

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 11/12/2024

Issue: SOUTH JORDAN CITY AQUATIC RECREATION CENTER SITE PLAN
AMENDMENT-COMPETITIVE LAP POOL ADDITION

Address: 10866 S. Redwood Road

File No: PLSPR202400152

Applicant: Rachel Sittler (ArchNexus)

Property Owner: Salt Lake County

Submitted by: Andrew McDonald, Planner II
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application (file# PLSPR202400152) based on the findings of fact listed in this report and presented by City staff.

ACREAGE:	Approximately 3.16 (acres)
CURRENT ZONE:	OS-P (Open Space-Park Subdistrict)
NEIGHBORING ZONES:	North – OS-P
	South – A-5 (Agricultural, Minimum 5 acres lots)
	West – OS-P
	East – A-5, MU-COMM (Mixed Use-Community) Zone

STANDARD OF APPROVAL:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of titles 16 & 17 of the City Code, and other city requirements, shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND:

The original site plan application for the South Jordan Aquatic Recreation Center was reviewed and approved by the Planning Commission in 2003 (see supporting materials). At that time, the current zoning was A-5. In 2013, the City adopted the OS-P Zoning designation the property was rezoned in 2021.

Swimming pools require a Conditional Use Permit (CUP) in both the A-5 and OS-P Zones. A CUP was approved in conjunction with the 2003 Site Plan approval. This approval runs with the land and will not require an amended approval.

ArchNexus, on behalf of Salt Lake County, filed an application to amend the site plan for the recreation center. The amendment is to construct a competitive lap pool addition in the south-west area of the current facilities. The addition will be roughly 12,000 ft² and contain seven competitive lanes with audience seating areas. The site plan, floor plan, and renderings are included in the supporting materials.

PUBLIC NOTICE:

City Code §17.04.060.B requires public notice be provided to the owner of record for properties located within 300 feet of the subject property. A copy of the required mailing notice has been included in the supporting materials. A map of the notice recipients has also been included.

ARC MEETING:

An Architectural Review Committee (ARC) meeting is held between the applicant and the members of ARC. The purpose of ARC is to discuss the applicant's proposal with the applicant. The Committee compares the proposal to the City's overall high architectural & design standards, and those for the underlying zone. The ARC reviewed this application on July 10, 2024, and recommended approval of the design.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The application meets the standards of review.
- There will be no new lighting features.
- All mechanical equipment is located on the roof top and is screened from public view of the right-of-way.
- The lap pool area will be accessed from doors to be located on the west and south sides.
- School buses will be able to load/unload on the adjacent access road south of the facility.
- Parking is sufficient on-site and in the immediate area (see Location Map).

Conclusion:

- The proposed application meets the City Code requirements and as such should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the proposed Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Location
- Current Zoning Map
- 2003 Site Plan/CUP Approval
- Lap Pool Addition Plans
- ARC Meeting Minutes
- Public Mailing Notice

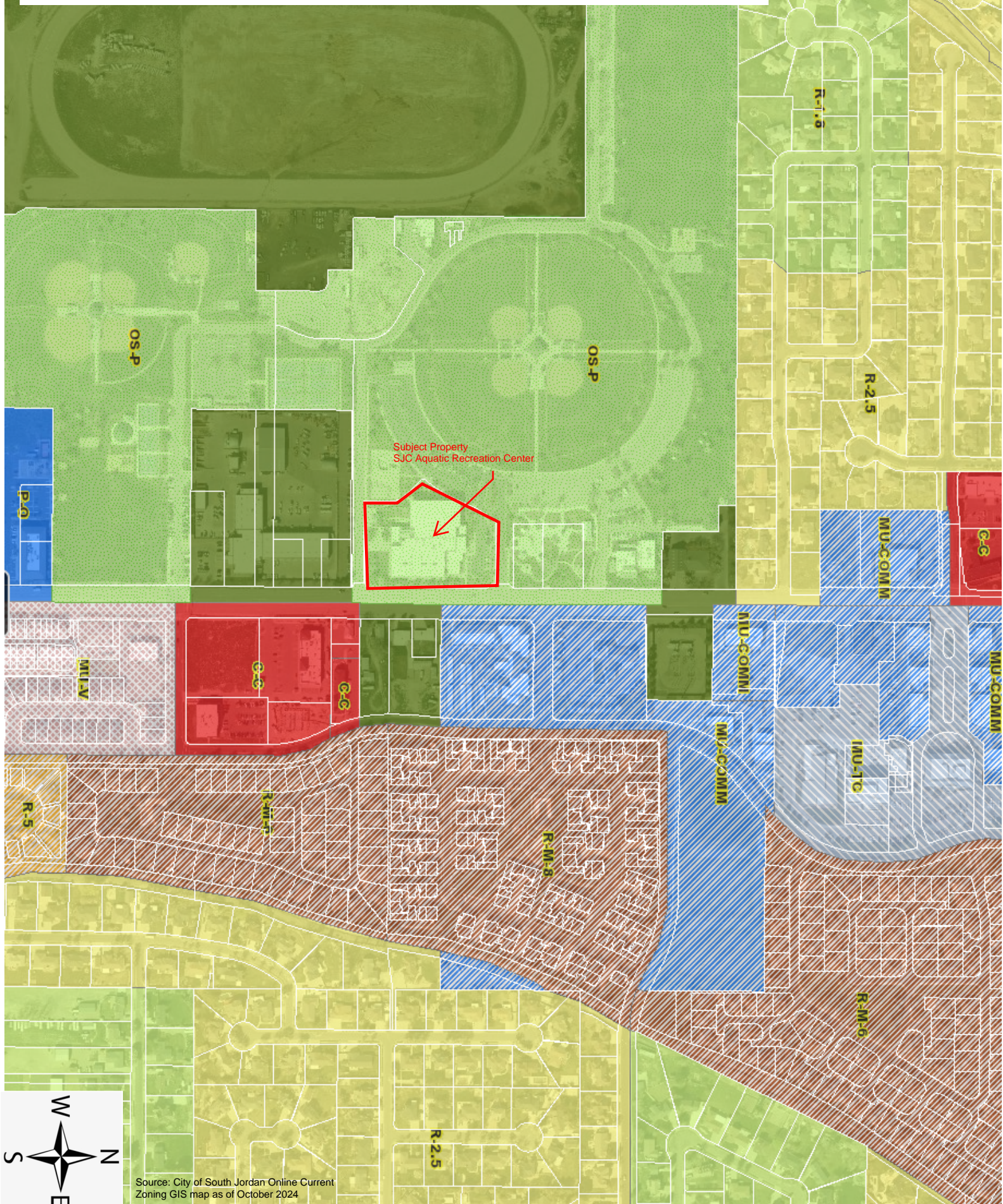
A handwritten signature in black ink that reads "Andrew McDonald". The signature is fluid and cursive, with the first name "Andrew" and last name "McDonald" clearly distinguishable.

Andrew McDonald, AICP
Planner II, Planning Department

Location Map



Current Zoning Map



SOUTH JORDAN CITY PLANNING COMMISSION STAFF REPORT

TO: South Jordan City Planning Commission

FROM: Judy Hansen, Planner II

DATE: June 10, 2003

**SUBJECT: FILE #27-15-376-015, CONDITIONAL USE PERMIT/SITE PLAN,
SOUTH JORDAN RECREATION CENTER, 10866 SOUTH
REDWOOD ROAD, A-5 ZONE DISTRICT, CITY INITIATED.**

BACKGROUND

This item was before the Planning Commission as a public hearing on Tuesday, May 27, 2003 (see attached staff report). The Planning Commission tabled the decision to allow staff the opportunity to provide both a landscaping plan and colored renderings of the proposed building. The landscaping plan meets all ordinance requirements and is included in the packet information and colored renderings will be available at the meeting.

RECOMMENDATION

Staff recommends approval of the Conditional Use Permit/Site Plan for the South Jordan Recreation Center subject to the following conditions:

- Due to the location and size of the property, some of the required parking will be located outside of the required 400' radius of the use and a public street located on the south side of the recreation center will separate some of the parking from the use.
- All exterior materials to be matching brick with the color to be approved by staff.
- Dumpster enclosure to be constructed of the same material as that used on the main building with a solid gate.
- All Zoning & Code Requirements are met.
- All Engineering & Fire Department Requirements are met.

**SETBACK, BUT WILL NOT DEDICATE UNTIL UDOT BEGINS
WIDENING AT THAT LOCATION**

- **A SIGNED & RECORDED EASEMENT AGREEMENT WILL BE
SUBMITTED TO THE CITY PRIOR TO ANY BUILDING PERMIT
ISSUANCE**
 - **THE APPLICANT WILL INSTALL A CATEGORY 1 STREETLIGHT ON
REDWOOD ROAD, AND A CATEGORY 3 STREETLIGHT ON TOWNE
CENTER DRIVE**
 - **THE LANDSCAPE PLAN DOCUMENTATION PACKAGE WILL MEET
ALL REQUIREMENTS OF CHAPTER 11.30 (WATER EFFICIENT
LANDSCAPING)**
 - **ALL ENGINEERING & FIRE DEPARTMENT REQUIREMENTS ARE
MET**
 - **ALL ZONING & DEVELOPMENT CODE REQUIREMENTS ARE MET**
- SECOND – LLOYD BYBEE** **VOTING – ALL IN FAVOR**

*D. File #27-15-376-015, Conditional Use Permit/Site Plan, South Jordan
City Recreational Center, 10866 South Redwood Road, A-5 Zone
District, City Initiated*

Greg Schindler reviewed and explained the staff report.

Fred Kankamp asked if there would be adequate cross walks? Mr. Schindler stated that they should be, but it could be added to the conditions of approval.

Chairman Pro Temp Mabey opened the public hearing and called for comments.

Lisa Stocking, 10828 South Redwood Road, the City should be compliant with what is expected from other developments. More information should be available to the public before the property starts development.

James Kafer, 10887 South Redwood Road, asked why everyone wasn't notified of this project? Mr. Schindler checked the mailing list and verified that Mr. Kafer was sent a notification.

Marsha Carlson, 1801 West 10740 West, represents the Mountain Farms Subdivision stating that she thought there would be more information for review. She expressed concern with what this building may look like and stated that public should be permitted input to make the facility better. Any other developer would be required to show their development. She asked if there would be a traffic light? Mr. Schindler stated that there is no plan for a traffic light at this time.

Mr. Schindler reviewed on the site plan and showed the parking areas.

Tom Belchak, 9579 South Dunsinane Drive, stated that the City should follow their ordinances and this should not be approved if it's not ready. He asked when this plan was started? Mr. Schindler stated that it has been in the works for a while.

Carol Stocking, 10828 South Redwood Road, stated that this is already a done deal with the contract and trailer ready for construction. This is the first notification of

development and it isn't fair for the City to do what they want to do without following the guidelines of everyone else. She also stated that an only right hand turn road across the street on Redwood Road is not being enforced. This public hearing is just a formality because the City does what they want to do.

