

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 07/11/2023

Issue: Everbrook Academy Daycare Center
SITE PLAN APPLICATION

Address: 1720 W Shields Lane South Jordan, UT 84095
File No: **PLSPR202300037**
Applicant: Allison Morgan

Submitted by: Miguel Aguilera, Planner I
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202300037**, with the condition of the cross access easement, to allow for construction of a daycare center in the C-N zone at 1720 W Shields Lane.

ACREAGE:	1.308 acres
CURRENT ZONE:	C-N (Commercial Neighborhood) Zone
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	EC (Economic Center)
NEIGHBORING ZONES/USES:	North – MU-V (Santorini Village) South – MU-R_D (PD) (Vacant Land) West – P-O (Jordan River Medical) East – C-N (Kum & Go Gas Station)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions, or deny the site plan.

BACKGROUND:

Pending approval of the subdivision amendment for 1720 W Shields Lane, the proposed development will occupy lot 2A on the west side of the subdivision. Everbrook Academy will

have the addresses 1816 W Shields Lane and 9777 S Emporio Drive once the subdivision amendment process is completed.

The project will be a one-story, 12,870 square foot daycare center situated on a 1.308 acre lot. The building will be oriented towards the northeast corner of the lot with parking and landscaping wrapping around the building facing Shields Lane and Emporio Drive. Everbrook Academy will have a capacity of 155 students and staff. The playground will be behind the building bordered by the Santorini Village masonry walls on the north and a 6 foot tall vinyl fence that will be installed by the developer on the east. The parking requirement for the daycare use is 1 per 300 square feet. There will be 33 parking stalls, which is based on the total intended use floor space of 9,135 square feet. The intended use floor space will consist of a multi-purpose room, a lobby, 11 classrooms, and the corridor space connecting all the rooms. Vehicles will be able to access the daycare center through Shields Lane and Emporio Drive.

It is noted that the underlying zone does not allow parking between a building and public right of way. However, Section F-3 of the South Jordan Commercial Zone Development Standards allows the Planning Director to make exceptions to this should the requirement not be reasonable. In this case, it is reasonable for a daycare center to have parking stalls along its front facades so that its rear facades may remain an enclosed area where children will be.

The building façade will be 6,602 square feet of masonry/stone and 1,135 square feet of stucco. The main entrance will be located on the south façade and consist of clear store front glazing glass. The building's stucco and stone materials will follow a brown and tan color pallet. The building received a positive recommendation from the Architectural Review Committee (ARC).

Landscaping will consist of trees, shrubs, rock mulch, and lawn cover. A mix of 36 trees and 154 shrubs will be planted throughout all landscaped areas. Lawn area will be 2,890 square feet of the landscape area. The landscaping plans meet city landscaping requirements for commercial zones.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The proposed building use is a daycare center and is permitted in the C-N zone.
- The Architectural Review Committee reviewed the proposed building on April 26, 2023. The project received a positive recommendation from the committee.
- The development's parking requirement is based on the intended use floor area of 9,135 square feet.
- The development's parking stalls will be located between the building and public right of way, which allows the rear to be an enclosed playground.
- The signs shown on elevation plans are not approved as part of the site plan application and will require a separate sign permit application.

Conclusion:

- The proposed project will meet the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Zoning Map
- Site Plan
- Landscape Plan
- Building Elevations

Miguel Aguilera

Miguel Aguilera
Planner I, Planning Department

Brad Klavano

Brad Klavano (Jul 5, 2023 16:54 MDT)

