

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 2/8/2022

Issue: EOS FITNESS CENTER
SITE PLAN APPLICATION

Address: 10534 S River Heights Dr South Jordan, UT 84095

File No: PLSPR202100273

Applicant: Colby Anderson, Anderson Wahlen & Associates

Submitted by: Ian Harris, Planner I
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202100273**, to allow for construction of a one-story fitness center in the C-C zone at 10534 S River Heights Dr., pending approval from the Jordan Valley Water Conservancy District.

ACREAGE:	4.345 acres
CURRENT ZONE:	C-C (Commercial - Community) Zone
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	EC (Economic Center)
NEIGHBORING ZONES/USES:	North – C-C (Vacant Land/Sportsman’s Warehouse) South – C-C (Storage Facility) West – C-C (Costco) East – River Heights Dr. / P-O (Senior Living Center)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND:

The proposed development is located on a vacant parcel on the west side of River Heights Dr., a few parcels south of South Jordan Pkwy. It is bordered by River Heights Dr. to the east, a storage facility to the south, Costco to the west, and vacant land to the north.

The project consists of a commercial building (a fitness center) with the front entrance oriented inward, facing west toward Costco. The main parking area will be to the west, wrapping around the south side of the building, partially bordering River Heights Dr. with a landscape buffer.

Auto access will be through two main routes. One is off River Heights Dr., toward the southern end of the parcel. The other is to the north of the lot, also off River Heights Dr. There's also access via private drives connecting the various parcels of the Harvest Village Subdivision.

The building is one story. The veneer of the building will be a mix of stucco, metal, stone, and glass. The building's colors are a mix of beige, tan, and brown, in addition to large amounts of glass, particularly at the entrance. The building is 35 feet high, which is the limit for the zone. The building received a positive recommendation from the Architectural Review Committee (ARC).

Landscaping will be a variety of trees, shrubs, groundcovers, and grasses. Rock mulch will be used around the building and parking lot islands. There will be some lawn on the north and south sides of the building. The landscaping plans meet city landscaping requirements for trees and ground cover. Staff is waiving the requirement of parking lot trees in areas on top of the Jordan Valley Aqueduct, because the Jordan Valley Water Conservancy District (JVWCD) does not allow the planting of trees atop their easement.

Discussions between the developer and the JVWCD are ongoing. Approval from the JVWCD is required for a proposed fire line crossing the Jordan Valley Aqueduct which cuts diagonal across the site. Due to the length of time this approval is likely to take, the developer asked that the site plan application move forward with approval still pending from the JVWCD. They have asked that site approval be granted by South Jordan subject to JVWCD's approval.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The business is classified as "Arts and Recreation" per city code. The use is permitted in the C-C zone.
- Operations will be typical for the company (24 hours per day, seven days per week), which is less concerning because the gym is surrounded by commercial uses.
- All uses will be indoor except for a small covered exercise area at the rear of the building near River Heights Dr.
- The outdoor exercise area is planned to be open 24/7, weather permitting.
- The developer has provided a trip generation memo that seeks to explain traffic impacts of the proposed fitness center. It is not a city-commissioned traffic study.
- The Architectural Review Committee reviewed the proposed building on October 13, 2021. The project received a positive recommendation with minor comments about the absence of relief features along the side walls at 60-foot intervals. The applicant addressed these comments by adding relief features to meet the city's architectural requirements.
- The project meets the Planning and Zoning (Title 17) and the Subdivision and Development (Title 16) Code requirements.

Conclusion:

- The proposed project will meet the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus it should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

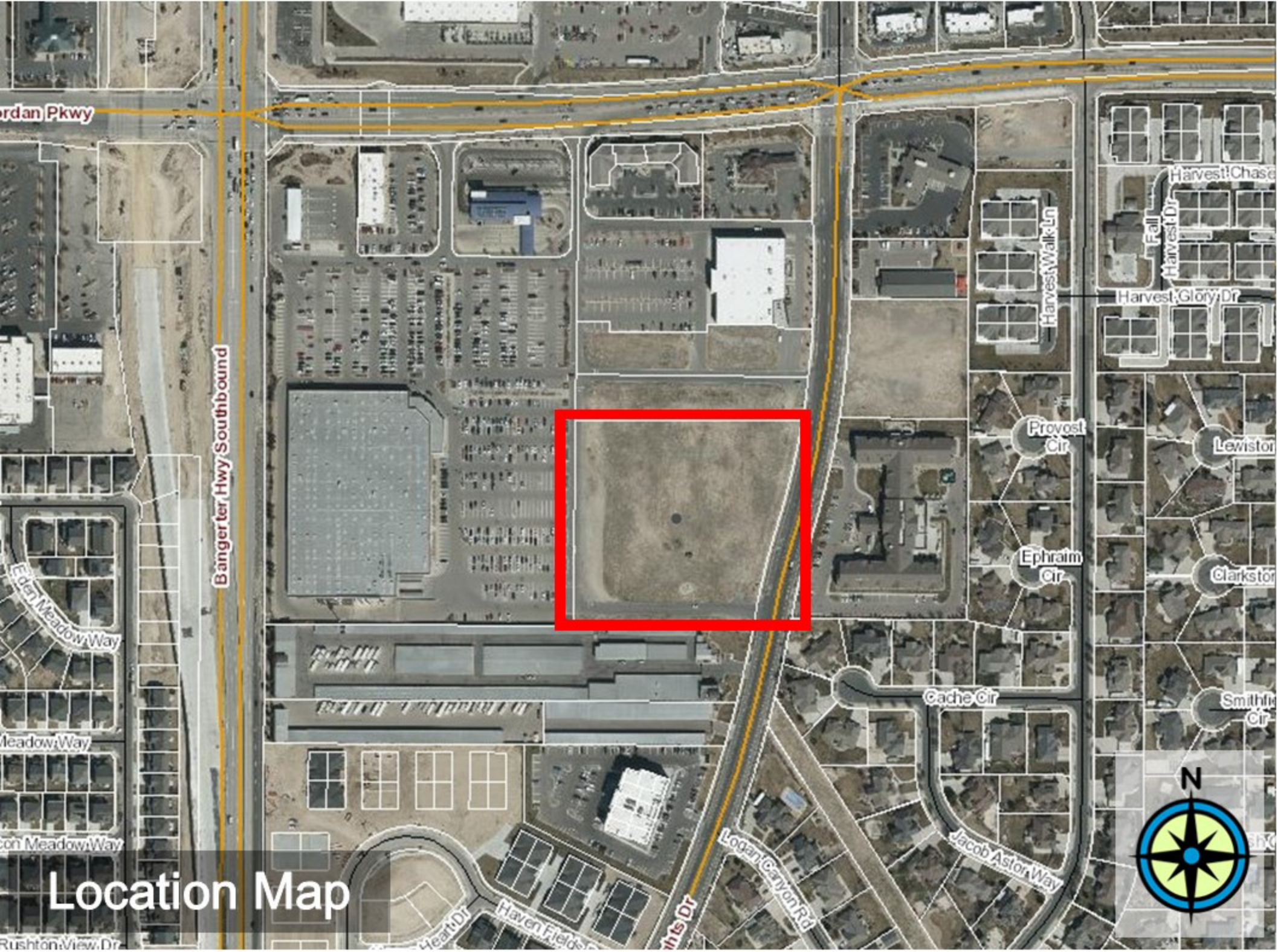
ALTERNATIVES:

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Zoning Map
- Site Plan
- Grading Plan
- Landscape Plan
- Trip Generation Memo
- Building Elevations

Ian Harris
Planner I
Planning Department



Jordan Pkwy

Bangerter Hwy Southbound

Eden Meadow Way

Meadow Way

Con Meadow Way

Rushton View Dr

Location Map

Heart Dr
Haven Fields Dr

Logan Canyon Rd

Cache Cir

Ephraim Cir

Provost Cir

Harvest Glory Dr

Harvest Chase Dr

Harvest Dr

Harvest Walk Ln

Lewiston Cir

Clarkston Cir

Smith Cir



Bangerter, Hwy Southbound

Zoning Map

C-C

P-O

C-C

P-O

P-O

Provost Cir

Ephraim Cir

Cache Cir

R-2.5

Logan Canyon Rd

Jacob Astor Way



Harvest! Cha

Fall Harvest Dr

Harvest Glory Dr

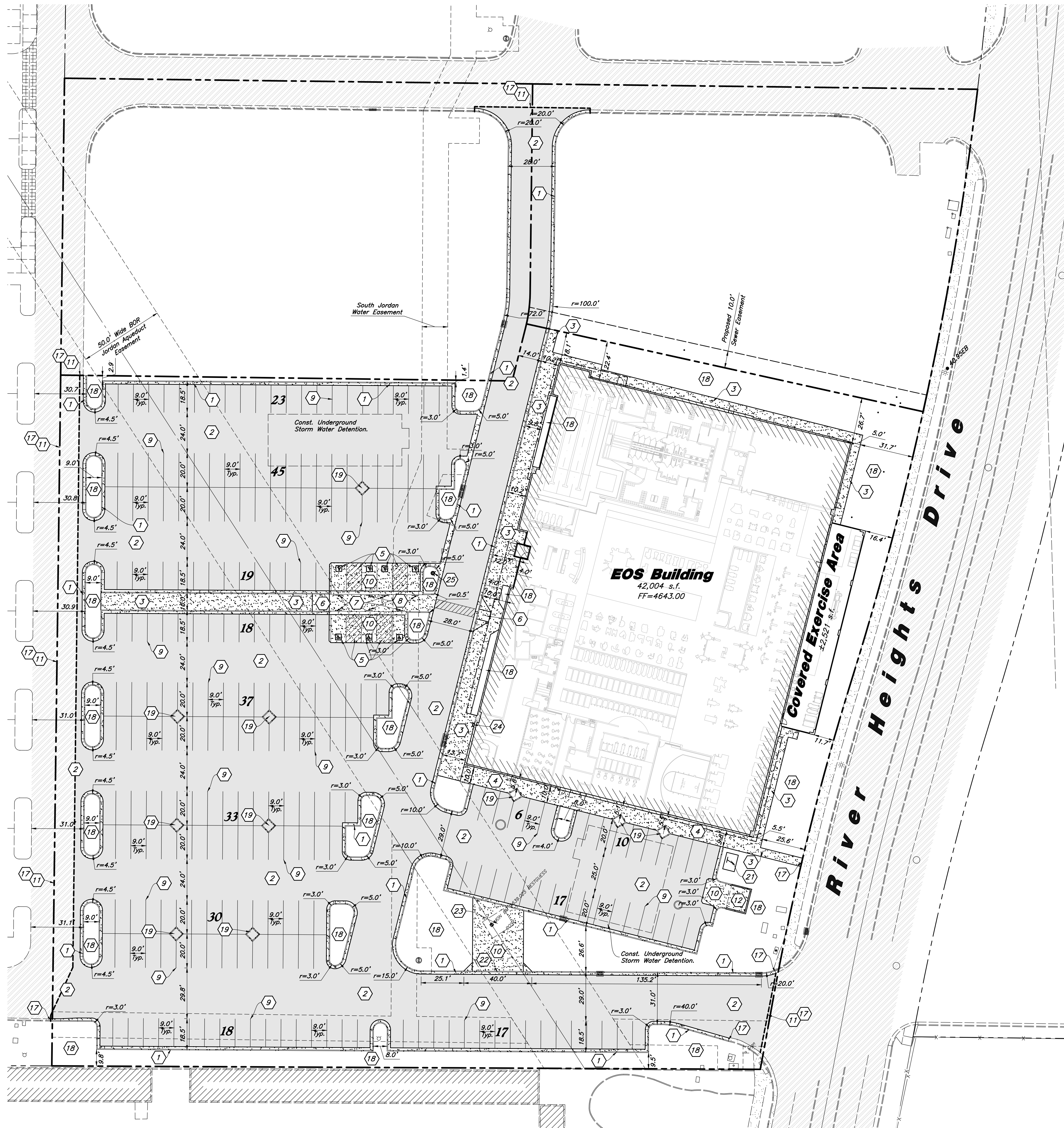
Lewis

Clarks

Smith

Haven Field

hts Dr



Site Data
Site Area = 189,258 s.f. (4.34 ac.)
Landscape Area Provided = 28,673 s.f. (15%)
Impervious Area Provided = 118,581 s.f. (63%)
Building Area = 42,004 s.f. (22%)
Parking Required = 1/200 s.f. = 210 stalls
Parking Provided = 273 stalls

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Scale: 1" = 30'

Site Construction Notes

1. Const. 24" Curb & Gutter (C4.1)
2. Const. Asphalt Paving (C4.1)
3. Const. Conc. Sidewalk (C4.1)
