

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 05/10/2022

Issue: DISH COLLOCATION / PERFORMANCE PLACE TOWER
CONDITIONAL USE PERMIT AMENDMENT
Address: 10246 S. Redwood Rd.
File No: PLCUP202200082
Applicant: Kate Hanstrom, Crown Castle

Submitted by: Damir Drozdek, Planner III

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** application PLCUP202200082 replacing Conditions 1 and 2 of the previously approved CUP-2009.17 with the following conditions:

1. Replace the existing wireless facility compound perimeter chain link fencing with an 8' decorative faux masonry wall or faux stone wall. Fence material shall be RhinoRock Concrete Fencing (poly or similar core, wrapped with a fiber reinforced concrete shell) or approved equivalent at the City of South Jordan's sole discretion.
2. Replace the existing chain link gate with a sight obscuring solid gate that is a maximum of 10 linear feet in width.

ACREAGE:	Approximately 1.5 acres
CURRENT ZONE:	MU-CITY (Mixed Use-City Center)
CURRENT USE:	Auto Repair Shop parking lot
FUTURE LAND USE PLAN:	MU (Mixed Use)
NEIGHBORING ZONES/USES:	North – MU-CITY / Commercial multi-tenant center South – MU-CITY / Former building to Marv Jensen Recreation Center West – R-1.8 / Utah Salt Lake canal and Marv Jensen Park East – MU-CITY / Performance Place facilities

CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition on a use, the detrimental effect must be identified and be based on upon substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect.

The Planning Commission shall approve a conditional use permit application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed conditional use in accordance with applicable standards. *See City Code § 17.84.060: A.*

The Planning Commission may deny a conditional use permit application if the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards. *See City Code § 17.84.060: B.* Further, City Code § 17.84.090 provides:

I. COMPLIANCE AND REVOCATION:

- A. A conditional use may be commenced and operated only upon:
 - 1. Compliance with all conditions of an applicable conditional use permit;
 - 2. Observance of all requirements of this title relating to maintenance of improvements and conduct of the use or business as approved; and
 - 3. Compliance with all applicable local, State, and Federal laws.
- B. A conditional use permit may be revoked by the City Council at any time due to the permittee's failure to commence or operate the conditional use in accordance with the requirements of subsection A of this section.

BACKGROUND:

The applicant is requesting that the Planning Commission review and approve a Conditional Use Permit amendment on property located at 10246 S. Redwood Rd. This is an existing wireless tower and base station located at the west end of the Performance Place property next to the Utah Salt Lake canal.

In October 2009 the Planning Commission approve a conditional use permit (CUP-2009.17) for installation of antennas and ground equipment with three conditions that required removal of an existing chain link fence and replacement with simulated wrought iron fence, and also planting evergreen trees around the compound for screening purposes. The third condition requires conformance to all City Codes and requirements. The owner never met these conditions.

To bring the site into conformance with City Codes and requirements, the applicant has agreed to post a performance bond based on the previous unfulfilled improvements from CUP-2009.17, and to request an amendment to the permit. The applicant proposes to amend the original conditions that require it to replace the existing chain link fence with a new 8' decorative masonry wall and max. 10' wide solid gates. If the Planning Commission approves the application as requested, the site will be brought into compliance with the proposed conditions, and then the City will not "call on" the performance bond.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The conditions of approval for CUP-2099.17 were never fulfilled, and the applicant is proposing new conditions that would bring the site into conformance with current City Codes and requirements.
- Staff has not identified any potential detrimental effects that the proposed conditions would not mitigate.

Conclusion:

- The proposed amendment does not appear to violate any health, safety or welfare standards. In addition, the proposed modifications address potential detrimental effects and bring the ground area of the tower into compliance with current City Code.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve the Application with conditions.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Aerial Map
- Zoning Map
- Applicant's Letter
- Staff Report CUP-2009.17
- Dish Drawings
- Typical Wall Drawings
- Performance Bond

Damir Drozdek

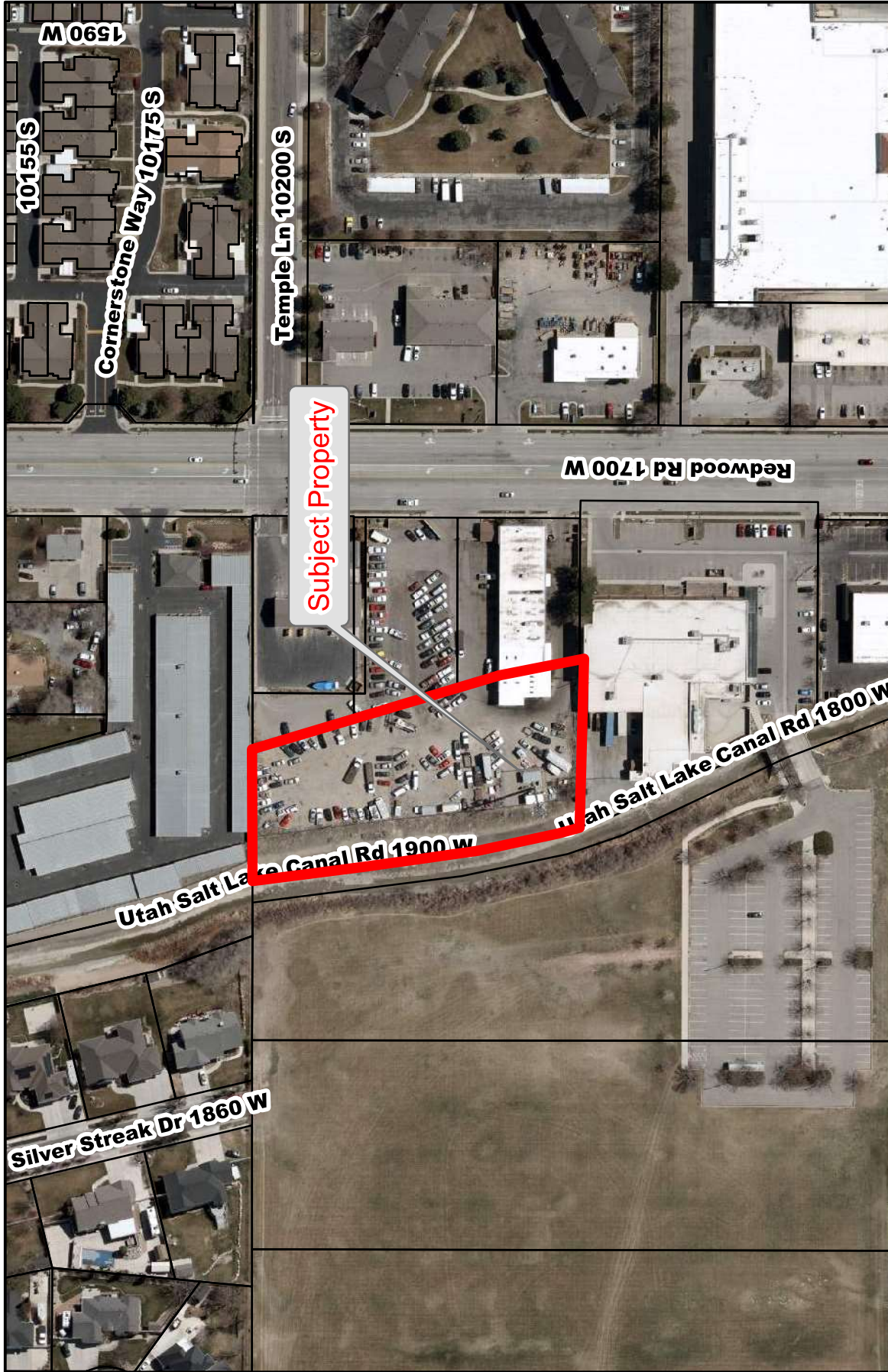
Damir Drozdek (May 3, 2022 15:06 MDT)

Damir Drozdek, AICP
Planner III, Planning Department

Brad Klavano

Brad Klavano (May 3, 2022 16:00 MDT)

