

SOUTH JORDAN CITY PLANNING COMMISSION STAFF REPORT

MEETING DATE: June 24, 2025

FILE OVERVIEW

Item Name	SOJO Office Condominium Preliminary Subdivision
Address	10509 S River Heights Dr, South Jordan, UT 84095
File Number	PLPP202500055
Applicant	Zach Olson
Property Owner	SOJO PROFESSIONAL OFFICES, LLC
Staff Author	Miguel Aguilera, Planner I

PROPERTY OVERVIEW

Acreage	2.16 acres		
Recorded Subdivision	Harvest Village at South Jordan 2		
Current Zone	Professional Office (P-O)		
Current Land Use	Office Building		
General Plan Designation	Economic Center		
Neighboring Properties	<i>Zone</i>		<i>Land Use</i>
	<i>North</i>	[P-O]	[EC]
	<i>East</i>	[C-C]	[SN]
	<i>South</i>	[P-O]	[EC]
	<i>West</i>	[R-2.5]	[EC]

ITEM SUMMARY

The applicant is requesting the Planning Commission approve this condominium preliminary subdivision for the new office building located at 10509 S River Heights Drive. The property is zoned Professional Office and has one building.

TIMELINE

- **March 31, 2025**, the applicant submitted a complete condominium preliminary subdivision application to Staff for review. The application was revised a total of 2 times to address all staff comments. The application was reviewed by the following departments:
 - Planning: Staff reviewed the application and worked with the applicant to revise the preliminary subdivision to conform to applicable city regulations. Resubmitted materials addressed staff comments.
 - Engineering: Staff reviewed the application and worked with the applicant to revise the preliminary subdivision to conform to applicable city regulations. Resubmitted materials addressed staff comments.
 - Building: Staff reviewed the application and worked with the applicant to revise the preliminary subdivision to conform to applicable city regulations. Resubmitted materials addressed staff comments.
 - Fire: Staff reviewed the application and worked with the applicant to revise the preliminary subdivision to conform to applicable city regulations. Resubmitted materials addressed staff comments.

REPORT ANALYSIS

Overview: The proposed subdivision will reflect the internal division of the building. The new Sojo Professional Office building is finishing up construction and has two stories with four units per story. Units range in size from 2,568 square feet to 4,012 square feet.

The site plan application for the building was approved on June 5, 2023. Sojo Professional Office building is nearing completion and hosts office suites to be occupied by various tenants. The City Manager recently approved an upsized single meter to serve all the condominium lots on the new plat.

FINDINGS AND RECOMMENDATION

Findings:

- There is no development agreement associated with this application.
- This preliminary subdivision will reflect existing units within the new building
- The P-O Zone allows for any size condominium in the zone. There are no specific requirements for either density or condominium size in the Zone

Conclusions:

- The application is in conformance with the minimum requirements of South Jordan Municipal Code [§16.14](#).

Planning Staff Recommendation:

Staff recommends approval of the application based on the report analysis, findings, and conclusions listed above.

PLANNING COMMISSION ACTION

Required Action:

Final Decision

Scope of Decision:

This is an administrative decision to be decided by the Planning Commission.

Standard of Approval:

The Planning Commission shall receive comment at a public hearing regarding the proposed subdivision amendment. The Planning Commission may approve the amendment if it finds good cause to amend the subdivision, and the amendment complies with South Jordan Municipal Code [§16.14](#), other City ordinances, and sanitary sewer and culinary water requirements. The Planning Commission may only deny the amendment if there is no good cause for amending the subdivision and the proposed amendment does not meet all provisions of South Jordan Municipal Code [§16.14](#), other City ordinances, and sanitary sewer and culinary water requirements.

Motion Ready:

I move that the Planning Commission approves:

1. File number [PLPP202500055], Sojo Office Condominium Preliminary Subdivision

Alternatives:

1. Approval with conditions.
2. Denial of the application.
3. Schedule the application for a decision at some future date.

SUPPORTING MATERIALS

1. Attachment A, Location Map
2. Attachment B, Zoning Map
3. Attachment C, Proposed Condominium subdivision
4. Attachment D, SOJO Office Site Plan and Plat

Brad Klavano

Brad Klavano (Jun 17, 2025 18:36 MDT)

Miguel Aguilera

Miguel Aguilera (Jun 17, 2025 17:36 MDT)