Fred Kankamp asked Marsha Carlson how many people in Mountain Farms she represents? She stated that she represents 53 homes explaining are being impacted with traffic with the amount of exit/entrances along Redwood Road. She explained that they are not against the center; they would like more information because it will be their neighbor.

Chairman Pro Temp Mabey called for further comments. Seeing none he closed the public hearing. He asked Kathie Johnson if she has been involved with the architectural review of this building? Ms. Johnson stated that it is a very nice building with a lot of features. She is surprised that there are no renderings of the building here at this meeting.

Chairman Pro Temp Mabey asked how adequate input could be obtained without any renderings or landscaping plans for review? The Planning Commission discussed tabling this item until the public can review further information. Mr. Schindler stated that tabling wont stop construction, because it will be built unless it is appealed to the City Council.

The Planning Commission and Greg Schindler discussed public hearing requirements if this project was appealed or tabled.

Chairman Pro Temp Mabey called for any further discussion. Seeing none, he called for a motion.

MOTION – KATHIE JOHNSON – TABLE THIS ITEM AND CONCINTUE THE PUBLIC HEARING ON JUNE 10, 2003 WITH LANDSCAPING, COLORED RENDERINGS, CROSSWALKS AND ANY OTHER ITEMS THAT MY IMPACT THE NEIGHBORS TO BE REVIEWED FOR THE CONDITIONAL USE PERMIT/SITE PLAN FOR THE SOUTH JORDAN RECREATION CENTER, FILE #27-15-376-015

SECOND – LLOYD BYBEE

VOTING – ALL IN FAVOR

*E. Ordinance Amendment to Chapter 11.36 of the Development Code
(Title 11) of the South Jordan Municipal Code Pertaining to
Banner Signs in the City of South Jordan*

Mr. Schindler reviewed the ordinance amendment and explained the installation requirements of a banner sign. Allowed for display up to 16 weeks per calendar year in two-week increments.

Kathie Johnson disclosed that she is a member of the Chamber of Commerce and has no conflict, but has passed this text to business members.

Chairman Pro Temp Mabey opened the public hearing and called for comments.

SOUTH JORDAN CITY PLANNING COMMISSION STAFF REPORT

TO: South Jordan City Planning Commission

FROM: Judy Hansen, Planner II

DATE: May 27, 2003

SUBJECT: PUBLIC HEARING, FILE #27-15-376-015, CONDITIONAL USE PERMIT/SITE PLAN, SOUTH JORDAN RECREATION CENTER, 10866 SOUTH REDWOOD ROAD, A-5 ZONE DISTRICT, CITY INITIATED.

BACKGROUND

The City is proposing to construct a 70,000 square foot recreation center located north of the existing Public Services Facility. This building will have an aquatic center as well as basketball courts and exercise equipment. The site plan provides 286 parking stalls with 7 of these meeting ADA requirements. The City's Parking & Loading Code (Chapter 11.26) requires that all parking stalls be located within a 400' radius of the use. The code also requires that the parking areas may not be divided from the use they serve by public streets. Some of the stalls located to the west are not within a 400' radius of the Rec. Center and a public street separates the parking stalls to the south. Due to the size and location of the property, this is the only way to facilitate the number of parking stalls required.

At this time, staff does not have a landscape plan. The front yard on Redwood Road is required to be landscaped with sod & trees. 10 trees are required in this area with 30% of them evergreen. The deciduous trees are required to be minimum 2" caliper and the evergreen trees are required to be a minimum 7' in height. Shaded parking is also required. The double parking rows are showing tree diamonds. The single loaded parking is required to have one 2" caliper tree every 3 stalls. The trees on the south side of the site, adjacent to the Public Works Facility will need to be replaced. All parking islands at the end of parking rows are required to be landscaped and irrigated. Foundation landscaping is also required.

A colored rendering of the proposed building will be available at the meeting.

RECOMMENDATION

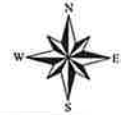
Staff recommends receiving public input and approval of the Conditional Use Permit/Site Plan for the South Jordan Recreation Center subject to the following conditions:

- Due to the location and size of the property, some of the required parking will be located outside of the required 400' radius of the use and a public street located on the south side of the recreation center will separate some of the parking from the use.
- All landscaping requirements are met.
- All Zoning & Code Requirements are met.
- All Engineering & Fire Department Requirements are met.

South Jordan City

Legend

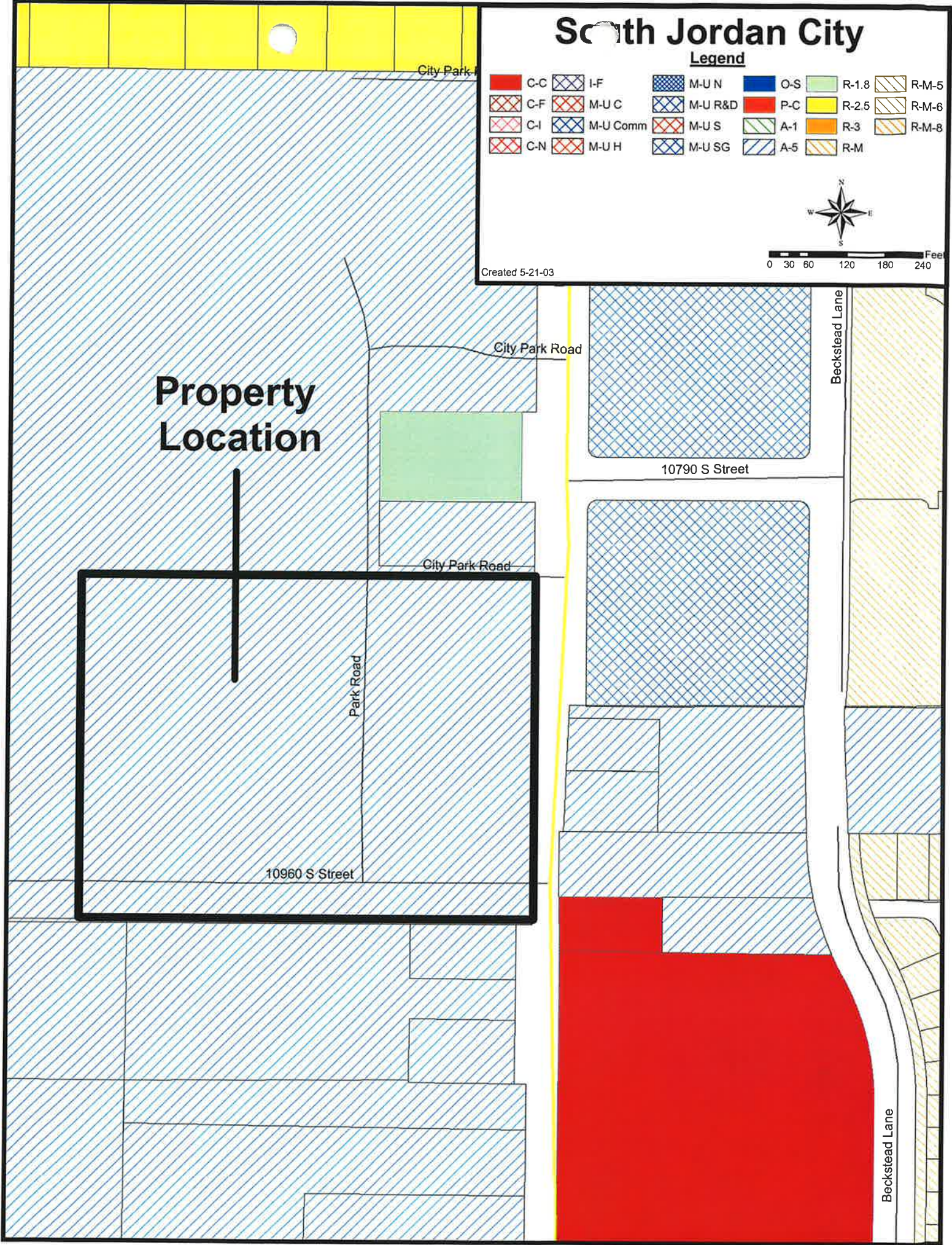
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C-F	M-U C	M-U R&D	P-C	R-2.5	R-M-6
C-I	M-U Comm	M-U S	A-1	R-3	R-M-8
C-N	M-U H	M-U SG	A-5	R-M	