Brad Klavano, P.E.
Director of Engineering Services



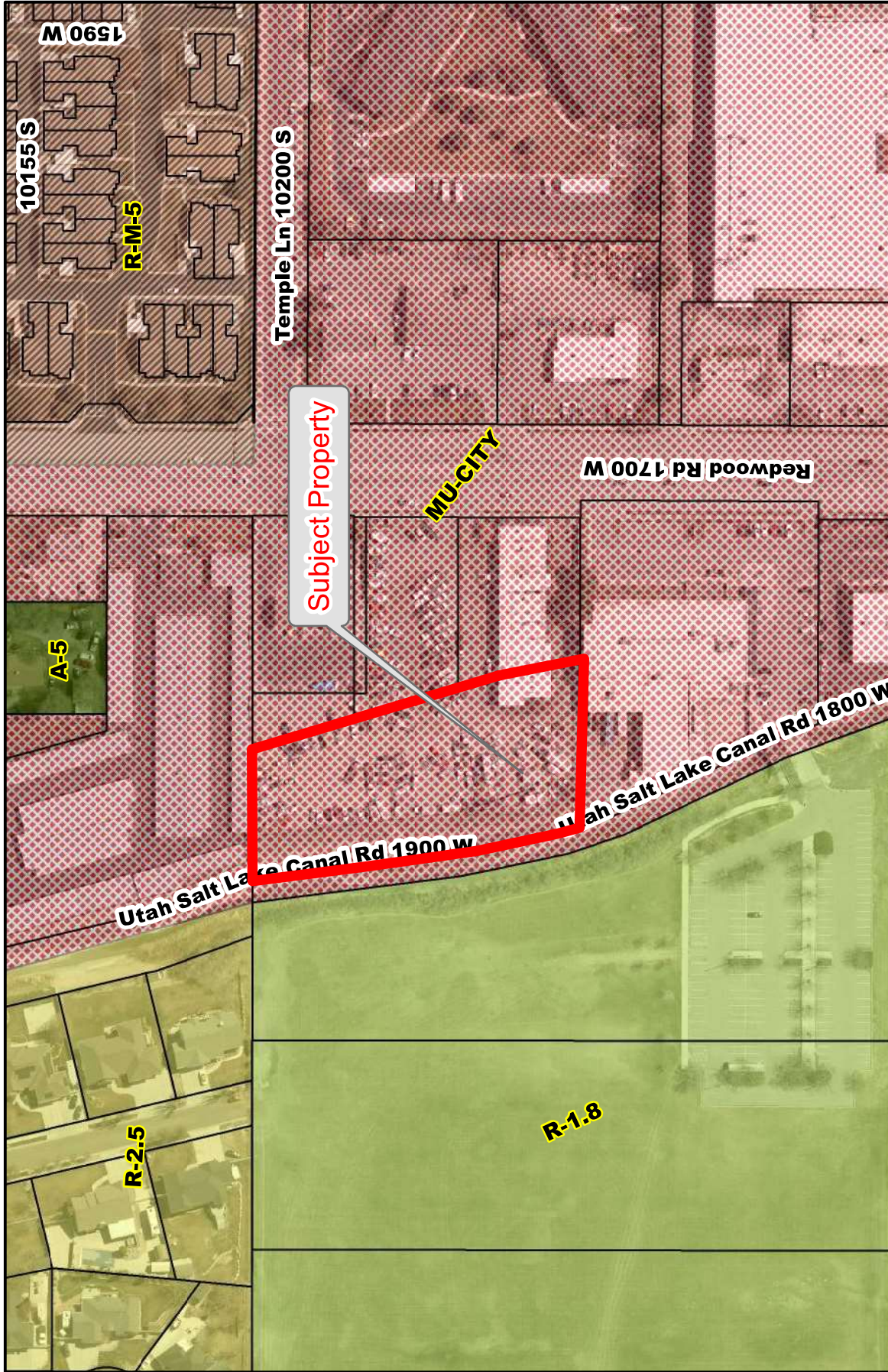
Legend

- STREETS
- PARCELS

**Aerial Map
City of South Jordan**

Aerial Imagery
2021





Legend

- STREETS
- PARCELS

Zoning Map

City of South Jordan

Aerial Imagery
2021



April 21, 2022

Subject: Amendment to CUP-2009.17 Conditions

Dear Reviewing Parties:

This application is submitted to revise conditions of File CUP-2009.17 which authorized the installation of new/additional antennas and ground equipment on an existing cell tower generally located at 10246 South Redwood Road.

Background

Dish Wireless, L.L.C, by agent Crown Castle USA Inc. (Dish) submitted an Eligible Facilities Request (EFR) to the City of South Lake Jordan (City) on 7/30/21. In August, the City informed Dish that CUP-2009.17 conditions had not been constructed and that Dish would have to resolve those conditions before the City would act on the Dish EFR.

CUP-2009.17 conditions as stated in their entirety are as follows:

- 1) *That the existing chain link fence be removed and replaced with a 6' decorative black wrought iron, or simulated wrought iron, fence around the perimeter.*
- 2) *That the applicant submits a landscape plan showing conifers around the perimeter of the facility.*
- 3) *All South Jordan City Planning, Engineering, Parks and Recreation, Public Safety, Public works, and other City Service Department requirements are met.*

Dish submitted a public records request to the City for the original siting approval that established the Site as defined under federal rules. On or around October 5, 2021, the City provided Dish with a copy of its Conditional Use Permit issued in 1998 that established the Site which did not contain the conditions subsequently imposed in 2009. As Dish proffered its application as an EFR, the 2009 conditions were not relevant to the City's requirement to review and approve the Dish EFR application within 60 days, nor could it deny or condition the Dish EFR.

On or around April 1, 2022, City staff discussed with Dish representatives to resolve the impasse. City of South Jordan Director of Planning Steven Schaefermeyer provided an email summary dated April 1, 2022, summarizing the path forward as follows:

- 1) Crown Castle will provide the City an estimate for the work required to bring the site into compliance with the conditions of the 2009 CUP.*
- 2) Crown Castle will provide the City a bond or letter of credit based on that estimate.*
- 3) Crown Castle will submit a permit to the City requesting an amendment of the 2009 CUP. The application will propose new conditions that are based on the current [City Code Chapter 17.112](#).*
- 4) Once those three items are submitted, the City will approve the EFR request and work towards scheduling a public hearing before the Planning Commission on CUP amendment application.*

Analysis

The substantive issues at hand of CUP-2009.17 and this application are conditions 1 & 2 requiring removal of the previously approved chain link fence to be replaced with a 6' decorative wrought iron fence AND a landscape plan showing conifers around the facility. City Code Chapter 17.112 no longer provides for a decorative wrought iron fence. From a practical matter, the perimeter landscaping around the facility exceeds real estate rights to do so and thus cannot be met. However, the City's current code has subsequently been amended numerous times since the original 1998 siting approval and the 2009 CUP and the code currently addresses ground equipment screening as follows:

§17.112.040(E) All ground equipment not placed within a below-grade vault or mounted inside a completely enclosed decorative masonry building shall be enclosed and screened from view within an eight foot (8') tall, solid, precast, decorative masonry wall, except for a maximum ten foot (10') portion of the perimeter that shall be gated with a sight-obscuring, solid gate.

There is a practical concern around the ability to meet this new requirement. These concerns include the required footing width and depth needing to remain within our real estate rights in conflict with the existing communication buildings, below grade grounding, clearances and utilities. This concern was addressed with the suggested solution of a faux masonry wall or faux stone wall. Further, it is our understanding from discussion with the City that the City in practice approves this solution to satisfy §17.112.040(E).

Requested Amendment to CUP-2009.17 Conditions 1 & 2.

Deleted conditions:

- ~~1) That the existing chain link fence be removed and replaced with a 6' decorative black wrought iron, or simulated wrought iron, fence around the perimeter.~~
- ~~2) That the applicant submits a landscape plan showing conifers around the perimeter of the facility.~~

New condition:

Replace the existing wireless facility compound perimeter chain link fencing with an 8' decorative faux masonry wall or faux stone wall. Replace the existing chain link gate with a sight obscuring solid gate that is a maximum of 10 linear feet in width.

Attachments:

- CUP-2009.17
- Director of Planning Steven Schaefermeyer 4/1/2022 path forward email
- 1998 Original Siting Approval/CUP
- Dish construction drawings
- Typical Faux masonry/stone images
- Bond/Estimate

Respectfully Submitted,

Kate Hanstrom

Kate Hanstrom
Site Acquisition Specialist
Kate.Hanstrom@crowncastle.com
(309) 269-7254

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 10/27/2009

**Issue: PUBLIC HEARING, FILE #CUP-2009.17, CONDITIONAL USE PERMIT
APPLICATION TO INSTALL NEW ANTENNAS AND GROUND EQUIPMENT
ON THE EXISTING CELL TOWER SITE GENERALLY LOCATED AT 10246
SOUTH REDWOOD ROAD, STEPHEN CRAIN (APPLICANT).**

Submitted By: Brad Sanderson, Planner II

Planning Department

Staff Recommendation (Motion Ready):

That the Planning Commission approve the Conditional Use Permit application, to allow the installation of new antennas and equipment at the existing 10246 South Redwood Road, cell tower site with the following condition and/or requirement:

- 1- That the existing chain link fence be removed and replaced with a 6' decorative black wrought iron, or simulated wrought iron, fence around the perimeter.
 - 2- That the applicant submits a landscape plan showing conifers around the perimeter of the facility.
 - 3- All South Jordan City Planning, Engineering, Parks and Recreation, Public Safety, Public Works, and other City Service Department requirements are met.
-

BACKGROUND:

Stephen Crain, on behalf of Clear Wire, is proposing to expand the original equipment by installing new antennas and related ground equipment on an existing monopole and cell wireless communication site generally located at 10246 South within the Performance Place Automotive storage yard.

The applicant has confirmed that the proposed antennas will not extend more than 18" from the edge of the pole and that their ground equipment will be contained within a newly constructed decorative masonry building.

FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

FINDINGS:

- The property surrounding the wireless communication facility is likely to develop or likely redevelop which is why the landscaping and new fence are being required by Staff.
- The property is within the MU-CITY Zone which allows for Wireless Communication Facilities.
- The nearest home is approximately 385 feet away, located to the northwest.
- The existing monopole is approximately 100' tall.
- The proposed antennas are proposed to be mounted at approximately 80' above grade to the centerline of the antennas.
- Currently, a chain link wire fence surrounds the site.

- A Conditional Use Permit is required upon the “expansion of the original ground equipment, site area, or enclosures” (see Section 17.112.030 of the Zoning Code).
- The recently approved wireless ordinance also requires that all ground equipment be vaulted or contained within a completely enclosed masonry structure.
- The new wireless communication ordinance requires that all antennas be internally mounted or flush mounted, (not extending more than 18” from the edge of the pole).
- Landscaping materials are also required by the new wireless communication ordinance.

CONCLUSIONS:

- The purpose of the new ordinance is to, overtime; reduce the visual and aesthetic impact of any existing and proposed wireless communication facilities.
- The application has been review and does comply with the new wireless communication ordinance.

RECOMMENDATIONS:

- Based on the Findings and Conclusions listed in this Staff Report, Staff recommends that the Planning Commission approve the Conditional Use Permit for the Clear Wire antennas and ground equipment proposed at 10246 South Redwood Rd. file number CUP-2009.17 with the above listed conditions and/or requirements unless, at the hearing, facts are presented that contradict the findings or new facts are presented, either of which would warrant further investigation by Staff.