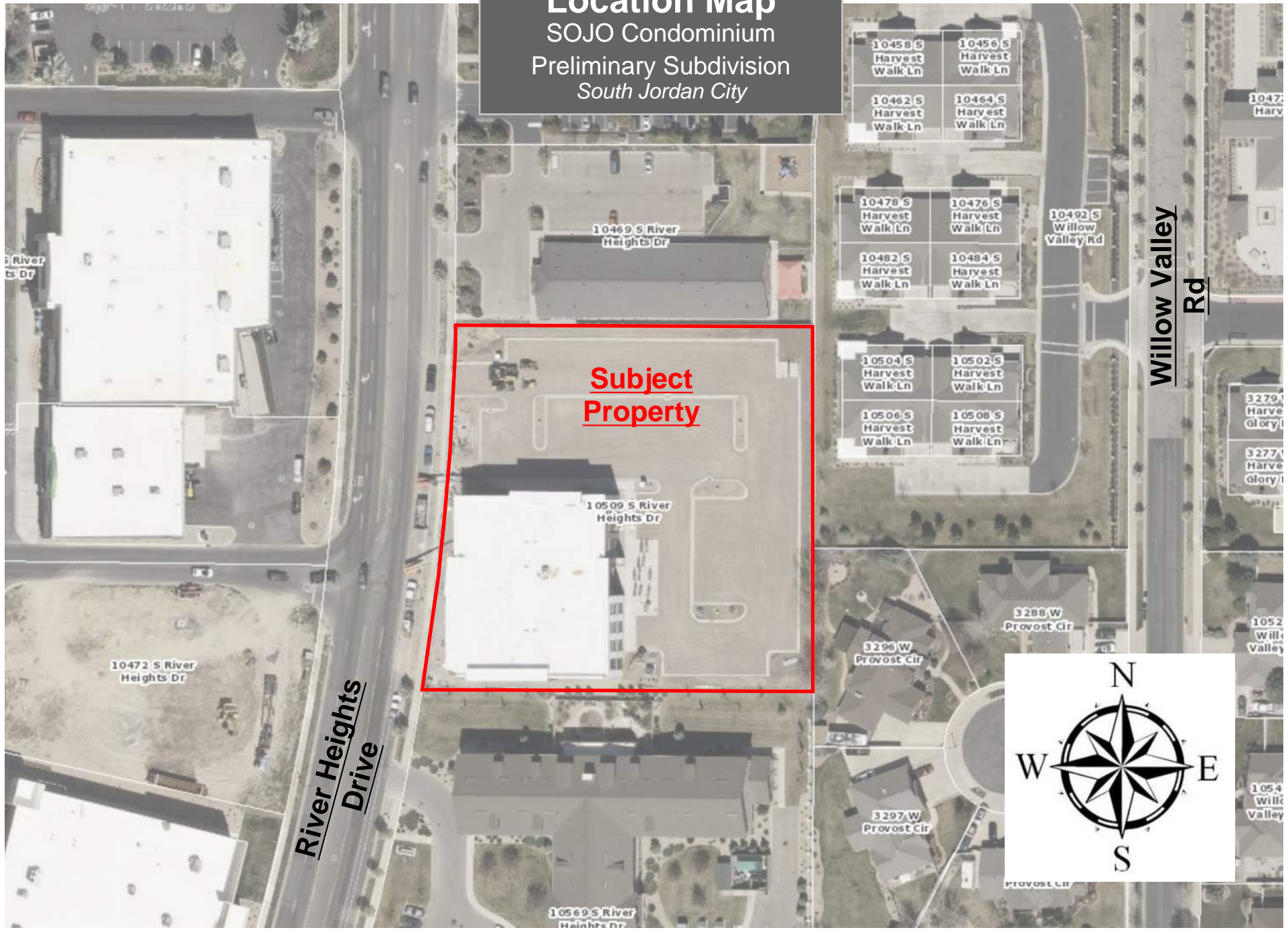
Location Map

SOJO Condominium

Preliminary Subdivision

South Jordan City

**Subject
Property**



Zoning Map

SOJO Condominium
Preliminary Subdivision
South Jordan City

Zoning Map

SOJO Condominium
Preliminary Subdivision
South Jordan City

Zoning Map

SOJO Condominium
Preliminary Subdivision
South Jordan City

Zoning Map

SOJO Condominium
Preliminary Subdivision
South Jordan City

Subject Property

10509 S River Heights Dr

Subject Property

10509 S River Heights Dr

An aerial photograph of a residential area. A red semi-transparent overlay covers the left and center portions of the image. Within this red area, a white-outlined polygon highlights a specific property. To the right of the red area, a blue-outlined polygon highlights a section of a road. The road is labeled "River Heights Drive" in a large, bold, black font, oriented vertically. Other labels include "Pkw" at the top, "S River Heights Dr" on the left, and "10472 S River Heights Dr" near the center. A small red rectangle is also visible on the right side of the blue-outlined area.

[illegible]

SOJO OFFICE CONDOMINIUM

AMENDING LOT 4A OF HARVEST VILLAGE AT SOUTH JORDAN SUBDIVISION PHASE II AMENDED
LOCATED IN THE NORTHWEST QUARTER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

FOSSY HOLDINGS, LLC
LOT 3A
27-17-278-021

HARVEST VILLAGE AT SOUTH
JORDAN SUB PH II AMD
BK 2016P, PG 190

N 89°55'14" E 274.00'

NORTHWEST CORNER
SECTION 17, T3S, R 1W, SLB&M
(FOUND 2.5" BRASS CAP)

BASE OF BEARING N 0°08'50" W 2655.60'
2196.84'

D=7°59'01"
R=1999.00
L=278.55'
CB=N 4°49'12" E
C=278.32'

RIVER HEIGHTS DRIVE
(PUBLIC DRIVE)

WATER LINE EASEMENT
ENTRY NO. 14270597
BK 11508, PG 2417

COMMON AREA
62,835 sq. ft.
1.442 acres

BUILDING
15,558 sq. ft.
0.357 acres
10509 S. RIVER HEIGHTS DR

UNDERGROUND RIGHT
OF WAY EASEMENT
ENTRY NO. 14379402
BK 11568, PG 4183

CA SENIOR SOUTH JORDAN
UT PROPERTY OWNER
LOT 5A
27-17-278-023

HARVEST VILLAGE AT SOUTH
JORDAN SUB PH II AMD
BK 2016P, PG 190

HARVEST CROSSING VILLAS
OWNERS ASSOCIATION
27-17-278-024
BK 2016P, PG 190

JAMES AND NIKEM WILLIS
JONES MEADOWS PHASE 3
LOT 341
27-17-278-023
BK 2003P, PG 227

LEGEND



SECTION CORNER

SET 5/8" REBAR AND CAP, OR NAIL
STAMPED "ENSIGN ENG. & LAND
SURV." AT ALL LOT CORNERS. OFFSET
PINS TO BE PLACED IN THE BACK OF
CURBS WHERE APPLICABLE, IN LIEU OF
REBAR AND CAP AT FRONT CORNERS.

BOUNDARY LINE

SECTION LINE

CENTER LINE

EASEMENT LINE

ADJOINING BOUNDARY LINE



PRIVATE AREA

COMMON AREA

FIRE HYDRANT

South Jordan City Plat Notes

- Owners and potential purchasers of property legally described by this plat (the "property") are advised to familiarize themselves with all notes, lot information, easements and other pertinent information contained with this plat and also with any conditions, covenants and restrictions (CC&R) documents recorded against the property. Failure to adhere to these notes, easements, CC&R's or other documents recorded against the land could result in financial losses to or changes in expected property use of the property owner. Property owners and purchasers are responsible to review and be in compliance with all notes, easements, CC&R's, and other recorded documents related to this plat, as currently existing or as may from time to time be changed and/or amended.
- Many areas in South Jordan City have ground water problems due to high or fluctuating water table. Approval of this plan does not constitute representation by the city that building at any specified elevation will solve groundwater problems, in any.
- The owner certifies that the title report dated _____, which was prepared by _____, was provided to owner's surveyor and that the plat shows all easements and encumbrances listed in said title report.
- Finish floor elevation on each lot will not exceed 4' above the b.c. elevation across the frontage of the lot.
- Approval of this plat by South Jordan City does not mean that individual lot drainage to a road or retention facility is assured. Development and grading may necessitate swales and other drainage facilities to protect individual properties. Approval of this plat also does not constitute representation by the City that swales or other drainage facilities are appropriate and maintained nor that drainage from adjacent properties is prevented.
- A single water meter serves all of the condominium lots within this plat.

DEVELOPER
THRIVE DEVELOPMENT
7585 S. UNION PARK AVE, STE 200
MIDVALE, UT 84047
PHONE: 801.948.8800

RECORD OF SURVEY

ROS NO.: _____
S- _____

COUNTY SURVEYOR REVIEWER DATE

EASEMENT APPROVAL

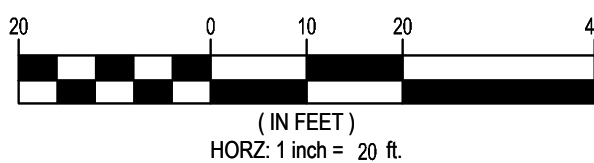
CENTURYLINK	DATE
ROCKY MOUNTAIN POWER	DATE
ENBRIDGE GAS UTAH	DATE
COMCAST	DATE

SOUTH JORDAN CITY MAYOR

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____.

ATTEST: CITY CLERK MAYOR

HORIZONTAL GRAPHIC SCALE



ENBRIDGE GAS UTAH - NOTE
Questar Gas Company, dba Enbridge Gas Utah ("Enbridge"), approves this plat solely to confirm that the plat contains public utility easements. This approval does not (a) affect any right Enbridge has under Title 54, Chapter 8a, a recorded easement or right-of-way, prescriptive rights, or any provision of law, (b) constitute acceptance of any terms contained in any portion of the plat, and (c) guarantee any terms or waive Enbridge's right to require additional easements for gas service.

ROCKY MOUNTAIN POWER NOTES:

- PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(III) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE, AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW.

