proposed use will comply with all State and Federal requirements and that the public and the environment will be protected from hazardous conditions. A rehabilitation plan shall also include actions that will be taken upon cessation of activities or uses involving potentially hazardous materials to ensure that the site is free from hazardous materials for future activities or uses. These documents will help the Planning Commission understand the project and be better informed as to what is being proposed.

Response: We will comply. See the attached Containment and Rehabilitation Plan.

3. Provide a Circulation and Access Plan uploaded to the application using "Additional Documents". The purpose of a circulation plan is to identify a proposed project's potential traffic conflicts generated by proposed access points and vehicular, pedestrian, and bicycle routes. The circulation plan shall show adjacent roads, access points, primary travel routes, drop off and pick up areas, stacking and queuing areas, connections with adjacent properties, and pedestrian and bicycle routes. Demonstrate how the new warehouse addition will incorporate into the existing circulation and access of the site, and will not create any additional impacts to traffic or access. This is required because the project includes a vehicle/loading bay along the west elevation. This document will help the Planning Commission better understand the project, and what is being proposed. The Commission will also keep in mind the proximity to the residential homes to the west, and how all of this could impact them.

Response: We will comply. This project will extend truck traffic further North, but it is not anticipated that this new site layout will create any additional impact beyond what already exists. The Owner's intent throughout the design process has been to increase safety and locate less favorable site features (like the oxygen tank) to the East side of the building. The building is not intended to significantly

increase site traffic. The function and employees that currently operate this part of the building's function are currently housed within the existing building. Those functions will just be relocated to this building. See revised AS101 where the circulation and access information has been added.

4. Please know that this item is not specifically a requirement at this point, however, it would help support the application given the projects proximity to the existing residential zone and existing homes to the Providing these documents would help the Planning Commission understand the application, and what is being proposed. The Commission has directed attention to projects like this before. There will be focus placed on the distance to the existing homes to the west and help support the project's attempt to address potential negative impacts on surrounding properties or on the public health, safety, and welfare. West is within (300') of the west property line/residential land use designation. Given the project is within just over (100') from this boundary and has a vehicles loading/unloading bay facing these homes, it would be helpful to provide a Sound Study.

The purpose of a sound study is to determine the potential for detrimental effects from sound generated by the proposed use or project. A sound study shall be commissioned, at the expense of the applicant, from a member of a national acoustical association (i.e., National Council of Acoustical Consultants, Acoustical Society of America, or Institute of Noise Control Engineering) or an expert consultant with demonstrated experience and capacity as determined by the Planning Director. The sound study shall include sufficient information to determine the likelihood of compliance with Salt Lake County Health Department noise regulations and the requirements of this title.

Response: Whereas this is not required, the Owner has declined to provide this study. As mentioned in the response to Comment #3, the Owner's intent has been to improve conditions as it relates to adjacent neighboring properties. We don't anticipate that sounds generated from this building will be any louder than what exists currently, since the same functions are already occurring in the existing building.

5. Provide the updated Building Elevations and Renderings that show the discussed (4") deep "fins" along the elevations exceeding (40') in length. As discussed, the awnings can stay, but they do not meet the intent and purpose of the architectural standards.

Response: We will comply. As coordinated, the existing building on its Eastern façade appears to use the same type of window fins to meet the zoning requirement. We are proposing to match those fins at the required intervals. The fins were shown in the last submittal in both the floor plan (A101) and A201. The fins have been added to the renderings. See the revised A101, A201, A202, A203, A204, and A205.

6. Please know that this item is not specifically a requirement at this point, however, it would help support the application given the projects proximity to the existing residential zone and existing homes to the Providing these documents would help the Planning Commission understand the application, and what is being proposed. The Commission has directed attention to projects like this before. There have been commercial project related to uses like these where the Commission has placed focus on traffic in and out of the project relative to the existing infrastructure and capacity and with the new demand involved in the proposal. The Commission has looked at how something like this could impact the flow of traffic on adjacent roads (11400 S. and Redwood Road). It would be helpful to the application to provide a Traffic Study uploaded using the "Additional Documents". The purpose of a traffic study is to identify the extent of traffic impacts generated by a use or project on transportation system capacity, level of service, and safety. Overall, the Study would help support that traffic is not going to be a potential impact for the existing site, impact Redwood or 11400 S., or impact the adjacent residential homes to the west where the only access to their homes is form 11400 South.