Brad Klavano, P.E.
City Engineer

Location Map
City of South Jordan
Shields Lane Subdivision

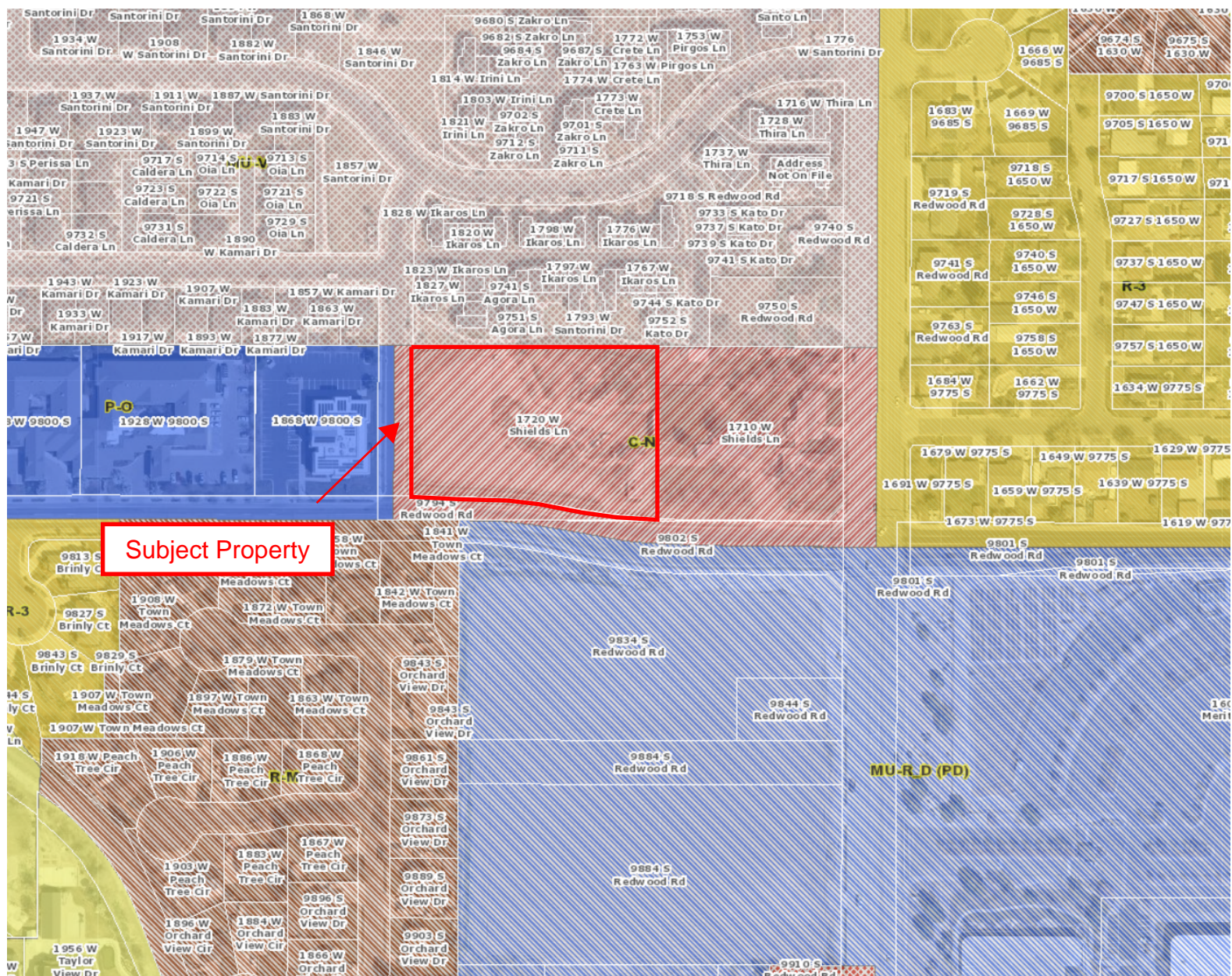


**Subject
Property**

Shields Lane

Redwood Road

Zoning Map
City of South Jordan
Everbrook Academy Site



Legend

Commercial Neighborhood (C-N)
Professional Office (P-O)
Mixed-Use Village (MU-V)
Mixed-Use Research & Development (MU-R_D)
Residential Multi-Family (R-M)
Residential Single-Family (R-3)



Everbrook Academy

CIVIL CONSTRUCTION SET

APN# 27-10-178-025
LOCATED IN THE WEST HALF OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN, SALT LAKE COUNTY, UT
JUNE, 2023

Project Directory

DEVELOPER:
NLD SHIELDS LLC
ATTN: ALLISON MORGAN
60 SOUTH SIXTH STREET, SUITE 2630
MINNEAPOLIS, MN 55402
PH: (612) 313-0126

SURVEYOR:
GALLOWAY
ATTN: TROY KENDALL
2015 W. GROVE PARKING, SUITE H
PLEASANT GROVE, UT 84062
PH: (385) 248-0460

CIVIL ENGINEER (PROJECT CONTACT):
HUNT DAY
ATTN: THOMAS HUNT, PE
3445 ANTELOPE DRIVE
SYRACUSE, UT 84075
PH: (801) 664-4724