SEWER NOTES:

- THE SIGNATURE OF SOUTH VALLEY SEWER DISTRICT ON THIS PLAT DOES NOT CONSTITUTE ANY GUARANTEE OF AVAILABILITY OF SANITARY SEWER SERVICE TO THE PROPERTY OR ANY APPROVAL OF SEWER LINES OR FACILITIES. THE OWNER(S) OF THE PROPERTY MUST PROVIDE SATISFACTORY PLANS TO THE SEWER DISTRICT FOR REVIEW AND APPROVAL BEFORE CONNECTING TO THE DISTRICT'S SEWER SYSTEM AND WILL BE REQUIRED TO COMPLY WITH THE DISTRICT'S RULES AND REGULATIONS.
- SHALLOW SEWER DEPTHS: CONTRACTOR SHALL VERIFY SEWER LATERAL DEPTH AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529
WWW.ENSIGNENG.COM

LAYTON
Phone: 801.547.1100
TOOELE
Phone: 435.343.3590
CELEBRITY CITY
Phone: 435.885.1453
RICHFIELD
Phone: 435.896.2983

SHEET 1 OF 2

PROJECT NUMBER : 11820

MANAGER : BDM

DRAWN BY : KFW

CHECKED BY : PMH

DATE : 2025-06-11

JORDAN BASIN IMPROVEMENT DISTRICT

APPROVED THIS _____ DAY OF _____
20____ BY THE JORDAN BASIN IMPROVEMENT DISTRICT

JORDAN BASIN IMPROVEMENT DISTRICT MANAGER

BOARD OF HEALTH APPROVAL

APPROVED THIS _____ DAY OF _____
20____ BY THE BOARD OF HEALTH

SALT LAKE COUNTY HEALTH DEPARTMENT

CITY PLANNER

APPROVED THIS _____ DAY OF _____
20____ BY THE CITY PLANNER

CITY PLANNER

CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND
IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN
THIS OFFICE AND IS HEREBY APPROVED.

SOUTH JORDAN CITY ENGINEER DATE

OFFICE OF THE CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____.

ATTORNEY FOR SOUTH JORDAN CITY

SURVEYOR'S CERTIFICATE

I, **PATRICK M. HARRIS**, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. **286882** as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land and the following description correctly describes the land surface upon which has been or will be constructed, hereafter to be known as **SOJO OFFICE CONDOMINIUM**, a Utah condominium project. In accordance with the Utah Condominium Ownership Act, I further certify that the condominium plat for said project is accurate and complies with the provision of Section 57-8-13 (1) of the Utah Condominium Ownership Act. Reference markers as shown on this plat are located as shown and are sufficient to readily retrace or re-establish this survey.

BOUNDARY DESCRIPTION

All of Lot 4A, Harvest Village at South Jordan Subdivision Phase II Amended, recorded August 11, 2016 in Book 2016P at Page 190 in the Office of the Salt Lake County Recorder, being more particularly described as follows:

Beginning at a point being North 00°08'50" West 458.76 feet along the section line and East 1,330.62 feet from the Center of Section 17, Township 3 South, Range 1 Wes, Salt Lake Base and Meridian; and running

thence Northeasterly 278.55 feet along the arc of a 1,999.00 foot radius curve to the left (center bears North 81°11'17" West and the chord bears North 04°49'12" East 278.32 feet with a central angle of 07°59'01");
thence North 89°55'14" East 274.00 feet;
thence South 00°06'27" East 169.79 feet;
thence South 00°04'46" East 107.51 feet;
thence South 89°55'14" West 297.85 feet to the point of beginning.

Contains 78,393 Square Feet or 1.800 Acres



DATE

PATRICK M. HARRIS
P.L.S. NO. 286882

OWNER'S CERTIFICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF SAID TRACT OF LAND DESCRIBED HEREON DO HEREBY CERTIFY THAT WE CONSENT TO THE RECORDATION OF THIS CONDOMINIUM PLAT IN ACCORDANCE WITH UTAH CODE ANNOTATED 57-8-13, SUBDIVIDING THE LAND INTO CONDOMINIUM OWNERSHIP, AND CREATING UNITS, COMMON AREAS, LIMITED COMMON AREAS AND EASEMENTS ALL AS SET FORTH HEREIN TO HEREAFTER BE KNOWN AS

SOJO OFFICE CONDOMINIUM

UTILITY DEDICATION

BY EXECUTION OF THIS PLAT, THE OWNER(S) SHOWN BELOW DOES HEREBY GRANT AND CONVEY TO THE CITY AND OTHER PUBLIC UTILITY COMPANIES, A PERMANENT EASEMENT AND RIGHT OF WAY IN AND TO THOSE AREAS REFLECTED ON THE MAP AND DEFINED IN THE DECLARATION OF CONDOMINIUM APPLICABLE TO THIS PROJECT AS "COMMON AREA" (INCLUDING PRIVATE STREETS AND PRIVATE DRIVEWAYS) FOR CONSTRUCTION AND MAINTENANCE OF APPROVED PUBLIC UTILITIES AND APPURTENANCES TOGETHER WITH RIGHT OF ACCESS THERE TO.

RESERVATION OF COMMON AREAS

BY EXECUTION OF THIS PLAT, THE OWNER(S) SHOWN BELOW DOES HEREBY RESERVE ALL AREAS SHOWN ON THIS PLAT OR DESCRIBED IN THE DECLARATION OF CONDOMINIUM AS "COMMON AREA" FOR THE COMMON ENJOYMENT OF ALL OWNERS AND SUCH OWNERS GUESTS AND INVITEES AS SPECIFICALLY DESCRIBED IN THE DECLARATION OF CONDOMINIUM APPLICABLE TO THE PROJECT.

IN WITNESS WHEREOF, THE OWNER(S) HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____ A.D. 20____.

THRIVE DEVELOPMENT

By: _____
Its: _____

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH _____ J.S.S.
County of Salt Lake
On the _____ day of _____ A.D., 20____, personally appeared before me _____, the signer of the foregoing instrument, who duly acknowledged to me that he/she is a _____ of _____ a Utah limited liability company, and is authorized to execute the foregoing Agreement in its behalf and that he/she executed it in such capacity.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____ RESIDING IN _____ COUNTY.

SOJO OFFICE CONDOMINIUM

AMENDING LOT 4A OF HARVEST VILLAGE AT SOUTH
JORDAN SUBDIVISION PHASE II AMENDED
LOCATED IN THE NORTHWEST QUARTER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