Response: Whereas this is not required, the Owner has declined to provide this study. That being said, we don't anticipate that significant additional traffic or traffic flows will be notably altered by the new building, since the same functions and traffic are already occurring in the existing building. See the revised AS101 with the added circulation information.

7. The plat will be reviewed and approved via the separate Subdivision Amendment application. Remove the plat from the Civil Plan Package and any other document file upload it may be included in for the Site Plan application. You must keep the upload 14 pages, and if you add pages, they must be included after page 14 regardless of their contents. If pages are not the same, Staff's review will not overlay properly and the re-submittal will be rejected. Remove the plat and leave page one blank. If desired, it can say "Page intentionally left blank".

Response: We will comply.

8. The use for this project is considered warehousing, distribution, and storage. This requires 1 parking stall per 800 sf² of floor area or 1 parking stall per employee at maximum shift change. According to the dimensions (120' x 132'), the warehouse is 15,840 sf² which requires 20 parking stalls. This Site Plan only shows 17. The other 3 parking stalls required cannot be the stalls dedicated/used/ and numbered for IHC's fleet of vans and trucks on-site.

Response: As coordinated with the city planner, the size as described above is not accurate. See the revised AS101 that includes a parking tabulation breakdown of the net stalls required for this project. Due to other city review comments, the Owner has opted to remove the Add Alternate and build out the remainder of the

parking lot. Due to this, regardless of how stalls are counted, we are adding far more than the required number of stalls.

9. Will the ZX1, ZX2, HX1, and OC1E lights be illuminated 24/7 or on a daylight schedule/timer? What would the hours of illumination be?

Electrical Engineer Response: The exterior lights will be control via photocell and occupancy. The exterior lights will be dimmed for majority of the time and if the area is in use the corresponding light pole or area will turn up in brightness momentarily.

10. Please confirm the distance between the masonry fence, being relocated, and the placement of the light pole pedestals along the west boundary.

Response: From the property line to the center of the light poles is about 8'. From the property line to the center of the light poles is about 9'. A dimension has been added to the revised AS101A.

11. Is it possible to move the proposed lighting poles along the west boundary further into the property to the edge of the end-of-parking row islands?

Response: We discussed this and whereas there aren't sufficient islands along the west property line to place light poles, we are concerned that we wouldn't be able to adequately light the parking. Please note that the existing light poles further South are approximately 4' off of the fence line. Therefore, we are placing them further East than the existing poles. Also, we are providing light cut offs on the lights as required by code to mitigate light filtration to adjacent properties. See the revised ES201A.

12. These specs are inconsistent with the additional specs provided on sheet EL602. This sheet says that ZX1 AND ZX2 are overall 15' and 20' tall respectfully, however, sheet EL602 lists that both ZX1 and ZX2 are both 27'. Which is the correct height? The lighting specs also needs to indicate the shielding being used.

Response: ES201A was correct and EL602A was incorrect. The required shielding notes have also been added to the fixture schedule. The light poles will be 20 p in the parking lot area and 15' on the outer perimeter near the property line. See the revised ES201A and EL602.

13. Is this irrigation line active and being used? It will need an easement recorded against the property, and shown on the plat.

Response: Yes, the flood irrigation line is active. The civil engineer has been coordinating with the Ditch Master and he is in agreement regarding the relocation

of the pipe and easement. See the Subdivision Plat Plan Review Response #1 (not part of this document), and the revised site plan drawings.

14. This area could possibly be redesigned to include the three needed parking stalls with the end-of-parking curbed planter being at least (5') wide. It would be best to complete the work in gray shade along the west boundary now with the main project so that all required parking stalls are installed, landscaping buffers, lighting poles, and curbing are completed and won't have to have new Civil, Landscaping, and photometric analysis files provided.