FISCAL IMPACT:

There is no fiscal impact on the City

ALTERNATIVES:

- Approve the Conditional Use Permit
- Modify the conditions of approval
- Schedule the decision for a later date
- Make no motion

SUPPORT MATERIALS:

- Aerial Map
- Zoning Map
- Site Plan and Profile of Communication Facility

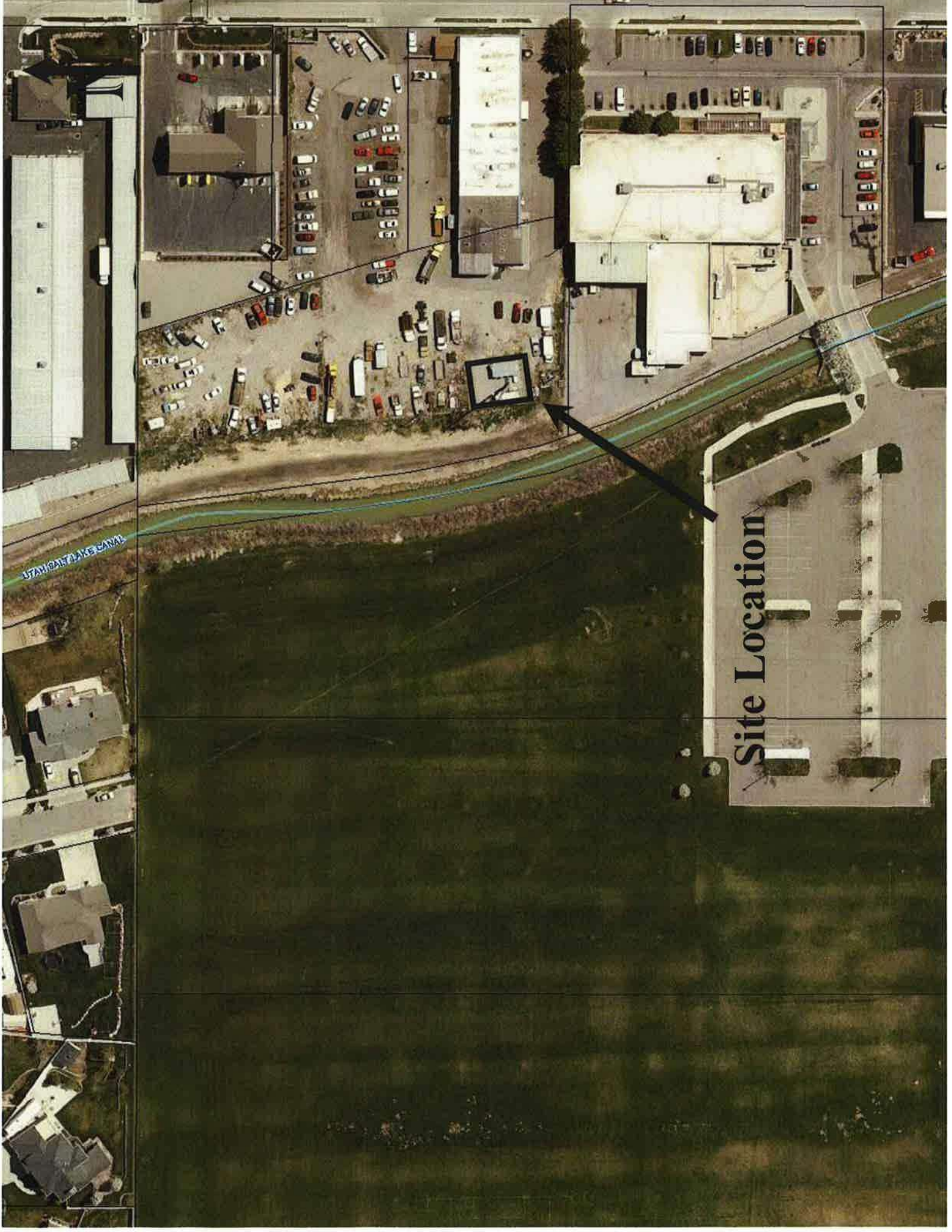


Approved as to Content by

Greg Schindler

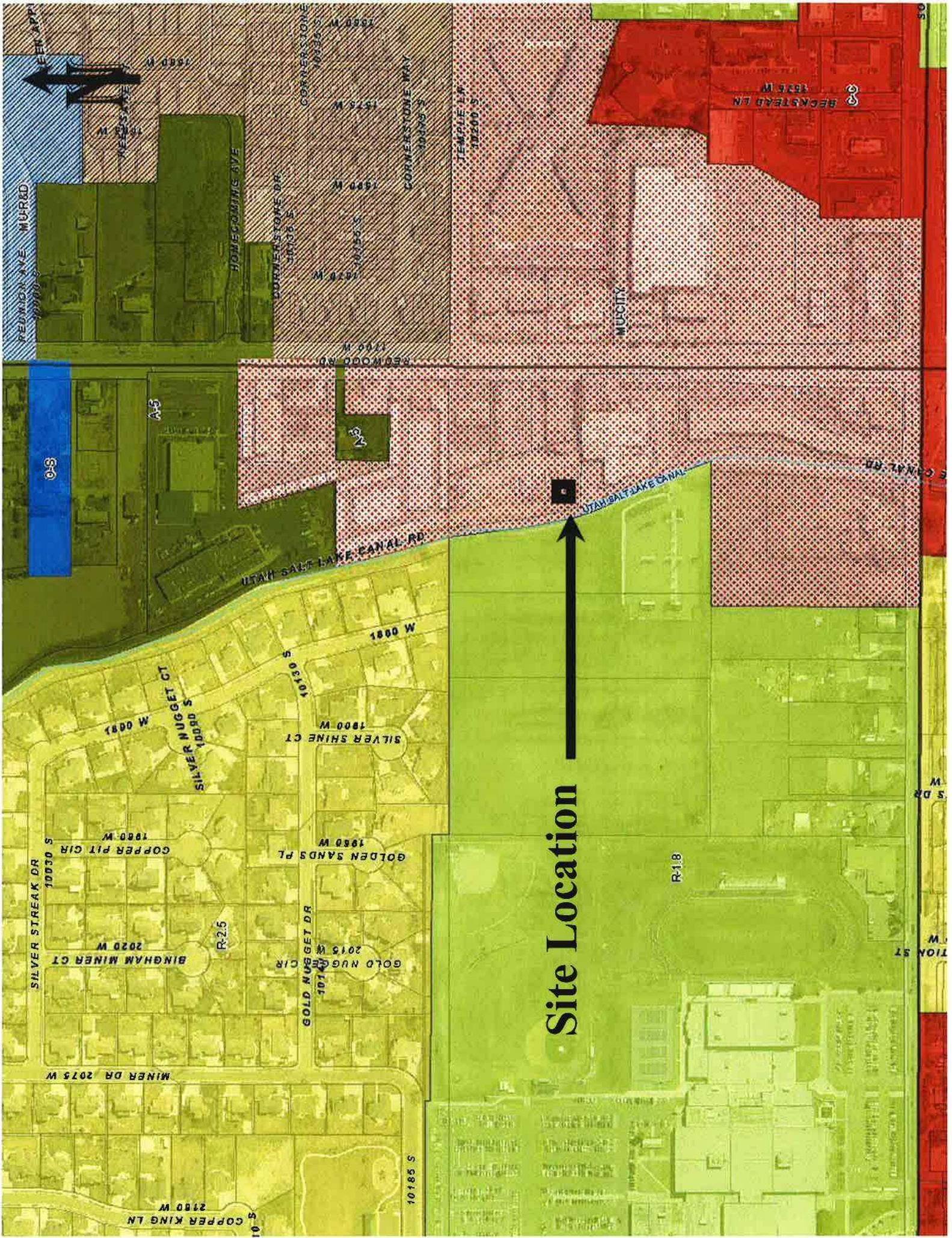
Approved as to Legal Form by

Ryan Loose



STANLEY LAKE CANAL

Site Location



Site Location

W. Kent Money, *Mayor*
Brian Butters, *Council Member*
Kathie L. Johnson, *Council Member*
Larry Short, *Council Member*
Aleta Taylor, *Council Member*
Leona Winger, *Council Member*

John H. Geilmann, *City Manager*



PH: 801.254.3742 EMAIL: info@sjc.utah.gov FAX: 801.254.3393

NOTICE OF PUBLIC HEARING

October 12, 2009

Dear Property Owner:

Steven Crain, on behalf of Clear Wire, has filed an application with the City, seeking approval for a Conditional Use Permit to located new antennas and related equipment on the existing cell tower site generally located at 10246 South Redwood Rd. Salt Lake County records indicate that you own property within 300 feet of the subject property.

A Public Hearing concerning this application has been scheduled before the South Jordan City Planning Commission on **Tuesday October 27th, 2009 at 6:30 p.m.** at the South Jordan City Hall, located at 1600 West Towne Center Drive, South Jordan, Utah. All interested parties are invited to attend.

Should you desire further information, you may contact:

Agent: **Steven Crain** **Phone (405)-255-6809**

or the Planning & Zoning Staff at the City Offices or by telephone at (801) 254-3742 during regular business hours.

Sincerely,

SOUTH JORDAN CITY


Brad Sanderson,
Planner II

10/5/2009

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SOUTH JORDAN UT 84095



National Development Team – Tower Asset Management
2380 Bisso Lane, Suite A, Concord CA 94520

October 1, 2009

RE: **Letter of Authorization** – Co-Location on T-Mobile tower.
Property address: 10242 S Redwood South Jordan, UT 84065
Latitude: 40° 33' 54.29" Longitude: 111° 56' 23.84"

To Whom It May Concern:

Clear Wireless LLC. ("Clearwire") is currently in negotiations with T-Mobile West Corporation, a subsidiary of T-Mobile USA, Inc ("T-Mobile"), to co-locate its communications equipment on the T-Mobile tower located 10242 S Redwood South Jordan, UT 84065.