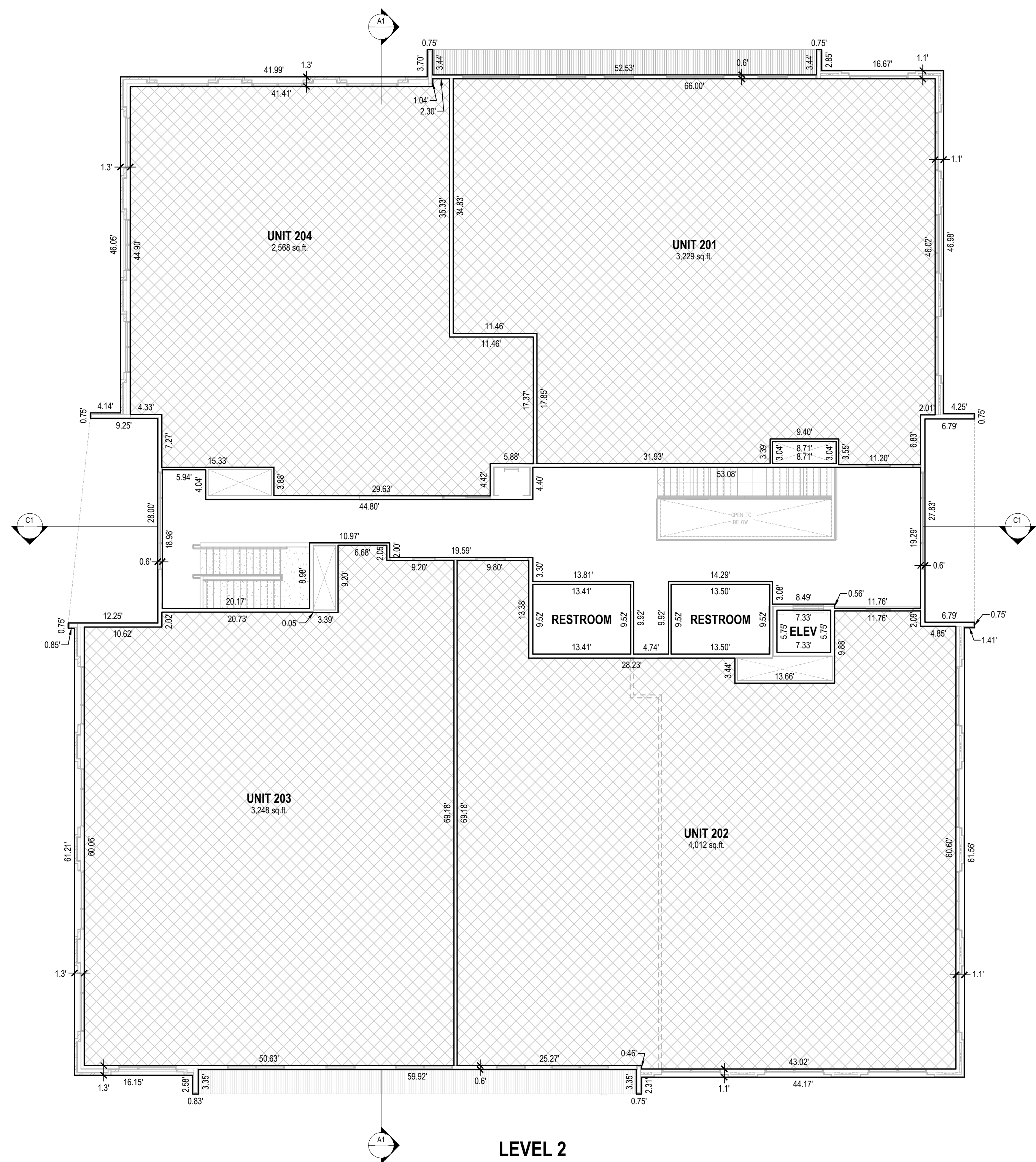
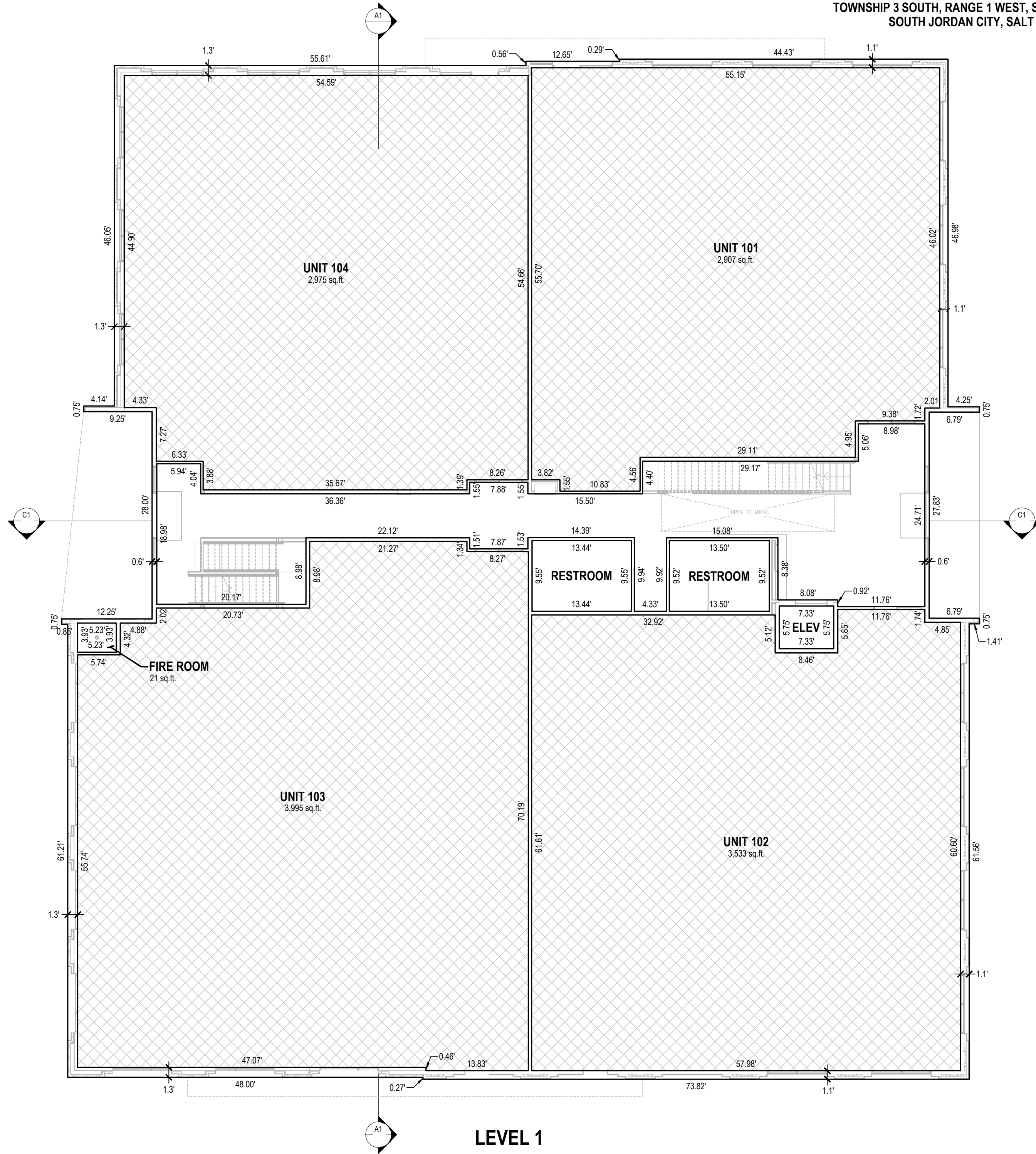
RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF : _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

FEES _____ DEPUTY SALT LAKE COUNTY RECORDER

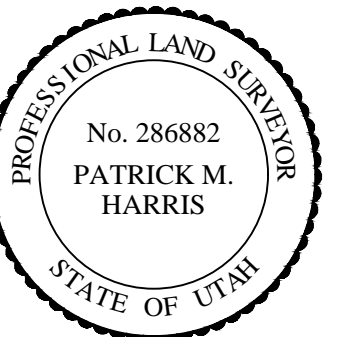
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SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