Response: As discussed, due to city concerns, the Owner has agreed to plan on building out the rest of the parking lot as part of this project. See the revised Civil, Landscape plans, AS101, and AS101A.

15. The ADA requires that disabled parking have the shortest route possible to the access doors of the building. It would be better if these ADA stalls were shifted two stalls east so that the striped access area was directly in line with the access doors being shown here.

Response: This was reviewed and discussed during design. As discussed with the city planner, due to ADA requirements for landings (from the building and access aisle), the ADA stall placement is actually the closest location that meets all code requirements.

Civil Response: Shifting the stalls to the east would reduce the strictly linear distance to the doors. However, because the sidewalk sits 6" above the stalls, ADA ramps are needed to reach the doors. These ramps require space along the sidewalk as putting them directly in front of the doors would reduce the space of the landing for the main doors. It is for this reason that the stalls are placed as such: It is the shortest desirable distance from the ADA landing to the doors following the ADA path.

16. Provide updated exterior renderings that show the 6" and 12" relief features on each of the four sides.

Response: We will comply. See the revised A202, A203, A204, and A205.

17. Are these accessories included or an optional purchase? The External Glare Shield will be required at installation of both the ZX1 and ZX2 locations. Site lighting shall be shielded to prevent glare on adjacent residential properties, and all light is directed down towards the surface.

Response: We will comply. We have added notes to clarify the requirements in the fixture schedule. See the revised EL602.

18. Is this a black color exterior finish?

Response: Yes, we plan on using black fixtures to match the existing building.

19. What is the distance between 11400 S. ROW and the end of the relocated fence that will be kept clear for the RMP conduit?

Response: We've moved the fence back slightly to allow RMP clearance for the transformer. The current distance is about 4'. See the revised CS105, and AS101.

20. Is the fence going to replace the exiting fences along this boundary or be placed up against the fences of the adjacent neighbors on IHC property?

Response: The intent is to leave the existing neighbor fences and extend the required 8' masonry fence on Intermountain's property. The purpose for this is so that we don't create any gapping issues between the neighbor's existing perpendicular fences and because the transformer on the Northwest corner of the property would prevent the installation of the masonry fence all the way to the corner leaving a gap in the fence. For your information, this condition already exists along sections of the existing fence.

21. Indicate if this drive aisle will be one way or two way. Internal driveways, such as this, are required to have at least a (24') width for two way and a (12') for one way. If it is a two way access, the width will need to be wider.

Response: The drive aisle is intended for two way use. The issue has been resolved with the removal of the Add Alternate. The drive aisle measured from front face of curb to front face of curb is 26'. See the revised Civil Plans, and AS101A.

22. What is the planned time frame that the alternative work would be contracted out and completed? As what was discussed in previous conversations with the applicant and Staff discussing this area, it will need to be improved somehow. Unfortunately, City Code requires that improvements be paved surfaces or landscaping. The parking stalls, lighting, and landscaping along the west should be finished with this project to save having to come back later with new plans and applications. The larger parking lot needs to be completed as it is being shown here, or curbed and landscaped temporarily somehow, or perhaps you could discuss with Engineering on curbing this area and turning it into a temporary storm water detention basin to help with the storm water calculations. The basin would still need to be landscaped somehow.

Response: Due to city concerns, the Add Alternate for the additional parking has been removed and the design now includes completing all of the proposed parking lot as part of this project. See the revised Civil Plans, Landscape Plans, and AS101A.

23. Without the work in gray shading being completed now, this drive aisle will be required to be bordered with minimum (4") concrete curbing.

Response: Due to city concerns, the Add Alternate for the additional parking has been removed and the design now includes completing all of the proposed parking lot as part of this project which resolves the need for the curbing on the drive aisle. Please note that the exposed North edge of the parking lot is boarded by a concrete "ribbon" to help maintain the asphalt edge. See the revised Civil Plans, Landscape Plans, and AS101A.