4. Const. Thickened Edge Sidewalk (C4.1)
5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
6. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheet C2.2) (C2.3)
7. Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
8. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
9. Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
10. Const. Conc. Paving (C4.1)
11. Sawcut; Provide Smooth Clean Edge
12. Dumpster Enclosure (See Arch. Plans)
13. Const. Directional Arrows per MUTCD
14. Const. 24" White Stop Bar
15. Const. Conc. Wheel Stop
16. Const. Stop Sign per MUTCD R1-1
17. Conn. & Match Existing Improvements
18. Const. Landscape Area (Coordinate w/ Landscape Plan)
19. Const. 5" Diamond Planter W/ 6" Curb (C4.2)
20. Const. 5'x5' Concrete Pad
21. Transformer (See Site Electrical Plans)
22. Const. Curb Cut Access for Aqueduct Vault.
23. Exist. BOR Jordan Aqueduct Vault.
24. Const. FDC per City Requirements. (Ref. Architect's Plans)
25. Const. Fire Hydrant per City Requirements. (C4.4)

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - www.andersonwahlen.com

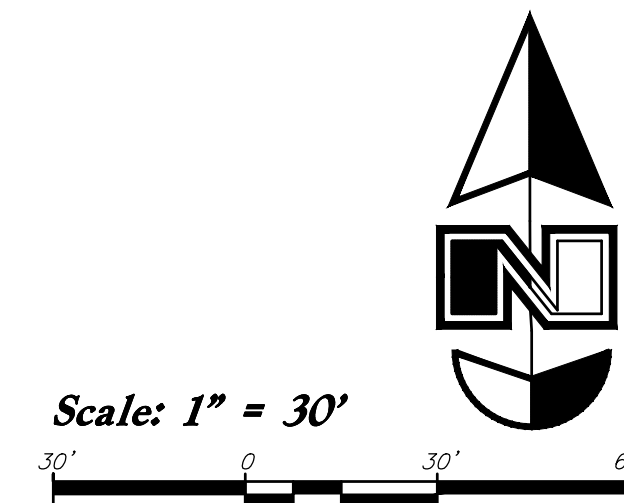
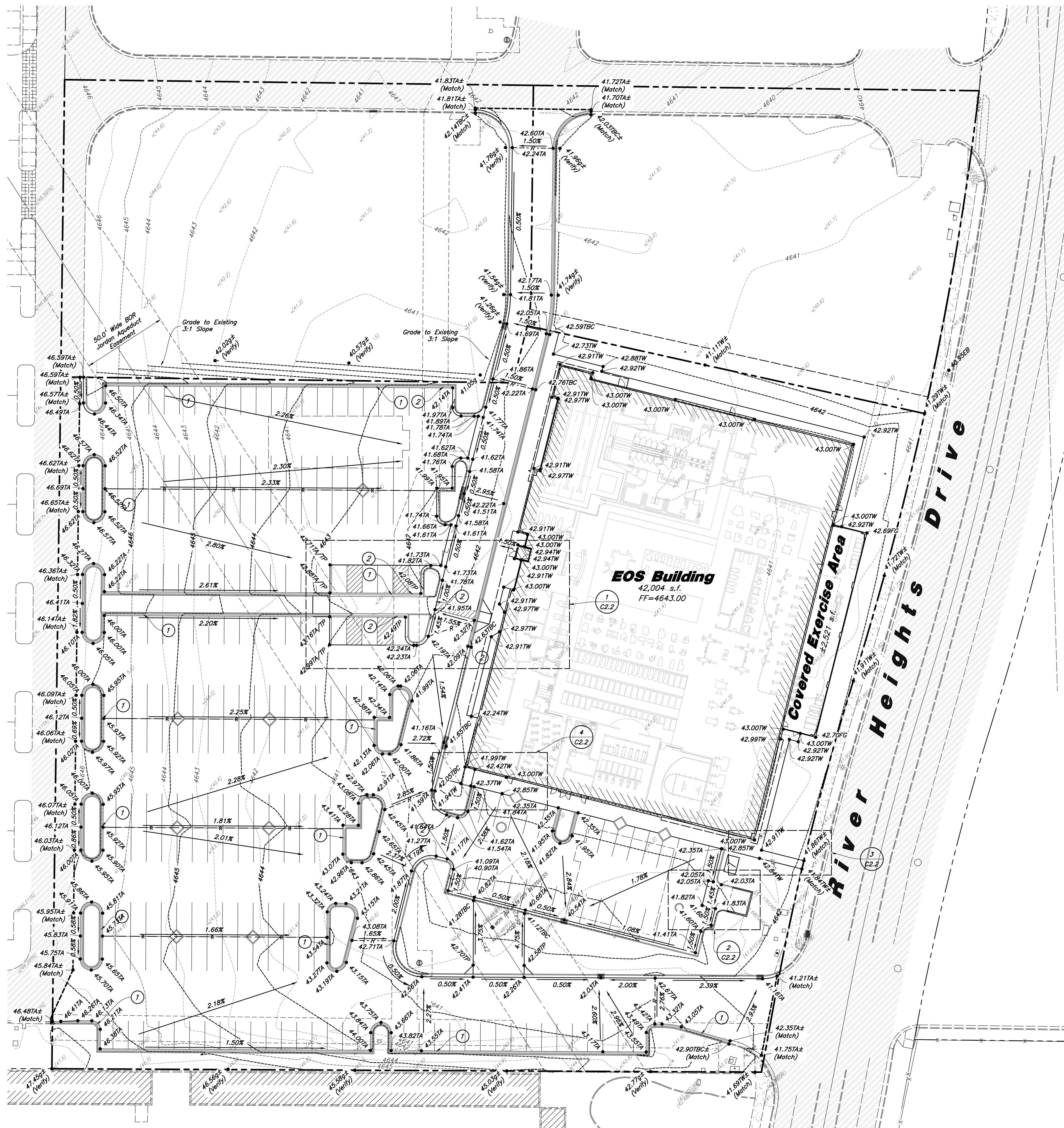
Site Plan
EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT

REGISTERED PROFESSIONAL ENGINEER
No. 8706815
COLBY CRAIG
ANDERSON
STATE OF UTAH

13 Jan, 2022

SHEET NO.

C1.1

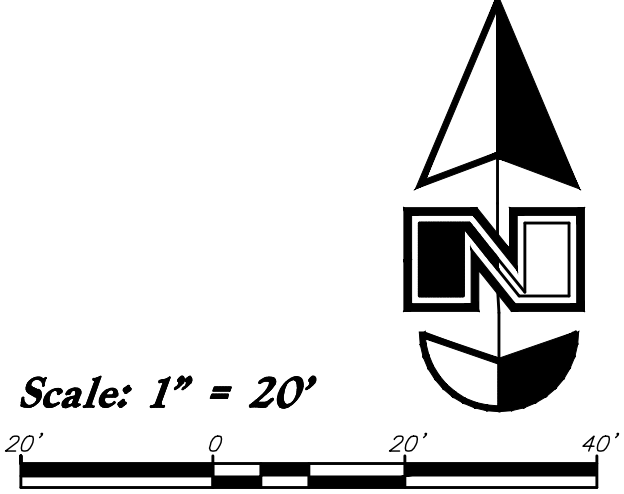
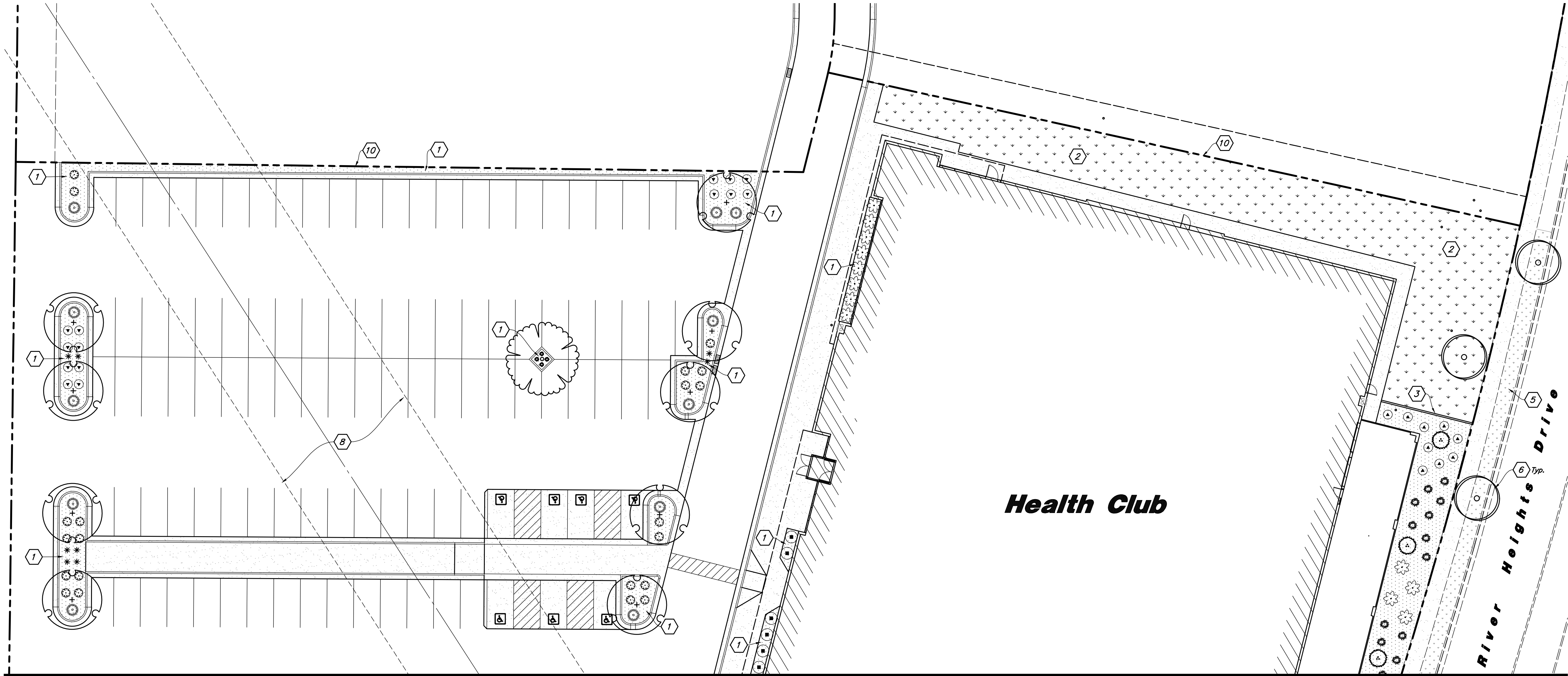