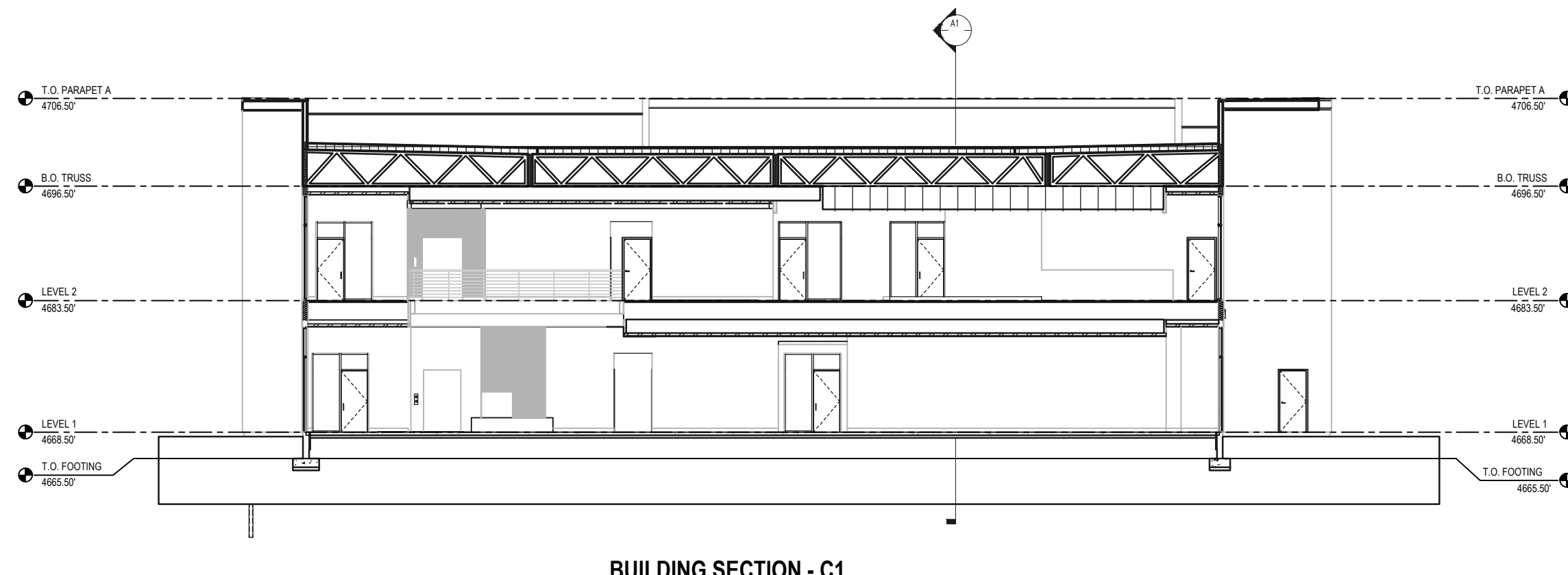
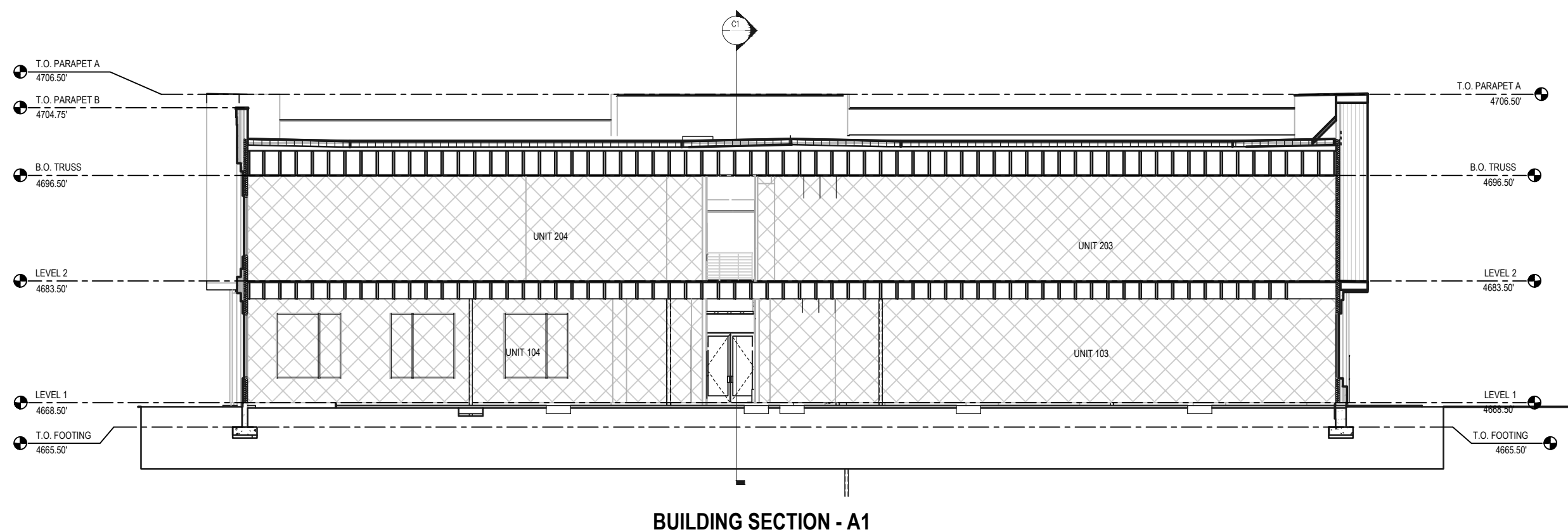


LEGEND

- PRIVATE AREA
- COMMON AREA



DEVELOPER
THRIVE DEVELOPMENT
7585 S. UNION PARK AVE, STE 200
MIDVALE, UT 84047
PNONE: 801.948.8800



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529
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LAYTON
Phone: 801.547.1100
TODDLE
Phone: 435.843.3590
CEDAR CITY
Phone: 435.855.1433
RICHFIELD
Phone: 435.895.2983

SHEET 2 OF 2

PROJECT NUMBER: 11820
MANAGER: BDM
DRAWN BY: KFW
CHECKED BY: PMH
DATE: 2025-06-11

SOJO OFFICE CONDOMINIUM

AMENDING LOT 4A OF HARVEST VILLAGE AT SOUTH
JORDAN SUBDIVISION PHASE II AMENDED
LOCATED IN THE NORTHWEST QUARTER OF SECTION 17,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN CITY, SALT LAKE COUNTY, UTAH

SALT LAKE COUNTY RECORDER

RECORDED #
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF :
DATE: TIME: BOOK: PAGE:
FEES DEPUTY SALT LAKE COUNTY RECORDER