24. Was there any roof top mechanical equipment such as HVAC units? If there is, include it on the elevations and exterior renderings to show what would be seen.

Response: As discussed with the City Planner, the HVAC units will mostly be screened by taller parapets. It is anticipated that some units may protrude up to about 2' above the parapets. The exterior elevations have been revised to show the HVAC units. The HVAC units have also been added to the renderings but are not visible due to the perspective viewpoints of the images. So, it is unlikely that they would be easily seen by adjacent neighbors, except at great distances from the building or at elevated viewpoints. See the revised A201, A202, A203, A204, and A205.

25. Where is sheet IR-100?

Response: The Landscape sheets were renamed just prior to submitting to the city and some of the references were inadvertently not corrected. Additionally, we've renumbered some sheets for clarity as well. IR-100 is now LI101A. The references have now been corrected. See the revised LI001, and LI101A

26. South Jordan City Landscaping Ordinances have changed since IHC constructed the existing buildings. The Landscaping and Irrigation details need to include details on the landscaped areas being provided with a Water Sense labeled smart irrigation controller which automatically adjusts the frequency and/or duration of irrigation events in response to changing weather conditions. All controllers shall be equipped with automatic rain delay or rain shut-off capabilities (City Code Title 16.30.040.B(3)). If the existing landscaping controls are being used, they will need to be updated to comply with this requirement. If the system already meets this code requirement, the details need to include the requirements in their notes.

Response: We will comply. A rain sensor will be added to the existing Sprinkler Controller. See the LI101A.

27. Where are sheets LP-101 and LP-501? Is it supposed to be sheets L101 and L501?

Response: The Landscape sheets were renamed just prior to submitting to the city and some of the references were inadvertently not corrected. Additionally, we've renumbered some sheets for clarity as well. LP-101 is now L101A, and LP-501 is now L501. See the revised L101A, and L501.

28. This relocation will require a new private irrigation easement be recorded for the area the new line is located, and shown on the plat.

Response: We will comply. See the revised Subdivision Plat Plan Review Response #1 (not part of this package), and Civil Plans (part of this package).

29. Is this private irrigation line being relocated too?

Response: This markup was missing from the drawings that were provided to the design team from the City. We interpret that this comment is in reference to the gravity flow irrigation line that is being relocated to the West side of the property. Please clarify with the design team if this interpretation is not correct. See the revised CS104 and CS108.

Surveyor / Civil Response: After discussions with the Utah & Salt Lake Canal Co., a new 15' irrigation easement is now shown on CS105 to accommodate the relocation of the pipe toward the property line. After the new pipe is installed, per the discussions, a portion of the existing easement will be vacated. See the plat for more detail (not part of this package).

30. This is the symbol for a storm drain line. Note this as new storm drain line if that is the plan. The City has GIS record of storm drain line locations, and there is not one located in this easement area. Please Confirm.

Response: This has been corrected to show it as irrigation line. See the revised CS104 and CS108.

31. City GIS records indicate that this east/west easement has a private irrigation line. Please confirm, and show it if it is still there and being used.

Response: This markup was missing from the drawings that were provided to the design team from the City. We interpret that this comment is in reference to the gravity flow irrigation line that is being relocated to the West side of the property. Please clarify with the design team if this interpretation is not correct. See the revised CS104 and CS107.

Civil Response: The east-west irrigation line ends at the box in the future parking area and does not continue east past it.

External Agency Review:
Engineering Review: Jared Francis

1. Since this is an irrigation line please label as IRR instead of SD so it won't get confused with storm drain.

Response: We will comply. See the revised CS104 and CS107.

2. Our GIS shows an existing landscape meter in this location. Please verify and show on the plans, call out the size.

Response: We will comply. See the revised CS104 and CS107.

3. These connections to the water main need to be a minimum 3' apart.

Response: We will comply. See the revised CS107.

4. Note the size of the existing water main.

Response: We will comply. See the revised CS107.

5. Call out these type of connections as hot taps.

Response: We will comply. See the revised CS107.

6. The fire line to the building must have a PIV.

Response: We will comply. See the revised CS107.