ARCHITECT:
ADA ARCHITECTS
ATTN: JAVIER CORA
17710 DETROIT AVENUE
LAKEWOOD, OHIO 44107
PH: (216) 521-5134

Site Data

LOCATION: SOUTH JORDAN
ZONING: C-N COMMERCIAL NEIGHBORHOOD

PROPERTY SIZE: 56,976 SF / 1.31 AC

BUILDING FOOTPRINT: 12,877 SF (22.6%)
HARD SURFACE AREA: 28,058 SF (49.2%)
LANDSCAPE AREA: 16,041 SF (28.2%)

PARKING: 30 STALLS REQUIRED
33 STALLS PROVIDED
2 BICYCLE STALLS PROV.

FLOOD INFORMATION
FLOOD ZONE DESIGN 'X' PER F.E.M.A. FLOOD INSURANCE RATE
MAPS, COMMUNITY PANEL NUMBERS 49035C0429G, DATED
SEPTEMBER 25, 2009.

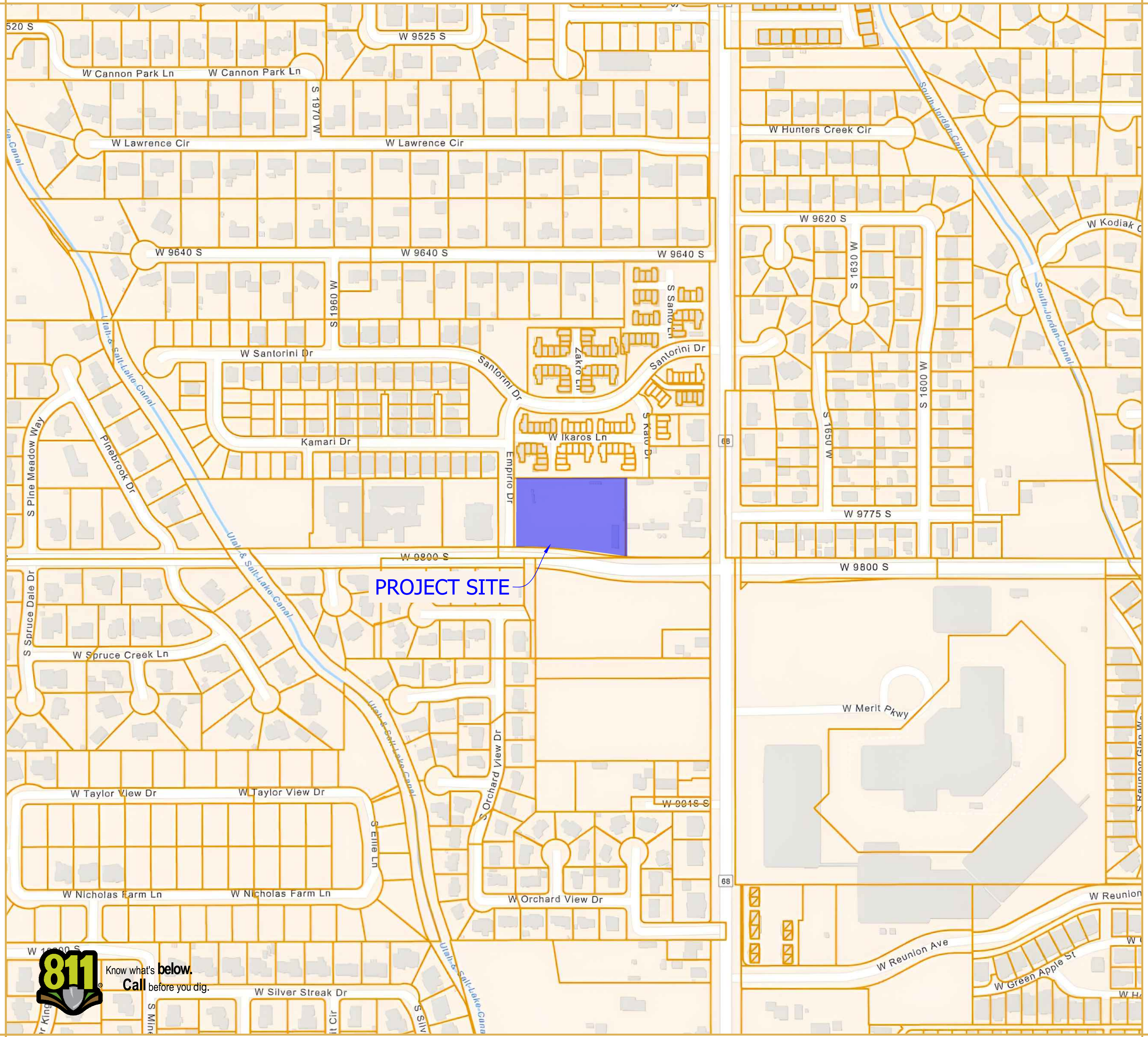
AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN.