811

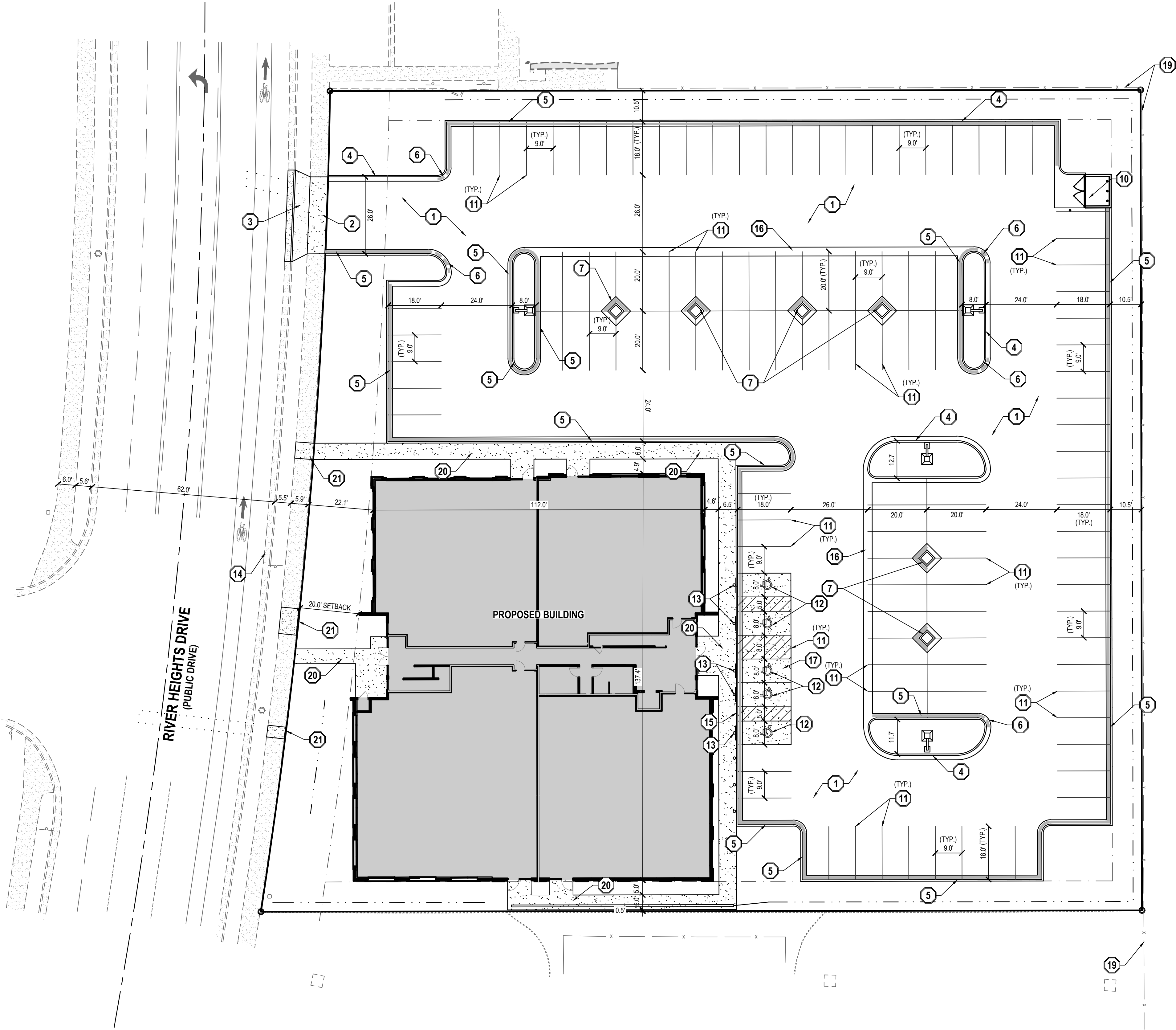
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

CENTER OF SECTION 17,
TOWNSHIP 3 WEST, RANGE 1 SOUTH
SALT LAKE BASE AND MERIDIAN

ELEV = 4685.21'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH SOUTH JORDAN CITY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

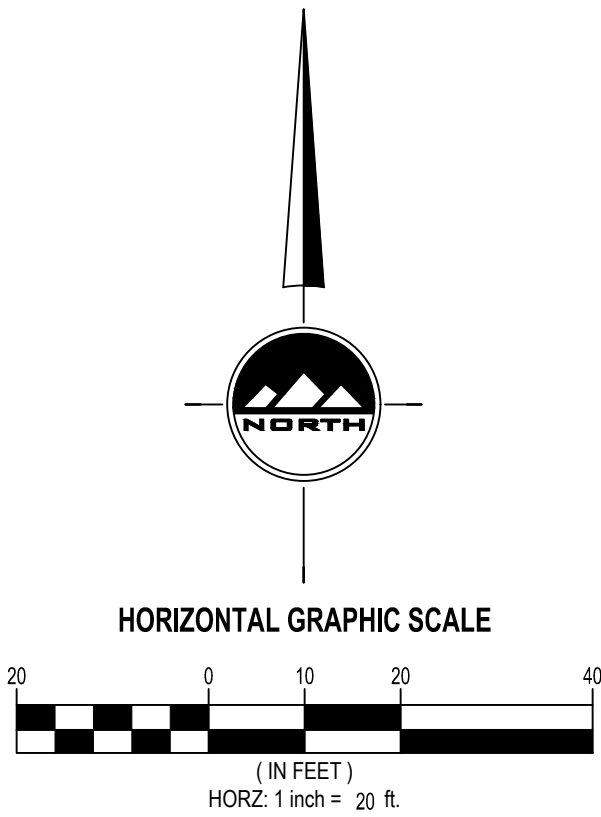
- SCOPE OF WORK:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 8" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 6/C-600.
 - 8" THICK CONCRETE SIDEWALK W/ 8" BASE COURSE PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
 - 8" THICK TYPE 'A' FLARED DRIVEWAY APPROACH W/ 8" BASE COURSE PER APWA STANDARD PLAN NO. 221.1 AND SPECIFICATIONS.
 - 24" COLLECTION CURB AND GUTTER PER DETAIL 7/C-600.
 - 24" REVERSE PAN CURB AND GUTTER PER DETAIL 8/C-600.
 - TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
 - 4.0' TREE ISLAND WITH 6" CURB WALL PER APWA STANDARD PLAN NO. 209 TYPE P AND SPECIFICATIONS.
 - LIGHT. SEE ELECTRICAL PLANS FOR INFORMATION.
 - *STOP* SIGN PER M.U.T.C.D. STANDARD PLANS.
 - TRASH ENCLOSURE: WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E.W. ON 6" GRAVEL BASE PER DETAIL 6/C-600.
 - 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
 - PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
 - *HANDICAP PARKING* SIGN PER DETAIL 4/C-600.
 - 30" TYPE 'A' CURB AND GUTTER PER APWA STANDARD PLAN NO. 205.1 AND SPECIFICATIONS.
 - 24" CONCRETE CURB AND GUTTER WITH 0" CURB FACE.
 - 3" WATERWAY PER DETAIL 9/C-600.
 - CONCRETE PAVEMENT: 6 1/2" THICK CONCRETE PAVEMENT OVER 4" BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 12/C-600.
 - ACCESSIBLE ROUTE FROM BUILDING ENTRANCE TO ROW.
 - EXISTING FENCE TO REMAIN ALONG THE NORTH AND EAST PROPERTY LINES.
 - 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
 - REPLACE EXISTING SIDEWALK. MATCH EXISTING SIDEWALK THICKNESS PER SOUTH JORDAN STANDARDS AND SPECIFICATIONS.

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT / HARDSCAPE	45,776	58%
BUILDING FOOTPRINT	15,474	20%
LANDSCAPING	17,138	22%
TOTAL SITE	78,388	100%

- FLOOR AREA CALCULATION (SQ. FT.):**
- LEVEL 1: 15,474 SQ. FT.
 - LEVEL 2: 15,031 SQ. FT.
 - TOTAL: 30,505 SQ. FT.