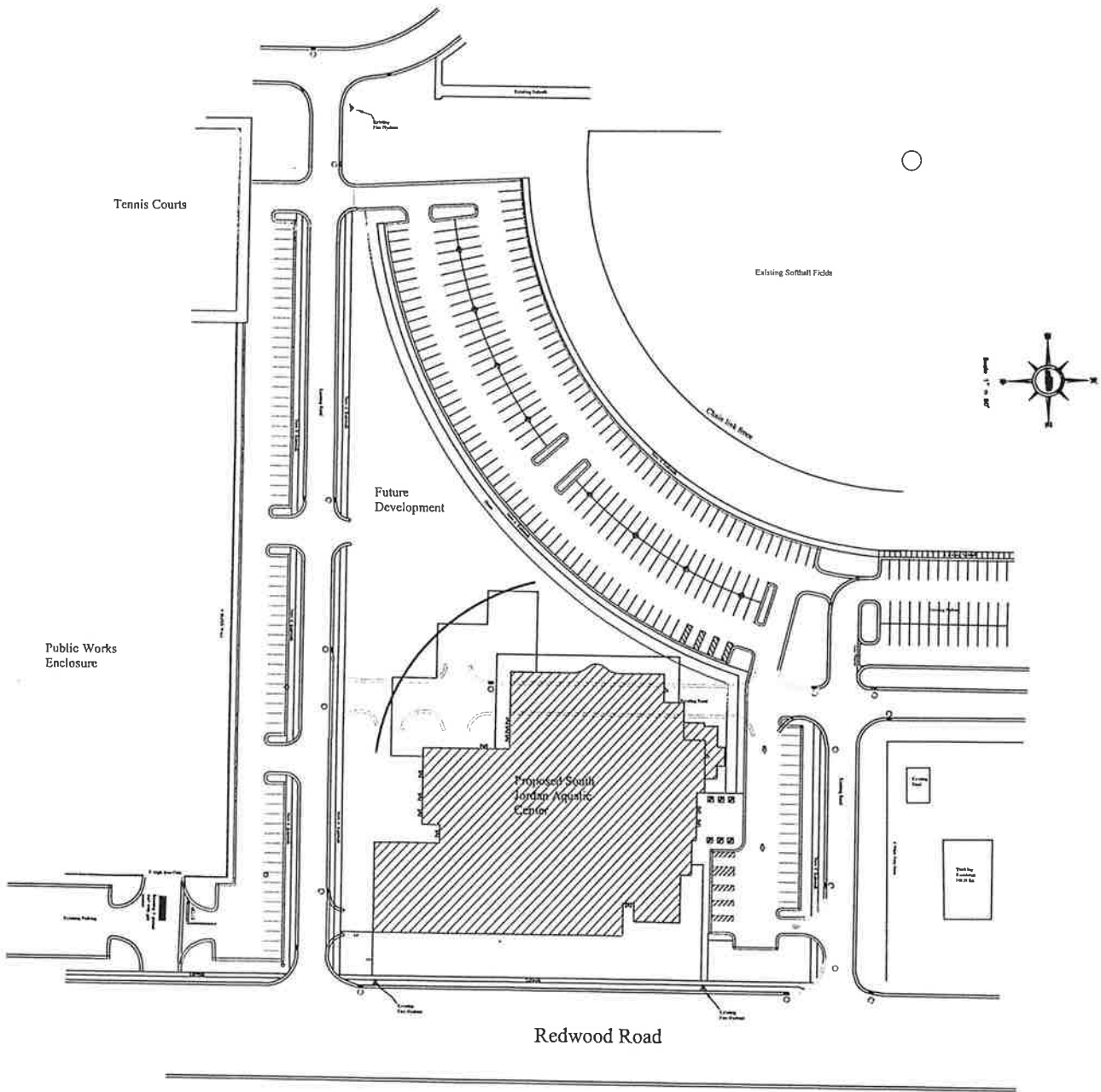


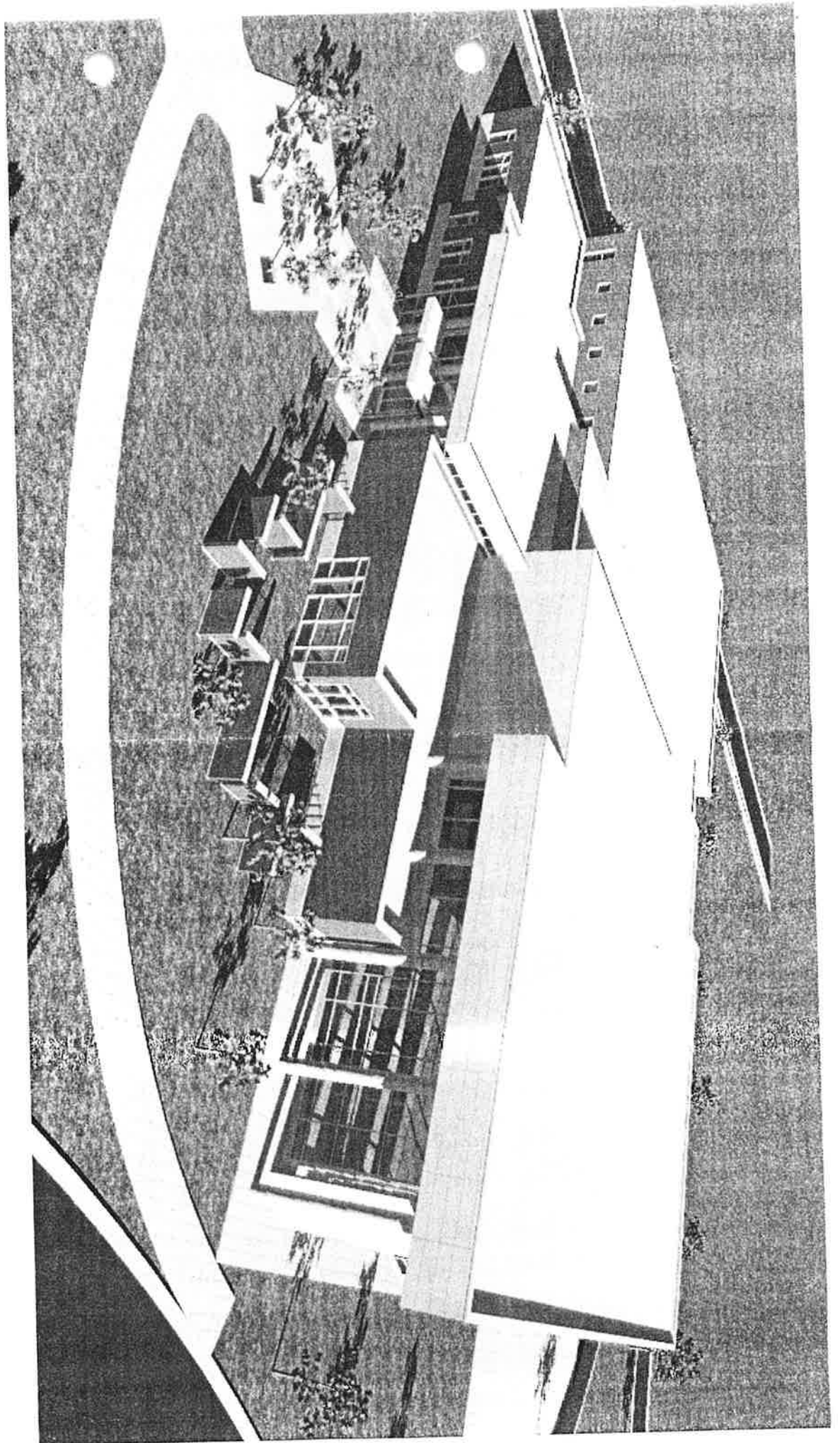
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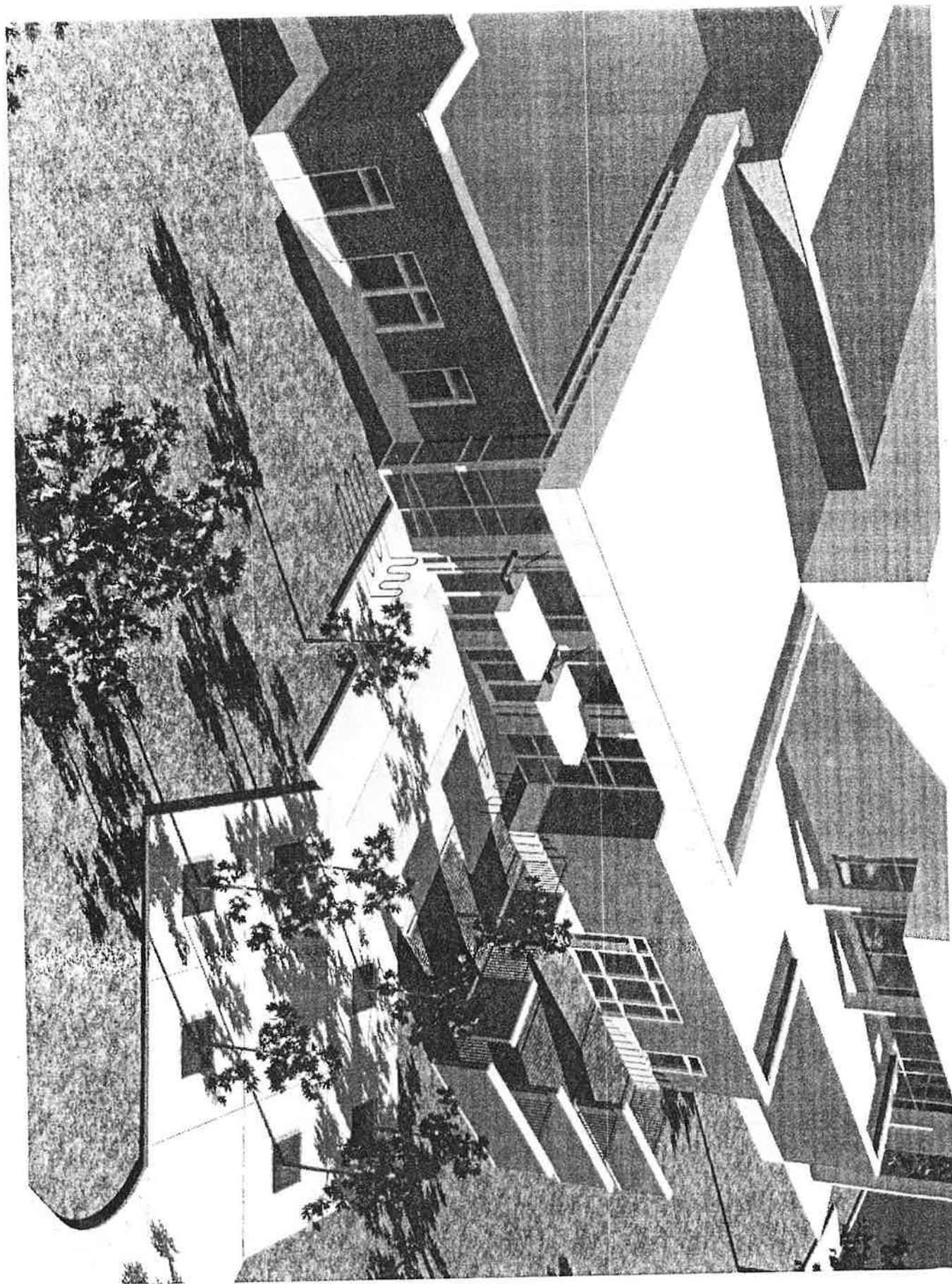
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**Property
Location**