7. Add "DR-18, Blue" to water pipe description.

Response: We will comply. See the revised CS107.

8. Call out the pipe type for the fire line. Per City standards, from the main to the PIV it's PVC, and from the PIV to the building it's ductile iron.

Response: We will comply. See the revised CS107.

9. There needs to be a new 15' wide waterline easement in favor of South Jordan City on the new connections from the water main up to and including the new fire hydrant, PIV and water meter.

Response: We will comply. See the revised Subdivision Plat (not part of this package), CS107, and AS101A.

10. Needs to be designed for the 100-year storm.

Response: We will comply. See the revised Drainage Report, and CS108.

11. Update these to the latest version from the City website.

Response: We will comply. See the revised CS103.

12. Service lateral from the main to the meter must be poly IPS.

Response: We will comply. See the revised CS107.

13. Instead of a vault call out a 24" water barrel per South Jordan City standards.

Response: We will comply. See the revised CS107.

14. After changing the drainage calculations for the 100-year storm, make modifications to the storm drain system to accommodate the required storage.

Response: We will comply. See the revised Drainage Report, and CS108.

Summary of Attachments:

(8.5x11): Operations Plan, Containment and Rehabilitation Plan, Drainage Report

(24X36): Entire Sheet Set.

Issued by:

Jonathan Johnson

Senior Project Architect (Core Architecture)

Copy to: Owner, Contractor, Architect, Consultants

END OF PLAN REVIEW RESPONSE #01

Intermountain Home Services

Operations Plan

Medical Oxygen Warehouse / Building B

Date of Commencement

This is still to be determined, but it is anticipated to open in the latter part of 2025

Hours of Operation

The hours of operation for this building will be Mon-Sun 6 am to 10 pm.

Projected Occupancy

This facility is currently projected to occupy between 5-10 staff only individuals during the hours of operation. No general public will be allowed within this facility.

Summary

The Intermountain Health Home Services will be relocating the existing oxygen operations from the primary building located at 11520 S Redwood Rd, South Jordan UT, to the proposed "Building B". These operations include the filling, storing, and cleaning of compressed oxygen cylinders. The goal of this new facility is to create a space where Intermountain Health can safely fill and store compressed oxygen tanks that are used to meet the health needs of the general public within the intermountain west region. Due to the increased and changing demands, the expanded facility is needed to meet the requirements set by regulatory groups such as the International Fire Code or the National Fire Protection Association.

With this new facility being solely dedicated to oxygen, there will be loading and unloading of oxygen tanks/racks. The unloading of tanks/racks from vans and box trucks will be on the south part of the west facing wall. These tanks are coming back from other Intermountain Health facilities or patient homes. The loading of vans and box trucks will be on the north part of the west facing wall. These tanks are going out to other Intermountain Health facilities or directly to patient homes.

Hazardous Materials

Per the NFPA and IFC, the amounts of oxygen gases within this facility would be classified as oxidizing gases. Per the required codes, the amount of oxygen stored, which is approximately 445,000 cubic feet at max capacity, warrant a detached structure dedicated to all activities related to the cleaning, filling, and storing of oxygen cylinders. This facility will be designed to meet all code requirements pertaining to the approximate max oxygen storage capacity.

In addition to the oxygen gases stored within this facility there is a 9,000 gallon external bulk liquid oxygen tank on the premises of the property. This is an existing tank that will be relocated from the current location located on the north west corner of the current facility warehouse to the south east corner of the proposed new facility. This new location will move the large bulk tank further away from neighboring residences and help buffer noises produced from pumps and other equipment that are used in the process of filling oxygen cylinders.

The intention of creating this facility is to have a space dedicated to safely storing the large amounts of oxidizing gases in an environment that has been designed and

constructed to meet the applicable code requirements. This will reduce any risk factor associated to the existing operation, facility, and neighboring properties.

In the event that Intermountain Health decides to change the function of this facility and no longer fill or store oxygen within this facility, Intermountain Health will also require the removal of the large bulk liquid oxygen tank and by so doing will remove any hazard associated to the facility regarding oxidizing gases.