- PARKING CALCULATIONS:**
- 1 STALL / 300 SQ. FT. GENERAL OFFICE
 - 30,505 SQ. FT. / 300 = 102 STALLS REQUIRED
 - 123 STALLS AVAILABLE

PARKING DATA TABLE	
SURFACE STANDARD STALLS	118
SURFACE HANDICAP-ACCESSIBLE STALLS	5
TOTAL STALLS PROVIDED	123



City Engineer

City of South Jordan

Approved 05/30/2023

Brad Klawns City Engineer

EN SIGN

THE STANDARD IN ENGINEERING

SALT LAKE CITY

45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON

Phone: 801.547.1100

TOOELE

Phone: 435.843.3590

CEDAR CITY

Phone: 435.865.1453

RICHFIELD

Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THRIVE DEVELOPMENT, LLC
7585 SOUTH UNION PARK AVE. STE 200
MIDVALE, UTAH 84047

CONTACT:
ZACHARY OLSON
PHONE: 801-948-8800

SOJO PROFESSIONAL

OFFICE BUILDING

10509 S RIVER HEIGHTS DR

SOUTH JORDAN, UTAH

REGISTERED PROFESSIONAL ENGINEER

5/11/2023

5150016-2202

BRADEN D. Klawns

STATE OF UTAH

SITE PLAN

PROJECT NUMBER
11820

PRINT DATE
5/11/23

DRAWN BY

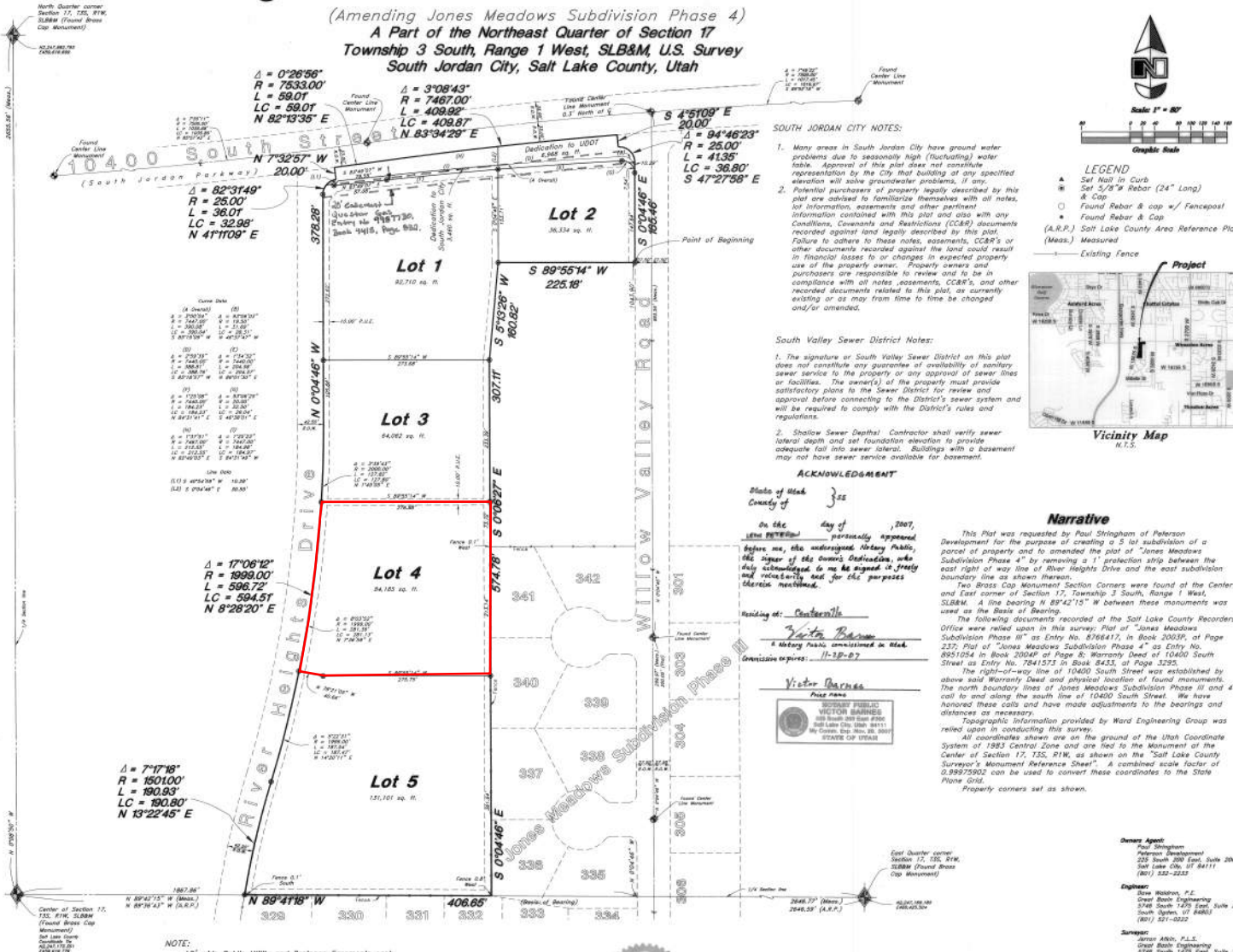
CHECKED BY

PROJECT MANAGER

C-200

Harvest Village at South Jordan Subdivision Phase II

(Amending Jones Meadows Subdivision Phase 4)
A Part of the Northeast Quarter of Section 17
Township 3 South, Range 1 West, SLB&M, U.S. Survey
South Jordan City, Salt Lake County, Utah



Surveyor's Certificate
I, Jerron R. Atkins, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 5892544 as prescribed under the Laws of the State of Utah. I further certify that by the authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots hereinafter to be known as the Harvest Village at South Jordan Subdivision Phase II.
And that the same has been correctly surveyed and staked on the ground as shown on this plat.

Boundary Description
A part of the Northeast Quarter of Section 17, Township 3 South, Range 1 West, Salt Lake Base & Meridian, U.S. Survey:
Beginning of a point on the west right of way line of Willow Valley Road which is 1887.86 feet South 89°42'15" East along the south section line of said Northeast Quarter to said west right of way line of Willow Valley Road and 1043.90 feet North 0°04'46" West along said right of way line of the Center of said Section 17; thence thence South 89°55'14" West 225.18 feet; thence South 51°12'26" West 180.82 feet; thence South 0°04'46" East 307.11 feet to a point on the northeast corner of lot 341 of Jones Meadows Subdivision Phase II as recorded in the Salt Lake County Records Office as Entry No. 8766417 in Book 20039 of Page 237; thence along said subdivision (2) two courses as follows: North 0°04'46" East 574.78 feet and North 89°41'18" East 408.65 feet to the east right of way line of River Heights Drive; thence along said right of way (5) five courses as follows: north along the arc of a 1501.00 foot radius curve to the right a distance of 180.83 feet (central angle equals 7°17'18" and long chord bears North 17°06'12" East 408.81 feet) to a point of reverse curvature, north along the arc of a 1899.00 foot radius curve to the left a distance of 586.72 feet (central angle equals 17°06'12" and long chord bears North 0°28'20" East 584.51 feet), North 0°04'46" East 574.78 feet, north along the arc of a 25.00 foot radius curve to the right a distance of 36.01 feet (central angle equals 82°11'48" and long chord bears North 41°11'09" East 32.98 feet), North 71°23'57" West 20.00 feet to the south right of way line of 10400 South Street (South Jordan Parkway); thence along said right of way (2) two courses as follows: north along the arc of a 7533.00 foot radius curve to the left a distance of 58.01 feet (central angle equals 0°26'36" and long chord bears North 82°13'35" East 59.01 feet) to a point of reverse curvature, north along the arc of a 7487.00 foot radius curve to the right a distance of 408.32 feet (central angle equals 0°08'43" and long chord bears North 83°42'15" East 408.81 feet) to a point on the said west right of way line of Willow Valley Road; thence along said west right of way (3) three courses as follows: North 45°11'09" East 30.00 feet, south along the arc of a 25.00 foot radius curve to the right a distance of 41.35 feet (central angle equals 84°46'25" and long chord bears South 47°27'58" East 38.80 feet) and South 0°04'46" East 163.46 feet to the point of beginning.
Contains 418,820 sq. ft. or 9.615 acres.
Contains 5 Lots

SOUTH JORDAN CITY NOTES:
1. Many areas in South Jordan City have ground water problems due to seasonally high (fluctuating) water table. Approval of this plat does not constitute representation by the City that building at any specified elevation will solve groundwater problems, if any.
2. Potential purchasers of property legally described by this plat are advised to familiarize themselves with all rules, lot information, easements and other pertinent information contained with this plat and also with any Conditions, Covenants and Restrictions (CC&R's) documents recorded against land legally described by this plat. Failure to adhere to these rules, easements, CC&R's or other documents recorded against the land could result in financial losses to or changes in expected property use of the property owner. Property owners and purchasers are responsible to review and to be in compliance with all rules, easements, CC&R's and other recorded documents related to this plat, as currently existing or as may from time to time be changed and/or amended.