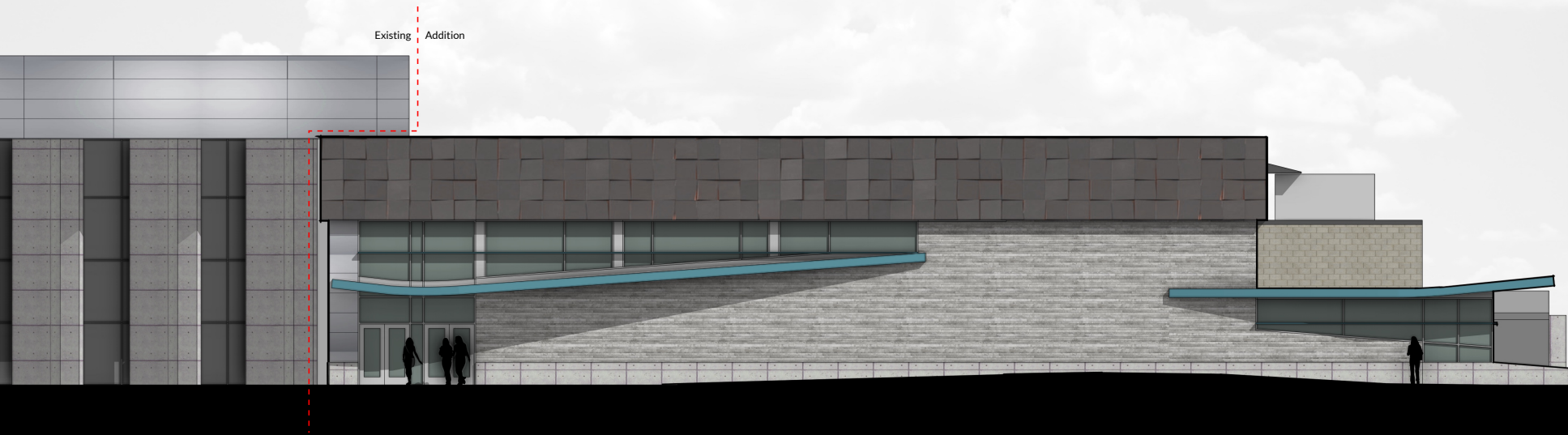






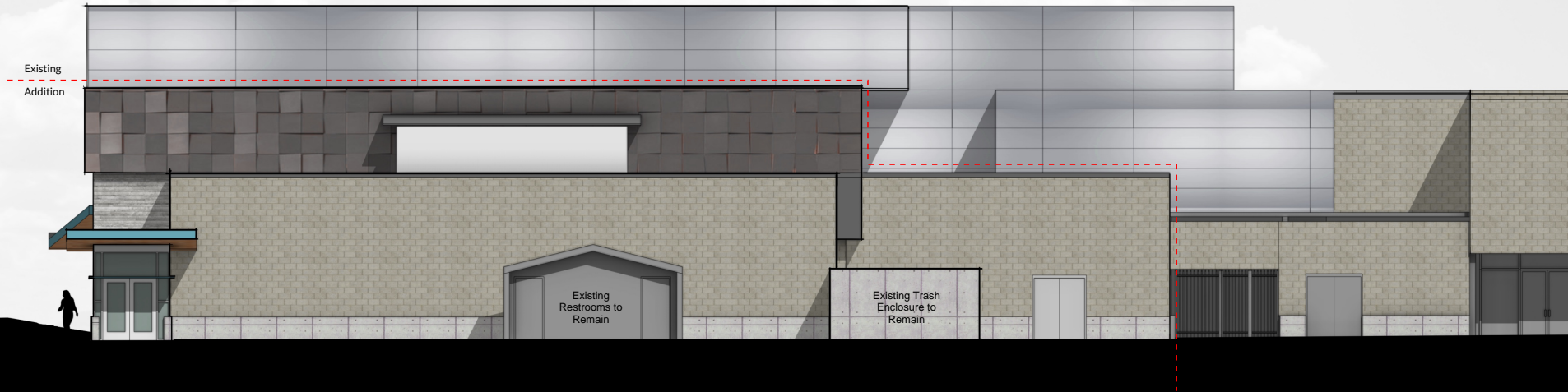
BUILDING ELEVATION

West



BUILDING ELEVATION

South



BUILDING SECTION

East





Architectural NEXUS, Inc.
2505 East Parkway Way
Salt Lake City, Utah 84109
T 801.924.5000
http://www.archnexus.com

Original drawings remain the property of the Architect and as such the Architect retains total ownership and control. The design represented by these drawings is sold to the client for a one-time use, unless otherwise agreed upon in writing by the Architect. © ARCH NEXUS All Rights Reserved



SALT LAKE COUNTY
SOUTH JORDAN RECREATION
CENTER POOL ADDITION
10866 S Redwood Rd, South Jordan, UT 84095

SALT LAKE COUNTY SOUTH JORDAN RECREATION CENTER POOL ADDITION

10866 S Redwood Rd,
South Jordan, UT 84095

VICINITY MAP



PROJECT LOCATION

Nexus Project #: 23042

Owner Project #:

6.6.2024

50% CD Set

THIS PROJECT IS APPROXIMATELY A 12,000 SF ADDITION TO AN EXISTING RECREATION CENTER INCLUDING A NEW LAP POOL WITH SUPPORT SPACES.

Date Revision

NOT FOR
CONSTRUCTION

50% CD Set

NEXUS PROJ. #: 23042
CHECKED BY: RS
DRAWN BY: RS
DATE: 6.6.2024

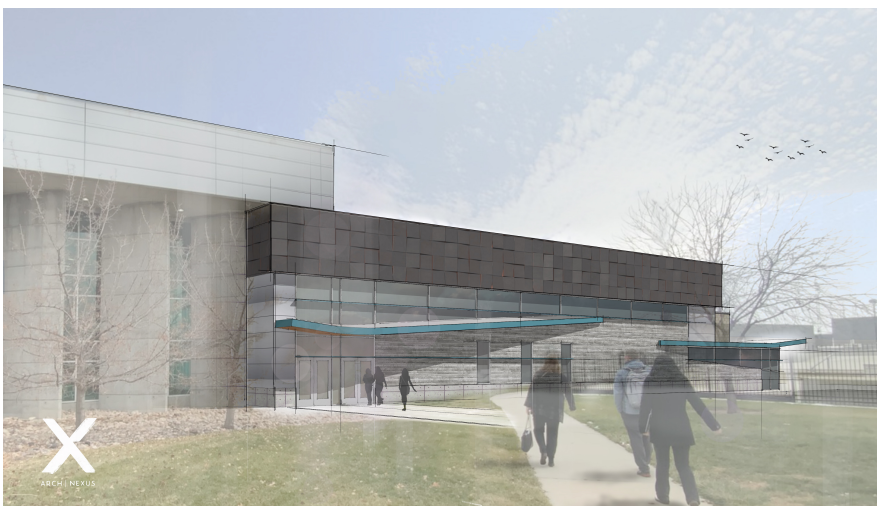
COVER SHEET



ARCH | NEXUS

BID PACKAGE GENERAL NOTES

- A. THIS BID PACKAGE SHALL BE BID IN ITS ENTIRETY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS, WHICH MIGHT AFFECT THE WORK OF THAT PARTY.
- B. AS PART OF THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, TRADES AND SUPPLIERS, THE CONTRACTOR SHALL ENDEAVOR TO IDENTIFY AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OF CONFLICTS BETWEEN THE WORK OF DIFFERENT PARTIES AT THE EARLIEST POSSIBLE DATE SO AS TO ALLOW REASONABLE AND ADEQUATE TIME FOR THE CONFLICT TO BE RESOLVED WITHOUT DELAYING THE WORK. ALL DEVIATIONS FROM THAT WHICH IS REQUIRED BY THE CONTRACT DOCUMENTS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT.
- C. IN CASE OF ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENT OR MOST COSTLY OPTION SHALL APPLY, UNLESS CLARIFICATION IS SOUGHT IN WRITING AND RECEIVED FROM THE ARCHITECT PRIOR TO BIDDING. THE CONTRACTOR SHALL BRING ANY KNOWN DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE, AND IN ANY EVENT, PRIOR TO COMMENCING AFFECTED WORK.
- D. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS AND THE CONTRACT DOCUMENTS. THE LATEST VENDOR DRAWINGS SHALL GOVERN AND BE VERIFIED WITH THE OWNER AND THE ARCHITECT.
- E. THE ARCHITECTURAL DRAWINGS TAKE PRECEDENCE IN ESTABLISHING AND COORDINATING THE FINISHED APPEARANCE AND EXACT LOCATION OF ALL EXPOSED ELEMENTS OF THE WORK OF ALL TRADES, INCLUDING THAT WORK WHICH IS ILLUSTRATED PRIMARILY ON DRAWINGS OF OTHER DISCIPLINES. QUANTITIES ARE TO BE PROVIDED AS SHOWN ON DRAWINGS OF OTHER DISCIPLINES, BUT LOCATIONS SHOWN ON OTHER DRAWINGS ARE SUBJECT TO COORDINATION WITH THE ARCHITECTURAL DRAWINGS WHERE SUCH ITEMS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL DRAWINGS.
- F. EXCEPT WHERE DIRECTED TO PLACE ITEMS OF WORK AT THE APPROXIMATE LOCATION SHOWN, DO NOT SCALE DRAWINGS FOR DIMENSIONAL INFORMATION. NOT ALL ELEMENTS OF THE DRAWINGS MAY BE DRAWN TO EXACT SCALE. ALL REQUIRED DIMENSIONS ARE SHOWN OR MAY BE DERIVED FROM THOSE SHOWN ON THE DRAWINGS, SCHEDULES AND SPECIFICATIONS. IF DIMENSIONS ARE NOT PRESENT, THE ARCHITECT IS TO BE NOTIFIED SO THAT A CLARIFICATION CAN BE ISSUED. DIMENSIONS ARE TO BE COORDINATED WITH ALL DISCIPLINES, VENDORS AND OWNER-FURNISHED EQUIPMENT, FURNITURE AND DEVICES TO ASSURE PROPER PLACEMENT AND WARRANTY REQUIREMENTS.
- G. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. SEE THE G-SERIES SHEETS FOR PARTIAL REGULATORY INFORMATION, INCLUDING CODE COMPLIANCE TABLES, RATED ASSEMBLY TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- H. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION, AND COORDINATE ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
- I. THE CONTRACTOR SHALL PROTECT ALL EXISTING FIRE-RESISTANCE-RATED ASSEMBLIES AND SPRAY-APPLIED STRUCTURAL FIREPROOFING FROM DAMAGE, PATCH AND FULLY REPAIR ANY DAMAGE TO SUCH ITEMS, WHETHER EXISTING OR CAUSED BY NEW CONSTRUCTION OR DEMOLITION ACTIVITIES. TO LIKE NEW CONDITION IN ACCORDANCE WITH THE ORIGINAL LISTED SYSTEMS. SEAL ALL EXISTING AND NEW ASSEMBLY PENETRATIONS WITH LISTED FIRE-RESISTANCE-RATED ASSEMBLIES, WHERE OCCUR, TO MAINTAIN THE INTEGRITY OF THE ASSEMBLIES.
- J. ALL UNUSED FLOOR SLAB PENETRATIONS 36 SQUARE INCHES OR LESS IN AREA ARE TO BE INFILLED USING A 180 PSI CONCRETE FOR THE FULL DEPTH OF THE EXISTING SLAB. REFER TO STRUCTURAL DRAWINGS FOR INFILL OF LARGER OPENINGS.
- K. IF THERE ARE ANY DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS, THEN THE MORE STRINGENT REQUIREMENT AND GREATER EXPENSE WILL BE ENFORCED.



DESIGN CRITERIA

APPLICABLE CODES	
ACCESSIBILITY CODE	ICC/ANSI A117.1-2009
INTERNATIONAL BUILDING CODE	2021 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE	2021 EDITION
INTERNATIONAL FIRE CODE	2021 EDITION
INTERNATIONAL MECHANICAL CODE	2021 EDITION
INTERNATIONAL PLUMBING CODE	2021 EDITION
NATIONAL ELECTRICAL CODE	2020 EDITION
ZONING ORDINANCE: South Jordan	Zoning Ordinance
OTHER CRITERIA	
TITLE 18 SALT LAKE CITY ORDINANCES-BUILDING AND CONSTRUCTION	
AUGUST 2017 SALT LAKE COUNTY DESIGN & CONSTRUCTION STANDARDS & PROCEDURES	
CURRENT SALT LAKE COUNTY GENERAL CONDITIONS	

CODE REQUIRED INSPECTIONS

- NOTE: THE FOLLOWING DOCUMENTS ARE REQUIRED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED. ADDITIONAL DOCUMENTS MAY BE REQUIRED AS THE WORK PROGRESSES.
- CODE INSPECTION REPORT RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED
 - FINAL REPORT FROM THE SPECIAL INSPECTION AGENCY
 - CERTIFICATE OF FIRE CLEARANCE FROM THE STATE FIRE MARSHALL
 - REPORT OF THE DISINFECTION OF THE POTABLE WATER SYSTEM, IPC 610
 - A CERTIFICATE OF COMPLIANCE FROM THE APPROVED FABRICATOR, IBC 1504.2.3
 - A STAMPED AND SIGNED FINAL REPORT FROM THE STRUCTURAL ENGINEER WHEN STRUCTURAL OBSERVATION IS REQUIRED BY IBC 1710
 - AN NFRC CERTIFICATE FOR FENESTRATION WITHOUT THE NFRC LABEL

REFER TO SHEET 0560, AS WELL AS MECHANICAL AND ELECTRICAL COMMODITIES (SEE SPECIFICATIONS APPROVED) AND STRUCTURAL DRAWINGS FOR ADDITIONAL GENERAL CODE, NON-STRUCTURAL COMPONENTS, AND SUBMITTAL REQUIREMENTS.