DATUM INFORMATION
SITE BENCHMARK:
SECTION CORNER LOCATED IN REDWOOD ROAD AND SHIELDS
LANE, NAVD88

ELEVATION = 4395.85'

GEOTECH REPORT
DATED: DECEMBER 20, 2022

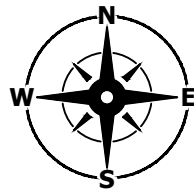
TERRACON
6949 S. HIGH TECH DRIVE MIDVALE, UT 84047
PH: (801) 545-8500



Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

Location Map
SCALE: NTS



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C400 - Utility Plan
C600 - Civil Details
C601 - Civil Details
C602 - Civil Details
C700 - SWPPP Exhibit
C701 - SWPPP Details
L100 - Landscape Plan
L101 - Irrigation Plan

Agency/Utility Contacts

PLANNING & ZONING:
SOUTH JORDAN CITY
1600 WEST TOWNE CENTER DRIVE
SOUTH JORDAN, UT 84095
PHONE: (801) 446-4357

BUILDING & ENGINEERING
SOUTH JORDAN CITY
ATTN: SHANE GREENWOOD
1600 WEST TOWNE CENTER DRIVE
SOUTH JORDAN, UT 84095
PHONE: (801) 254-3742

FIRE DEPARTMENT:
SOUTH JORDAN PUBLIC SAFETY BUILDING
10655 SOUTH REDWOOD ROAD
SOUTH JORDAN, UT 84095
PHONE: (801) 446-HELP (4357)

STORMWATER:
SOTUH JORDAN CITY PUBLIC WORKS
SOUTH JORDAN CITY
10996 S REDWOOD ROAD
SOUTH JORDAN, UT 84095
PHONE: (801) 253-5230

WATER:
SOUTH JORDAN CITY
10996 S REDWOOD ROAD
SOUTH JORDAN, UT 84095
PHONE: (801) 253-5230

SEWER:
SOUTH VALLEY SEWER DISTRICT
1253 JORDAN BASIN LANE
BLUFFDALE, UT 84065
PHONE: (801) 576-6326

POWER COMPANY:
ROCKY MOUNTAIN POWER
CUSTOMER SERVICE LINE
PHONE: (800) 469-3981

GAS SERVICE:
DOMINION ENERGY
CUSTOMER SERVICE LINE
PHONE: (866) 366-4357

TELECOMMUNICATIONS:
CENTURYLINK
1425 WEST 3100 SOUTH
WEST VALLEY, UT 84119
PHONE: (801) 974-8143

EVOLVE NETWORK
EMAIL: KEN@EVOLVENETWORX.COM



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

PROJECT TITLE
Everbrook
ACADEMY
1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

REVISIONS

REV.	DATE	DESCRIPTION	BY
2	06-22-2023	REVISED PER CITY COMMENTS	TP
1	04-19-2023	REVISED PER CITY COMMENTS	TP
0	03-08-2023	INITIAL SUBMITTAL	TP

ENGINEERS STAMP



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 12 / 09 / 2022
Proj. No. -
SHEET TITLE

Cover
Sheet

SHEET NO.