1. All grading shall be in accordance with the project geotechnical study.
 2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
 3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
 4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
 5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
 6. Fills shall be benched into competent material as per specifications and geotechnical report.
 7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
 8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
 9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Subsequent maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
 10. Dust shall be controlled by watering.
 11. The location and protection of all utilities is the responsibility of the permittee.
 12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
 13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
 14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
 15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
 16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
 17. The recommendations in the following Geotechnical Engineering Report by CMT Engineering Laboratories are included in the requirements of grading and site Preparation. The Report is titled "Geotechnical Engineering Study, Health Club Building"
- Project No.: 17371
Dated: Nov. 3, 2021
- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such data was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

1. Open face gutter shall be constructed where drainage is directed away from curb.
- ① 2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
- ② 5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% unless shown otherwise on plan.
2. When slope of sidewalks shall be built per grades shown on the plan when grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%
3. Refer to the Site Plan for sidewalk dimensions.

C2.1



Landscape Data
Zone Commercial (C-C)
Site Area = 189,258 s.f. (4.34 ac.)
Landscape Area Required = 28,389 s.f. (15%)
Landscape Area Provided = 28,673 s.f. (15.2%)
Site Trees Required = 57 Trees (57 Provided)
River Heights Dr. Parkstrip Trees Req. (30') = 11 Trees
River Heights Dr. Parkstrip Trees Provided = 11 Trees
50% Plant Coverage at Maturity

- Landscape Notes:**
1. See Sheet L3.1 for Planting Details.
 2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 and L2.2 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
 3. Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
 4. Landscape & Irrigation in the Park Strip Shall be Maintained by the Owner.

- Landscape Keynotes**
1. Install Shrub Planter with Decorative Stone and Weed Barrier
 2. Install Lawn
 3. Install Landscape Concrete Curbing
 4. Blend New Landscape into Existing Adjacent Landscape
 5. Existing Lawn to Remain; Repair Lawn Where New Street Trees will be Planted - See Keynote #6
 6. Install New Street Tree in Lawn Parkstrip with a 24" Diameter Tree Well with Wood Mulch
 7. Install Backflow Preventer Between Plant Material on a Concrete Pad with an Enclosure; Enclosure Shall be Secured to Concrete Pad; Install Backflow Within Property Line and Away From Edge of Curb - See Irrigation Plan for More Detail
 8. 50" Wide BOR Jordan Aqueduct Easement; No Trees Shall be Planted in Easement
 9. Dumpster Enclosure with Plant Screening
 10. Provide Nice Clean Edge Between New Landscape and Undeveloped Lot
 11. Elect. Transformer with Screening; Adjust Plant Material as Needed to Allow Access

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	9	Acer platanoides 'Crimson Sentry' / Crimson Sentry Maple	1 1/2" Cal.
	18	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	2" Caliper
	6	Quercus robur 'Fastigiata' / Pyramidal English Oak	2" Cal. / 6-8' Ht.
	7	Tilia cordata 'Corzam' / Corinthian Littleleaf Linden *	2" Caliper
	8	Zelkova serrata 'Musashino' / Musashino Zelkova	2" Caliper
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	4	Pinus nigra / Austrian Pine	6-8' Ht.
	9	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Pine	6-8' Ht.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	15	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal
	55	Forsythia x 'Gold Tides' / Golden Tide Forsythia	5 gal
	30	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper (Salt Tolerant)	5 gal
	28	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal
	13	Philadelphus x 'Snowwhite Fantasy' / Snow White Sensation Mock Orange	5 gal
	19	Physocarpus opulifolius 'Summer Wine' / Summer Wine Ninebark	5 gal
	26	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal
	19	Rosa Meidiland series 'Red' / Red Meidiland Rose	2 gal
	71	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spiraea	2 gal
	12	Taxus x media 'Dark Green Spreading' / Dark Spreading Yew	2 gal

* Street Trees Have Been Selected From the South Jordan Parkstrip Tree List

MATERIAL SCHEDULE

Symbol	Comments	Detail
	Decorative Stone - Install a (4) Four Inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Planters and Washed Prior to Installation; Stone Shall be 1 1/2" Diameter, Crushed South Towne Stone From a Local Source; Submit Sample for Approval	Detail: 3/L3.1
	4" x 6" Landscape Concrete Curbing - Install Flush to all Concrete Edges between Lawn and Shrub Planters; Curbing Shall be Continuous; Adjust Curbing as Needed to Avoid Existing and New Utilities	Detail: 3/L3.1

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWahleengineering.net

Landscape Plan
EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT

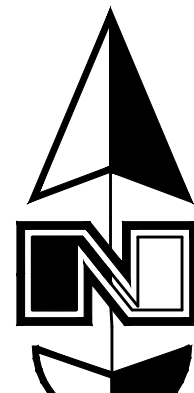


22 Nov, 2021
SHEET NO.
L1.1

Match Line - See Sheet L11

Health Club

Scale: 1" = 20'



Landscape Notes:

1. See Sheet L3.1 for Planting Details.
2. All Landscape Material shall be Fully Irrigated by an Automatic Irrigation System. See Sheet L2.1 and L2.2 for Irrigation Layout. See Sheet L3.1 for Irrigation Details.
3. Adjust Plant Material as Needed to Accommodate New and Existing Utilities.
4. Landscape & Irrigation in the Park Strip Shall be Maintained by the Owner.