DEFERRED SUBMITTALS

NOTE: WORK RELATED TO THE DEFERRED SUBMITTALS IS NOT TO COMMENCE UNTIL THE BUILDING OFFICIAL HAS APPROVED THE SUBMITTAL. SUBMITTALS SHALL BE SUPPLIED TO THE BUILDING OFFICIAL FOR REVIEW WITH AN ACCOMPANIED APPROVED SUBMITTAL FROM THE ARCHITECT.

SEE MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL DRAWING AND SPECIFICATIONS FOR ADDITIONAL DEFERRED SUBMITTAL REQUIREMENTS.

DEFERRED SUBMITTALS LIST

- FIRE ALARMS SYSTEMS
- VIBRATION AND SEISMIC CONTROL FOR PLUMBING PIPING AND EQUIPMENT
- VIBRATION AND SEISMIC CONTROL FOR HVAC EQUIPMENT



MECHANICAL ENGINEER
VBFA
181 E 5600 S, #200
Murray, UT 84107

CONTACT: Spencer Howell
PHONE: 801.530.3148
E-MAIL: showell@vbfa.com
INTERNET: https://www.vbfa.com/



ELECTRICAL ENGINEER
EELD
1220 S 300 W
Salt Lake City, UT 84101

CONTACT: Mansour Aghdasi
PHONE: 801.486.2222
E-MAIL: mansour@eeld.com
INTERNET: https://www.eeld.com/



AQUATIC SPECIALIST
Water Design Inc.
6740 South 1300 East, Suite 110
Salt Lake City, UT 84121

CONTACT: Tom Anderson
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E-MAIL: tom@waterdesign.com
INTERNET: http://www.waterdesigninc.com/



OWNER
Salt Lake County
2001 South State Street
Salt Lake City, UT 84190

CONTACT: Andrea Sorensen
PHONE: 385.468.1820
E-MAIL: asorensen@slco.org
INTERNET: http://www.slco.org



ARCHITECT
Architectural NEXUS, Inc.
2505 East Parkway Way
Salt Lake City, UT 84109

CONTACT: Hollie Adams
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E-MAIL: hadams@archnexus.com
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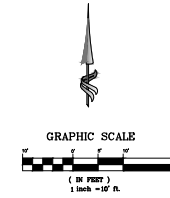
CIVIL ENGINEER
Epic Engineering
3341 S 4000 W
West Valley City, UT 84120

CONTACT: Koryn Weaver
PHONE: 801.420.3929
E-MAIL: kweaver@epiceng.net
INTERNET: https://www.epiceng.net/



STRUCTURAL ENGINEER
Dunn Associates Inc.
380 W 800 S, #100
Salt Lake City, UT 84101

CONTACT: Tat Ketcham
PHONE: 801.575.8877
E-MAIL: tketcham@dunn-se.com
INTERNET: https://www.dunn-se.com/



**SOUTH JORDAN RECREATION /
CENTER POOL ADDITION**
10866 S Redwood Rd, South Jordan, UT 84095



#	Date	Revision
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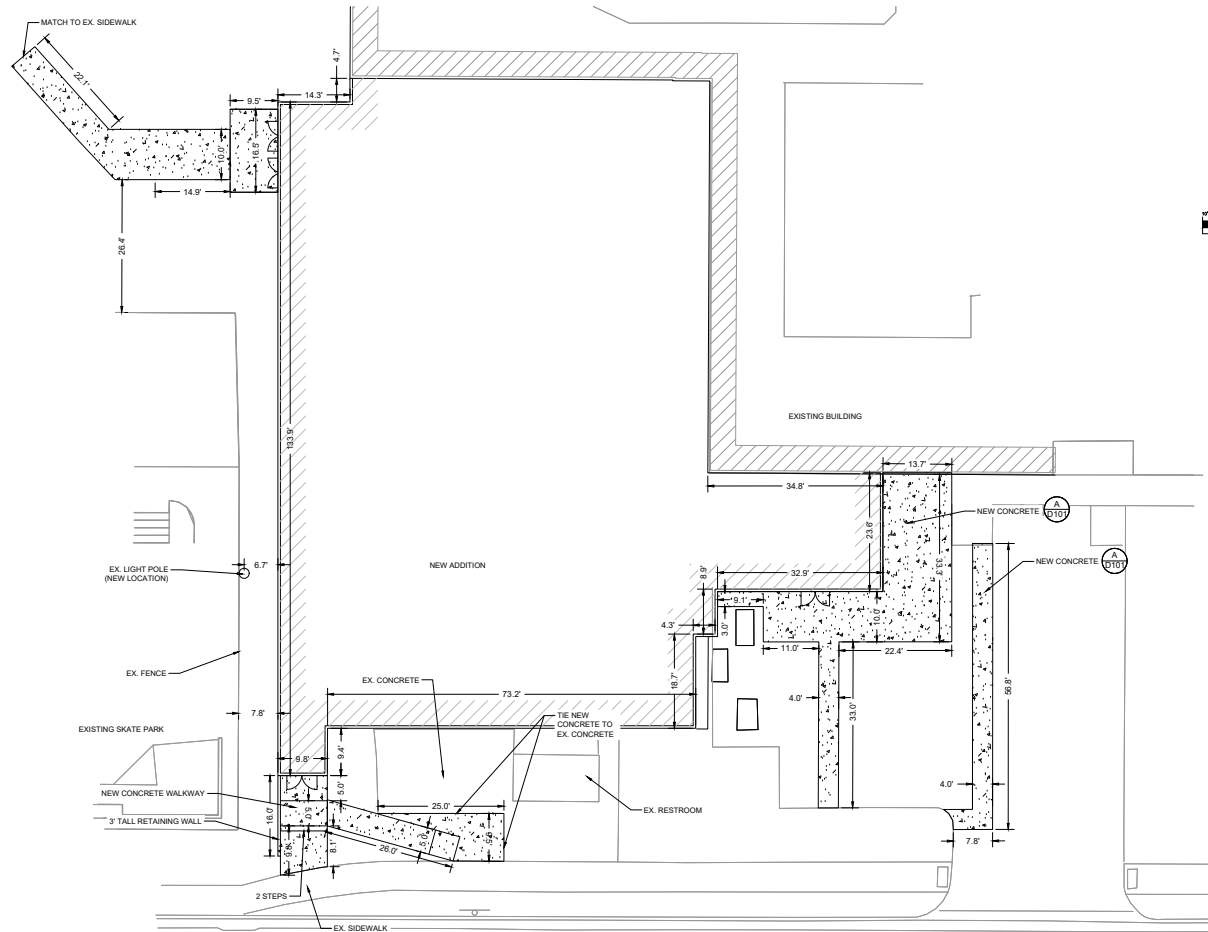
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CONSTRUCTION**

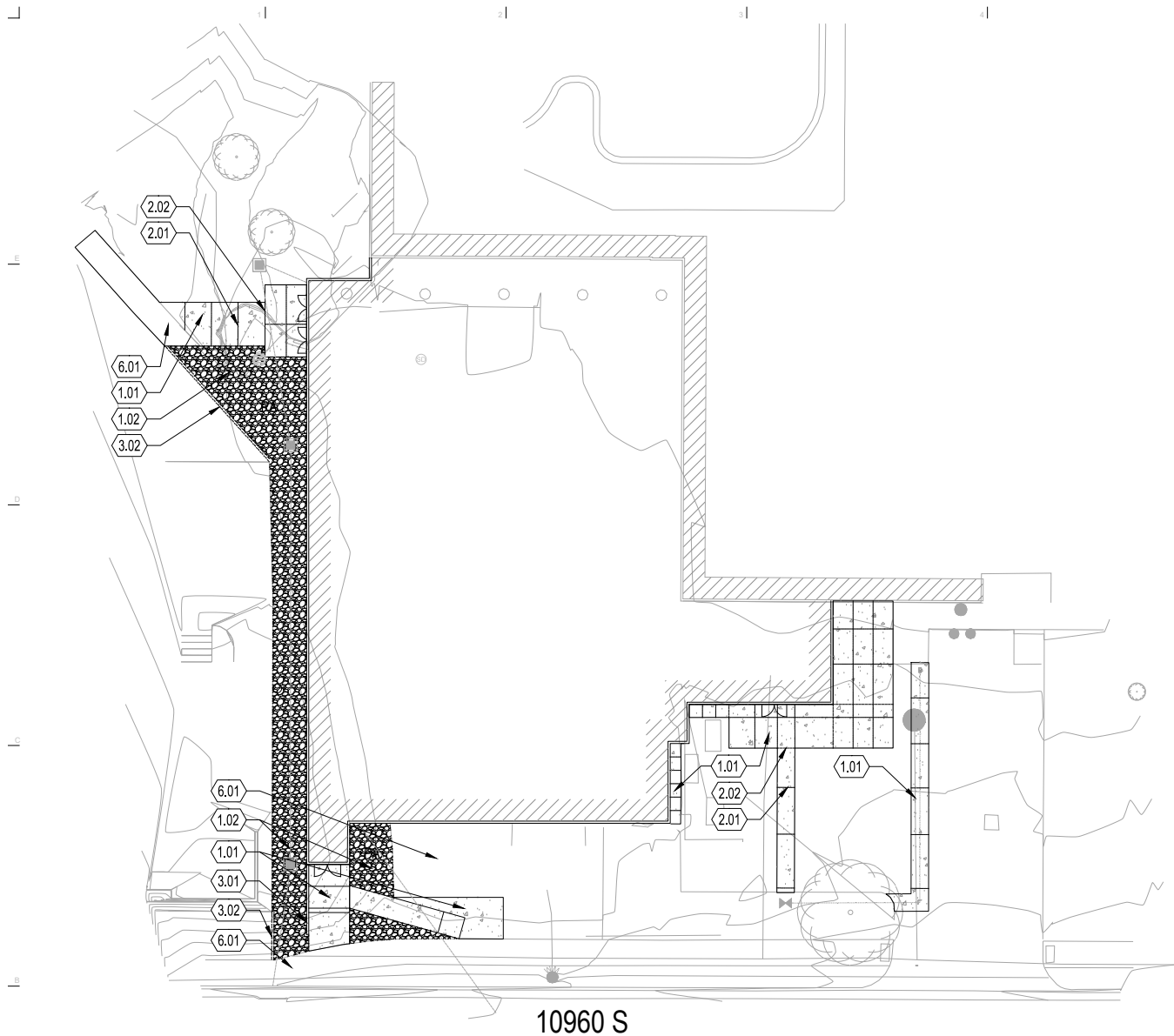
DEVELOPMENT DESIGN

NEXUS PROJ. #: 23042
CHECKED BY: DJ
DRAWN BY: JW
DATE: 05.08.2024

SITE PLAN

C102





10960 S

MATERIALS LEGEND	
DETAIL	
1.01 CONCRETE PAVING - 4" THICK, TYP.	SEE CHA.
1.02 DECORATIVE COBBLE MULCH - 7.4" SMOOTH ROCK, TYP.	AA&ST01
2.00 JOINTS	
2.01 SAW CUT JOINT	AA&ST01
2.02 EXPANSION JOINT	AA&ST01
3.00 RAILINGS, BARRIERS AND FENCING	
3.01 CONCRETE RETAINING WALL	SEE ARCH
3.02 CONCRETE MON CURB	DA&ST01
4.00 STRUCTURES	
4.01 N/A	
5.00 FURNISHINGS	
5.01 N/A	
6.00 EXISTING SITE IMPROVEMENTS	
6.01 EXISTING CONCRETE PAVING	SEE CHA.

- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE SITE PLAN. IN THE EVENT THE CONTRACTOR FAILS TO COMPARE EXISTING SITE CONDITIONS WITH THE SITE PLANS PRIOR TO BEGINNING WORK AND/OR FAILS TO NOTIFY THE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REQUIRED ALTERATIONS AND ADDITIONS TO THE SITE PLAN, INCLUDING ADDITIONAL MATERIALS AT NO ADDITIONAL COST TO THE OWNER.
 - DO NOT SCALE DRAWINGS.
 - COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS INCLUDING, BUT NOT LIMITED TO, STORM DRAIN LINES, WATER LINES AND POWER/ELECTRICAL LINES. COORDINATE DEMOLITION OF EXISTING AND INSTALLATION OF NEW UTILITY LINES WITH CIVIL AND MECHANICAL. CALL BLUE STAKES OF UTAH (801) 481-48 HOURS PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS, BOTH ON SITE AND ADJACENT TO THE PROJECT SITE, AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
 - QUANTITIES PROVIDED ARE FOR REFERENCE ONLY. CONTRACTORS RESPONSIBLE FOR CALCULATING AND VERIFYING TOTAL QUANTITIES NECESSARY TO COMPLETE THE WORK AS INDICATED ON THE PLANS.
 - ANY ALTERNATES AND/OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTORS ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - FOR ADDITIONAL INFORMATION, SEE LANDSCAPE, ARCHITECTURAL, CIVIL, ELECTRICAL, MECHANICAL, DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

LEGEND	
	CONCRETE PAVING
	DECORATIVE GRAVEL
	PA PLANTER AREA



SALT LAKE COUNTY
SOUTH JORDAN RECREATION
CENTER POOL ADDITION
10866 S Redwood Rd, South Jordan, UT 84095



Date Revision

NOT FOR CONSTRUCTION

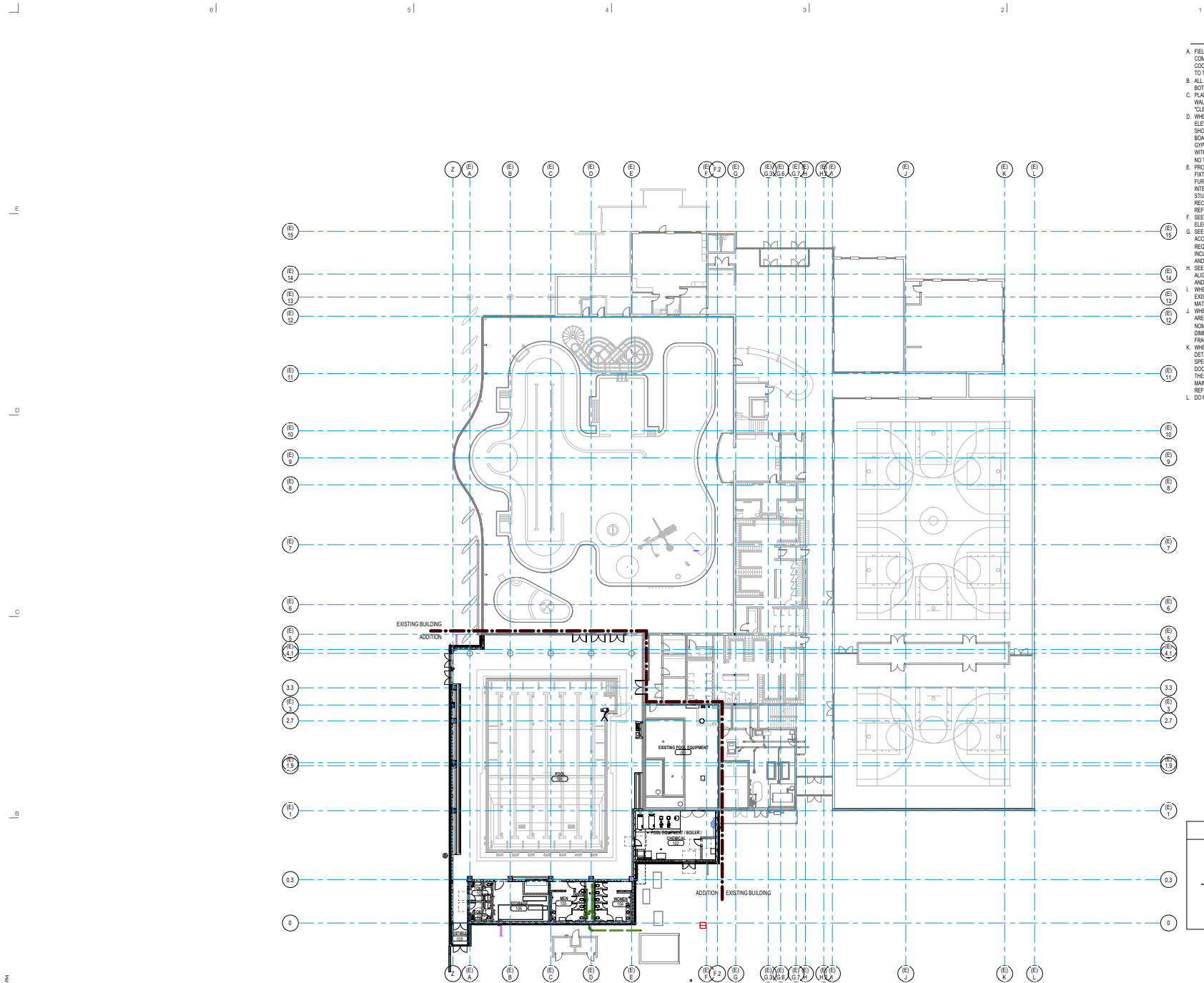
50%
CONSTRUCTION
DOCUMENTATION

NEXUS PROJ. #: 23042
CHECKED BY: RS
DRAWN BY: BB
DATE: 06/06/2024

ARCHITECTURAL
SITE PLAN



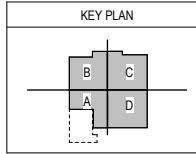
AS101



N
A1 LEVEL 01 - OVERALL FLOOR PLAN
1/16" = 1'-0"

GENERAL NOTES -
FLOOR PLANS

- A. FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION. COORDINATE DISCREPANCIES WITH ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- B. ALL NEW WALL ASSEMBLIES ARE CONTINUOUS TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- C. PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE, UNLESS NOTED OTHERWISE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
- D. WHERE THE FINISH SCHEDULE OF INTERIOR ELEVATIONS CALL FOR TILE, REPLACE GYPSUM BOARD SHOWN IN THE WALLS ASSEMBLY WITH TILE BACKER BOARD WHERE TILE OCCURS. REPLACE OTHER GYPSUM BOARD SHOWN IN THAT WALLS ASSEMBLY WITH MOISTURE RESISTANT GYPSUM BOARD WHERE NO TILE OCCURS.
- E. PROVIDE BACKING / SUPPORT FOR ALL MOUNTED FIXTURES, EQUIPMENT, CASEWORK, AND/OR SYSTEMS FURNITURE. COORDINATE WITH FLOOR PLANS, AND INTERIOR ELEVATIONS PRIOR TO THE COVERING OF STUD FRAMING. REFER TO MANUFACTURERS RECOMMENDATIONS WHERE APPLICABLE. OTHERWISE REFER TO DETAILS ON A700 SHEET SERIES.
- F. SEE CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- G. SEE G SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS, REGULATORY PLAN INFORMATION, INCLUDING RATED ASSEMBLY EXTENTS, OCCUPANCY AND EGRESS SYSTEMS.
- H. SEE A700 SERIES DIMENSIONAL CONTROL PLANS FOR ALIGNMENT POSITION OF STRUCTURAL ELEMENTS AND OTHER KEY DIMENSIONS.
- I. WHERE NEW CONSTRUCTION INTERFACES WITH EXISTING, PATCH AND REPAIR AS NECESSARY TO MATCH ORIGINAL CONDITION.
- J. WHERE PROVIDED, DOOR AND WINDOW DIMENSIONS ARE TO EDGE OF OPENING. OPENING DIMENSIONS ARE NOMINAL. CONTRACTOR SHALL COORDINATE DIMENSIONS OF ALL ROUGH OPENINGS AND ACTUAL FRAME SIZES.
- K. WHERE DOOR LOCATIONS ARE NOT DIMENSIONED, SEE DETAILS REFERENCED IN DOOR SCHEDULE BY SPECIFIC CONDITION. OTHERWISE, THE HINGE SIDE OF DOOR ROUGH OPENINGS SHALL BE LOCATED 4" FROM THE ADJACENT PERPENDICULAR WALL, SUBJECT TO MAINTENANCE OF REQUIRED ADA CLEARANCES REFERRED IN THE GRW SHEET SERIES.
- L. DO NOT SCALE DRAWINGS.