South Valley Sewer District Notes:
1. The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer facilities to the property or any approval of sewer lines or services. The owner(s) of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the District's sewer system and will be required to comply with the District's rules and regulations.
2. Shallow Sewer Depth: Contractor shall verify sewer lateral depth and set foundation elevation to provide adequate fall into sewer lateral. Buildings with a basement may not have sewer service available for basement.

ACKNOWLEDGMENT
State of Utah
County of Salt Lake
On the 21st day of January, 2007,
Jerron R. Atkins, Surveyor, personally appeared before me, the undersigned Notary Public, for the purpose of executing this plat, and acknowledged to me that he is the duly authorized agent of the Salt Lake County Surveyor's Office.
Residing at: Centerville, Utah
A Notary Public, commissioned in Utah.
Commission expires: 11-18-07

Narrative
This Plat was requested by Paul Stringham of Peterson Development for the purpose of creating a 5 lot subdivision of a parcel of property and to amend the plat of "Jones Meadows Subdivision Phase II" by removing a 1" protection strip between the east right of way line of River Heights Drive and the east subdivision boundary line as shown thereon.
The following documents recorded at the Salt Lake County Records Office were relied upon in this survey: Plat of "Jones Meadows Subdivision Phase II" as Entry No. 8766417, in Book 20039, of Page 237; Plat of "Jones Meadows Subdivision Phase II" as Entry No. 8951054 in Book 20047 of Page 8; Warranty Deed of 10400 South Street as Entry No. 7841072 in Book 8433, of Page 3295.
The right-of-way line of 10400 South Street was established by above said Warranty Deed and physical location of found monuments. The north boundary lines of Jones Meadows Subdivision Phase II and 4 call to and along the south line of 10400 South Street. We have honored these calls and have made adjustments to the bearings and distances as necessary.
Topographic information provided by Ward Engineering Group was relied upon in conducting this survey.
All coordinates shown are on the ground of the Utah Coordinate System of 1983 Central Zone and are tied to the Monument of the Center of Section 17, T3S, R1W, as shown on the "Salt Lake County Surveyor's Monument Reference Sheet". A combined scale factor of 0.99975903 can be used to convert these coordinates to the State Plane Grid.
Property corners set as shown.

Corporate Acknowledgment
STATE OF UTAH
County of Salt Lake
On the 21st day of January, A.D. 2007, Personally appeared before me, the undersigned Notary Public, in and for said State and County, Jerron R. Atkins, who after being duly sworn, acknowledged to me that he is the duly authorized agent of the Salt Lake County Surveyor's Office.
That he signed the owners dedication freely and voluntarily for and in behalf of said subdivision for the purposes therein mentioned and that said subdivision executed the same.
My commission expires 11-18-07
Residing in Centerville, county

Corporate Acknowledgment
STATE OF UTAH
County of Salt Lake
On the 21st day of January, A.D. 2007, Personally appeared before me, the undersigned Notary Public, in and for said State and County, Jerron R. Atkins, who after being duly sworn, acknowledged to me that he is the duly authorized agent of the Salt Lake County Surveyor's Office.
That he signed the owners dedication freely and voluntarily for and in behalf of said subdivision for the purposes therein mentioned and that said subdivision executed the same.
My commission expires 11-18-07
Residing in Centerville, county

Owner's Dedication
Know all men by these presents that the undersigned owner(s) of the above described tract of land, having caused the same to be subdivided into lots and streets to be hereafter known as the Harvest Village at South Jordan Subdivision Phase II do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use.
In witness whereof Have hereunto set This Day of January, A.D. 2007.
Paul Stringham, Peterson Development
Jerron R. Atkins, Surveyor
Jerron R. Atkins, Surveyor

HARVEST VILLAGE at SOUTH JORDAN SUBDIVISION PHASE II
A Part of the Northeast Quarter of Section 17
T3S, R1W, SLB&M, U.S. Survey
South Jordan City, Salt Lake County, Utah

Recorded # 10022799
State of Utah, County of Salt Lake, Recorded and Filed at the Request of Jerron R. Atkins, Surveyor, on the 21st day of January, 2007, Book 2007, Page 237.
Jerron R. Atkins, Surveyor
Salt Lake County Recorder

SALT LAKE COUNTY BOARD OF HEALTH
Approved this 21st day of January, 2007.
Chris J. Jorgensen, Board President

SOUTH VALLEY SEWER DISTRICT
Approved this 21st day of January, 2007.
South Valley Sewer District

SOUTH JORDAN CITY MAYOR
Approved this 21st day of January, 2007.
South Jordan City Mayor

PLANNING COMMISSION APPROVAL
Approved this 21st day of January, 2007.
Planning Commission

SOUTH JORDAN CITY ENGINEER
Approved this 21st day of January, 2007.
B. J. K. K. K.

SOUTH JORDAN CITY ATTORNEY
Approved this 21st day of January, 2007.
J. H. H. H.











Final Report - SOJO Condo Plat

Final Audit Report

2025-06-18

Created:	2025-06-17
By:	Becky Messer (rmesser@sjc.utah.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAky1yHZAgd5brTKpnxfebCxEG2SGJ6Tv79

"Final Report - SOJO Condo Plat" History

-  Document created by Becky Messer (rmesser@sjc.utah.gov)
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-  Document emailed to maguilera@sjc.utah.gov for signature
2025-06-17 - 11:27:06 PM GMT
-  Email viewed by maguilera@sjc.utah.gov
2025-06-17 - 11:36:08 PM GMT- IP address: 35.95.19.1
-  Signer maguilera@sjc.utah.gov entered name at signing as Miguel Aguilera
2025-06-17 - 11:36:26 PM GMT- IP address: 63.226.77.126
-  Document e-signed by Miguel Aguilera (maguilera@sjc.utah.gov)
Signature Date: 2025-06-17 - 11:36:28 PM GMT - Time Source: server- IP address: 63.226.77.126
-  Document emailed to bklavano@sjc.utah.gov for signature
2025-06-17 - 11:36:30 PM GMT
-  Email viewed by bklavano@sjc.utah.gov
2025-06-18 - 0:35:10 AM GMT- IP address: 35.95.19.1
-  Signer bklavano@sjc.utah.gov entered name at signing as Brad Klavano
2025-06-18 - 0:36:02 AM GMT- IP address: 63.226.77.126
-  Document e-signed by Brad Klavano (bklavano@sjc.utah.gov)
Signature Date: 2025-06-18 - 0:36:04 AM GMT - Time Source: server- IP address: 63.226.77.126
-  Agreement completed.
2025-06-18 - 0:36:04 AM GMT