Landscape Keynotes

- 1 Install Shrub Planter with Decorative Stone and Weed Barrier
- 2 Install Lawn
- 3 Install Landscape Concrete Curbing
- 4 Blend New Landscape into Existing Adjacent Landscape
- 5 Existing Lawn to Remain; Repair Lawn Where New Street Trees will be Planted - See Keynote #6
- 6 Install New Street Tree in Lawn Parkstrip with a 24" Diameter Tree Well with Wood Mulch
- 7 Install Backflow Preventer Between Plant Material on a Concrete Pad with an Enclosure; Enclosure Shall be Secured to Concrete Pad; Install Backflow Within Property Line and Away From Edge of Curb - See Irrigation Plan for More Detail
- 8 50' Wide BOR Jordan Aqueduct Easement; No Trees Shall be Planted in Easement
- 9 Dumpster Enclosure with Plant Screening
- 10 Provide Nice Clean Edge Between New Landscape and Undeveloped Lot
- 11 Elect. Transformer with Screening; Adjust Plant Material as Needed to Allow Access

General Landscape Notes:

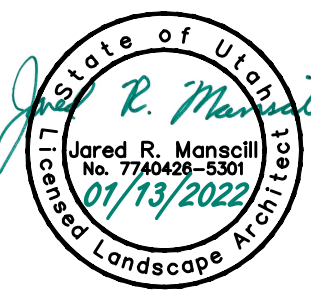
1. Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stake before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants
13. The contractor shall install all landscape material per plan, notes and details.
14. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Existing topsoil to be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil to be installed in all landscaping areas. The landscape contractor shall perform a soil test on existing and/or imported topsoil and amend per soil test recommendations. Soil test to be done by certified soil testing agency.
17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
18. Provide a 12" depth of stockpiled or imported topsoil in parking islands and an 8 inch depth in all other shrub areas.
19. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from

- the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
20. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed.
21. All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt ProS Weed Barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
23. All deciduous trees shall be double staked per tree staking detail. It is the contractors responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #CT32.
24. Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
25. Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas.
26. Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
27. All lawn areas to have uniform grades by float raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
28. All trees located in lawn areas shall have a 24 inch diameter tree ring with a layer of wood mulch.
29. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - awhengineering.net

Landscape Plan

EOS South Jordan
10534 South River Heights Drive
South Jordan City, UT



22 Nov, 2021

SHEET NO.

L1.2



Know what's below.
Call before you dig.

January 25, 2022

Nicole Stangl
S-DEVCORP, Inc.
90 East 7200 South #200
Midvale, Utah 84047
nicolefstangl@gmail.com
801-556-5614



RE: EOS Health Club Trip Memo – 10534 S River Heights Drive in South Jordan, UT

The following is a trip generation memo for a proposed 42,004 square foot (sf) health club. The site is located at 10534 S River Heights Drive in South Jordan, UT. The site is being developed on one of the out-parcels of the larger commercial center that includes Costco, Sportsman's Warehouse, car wash, strip retail, and office buildings. The proposed gym will utilize the existing access points to the commercial center

Figure 1 identifies the site location and Figure 2 shows the proposed site plan.