Architectural NEXUS, Inc.
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http://www.archnexusus.com

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SALT LAKE COUNTY
**SOUTH JORDAN RECREATION
CENTER POOL ADDITION**
10866 S Redwood Rd, South Jordan, UT 84095

Date Revision

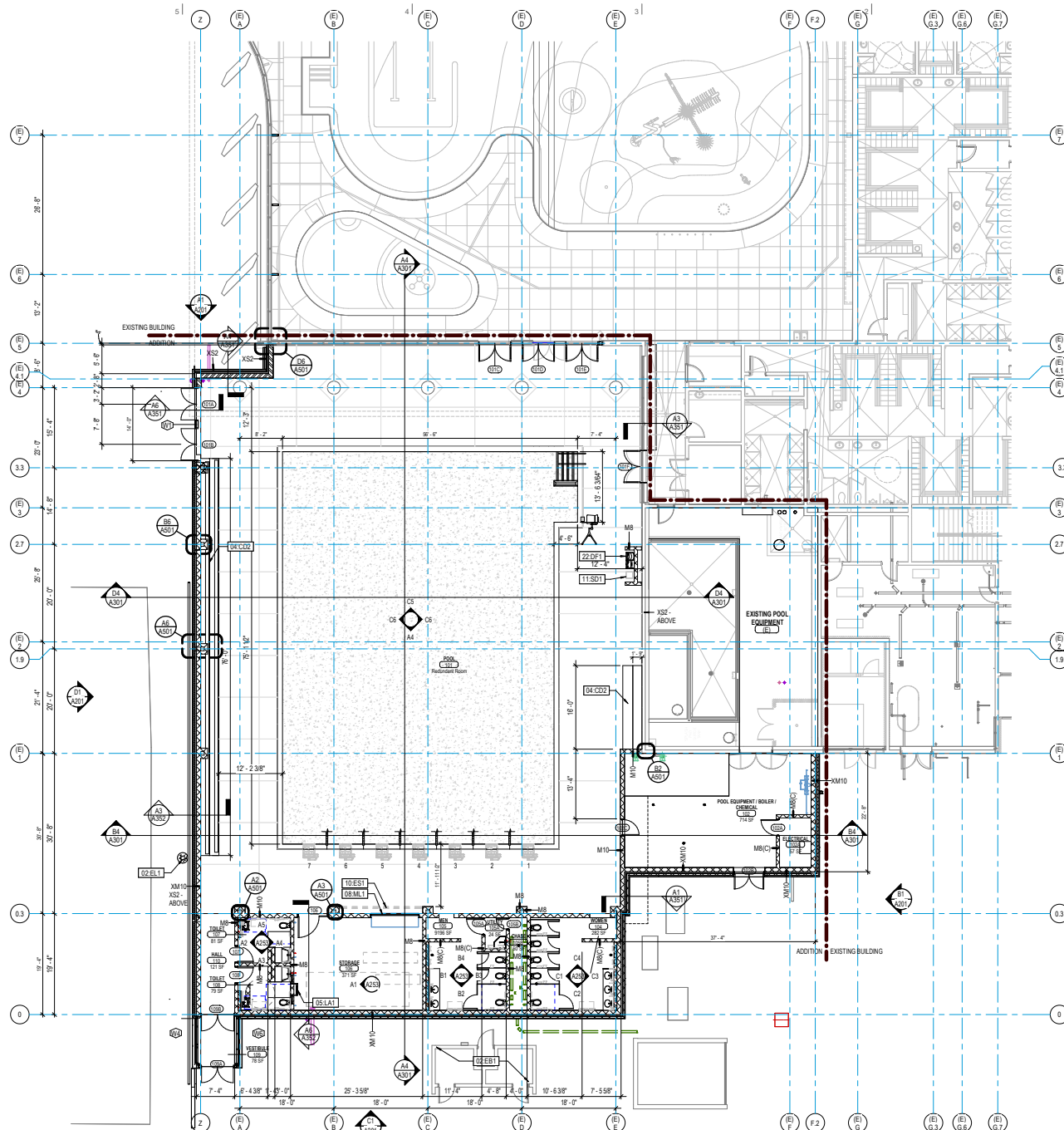
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CONSTRUCTION**

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NEXUS PROJ. #: 23042
CHECKED BY: HA
DRAWN BY: AS
DATE: 6.8.2024

FLOOR PLAN

A101

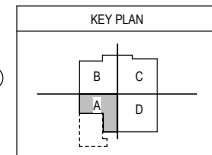


A5 LEVEL 01 - AREA A FLOOR PLAN
A101A 1/8" = 1'-0"

GENERAL NOTES - ENLARGED FLOOR PLANS

- FIELD VERIFY ALL EXISTING CONDITIONS AND THEIR COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO THE COMMENCEMENT OF WORK. COORDINATE DISCREPANCIES WITH ARCHITECT.
- ALL NEW WALL ASSEMBLIES ARE CONTINUOUS TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- PLAN WALL DIMENSIONS ARE TO GRID LINE OR FACE OF WALL STRUCTURE, UNLESS NOTED OTHERWISE. "CLEAR" DIMENSIONS ARE TO FACE OF WALL FINISH.
- WHERE THE FINISH SCHEDULE OR INTERIOR ELEVATIONS CALL FOR TILE, REPLACE GYPSUM BOARD SHOWN IN THE WALL'S ASSEMBLY WITH TILE BACKER BOARD WHERE TILE OCCURS. REPLACE OTHER GYPSUM BOARD SHOWN IN THAT WALL'S ASSEMBLY WITH MOISTURE RESISTANT GYPSUM BOARD WHERE NO TILE OCCURS.
- PROVIDE BACKING / SUPPORT FOR ALL MOUNTED FIXTURES, EQUIPMENT, CASEWORK, AND/OR SYSTEMS FURNITURE. COORDINATE WITH FLOOR PLANS AND INTERIOR ELEVATIONS PRIOR TO THE COVERING OF STUD FRAMING. REFER TO MANUFACTURER'S RECOMMENDATIONS WHERE APPLICABLE. OTHERWISE REFER TO DETAILS ON A700 SHEET SERIES.
- SEE Q SERIES SHEETS FOR WALL TYPES AND TYPICAL ACCESSIBILITY CLEARANCE AND COMPLIANCE REQUIREMENTS.
- WHERE DOOR LOCATIONS ARE NOT DIMENSIONED, SEE DETAILS REFERENCED IN DOOR SCHEDULE BY SPECIFIC CONDITION. OTHERWISE, THE HINGE SIDE OF DOOR ROUGH OPENINGS SHALL BE LOCATED 4" FROM THE ADJACENT PERPENDICULAR WALL, SUBJECT TO MAINTENANCE OF REQUIRED ADA CLEARANCES REFERRED IN THE Q700 SHEET SERIES.
- DO NOT SCALE DRAWINGS.

TAG	KEYNOTE TEXT
02 EB1	EXISTING EXTERIOR RESTROOM BUILDING TO REMAIN, PROTECT IN PLACE
02 EL1	EXISTING LIGHT POLE TO BE RELOCATED IN NEW CONSTRUCTION, COORDINATE WITH ELECTRICAL
04 CD2	2-TIER BENCH SEAT, 8" STRUCTURAL GLAZED CMU WITH CONCRETE CAP
05 LA1	ALUMINUM ROOF ACCESS LADDER
08 ML1	2'-4" X 8'-4" LOUVER
10 ES1	POOL SCOREBOARD WITH ALUMINUM SUBFRAME
11 SD1	SWIMMING SUIT DRYER
22 DF1	DRINKING FOUNTAIN



NOT FOR CONSTRUCTION

50% CD Set

NEXUS PROJ. #: 23042
CHECKED BY: ST
DRAWN BY: AS, ES
DATE: 6.6.2024

ENLARGED FLOOR PLAN

A101A

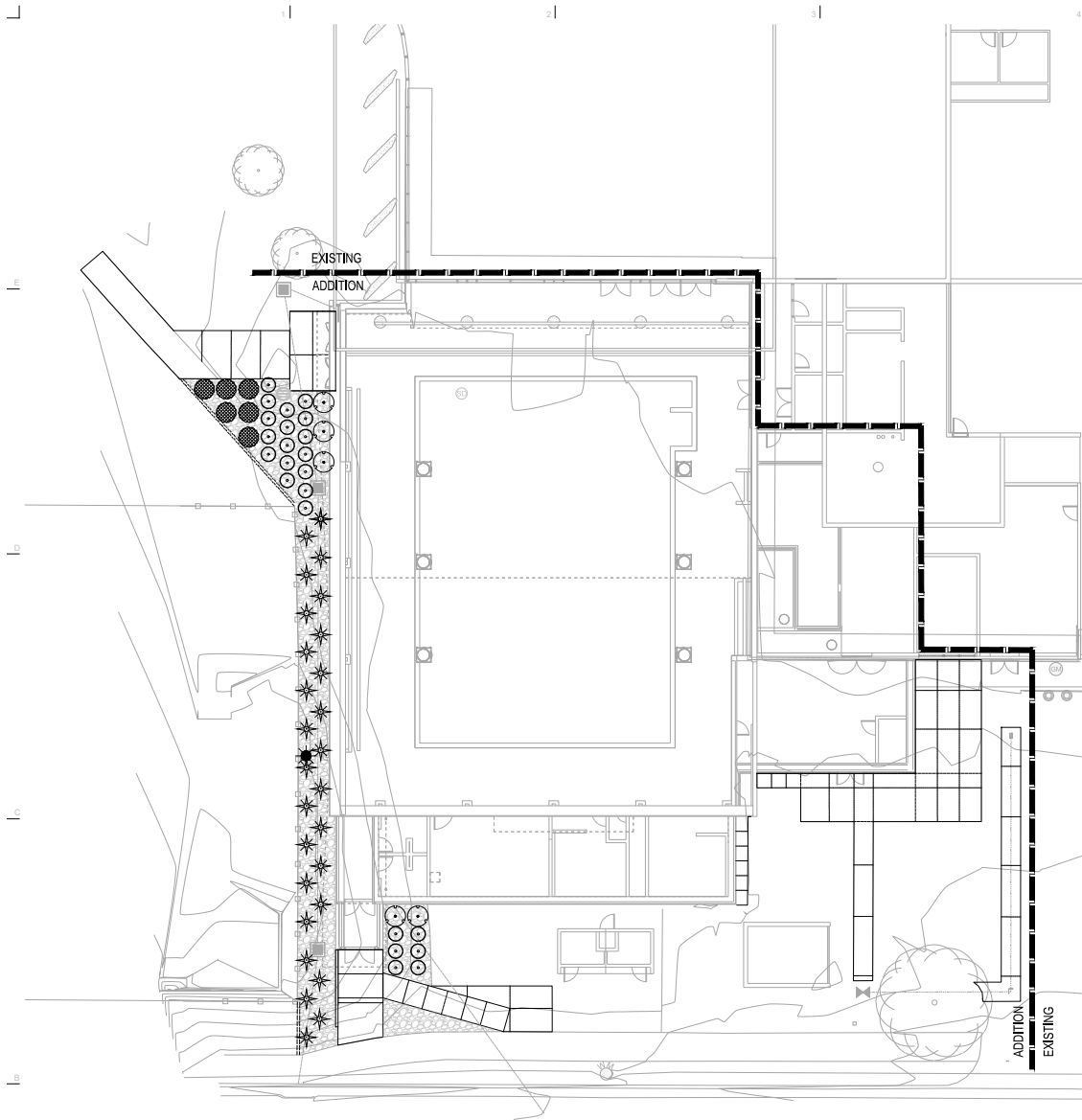
SOUTH JORDAN RECREATION CENTER POOL ADDITION
10866 S Redwood Rd, South Jordan, UT 84095