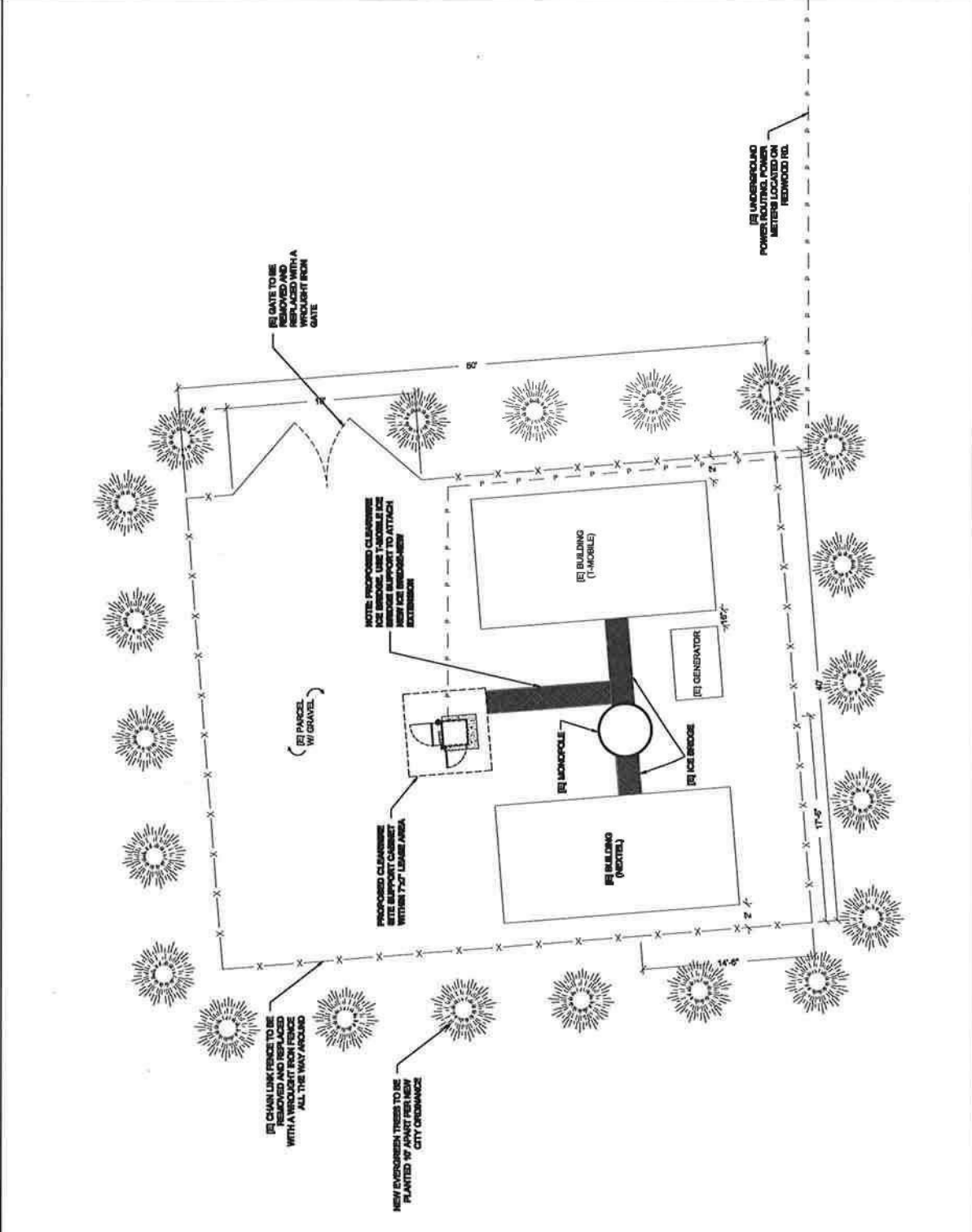
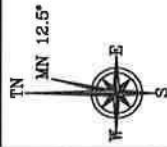
Clearwire shall be required by the terms of the agreement to seek and obtain all necessary local permits and approvals. As a duly authorized representative of T-Mobile, permission is hereby granted to Clearwire, and agents thereof, for the purpose of consummating any applications necessary to gain the required approvals from the City of South Jordan, UT.

Any fees or charges associated with all applications or permits and any conditions placed on the applicant shall be the sole responsibility of Clearwire.

Yours truly,

Dian Tardiff
Tower Asset Management, West
T-Mobile USA, Inc.
(925) 288-6746
dian.tardiff@t-mobile.com

[a copy of this document shall have the same effect as an original]



clearwire®

4400 GIBBS RD
SPRING HILL, AL 35894
TEL: (205) 938-7000
FAX: (205) 938-7000

clearwire NETWORKS

10000 W. 10TH AVE
DENVER, CO 80202
TEL: (303) 555-1200
FAX: (303) 555-1200

ISSUED FOR REVIEW	DATE
ISSUED FOR REVIEW	8/2/09

DRAWN BY: DT

CHECKED BY: DE

UT-SLC242
T-MOBILE
SL01521A
10242 S Redwood Rd
SOUTH JORDAN, UTAH 84005

SHEET TITLE:
**PARCEL
PLAN**

SHEET NUMBER:
A-2

UTAH AND SALT LAKE CANAL TRAIL

EXISTING 10' x 20' BUILDING

EXISTING 11' x 20' BUILDING

EXISTING GENERATOR

EXISTING UTILITY FRAME

EXISTING CHAIN LINK FENCE

EXISTING 16' x 3' WIDE CHAIN LINK GATE

EXISTING 4' x 3' WIDE CHAIN LINK GATE

PROPOSED FIBER HANDLEHOLE

3' WORKING CLEARANCE

SEE DIMAISED SITE PLAN

40' - 3"

49' - 9"

5' - 8"

14' - 2"

6' - 1"

5' - 9"

14' - 9"

3' - 0"

REDWOOD RD.

1

0 5' 10'

3/16" = 1' - 0"

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

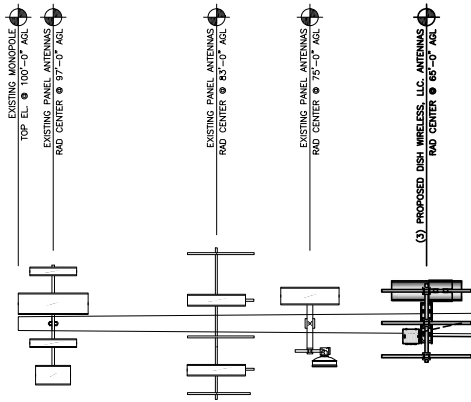
2. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.

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 5701 SOUTH SANTA FE DRIVE LITTLETON, CO 80120		 1717 S BOULDER TULSA, OK 74119 PH: (918) 587-4630 www.btgrp.com		 4/21/21		B&T ENGINEERING, INC.		IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE A LICENSED PROFESSIONAL ENGINEER, TO SEAL THIS DOCUMENT.		DRAWN BY: JTS JUR		APPROVED BY: APPROVED BY: MDW JTS		RFDS REV #:		2		CONSTRUCTION DOCUMENTS		SUBMITTALS		<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>4/1/21</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>0</td> <td>4/21/21</td> <td>ISSUED FOR CONSTRUCTION</td> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>		REV	DATE	DESCRIPTION	A	4/1/21	ISSUED FOR REVIEW	0	4/21/21	ISSUED FOR CONSTRUCTION																AKA PROJECT NUMBER 102739.002.01		DISH WIRELESS, LLC PROJECT INFORMATION		SLSLCC00112A 10242 S REDWOOD SOUTH JORDAN, UT 84065		SHEET TITLE PROPOSED SITE PLAN AND EQUIPMENT LAYOUTS		SHEET NUMBER A-1	
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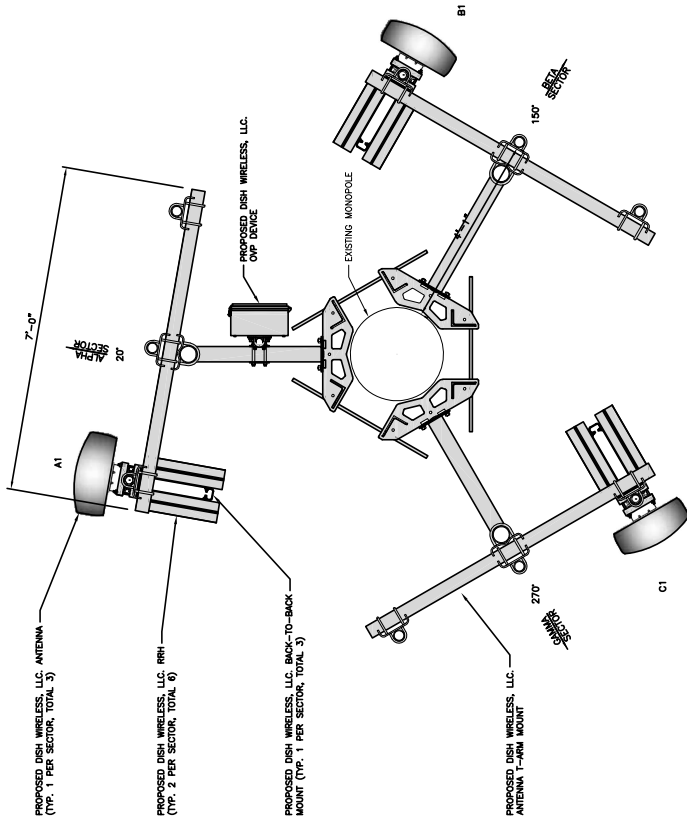
NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNA AND JMW DISH SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS



PROPOSED WEST ELEVATION

1



ANTENNA LAYOUT

2

SECTOR	POSITION	ANTENNA				TRANSMISSION CABLE	
		EXISTING OR PROPOSED	MANUFACTURER - MODEL NUMBER	TECHNOLOGY	SIZE (HxW)	FEED LINE TYPE AND LENGTH	
ALPHA	A1	PROPOSED	JMA WIRELESS-MX08F0685-21	5G	72.0" x 20.0"	65'-0"	(1) HIGH-CAPACITY FIBER OPTIC CABLE (95' LONG)
BETA	B1	PROPOSED	JMA WIRELESS-MX08F0685-21	5G	72.0" x 20.0"	150'	
GAMMA	C1	PROPOSED	JMA WIRELESS-MX08F0685-21	5G	72.0" x 20.0"	270'	

SECTOR	POSITION	RRH		TECHNOLOGY
		MANUFACTURER - MODEL NUMBER		
ALPHA	A1	FUITSU - TMR025-B604	5G	NOTES 1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS. 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND SUBMITTED FOR CONSTRUCTION WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES.
BETA	B1	FUITSU - TMR025-B605	5G	
BETA	B1	FUITSU - TMR025-B604	5G	
GAMMA	C1	FUITSU - TMR025-B604	5G	