Figure 1: Site Location

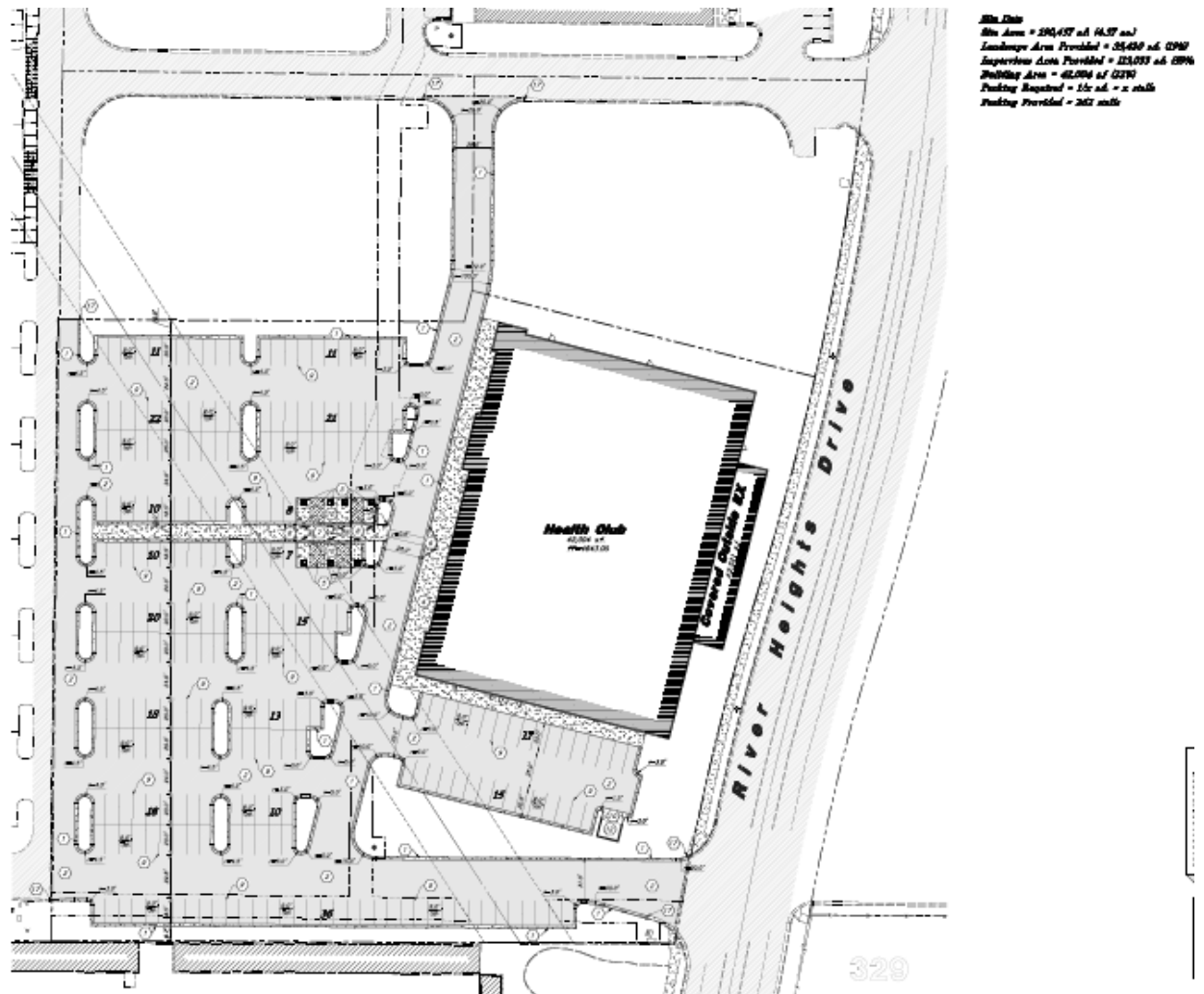


Figure 2: Proposed Site Plan

Trip Generation

Trip generation for the site is projected using the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. Based on the land use assumptions and size of the building, the projected traffic generated by the site is determined. Based on the proposed 42,002 sf health club, there is a projected 55 AM, 145 PM and 134 Saturday peak hour trips. While the ITE Trip Generation Manual does not provide a Daily trip rate for a Gym / Health Club, typically the PM peak represents 10% of the daily trips which would allow an estimate of approximately 1,450 Daily trips.

Table 1: Site Trip Generation

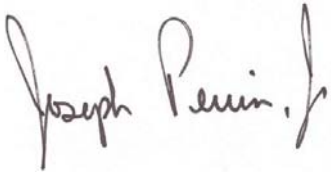
ITE 10th Ed	Size	Land Use	Trip Rate			Trips		
			AM	PM	Saturday Peak	AM	PM	Sat Peak
Gym	42,002	492	1.31	3.45	3.19	55	145	134

River Heights is an unbalanced roadway geometrically with two southbound lanes, a center turn lane and a single northbound lane so it is an atypical cross-section. The capacity of a three-lane urban roadway is 15,000 ADT and a four-lane urban roadway is 28,500 ADT. Therefore, the capacity of River Heights is approximately in midway at 21,750 ADT.

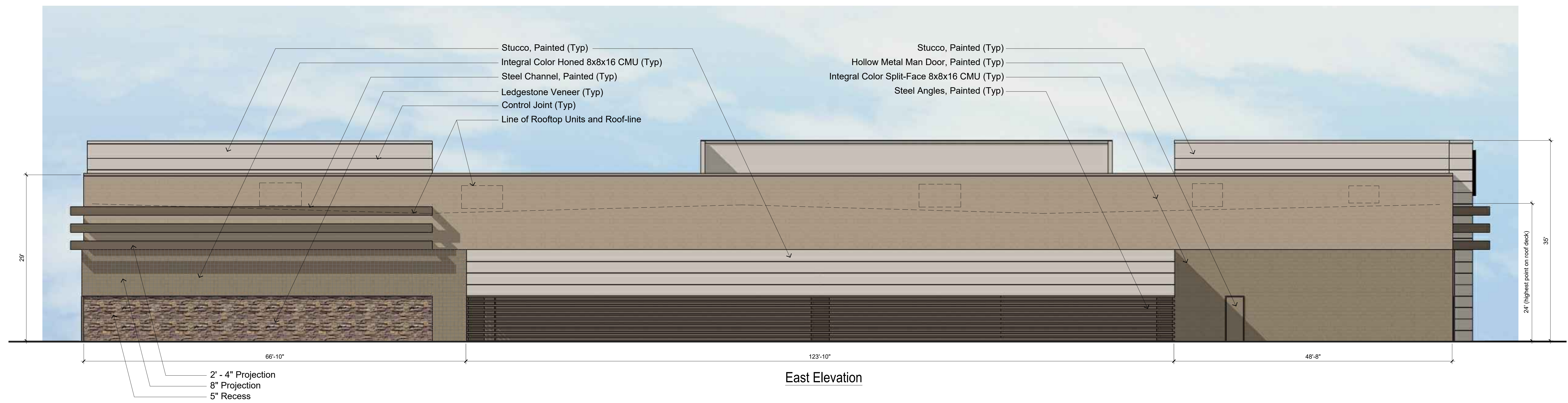
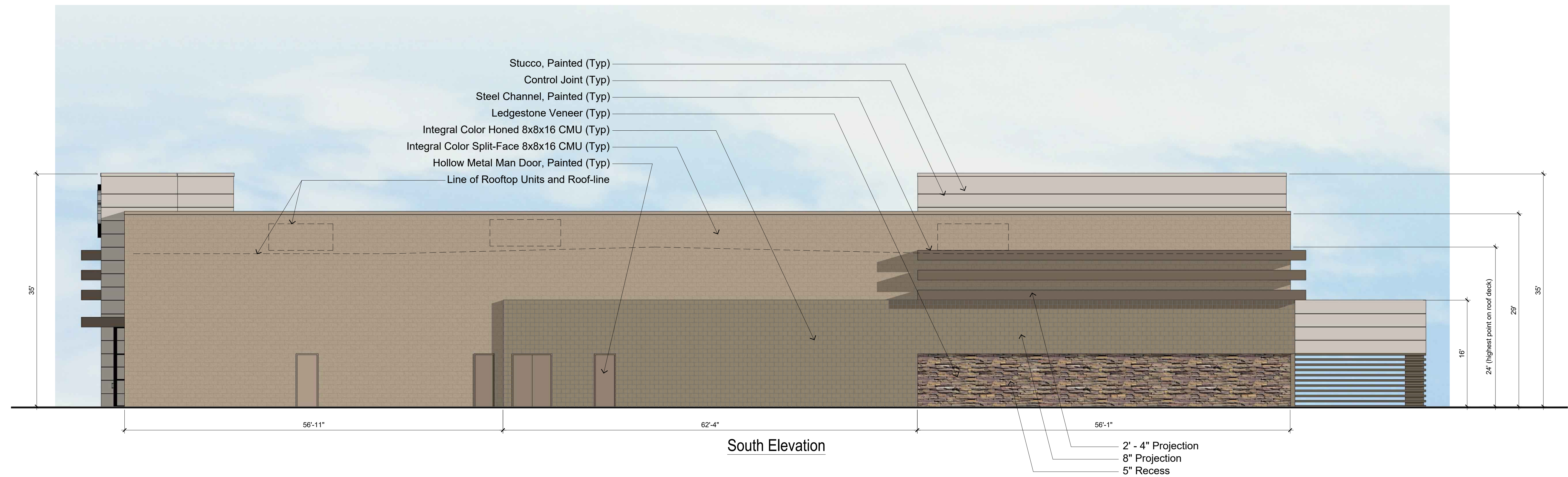
There are five access points to the commercial development with three on River Heights and two on South Jordan Parkway. This health club traffic would be divided among the access points depending on the convenient internal circulation and direction of travel. It should be noted that this commercial development includes these out-pads in the original planning of the development and therefore, the roadway sizing and accesses should have been based on the build-out conditions of the development.