Date Revision



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PLANT SCHEDULE

GRASSES	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HxW)	QTY
	PENNISETUM ALOPECUROIDES 'CASSIAN'	DWARF FOUNTAIN GRASS	3 GAL.	3'x4'	28
SHRUBS	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HxW)	QTY
	CARYOPTERIS X CLADONENSIIS 'NOVENSIS' TM	GRAND BLUE BLUEBEARD	5 GAL.	3'x3'	23
	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	5 GAL.	3'x4'	5
GROUND COVER	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	MATURE SIZE (HxW)	QTY
	ARCTOSTAPHYLOS UVA URSI 'MASSACHUSETTS'	KINKKINICK	1 GAL.	1'x1'	6

PLANTING NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE EXISTING SITE CONDITIONS WITH THE PLANTING PLAN PRIOR TO BEGINNING WORK AND IMMEDIATELY NOTIFYING THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLANS. IN THE EVENT THE CONTRACTOR FAILS TO COMPARE EXISTING SITE CONDITIONS WITH THE PLANTING PLANS PRIOR TO BEGINNING WORK AND/OR FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REQUIRED ALTERATIONS AND ADDITIONS TO THE PLANTING PLAN INCLUDING ADDITIONAL MATERIALS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGES CAUSED BY CONSTRUCTION OPERATIONS ON OR OFF OF THE SITE WITH NO ADDITIONAL COSTS TO THE OWNER.
- CONTRACTOR SHALL COORDINATE PLANT PLACEMENT WITH IRRIGATION SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING AND VERIFYING THE TOTAL PLANT & LANDSCAPE MATERIAL SQUARE FOOTAGES REPRESENTED ON PLAN.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY PLANT SUBSTITUTIONS OR CHANGES TO PLANT SIZES SPECIFIED. THE LANDSCAPE ARCHITECT SHALL APPROVE SUBSTITUTIONS AND/OR SIZE CHANGES PRIOR TO PLAN INSTALLATION.
- ALL IRRIGATED LANDSCAPE AREAS TO RECEIVE 4" DEPTH ORGANIC MULCH UNLESS OTHERWISE NOTED. REFERENCE AS101 FOR AREAS TO RECEIVE GRAVEL MULCH.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED PER GUIDELINES ON THIS SHEET.
- REFER TO LP SERIES, LI SERIES AND SPECIFICATIONS FOR MORE INFORMATION.

TREE PROTECTION GUIDELINES

EXISTING TREE DRP LINES LOCATED WITHIN THE PROJECT AREA SHALL BE PROTECTED ACCORDING TO THE FOLLOWING GUIDELINES. CONTRACTOR TO FIELD VERIFY ACTUAL CONDITIONS AND COORDINATE WITH OWNER PRIOR TO THE BEGINNING OF WORK.

PROTECT TRUNK AND BRANCHES

- ALL EXISTING TREES TO REMAIN SHALL BE FENCED AS SPECIFIED. NO STORAGE SHALL TAKE PLACE WITHIN FENCE. LOCATION AND EXTENT OF ALL PROTECTIVE FENCING SHALL BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO ANY DEMOLITION WORK.
- WHERE CONSTRUCTION SHALL TAKE PLACE WITHIN THE DRP LINE, FENCE PERIMETER SHALL BE REDUCED AT THE TIME OF CONSTRUCTION TO THE MINIMUM NECESSARY TO PERFORM THE SPECIFIED WORK.
- ALL PRUNING REQUIRED TO ACCOMMODATE CONSTRUCTION PROCEDURES AND EQUIPMENT SHALL BE PERFORMED PRIOR TO CONSTRUCTION BY A CERTIFIED ARBORIST, NOT BY CONSTRUCTION PERSONNEL.
- ALL DAMAGE TO TREES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT AND OWNER.

PROTECT ROOTS

- AT MINIMUM, 50% OF THE CRITICAL ROOT ZONE SHALL REMAIN UNDISTURBED. CONTRACTOR SHALL VERIFY THE EXTENT OF DISTURBANCE IN FIELD. IN THE EVENT THAT MORE THAN 50% OF THE CRITICAL ROOT ZONE WILL BE DISTURBED, CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT PRIOR TO THE BEGINNING OF WORK.
- WHEN ANY WORK IS PERFORMED WITHIN TREE DRP LINE, DOUBLE, OVERLAPPING, 1" THICK PLYWOOD SHEETS SHALL BE PLACED ON SOIL SURFACE.
- THE STRIPPING OF TOPSOIL AROUND TREES SHALL BE KEPT TO MINIMUM. WOODY VEGETATION ADJACENT TO TREES SHALL BE CUT AT GROUND LEVEL. NO EQUIPMENT SHALL BE USED TO REMOVE ADJACENT WOODY VEGETATION.
- WHERE EXISTING GRADE AROUND TREES IS TO BE LOWERED, EXCAVATION TO FINISH GRADE SHALL BE DONE BY HAND OR AIR SPADE. ROOTS EXPOSED DUE TO EXCAVATION SHALL BE CUT WITH A SAW.
- ALL EXCAVATION AND/OR TRENCHING THAT FALLS WITHIN THE TREE DRP LINE SHALL BE PERFORMED BY HAND OR AIR SPADE.
- CONTRACTOR SHALL TUNNEL UNDER WOODY ROOTS LARGER THAN 12" IN DIAMETER. ANY EQUIPMENT USED WITHIN THE DRP LINE SHALL OPERATE ON DOUBLE, OVERLAPPING, 1" THICK PLYWOOD SHEETS.
- NOTICES SHALL BE POSTED ON TREES PROHIBITING THE DUMPING AND DISPOSAL OF WASTE AROUND TREES. ACCIDENTAL SPILLS SHALL BE IMMEDIATELY CLEANED UP.
- ANY HERBICIDES USED AS PART OF THE CONSTRUCTION PROCESS, SUCH AS STERILANTS UNDER PAINTING, SHALL BE OF A TYPE SAFE FOR USE AROUND EXISTING VEGETATION PER LABEL REQUIREMENTS AND AS APPROVED BY LANDSCAPE ARCHITECT.

MAINTAIN CONSISTENT SOIL MOISTURE

- TREES SHALL BE IRRIGATED BY HAND IN SIMILAR VOLUMES AND SEASONAL DISTRIBUTION PATTERNS AS EXPERIENCED PRIOR TO DEMOLITION AND CONSTRUCTION.
- DURING AND AT THE END OF CONSTRUCTION, GRADE AROUND TREE TRUNKS SHALL BE MAINTAINED SUCH THAT THE TRUNK BASE IS HIGHER THAN SURROUNDING SOIL SO THAT WATER FLOWS AWAY FROM TRUNK.



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SALT LAKE COUNTY
**SOUTH JORDAN RECREATION
CENTER POOL ADDITION**
10866 S Redwood Rd, South Jordan, UT 84095

Date Revision

CONSTRUCTION DOCUMENTS

NEXUS PROJ. #: 23042
CHECKED BY: RS
DRAWN BY: BB
DATE: 08/02/2024

PLANTING PLAN

LP101

**CITY OF SOUTH JORDAN
ARCHITECTURAL REVIEW COMMITTEE MEETING MINUTES
SOUTH JORDAN CITY HALL – MAPLE CONFERENCE ROOM
WEDNESDAY, JULY 10, 2024**



Attendance City Staff: Andrew McDonald, Katelynn White, Damir Drozdek, Kathie L. Johnson

Attendance Applicant(s): Holli Adams, Rachel Sittler, Ali Smith

Minutes Prepared by: Katelynn White

ARCHITECTURAL REVIEW COMMITTEE MEETING

THE MEETING STARTED AT 8:30 A.M. AND THE MEETING WENT AS FOLLOWS:

A. GENERAL BUSINESS ITEMS

A.1. SLCO South Jordan Fitness & Aquatics Center Lap Pool Addition

Location: 10866 S. Redwood Road

Project: 202400130

Applicant: Rachel Sittler (Arch Nexus)

Planner: Andrew McDonald

Project description – Lap pool addition to the SLCO South Jordan Fitness & Aquatics Center

What are the required steps to move forward with the project?

- i. The proposed plan will respect the existing architecture of the building. Applicants are integrating materials used in the existing building to allow more continuity between the addition and the existing design.
- ii. Committee emphasized the importance of the materials being durable in weather. The applicants assured the committee the materials used will be treated and designed for harsh weather. The materials used will not need to be replaced due to a 25 year quality warranty.
- iii. The existing restrooms located near the addition will remain.
- iv. The applicants will be adding an aqua color metal awning to the building used to emphasize the shape and function on the building. The committee was happy with the water like design of this feature.
- v. There is a pool mechanical system placed on the top of the addition. This system is 75 feet long and 14 feet high. There is a rough clearance around the units 4 feet from building and a 42 inches railing around the system for maintenance.
- vi. The applicants cannot cover the pool mechanical system more than the proposed design due to the ventilation requirements of the system.
- vii. The proposed plan includes a metal awning over the entrance to the addition. The awning will be made out of an aluminum panel, with the underneath of the awing printed with a cedar wood design.
- viii. Committee approved the proposed architectural design for this project.

Q&A

ADJOURNMENT

Dawn R. Ramsey, *Mayor*
Patrick Harris, *Council Member*
Kathie L. Johnson, *Council Member*
Donald J. Shelton, *Council Member*
Tamara Zander, *Council Member*
Jason T. McGuire, *Council Member*



PH: 801.446-HELP @SouthJordanUT

NOTICE OF PUBLIC HEARING

October 31, 2024

Dear Recipient:

An application has been filed (File #**PLSPR202400152**) to amend the South Jordan City Aquatic Recreation Center site plan, located at 10866 S. Redwood Road. The applicant is requesting that the South Jordan City Planning Commission review the application, and approve the amendment to add a complete lap pool addition to the current facilities.

You are receiving this notice because Salt Lake County records indicate that you own property that is within 300' (feet) of the project's property lines; or are listed as an affected entity. A map showing the property location is attached to this notice.

A public hearing regarding this proposal will be held before the South Jordan City Planning Commission **at 6:30 p.m. on Tuesday November 12, 2024** in the South Jordan City Council Chambers (1600 W. Towne Center Drive). All interested parties are invited to attend. Virtual attendance can be done by following instructions provided at: <http://www.sjc.utah.gov/planning-commission/>. Virtual attendance is contingent upon an individual's internet connection, not the City. Virtual attendance does not permit participation. Unless written comment is submitted, in-person attendance is required to participate in public comment.

Public comment may be submitted in writing by mail or by emailing Andrew McDonald at amcdonald@sjc.utah.gov, **by 12 p.m. on November 12, 2024**. This ensures that any comments received can be reviewed by Staff and the Commission, and included in the record prior to the meeting. Any emails or signed letters received will be placed on record. Comments may also be given, and added to the record, during the public comment portion of the hearing.

Should you desire further information, you may contact the Planning Department at 801-446-HELP

Respectfully,
Andrew McDonald, AICP
Planner II, Planning Department

Location Map



Map of 300' Notice Recipients