ANTENNA SCHEDULE

NO SCALE

3



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CONSTRUCTION DOCUMENTS

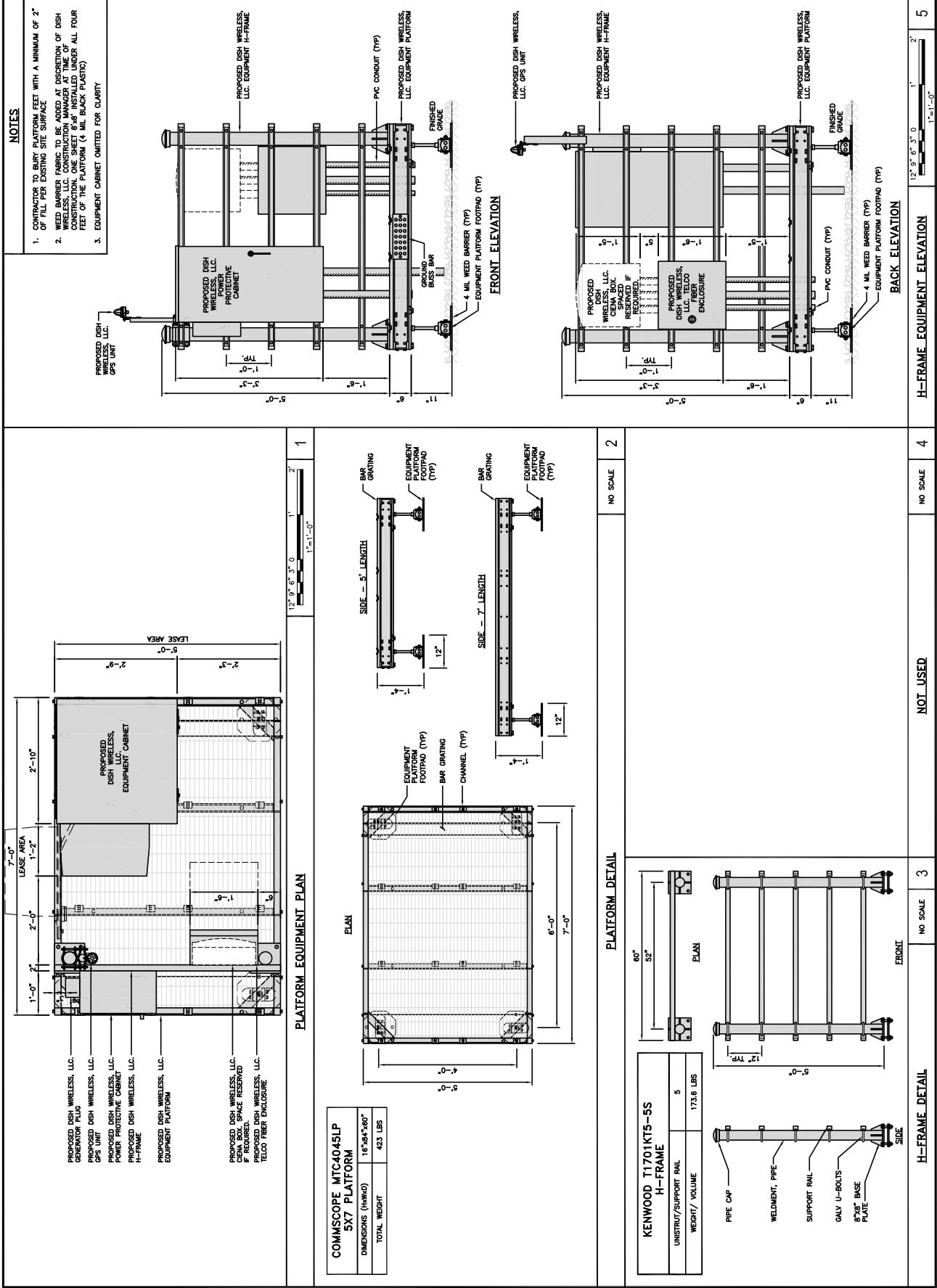
SUBMITTALS	
REV	DATE DESCRIPTION
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B	4/21/21 ISSUED FOR CONSTRUCTION

A&E PROJECT NUMBER
102739.002.01

DISH WIRELESS, LLC PROJECT INFORMATION
SLSIC00112A
10242 S REDWOOD
SOUTH JORDAN, UT 84065

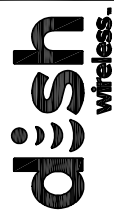
SHEET TITLE
ELEVATION, ANTENNA LAYOUT AND SCHEDULE

SHEET NUMBER
A-2



NOTES

1. CONTRACTOR TO BURY PLATFORM FEET WITH A MINIMUM OF 2' OF FILL PER EXISTING SITE SURFACE
2. WEED BARRIER FABRIC TO BE ADDED AT DISCRETION OF DISH WIRELESS, LLC. CONSTRUCTION MANAGER AT TIME OF CONSTRUCTION. ALL WEED BARRIER SHALL BE AT LEAST ALL FOUR FEET OF THE PLATFORM (4 MIL BLACK PLASTIC)
3. EQUIPMENT CABINET OMITTED FOR CLARITY



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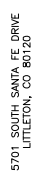
SLISL000112A
10242 S REDWOOD
SOUTH JORDAN, UT 84065

SHEET TITLE
EQUIPMENT PLATFORM AND
H-FRAME DETAILS

SHEET NUMBER
A-3

H-FRAME EQUIPMENT ELEVATION	NO SCALE	4	NOT USED	3	NO SCALE	NO SCALE	5
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[illegible]



B+T GRP
1717 S. BOULDER
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com



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DISH WIRELESS, LLC.
PROJECT INFORMATION

SLSLC00112A
10242 S REDWOOD
SOUTH JORDAN, UT 84065

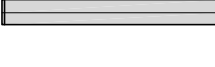
SHEET TITLE

SHEET NUMBER

A-6

MQ4 MOUNTING BRACKET HPA-33R-BU-H4-K	
WIDTH	5" (130mm)
DEPTH	2" (51mm)
HEIGHT	8" (213mm)
TOTAL WEIGHT (WITH BRACKETS)	1.5 LBS (15.50 kg)
HOUSING MATERIAL	ASA/ABS/ALUMINUM
RADOME COLOR	LIGHT GRAY
CONNECTOR	1X8-PIN DUSTY CHAIN

REMOTE RADIO HEAD DETAIL	NO SCALE
--------------------------	----------

NO SCALE							
REMOTE RADIO HEAD DETAIL							
JMA WIRELESS MX08FR0665-21 ANTENNA <table border="1"> <tr> <td>DIMENSIONS (HxWxD)</td> <td>72.0"x20.0"x8.0"</td> </tr> <tr> <td>TOTAL WEIGHT</td> <td>54 LB</td> </tr> <tr> <td>RF PORTS, CONNECTOR TYPE</td> <td>8 x 4.3-10 FEMALE</td> </tr> </table>		DIMENSIONS (HxWxD)	72.0"x20.0"x8.0"	TOTAL WEIGHT	54 LB	RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE
DIMENSIONS (HxWxD)	72.0"x20.0"x8.0"						
TOTAL WEIGHT	54 LB						
RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE						
 							
 							

JMA WIRELESS MX08FR0665-21 ANTENNA	
DIMENSIONS (HxWxD)	72.0"x20.0"x8.0"
TOTAL WEIGHT	54 LB
RF PORTS, CONNECTOR TYPE	8 x 4.3-10 FEMALE

COMMScope MC-K6MHDX-9-96	
FACE WIDTH	7'-0"
WEIGHT	1203.31 lbs

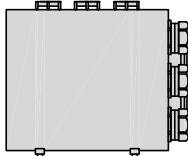
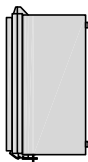
NOTE: 15° TO 50° O.D.

ANTENNA PIPE

FACE PIPE

Dimensions: .96, 7'-0"

NOT USED		NO SCALE						
<table><tr><td colspan="2">COMMSCOPE XP-2040 CROSSOVER PLATE</td></tr><tr><td>DIMENSIONS (HW)</td><td>10"x12"</td></tr><tr><td>WEIGHT</td><td>11.023 LBS</td></tr></table>			COMMSCOPE XP-2040 CROSSOVER PLATE		DIMENSIONS (HW)	10"x12"	WEIGHT	11.023 LBS
COMMSCOPE XP-2040 CROSSOVER PLATE								
DIMENSIONS (HW)	10"x12"							
WEIGHT	11.023 LBS							
ANTENNA PLATFORM (NOT INCLUDED) ANTENNA PIPE MOUNT (NOT INCLUDED) CROSSCOVER PLATE OPTION OF EITHER U-BOLT OR CIRCULAR U-BOLT SIDE PLATE PLAN PLATE SIDE U-BOLT PLAN U-BOLT								
RRH/OVP MOUNT DETAIL		NO SCALE						

7		NO SCALE		FRONT		SURGE SUPPRESSION DETAIL (OVP)		7	
ANTENNA DETAIL									
RAYCAP RDIC-9181-PF-48 DC SURGE PROTECTION (OVP)				21.82 LBS					
DIMENSIONS (HxWxD)		18.98"x14.30"x8.15"							
WEIGHT									
									
SIDE		BACK		FRONT		PLAN			

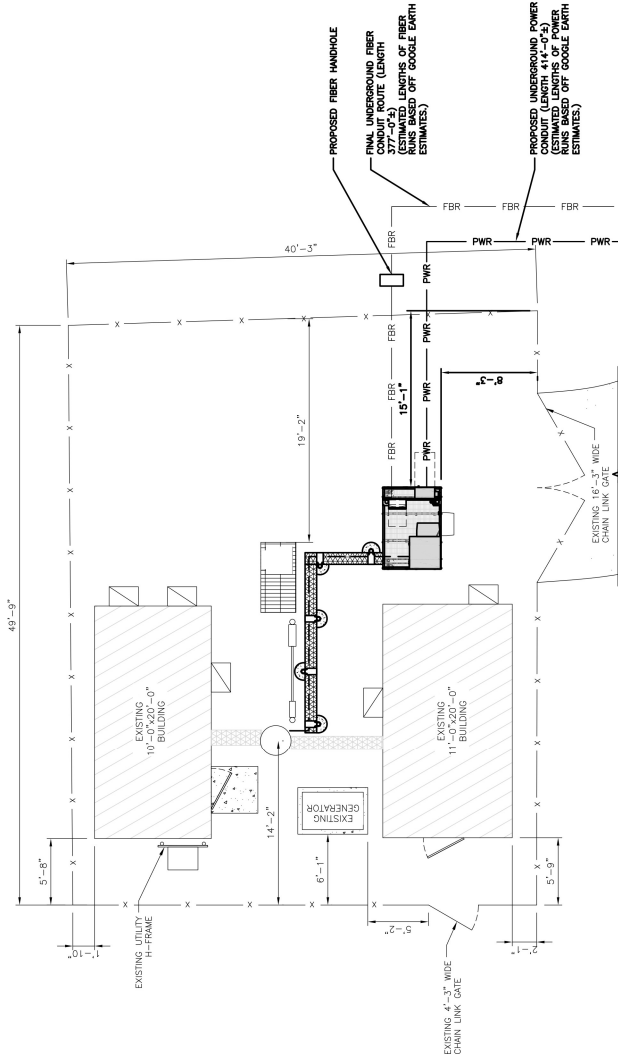
NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED UNDERGROUND UTILITY CONDUIT ROUTE.
2. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.

DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARGINS SHALL IDENTIFY +24V AND BLUE MARGINS SHALL IDENTIFY -48V.

1. CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, RULES AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
3. LOCATION OF EQUIPMENT CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
4. CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
5. CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
6. CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
7. CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
8. ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES. INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
9. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
10. ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
11. PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.

UTAH AND SALT LAKE CANAL TRAIL



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2

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DISH WIRELESS, LLC
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10242 S REDWOOD
SOUTH JORDAN, UT 84065

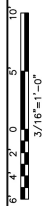
SHEET TITLE
ELECTRICAL/FIBER ROUTE
PLAN AND NOTES

SHEET NUMBER

E-1

UTILITY ROUTE PLAN

1

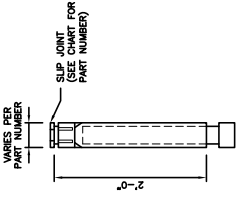


ELECTRICAL NOTES

NO SCALE

2

CARLON EXPANSION FITTINGS				
COUPLING END PART#	MALE TERMINAL ADAPTER END PART#	SIZE	STD QTY.	TRAVEL LENGTH
E9460	E9460X	1/2"	20	4"
E946E	E946EX	3/4"	15	4"
E946F	E946FX	1"	10	4"
E946G	E946GX	1 1/4"	5	4"
E946H	E946HX	1 1/2"	5	4"
E946J	E946JX	2"	15	8"
E946K	E946KX	2 1/2"	10	8"
E946L	E946LX	3"	10	8"
E946M	E946MX	3 1/2"	5	8"
E946N	E946NX	4"	5	8"
E946P	E946PX	5"	1	8"
E946R	E946RX	6"	1	8"



NOTE: INSTALL TO INSTALL EXPANSION FITTING SLIP JOINT AT METER CENTER CONDUIT TERMINATION, AS PER LOCAL UTILITY POLICY, ORDINANCE AND/OR SPECIFIED REQUIREMENT.

EXPANSION JOINT DETAIL

NO SCALE

1

TYPICAL UNDERGROUND TRENCH DETAIL

NO SCALE

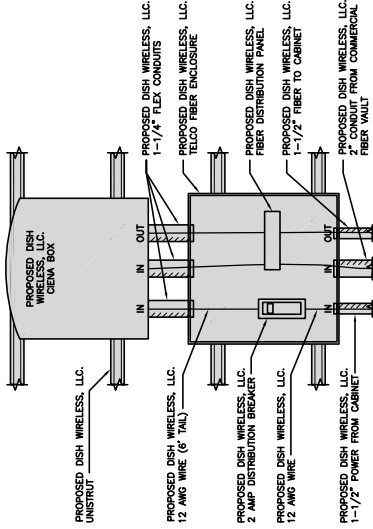
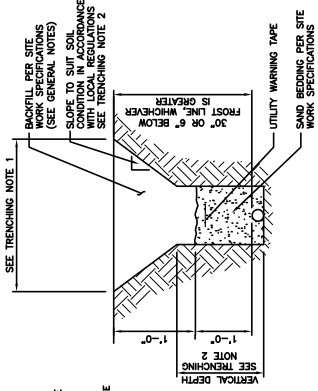
2

NOT USED

NO SCALE

3

- TRENCHING NOTES**
- CONTRACTOR SHALL RESTORE THE EXISTING SURFACE TO ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE SURFACES TO ITS ORIGINAL CROSS SECTION.
 - TRENCHING SAFETY, INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA FEDERAL AND STATE OCCUPATIONAL SAFETY STANDARDS.
 - ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE CURRENT NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION. UNDERGROUND INSTALLATION SHALL BE THE MOST STRINGENT.



LIT TELCO BOX – INTERIOR WIRING LAYOUT (OPTIONAL)

NO SCALE

4

DARK TELCO BOX – INTERIOR WIRING LAYOUT

NO SCALE

5

NOT USED

NO SCALE

6

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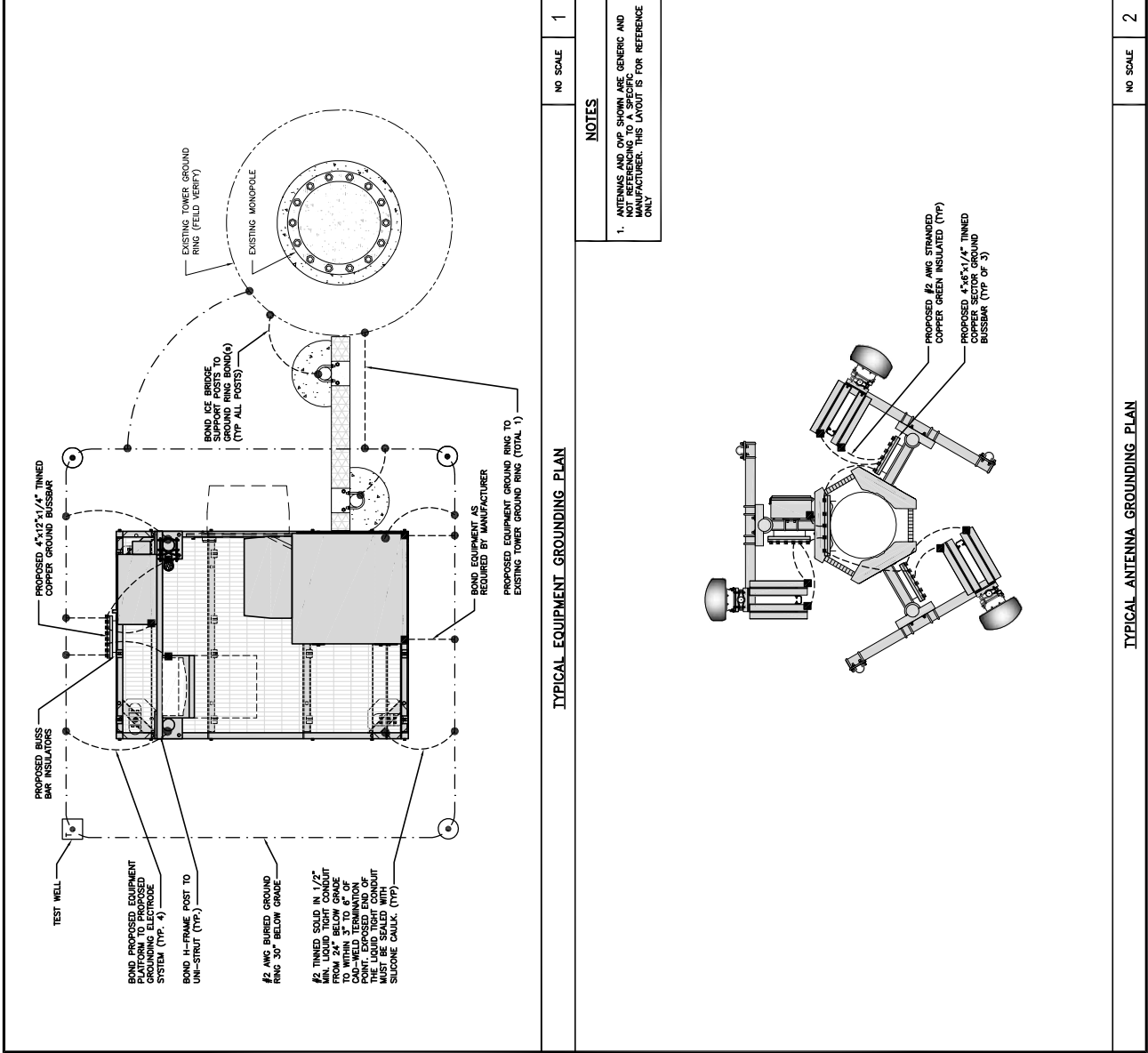
DISH WIRELESS, LLC
PROJECT INFORMATION

SLSLC000112A
10242 S REDWOOD
SOUTH JORDAN, UT 84065

SHEET TITLE
ELECTRICAL
DETAILS

SHEET NUMBER

E-2



TYPICAL EQUIPMENT GROUNDING PLAN

NOTES	
1.	NOTINGS AND OR SHOWN ARE GENERIC AND NOT TO SCALE. THIS LAYOUT IS FOR REFERENCE ONLY.

NO SCALE	1
----------	---

TYPICAL ANTENNA GROUNDING PLAN

NO SCALE	2
----------	---

- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION
- #6 AWG STRANDED & INSULATED
- - - - #2 AWG SOLID COPPER TINNED
- ▲ BUSS BAR INSULATOR

- TEST GROUND ROD WITH INSPECTION SLEEVE
- #6 AWG STRANDED & INSULATED
- - - - #2 AWG SOLID COPPER TINNED
- ▲ BUSS BAR INSULATOR

GROUNDING LEGEND

- GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
- CONTRACTORS SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH WIRELESS, LLC. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
- ALL GROUND CONDUCTORS SHALL BE COPPER. NO ALUMINUM CONDUCTORS SHALL BE USED.