C001

(Updated 2-15-22)

1. ALL WORK DONE OR IMPROVEMENTS INSTALLED WITHIN SOUTH JORDAN CITY INCLUDING BUT NOT LIMITED TO EXCAVATION, CONSTRUCTION, ROADWORK AND UTILITIES SHALL CONFORM TO THE SOUTH JORDAN CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS, CITY MUNICIPAL CODE, THE LATEST EDITION OF THE APWA MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, THE LATEST EDITION OF THE MANUAL ON STORM DRAIN TRANSITS (MUTCD) AND ANY STATE OR FEDERAL REGULATIONS AND PERMIT REQUIREMENTS OF VARIOUS GOVERNING AGENCIES. THE DEVELOPER IS RESPONSIBLE TO HAVE A COPY OF THESE SPECIFICATIONS AND TO KNOW AND CONFORM TO THE APPROPRIATE CODES, REGULATIONS, DRAWINGS, STANDARDS AND SPECIFICATIONS.
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PROTECTION OF UTILITIES AND THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON THE PLANS OR NOT IN THE LOCATION SHOWN ON THE PLANS. THIS INCLUDES ALL SERVICE LATERALS OF ANY TYPE AND SIZE. AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES, WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, SURVEY MONUMENTS AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AND REPLACED SATISFACTORILY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
5. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
6. CURB, GUTTER, AND SIDEWALK, FOUND TO BE UNACCEPTABLE PER CITY STANDARDS AND APWA SHALL BE REMOVED AND REPLACED.
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
8. ANY SURVEY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER SALT LAKE COUNTY SURVEYORS REQUIREMENTS.
9. ALL PRIVACY WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. ALL WALLS SHALL HAVE A MINIMUM 2 FT X 2 FT X 30 INCH DEEP SPOT FOOTINGS. BOTTOMS OF ALL FOOTINGS ON ALL WALLS SHALL BE A MINIMUM OF 30 INCHES BELOW FINISHED GRADE. WALLS GREATER THAN 6 FEET REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
10. ALL CONSTRUCTION MATERIALS PER APWA MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
11. REQUEST FOR INSPECTION BY THE CITY OF SOUTH JORDAN ENGINEERING DEPT. SHALL BE MADE BY THE CONTRACTOR AT LEAST 48 HOURS BEFORE THE INSPECTION SERVICES WILL BE REQUIRED, EXCEPT IN AN EMERGENCY AS DEFINED BY THE SOUTH JORDAN CITY MUNICIPAL CODE § 12.08.010.
12. WORK IN PUBLIC WAY, ONECE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM PILE-UP AND TO PREVENT ANY OCCURENCE FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION.
14. POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO THE CITY OF SOUTH JORDAN. POWER LINES AND ALL OTHER AERIAL UTILITIES ARE TO BE BURIED AND POLES REMOVED AS DETERMINED BY THE CITY ENGINEER.
15. CURB AND GUTTER WITH A GRADE OF LESS THAN FOUR-TENTHS OF ONE PERCENT SHALL BE CONSTRUCTED BY FORMING. EACH JOINT SHALL BE CHECKED FOR A GRADE PRIOR TO CONSTRUCTION AND WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
16. CONTRACTOR TO FOLLOW SALT LAKE COUNTY NOISE ORDINANCE STANDARDS.
17. CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
18. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES AS PER STATE LAW AS WELL AS PROVIDING A STORM WATER POLLUTION PREVENTION PLAN TO THE CITY.
19. DEVELOPER IS RESPONSIBLE FOR LOCATING AND REPAIRING ALL UNDERGROUND STREETLIGHT WIRES, WATER LINES, STORM DRAIN LINES AND IRRIGATION LINES UNTIL 90% OF THE BOND HAS BEEN RELEASED.