Noise

This facility will have noise associated. As part of the operations, Intermountain Health is looking to relocate the large bulk liquid oxygen tank. By relocating the existing tank to the proposed location, east side of the building, it will be located further away from existing residences. The building will help muffle the noises this tank produces with pumps and off bleeding as part of the filling process. With the new configuration, the noises heard by residents located to the west should be less than the current operation. There will also be vehicle noise which would include engine noises and loading/unloading noises to the exterior dock as currently exists.

Noise Abatement

By relocating the large bulk tank and associated equipment to the east side of the new facility, we are taking into consideration the current noise levels and trying to put those noises further away from residences.

Light

The exterior lighting this building produces will be setup similarly to the existing building and the lights on the building will be on a day light sensor. The parking lot lights will also be part of the day light sensor/timer but these lights will also have a motion sensor that will allow the lights to dim when the area is not actively being used.

Glare

Glare from the structure should be minimal as there are few windows on the building itself and the building is to be constructed of cementitious materials.

Vibration

Vibration will be consistent for those neighbors that currently share a property line on the south west corner of the existing building and operation. The primary source of vibration will be from vehicle/truck traffic.

Odor

It is not expected to increase any odor pollution by adding this new facility

Crime

It is not anticipated that his new facility will increase or bring new crime to the area

Fire

With having a standalone facility for oxygen, this will mitigate existing conditions where oxygen is closer to combustible materials. This facility is to be built with minimal combustible materials and will not have combustibles stored within the space.

INTERMOUNTAIN HOMECARE

CONTAINMENT & REHABILITATION PLAN FOR HAZARDOUS MATERIALS

MEDICAL OXYGEN STORAGE BUILDING

Prepared by:

J. Nicholas Rice, MSOH, CIH, CSP
Enterprise Safety & Industrial Hygiene Director
383 West Vine St, Fourth Floor
Salt Lake City, Utah 84123
(801-381-2849)

Hazardous Material Storage & Use

The proposed medical oxygen storage building is intended to store approximately 445,000 cubic feet of gaseous medical oxygen, an oxidizing gas. Storage will largely be in cylinders; some larger cylinders will also be used and stored. The main hazard with oxidizing gases is fire as oxygen supports and accelerates combustion. Safety is enhanced with the proposed dedicated and detached storage facility as the oxygen will be separated from combustible storage in the main Homecare building.

In addition to oxygen cylinder storage, there will be relocation of oxygen transfilling processes which includes a cleaning process for cylinders returned from patients. The transfilling process includes an approximate 9,000 gallon external bulk liquid oxygen tank. The transfilling process is existing in the main homecare building and will be relocated to consolidate the oxygen processes. The existing bulk oxygen tank that will be relocated from the current location on the north west corner of the existing homecare warehouse to the south east corner of the proposed new oxygen storage. This new location will move the large bulk tank further away from neighboring residences and help buffer noises produced from pumps and other equipment that are used in the process of filling oxygen cylinders.

No new diesel storage is associated with the proposed facility and emergency power will be provided by the diesel generator located at the existing building.

Federal & State Requirements

Consolidating the oxygen storage and transfilling into a dedicated and detached building is driven by enhancing safety around storage of oxidizing gas. This proposed oxygen storage building will reduce risk associated with existing facility by isolating the oxygen process. The facility will be designed and operated to meet provisions of:

- International Fire Code (2021 Utah adoption) including

- Chapter 4 Emergency Planning and Preparedness

- Chapter 9 Fire Protection and Life Safety Systems

- Chapter 10 Means of Egress

- Chapter 50 Hazardous Materials

- Chapter 53 Compressed Gases

- Chapter 63 Oxidizers, Oxidizing Gases and Oxidizing Cryogenic Fluids

- International Building Code (2021 Utah Adoption) including

- Section 307 High Hazard Occupancies

- National Fire Protection Association (NFPA) 55 Compressed Gases and Cryogenic Fluids Code

- Compressed Gas Association (CGA) P-1 – Safety Handling of Compressed Gas

Emergency planning related to hazardous materials will be conducted under the requirements of the Emergency Planning and Community Right to Know Act (EPCRA) Sections 310-303. Inventory reporting will be conducted under the provisions of the Emergency Planning and Community Right to Know Act (EPCRA) Sections 311-312.