GROUNDING KEY NOTES

- EXTERIOR GROUND RING: #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FIRST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL ON FOOTING.
- TOWER GROUND RING: THE GROUND RING SYSTEM SHALL BE INSTALLED AROUND AN ANTENNA TOWER'S LESS, AND/OR GUY ANCHORS, WHERE SEPARATE SYSTEMS HAVE BEEN PROVIDED FOR THE TOWER AND THE EXISTING TOWER GROUND RING SYSTEM. THE GROUND RING SHALL BE INSTALLED AROUND THE BUILDING RING GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
- INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE EXTERIOR GROUND RING. THE INTERIOR GROUND RING SHALL BE INSTALLED AROUND THE BUILDING RING GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
- BOND TO INTERIOR GROUND RING: #2 AWG SOLID TINNED COPPER WIRE PRIMARY BARS SHALL BE BOND TO THE INTERIOR GROUND RING. LOCATED AT THE CORNERS OF THE BUILDING.
- GROUND ROD: U. L. LISTED COPPER CLAD STEEL, MINIMUM 1/2" DIAMETER BY DEPT. FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE OPEN TO THE DEPTH OF GROUND RING CONDUCTOR.
- CELL REFERENCE GROUND BAR: POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BARS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO GROUND RING WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
- MATCH PLATE GROUND BAR: BOND TO THE INTERIOR GROUND RING WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. THE MATCH PLATE SHALL BE INSTALLED AROUND THE BUILDING RING GROUND SYSTEM. THE CRB MUST BE CONNECTED TO THE MATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
- EXTERIOR CABLE ENTRY PORT GROUND BARS: LOCATED AT THE ENTRANCE TO THE CELL SITE BUILDING, BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH AN EXOTHERMIC WELD AND INSPECTION SLEEVE.
- TELO: GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
- FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENT'S METAL FRAMEWORK.
- INTERIOR UNIT BOND: METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
- FENCE AND GATE GROUNDING: METAL FENCES WITHIN 7 FEET OF THE EXTERIOR GROUND RING OR OBJECTS BOND TO THE EXTERIOR GROUND RING SHALL BE BOND TO THE GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
- EXTERIOR UNIT BOND: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BOND TO THE EXTERIOR GROUND RING USING #2 TINNED SOLID COPPER WIRE.
- ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BOND TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED COPPER CONDUCTOR.
- DURING ALL DC POWER SYSTEM CHANGES INCLUDING DC SYSTEM CHANGE OUTS, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS AND BATTERY CHARGERS, ALL DC SYSTEMS SHALL BE DE-ENERGIZED. ALL DC SYSTEMS SHALL BE DE-ENERGIZED. CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR.
- TOWER TOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO PROPOSED ANTENNA MOUNT COLLAR. REFER TO DISH WIRELESS, LLC. GROUNDING NOTES.

GROUNDING KEY NOTES	
NO SCALE	3



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

B+T GRP
1717 S. BOULDER
SUITE 300
TULSA, OK 74119
(918) 595-4830
www.btgri.com



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D	4/7/21
E	4/7/21
F	4/7/21
G	4/7/21
H	4/7/21
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S	4/7/21
T	4/7/21
U	4/7/21
V	4/7/21
W	4/7/21
X	4/7/21
Y	4/7/21
Z	4/7/21

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SHEET TITLE

GROUNDING PLANS
AND NOTES

SHEET NUMBER

G-1

[illegible]

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B+T GRP
1717 S. BOULDER
SUITE 300
TULSA, OK 74119
PH: (918) 587-4630
www.btgrp.com



4/21/21

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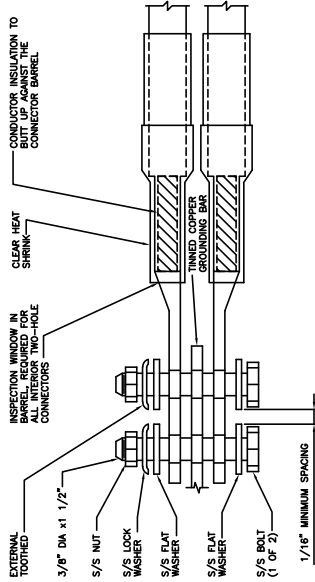
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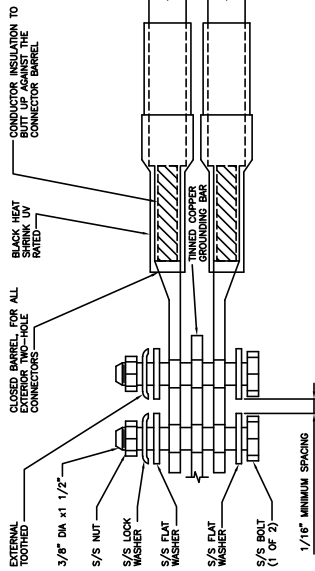
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GROUNDING DETAILS

SHEET NUMBER

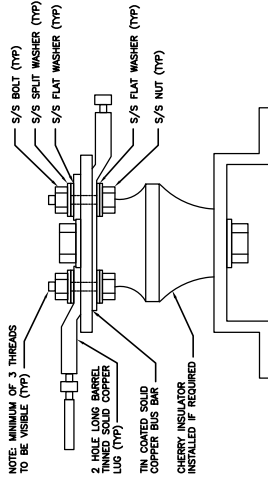


TYPICAL INTERIOR TWO HOLE LUG



TYPICAL EXTERIOR TWO HOLE LUG

1. EXOTHERMIC GROUNDING SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 1/2" OR LARGER STAINLESS STEEL INCLUDING LOCK WASHERS, ON ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE INSTALLATION.
2. ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 1/2" OR LARGER STAINLESS STEEL INCLUDING LOCK WASHERS, ON ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE INSTALLATION.
3. FOR GROUND BOND TO STEEL ONLY: ON ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE INSTALLATION.
4. DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS.
5. NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE.
6. ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED.
8. ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHIMMERS).



LUG DETAIL

LUG DETAIL	4		5		6	
	NO SCALE		NOT USED		NOT USED	

[illegible]

	NOT USED	7	8	9
		NO SCALE	NO SCALE	NO SCALE



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



1717 S. BOULDER
SUITE 300
TULSA, OK 74119
(918) 595-4830
WWW.B+T-GRP.COM



4/21/21

B&T ENGINEERING, INC.

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

DRAWN BY: CHECKED BY: APPROVED BY:	
JUR	JTS
MDW	

RFDS REV #:

2

CONSTRUCTION DOCUMENTS

REV	DATE	DESCRIPTION
A	4/7/21	ISSUED FOR REVIEW
B	4/21/21	ISSUED FOR CONSTRUCTION

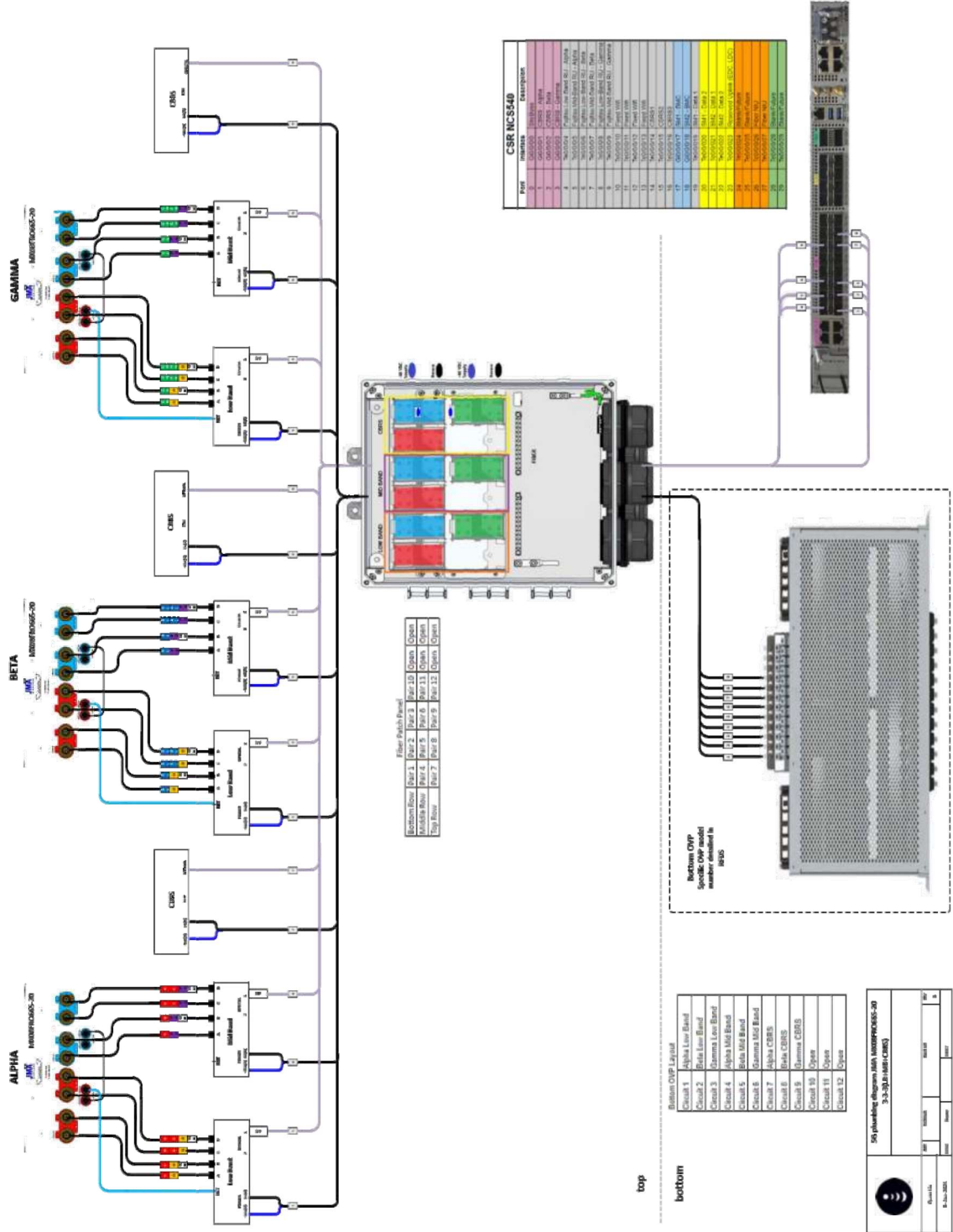
AAE PROJECT NUMBER
102739.002.01

DISH WIRELESS, LLC
PROJECT INFORMATION

SLSLC00112A
10242 S REDWOOD
SOUTH JORDAN, UT 84065

SHEET TITLE
RF
PLUMBING DIAGRAM
SHEET NUMBER

RF-2



PLUMBING DIAGRAM

NO SCALE 1

SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED – NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH WIRELESS, LLC. AND TOWER OWNER NOC & THE DISH WIRELESS, LLC. AND TOWER OWNER CONSTRUCTION MANAGER.
2. "LOOK UP" – DISH WIRELESS, LLC. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:

THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONALITY OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY. ON THE OTHER HAND, THE SAFETY CLIMB SHALL BE MAINTAINED IN SUCH A MANNER THAT IT DOES NOT CAUSE EXCESSIVE WEAR OR IMPACT TO ITS SUPPORTS. DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR IMPACT TO THE ANCHORAGE POINTS IN ANY WAY OR TO IMPIDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH WIRELESS, LLC. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.