Please let me know if you have any questions.

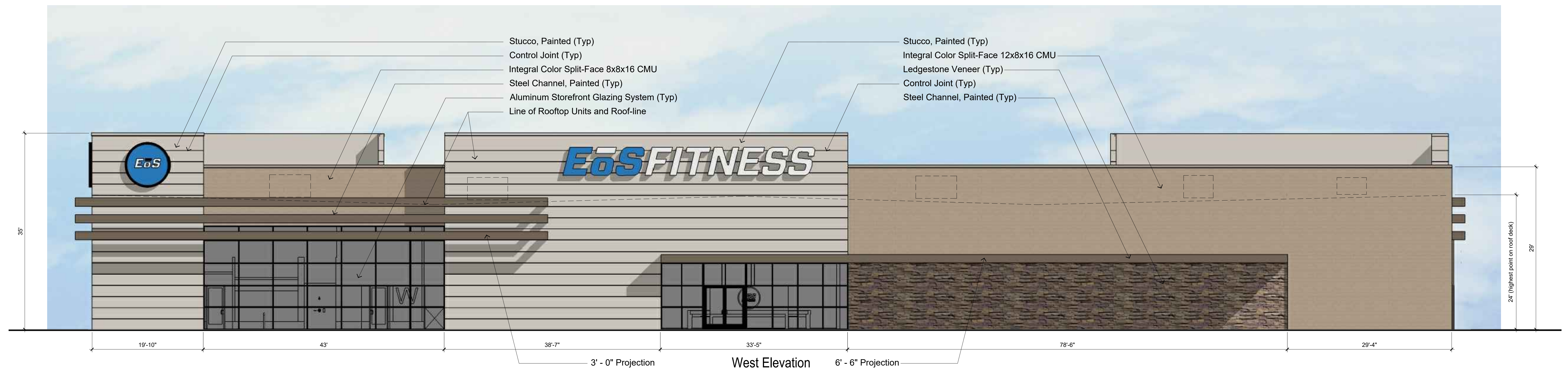
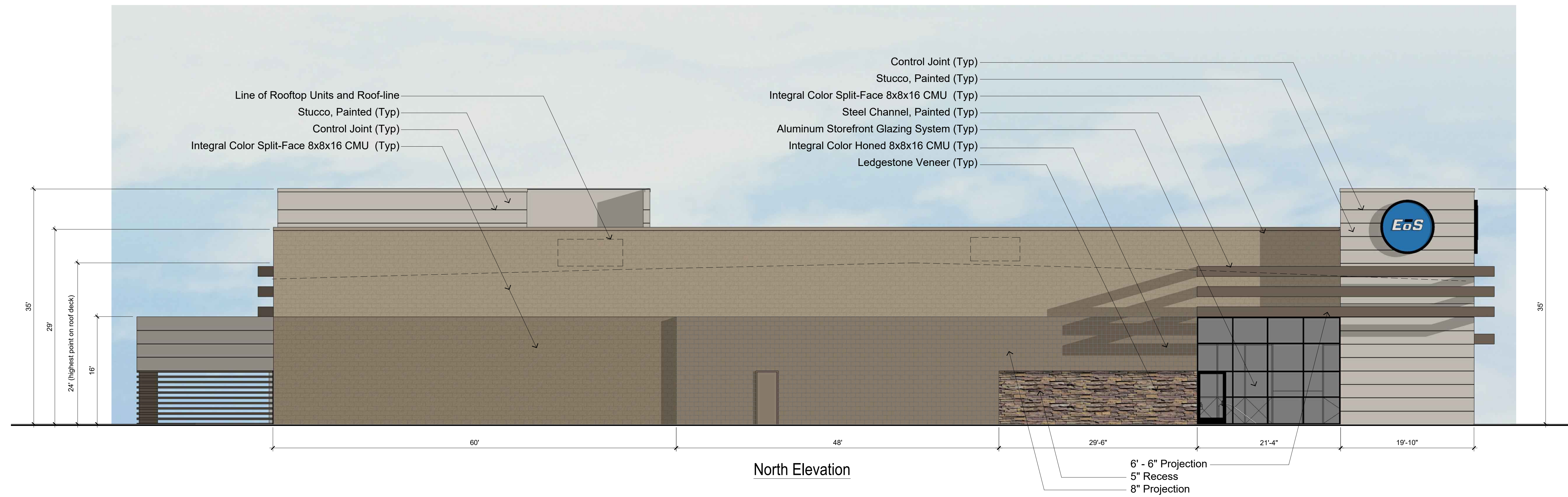
Sincerely,
A-Trans Engineering

A handwritten signature in dark ink, reading "Joseph Perrin, Jr." in a cursive style.

Joseph Perrin, PhD, PE, PTOE
Principal



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