Policies Procedure to Prevent & Contain Accidental Release

Where the hazardous material to be stored is gas and/or liquid oxygen (that turns to gas under standard temperature and pressure), there is limited risk from release to the environment. The primary hazard is fire prevention, and the physical hazard of compressed gases and cryogenic gases. Written standard operating procedures are in place to ensure safety and prevent the release of oxygen. These standard operating procedures are reviewed by safety, operations, and quality control staff. The transfill operations adhere to the standards set forth by the Current Good Manufacturing Practice (CGMP) and the Food and Drug Administration (FDA) requirements to assure quality and safety. These standard operating procedures that support prevention and containment of accidental release include:

- Transfilling SOP

- Cryogenic Oxygen Filling Process SOP

- Liquid to Gas SOP

- Device Validation and Records SOP

- Oxygen Cylinder Cleaning SOP

- Transfilling and Cleaning SOP

- Housekeeping and Pest Control SOP

- Intermountain Health Hazardous Materials Policy

Intermountain staff receive annual safety training related to the oxygen operations, hazardous materials, hazard communication, and emergency response. A liquid oxygen vendor conducts the filling of the bulk liquid oxygen tank and adheres to best practices related to emergency response and safety related to bulk oxygen filling. In addition, Intermountain Health has a contractual arrangement with a hazardous materials emergency response in the unlikely event of a release requiring specialized cleanup.

Rehabilitation Upon Cessation of Hazardous Materials Storage & Use

In the event that Intermountain Health ceases to store or fill oxygen within this proposed facility, Intermountain Health will removal oxygen cylinders and remove the large bulk liquid oxygen tank. As the hazardous material in question is gas and cryogenic liquid, the proposed facility operations pose limited to no risk of release to the environment that would impact soil or water. Intermountain Health has the financial resources to implement a closure plan if operations cease.

Dawn R. Ramsey, *Mayor*
Patrick Harris, *Council Member*
Kathie L. Johnson, *Council Member*
Donald J. Shelton, *Council Member*
Tamara Zander, *Council Member*
Jason T. McGuire, *Council Member*



PH: 801.446-HELP @SouthJordanUT

NOTICE OF PUBLIC HEARING

October 31, 2024

Dear Recipient:

Jonathan Johnson (CoreArch), on behalf of Property Owner, has filed an application (File #**PLSPR202400130**), located at 11520 S. Redwood Road. The applicant is requesting that the South Jordan City Planning Commission review and approve a site plan application for an accessory warehouse, "Warehouse B".

You are receiving this notice because Salt Lake County records indicate that you own property that is within 600' (feet) of the subject property boundaries; or are listed as an affected entity. A map showing the property location is attached to this notice.