3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.

4. ALL CONSTRUCTION MEANS AND METHODS, INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH WIRELESS, LLC. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA-322 (LATEST EDITION).

5. ALL SITE WORK TO COMPLY WITH DISH WIRELESS, LLC. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH WIRELESS, LLC. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA-1019-A-2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."

6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH WIRELESS, LLC. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.

7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.

8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.

10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY DISH WIRELESS, LLC. AND TOWER OWNER. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.

11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.

12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.

13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH WIRELESS, LLC. AND TOWER OWNER, AND/OR LOCAL UTILITIES.

14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.

15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER'S EQUIPMENT AND TOWER AREAS.

16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.

17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.

18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.

19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.

20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.

22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

1.FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:

CONTRACTOR-GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION

CARRIER-DISH WIRELESS, LLC.

TOWER OWNER-TOWER OWNER

2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPETENCE NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.

3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.

4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.

5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.

6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.

7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.

8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.

9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.

10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.

11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.

12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF DISH WIRELESS, LLC. AND TOWER OWNER

13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER'S DESIGNATED LOCATION.

14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



1717 S. BOULDER
SUITE 300
TULSA, OK 74119
(918) 439-4650
www.btgpr.com



4/21/21

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OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

DRAWN BY	CHECKED BY	APPROVED BY
JUR	JTS	MDW

RFDS REV #:

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CONSTRUCTION DOCUMENTS

REV	DATE	DESCRIPTION
A	4/7/21	ISSUED FOR REVIEW
B	4/7/21	ISSUED FOR CONSTRUCTION

AAE	PROJECT NUMBER
	102739.002.01

DISH WIRELESS, LLC	PROJECT INFORMATION
	SLSLC00112A
	10242 S REDWOOD
	SOUTH JORDAN, UT 84065

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-2

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A185, ASTM A184, AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.

- ELECTRICAL INSTALLATION NOTES:**

30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.

ELECTRICAL INSTALLATION NOTES:



GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GESS'S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL-OFF-POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS. THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BITS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES. #6 STRANDED COPPER OR LARGER FOR INDOOR BITS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BITS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER GLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH WALLS OR FLOORS. CONDUITS SHALL BE INSTALLED THROUGH WALLS OR FLOORS USING CONDUIT SLEEVES THROUGH WALLS OR FLOORS WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS. NON-METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED, WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e. NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4" NON-METALLIC, FLEXIBLE CONDUIT FROM 24" BELOW GRADE TO WITHIN 3" TO 6" OF CAD-WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM. THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



4/21/21

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DRAWN BY:		CHECKED BY:		APPROVED BY:	
JUR		JTS		MDW	

RFDS REV #:

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CONSTRUCTION DOCUMENTS

SUBMITTALS	
REV	DATE DESCRIPTION
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A&E PROJECT NUMBER
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DISH WIRELESS, LLC
PROJECT INFORMATION

SLSLC00112A
10242 S REDWOOD
SOUTH JORDAN, UT 84065

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
GN-4

Proposed 8' Faux Wall

*Typical for illustrative purposes/not to scale. Color, texture, decorative features etc. dependent upon manufacturer and availability.



PERFORMANCE BOND

Bond Number: 20BSBIV5748

KNOW ALL BY THESE PRESENTS, That we CCTMO LLC,
as Principal, hereinafter called Principal, and Hartford Fire Insurance Company,
a CT corporation, as Surety, hereinafter called Surety, are held and
firmly bound unto City of South Jordan, as Obligee,
hereinafter called Obligee, in the amount of Seventy Five Thousand Dollars and 00/100
Dollars (\$ 75,000.00) for the payment of which sum, well and
truly to be made, the said Principal and Surety bind themselves, and their heirs,
executors, administrators, successors and assigns, jointly and severally, firmly by
these presents.

WHEREAS, as a condition of said Agreement requires Principal
to provide a Bond Permit for Tower 10242 S. Redwood Rd., South Jordan, UT 84095.

NOW, THEREFORE, THE CONDITION OF THE ABOVE OBLIGATION IS SUCH,
That if Principal shall promptly and faithfully perform said agreement, then this
obligation is void, otherwise to remain in full force and effect.

PROVIDED, HOWEVER, That:

1. It shall be a condition precedent to any right of recovery hereunder, that in event of any default on the part of the Principal, a written statement of the particular facts of such default shall be forwarded to the Surety, within sixty (60) days of the occurrence of such default, delivered by registered mail to Surety at its Home Office in Hartford, CT.
2. That no action, lawsuit or proceeding shall be had or maintained against the Surety on this Bond unless the same be filed and properly served upon the Surety within one year from the effective date of the cancellation of the Bond.
3. That no right of action shall accrue under this Bond to or for the use of a person or entity other than the Obligee, and its successors and assigns.
4. This Bond shall become effective April 21, 2022.
5. This Bond shall continue in full force and effect until canceled by the Surety by providing thirty (30) days written notice to the Obligee.
6. The liability of the Surety shall in no event exceed the aggregate penal sum of the Bond penalty.
7. If any conflict or inconsistency exists between the Surety's obligation or undertakings as described in the Bond and as described in the underlying document, then the terms of the Bond shall prevail.

IN WITNESS WHEREOF, The said Principal has signed and sealed this instrument on this 21st day of April, 2022.



CCTMO LLC

By: 

Digitally signed by Jessica R
Chiniewicz
Date: 2022.04.22 08:11:09 -04'00'

Name/Title Jessica R. Chiniewicz Risk & Surety Bond Manager

IN WITNESS WHEREOF, The said Surety has signed and sealed this instrument on this 21st day of April, 2022.



Hartford Fire Insurance Company

By: Donna M Planeta

Digitally signed by Donna M
Planeta
Date: 2022.04.21 12:17:
08-04'00'

Donna M Planeta ,Attorney-in-Fact

POWER OF ATTORNEY

Direct Inquiries/Claims to:

THE HARTFORD

BOND, T-11

One Hartford Plaza

Hartford, Connecticut 06155

Bond.Claims@thehartford.com

call: 888-266-3488 or fax: 860-757-5835

KNOW ALL PERSONS BY THESE PRESENTS THAT:

Agency Code: SurePath

- ☒ **Hartford Fire Insurance Company**, a corporation duly organized under the laws of the State of Connecticut
- ☐ **Hartford Casualty Insurance Company**, a corporation duly organized under the laws of the State of Indiana
- ☐ **Hartford Accident and Indemnity Company**, a corporation duly organized under the laws of the State of Connecticut
- ☐ **Hartford Underwriters Insurance Company**, a corporation duly organized under the laws of the State of Connecticut
- ☐ **Twin City Fire Insurance Company**, a corporation duly organized under the laws of the State of Indiana
- ☐ **Hartford Insurance Company of Illinois**, a corporation duly organized under the laws of the State of Illinois
- ☐ **Hartford Insurance Company of the Midwest**, a corporation duly organized under the laws of the State of Indiana
- ☐ **Hartford Insurance Company of the Southeast**, a corporation duly organized under the laws of the State of Florida

having their home office in Hartford, Connecticut (hereinafter collectively referred to as the "Companies") do hereby make, constitute and appoint

Donna M Planeta of Knoxville, TN

their true and lawful Attorney-in-Fact, to sign its name as surety(ies) only as delineated above by ☒, and to execute, seal and acknowledge the following bond, undertaking, contract or written instrument:

Bond No. 20BSBIV5748

on behalf of

CCTMO LLC

naming

City of South Jordan

as Obligee in the amount of See Bond Form

on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any actions or proceedings allowed by law.

In Witness Whereof, and as authorized by a Resolution of the Board of Directors of the Companies on May 23, 2016 the Companies have caused these presents to be signed by its Assistant Vice President and its corporate seals to be hereto affixed, duly attested by its Assistant Secretary. Further, pursuant to Resolution of the Board of Directors of the Companies, the Companies hereby unambiguously affirm that they are and will be bound by any mechanically applied signatures applied to this Power of Attorney.



Shelby Wiggins

Shelby Wiggins, Assistant Secretary

Joelle L. LaPierre

Joelle L. LaPierre, Assistant Vice President

STATE OF FLORIDA

COUNTY OF SEMINOLE

SS. Lake Mary

On this 20th day of May, 2021, before me personally came Joelle LaPierre, to me known, who being by me duly sworn, did depose and say: that (s)he resides in Seminole County, State of Florida; that (s)he is the Assistant Vice President of the Companies, the corporations described in and which executed the above instrument; that (s)he knows the seals of the said corporations; that the seals affixed to the said instrument are such corporate seals; that they were so affixed by authority of the Boards of Directors of said corporations and that (s)he signed his/her name thereto by like authority.



Jessica Ciccone

Jessica Ciccone
My Commission HH 122280
Expires June 20, 2025

I, the undersigned, Assistant Vice President of the Companies, DO HEREBY CERTIFY that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which is still in full force effective as of April 21, 2022.

Signed and sealed in Lake Mary, Florida.



Keith D. Dozois

Keith D. Dozois, Assistant Vice President



Telephone: +1 865-583-3714

Website: wtwco.com

E-mail: autumn.schneider@willistowerswatson.com

April 21, 2022

CCTMO LLC

Attn: Jessica R. Chiniewicz

2000 Corporate Drive

Canonsburg, PA 15317

RE: **Bond Number: 20BSBIV5748**
 Obligee: City of South Jordan
 Description: Permit for Tower 10242 S. Redwood Rd., South Jordan, UT

Attached is the completed document per your request. This was issued based upon the information you provided to our office and we urge you to check all of the information for accuracy (i.e. Power of Attorney, signatures, dates, amounts, description, etc.).

Please verify that the form attached is the form required and complete the execution with the proper signature(s) and seal.

If a premium is charged, our invoice will follow under a separate cover. Please note the premium payment for this bond is due upon receipt.

Thank you for the opportunity to service your surety needs. Should you have any questions, please do not hesitate to contact any member of your Willis Towers Watson Surety Team.

Sincerely,

Autumn Schneider

Willis Towers Watson Southeast, Inc.
265 Brookview Centre Way, Suite 505
Knoxville, TN 37919