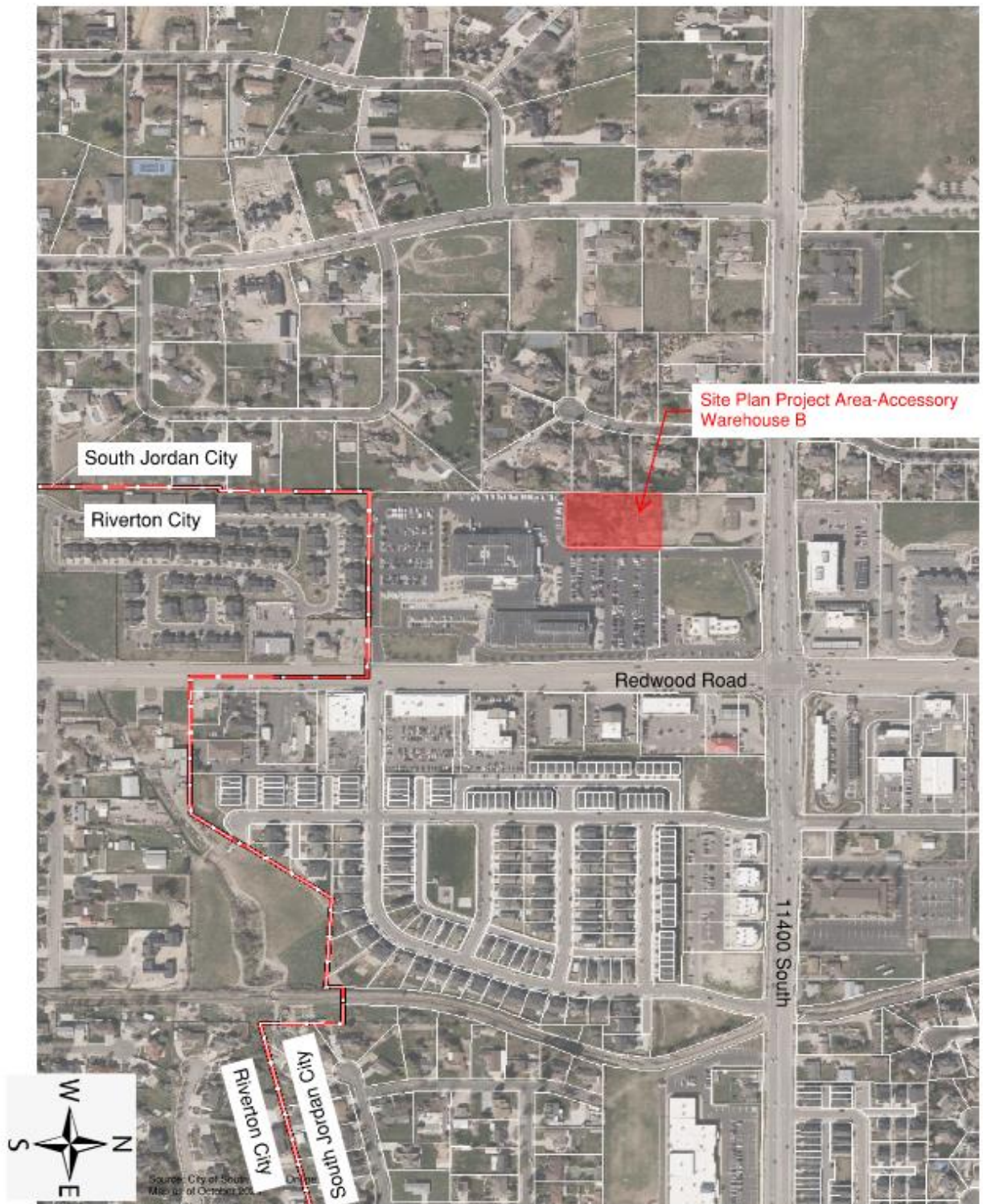
A public hearing regarding this proposal will be held before the South Jordan City Planning Commission **at 6:30 p.m. on November 12, 2024** in the South Jordan City Council Chambers (1600 W. Towne Center Drive). All interested parties are invited to attend. Virtual attendance can be done by following instructions provided at: <http://www.sjc.utah.gov/planning-commission/>. Virtual attendance is contingent upon an individual's internet connection, not the City. Virtual attendance does not permit participation. Unless written comment is submitted, in-person attendance is required to participate in public comment.

Public comment may be submitted in writing by mail or by emailing Andrew McDonald at amcdonald@sjc.utah.gov, **by 12 p.m. on November 8, 2024**. This ensures that any comments received can be reviewed by Staff and the Commission, and included in the record prior to the meeting. **There is a maximum 10 MB files size limit.** Any emails or signed letters received will be placed on record. Comments may also be given, and added to the record, during the public comment portion of the hearing.

Should you desire further information, you may contact the South Jordan Planning & Zoning Department: **(801) 446-4357** during regular business hours or by contacting the email provided.

Respectfully,
Andrew McDonald, AICP
Planner II, Planning Department

Location Map



Map of 600' Public Notice Recipients