20. ALL CITY MAINTAINED UTILITIES INCLUDING; WATERLINE, FIRE HYDRANTS, STREETLIGHT WIRING, AND STORM DRAIN MUST BE PURCHASED BY THE CITY OF SOUTH JORDAN IN RECORDING EXEMPTIONS.
21. CONTRACTOR SHALL WORK ON SOUTH JORDAN CITY REGULAR WORKING HOURS OF MONDAY THROUGH FRIDAY 7:00 AM TO 4:00 PM. IF CONTRACTOR PERMITS OVERTIME WORK OR WORK ON A SATURDAY, SUNDAY OR ANY LEGAL HOLIDAY, CONTRACTOR SHALL RECEIVE PRIOR APPROVAL BY CITY ENGINEER. CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY OVERTIME INSPECTION FEES TO THE CITY OF SOUTH JORDAN ON THE THURSDAY PRIOR TO THE SATURDAY, SUNDAY OR LEGAL HOLIDAY REQUESTED. THIS APPLIES TO ALL WORK WITHIN THE PUBLIC RIGHT OF WAY INCLUDING TRAFFIC CONTROL AND ACCESS.
22. PRIOR TO 90% BOND RELEASE, A LEGIBLE AS-BUILT DRAWING MUST BE SUBMITTED TO THE CITY OF SOUTH JORDAN STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER. AS-BUILTS MUST SHOW ALL CHANGES AND ACTUAL FIELD LOCATIONS FOR STORM DRAINAGE, WATERLINES, IRRIGATION, STREET LIGHTING, AND POWER. AS-BUILTS WILL BE HELD TO THE SAME STANDARD AS APPROVED DESIGN DRAWINGS, NO "REDLINED PLANS" ALLOWED. IN THE ABSENCE OF CHANGES, COPIES OF THE APPROVED DRAWINGS WILL BE REQUIRED STATING "INSTALLED AS PER DRAWINGS". AS-BUILT DRAWINGS FOR NEW DEVELOPMENTS SHALL BE SUBMITTED TO THE CITY IN THE FOLLOWING FORMATS AND QUANTITIES PRIOR TO THE 90% BOND RELEASE: 1. DXF COPY, 1. PDF COPY.
23. FILTER BARBIE WRAPPED AROUND AN INLET GRADE IS NOT AN ACCEPTABLE INLET SEDIMENT BARRIER. SEE CHAPTER 9 OF SOUTH JORDAN CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR DETAILS OF APPROVED STORM WATER BMPs.
24. ASPHALT PAVING BETWEEN OCTOBER 15 AND APRIL 15 IS NOT ALLOWED WITHOUT A WRITTEN EXCEPTION FROM THE CITY ENGINEERING DEPARTMENT.
25. TO ENSURE PROPER PLANTING, PROTECTION AND IRRIGATION OF TREES, MITIGATING RISK OF TREE FAILURE OR FUTURE DAMAGE TO INFRASTRUCTURE, CONTRACTORS ARE REQUIRED TO FOLLOW THE STANDARDS AND SPECIFICATIONS OF THE ISA - INTERNATIONAL SOCIETY OF ARBORICULTURE.
26. ALL SMALL CELL CONSTRUCTION MUST FOLLOW THE SOUTH JORDAN CITY SMALL CELL INFRASTRUCTURE DESIGN GUIDELINES.
27. ALL CONSTRUCTION OF LOW IMPACT DEVELOPMENT (LID) MUST FOLLOW THE SOUTH JORDAN CITY LOW IMPACT DEVELOPMENT HANDBOOK 2020. WITH THE DEVELOPMENT OF ANY RESIDENTIAL SUBDIVISION THAT PROPOSES LID IN THE PARK STRIPS, THE DEVELOPER MUST SUBSTRUCT/INSTALL SUCH TO COMPLETENESS, INCLUDING BUT NOT LIMITED TO VEGETATION AND LANDSCAPE IRRIGATION. THE DEVELOPER IS RESPONSIBLE TO MAINTAIN THE LID (INCLUDING LANDSCAPE) UNTIL SUCH TIME THE DEVELOPER CONNECTS ANY LID LANDSCAPE IRRIGATION TO OWNER'S IRRIGATION OF THE RESPECTIVE BUILDING LOT. DEVELOPER'S LID MAINTENANCE RESPONSIBILITIES INCLUDE BUT NOT LIMITED TO CLEANING, REPAIRING, PROTECTING AND CLEAR OF ANY DEBRIS. THE BUILDING LOT OWNER SHALL MAINTAIN IN PERPETUITY ANY LID CONSTRUCTED ANYWHERE ON THE BUILDING LOT, INCLUDING THE PARK STRIP AREA WITHIN PUBLIC RIGHT OF WAY.
28. WHEN A PROPOSED DEVELOPMENT BORDERS A COLLECTOR, MINOR COLLECTOR OR ARTERIAL STREET AND IS REQUIRED TO CONSTRUCT COLLECTOR STREET FENCING ALONG THE BACK OF SIDEWALK, THE DEVELOPMENT SHALL BE REQUIRED TO CONSTRUCT CONCRETE MOW STRIPS ALONG THE BACK OF SIDEWALK TO UNDERNEATH THE FENCE PANELS. CONCRETE MOW STRIPS SHALL ALSO BE REQUIRED BETWEEN THE SIDEWALK AND FENCING ALONG THE REAR OF DOUBLE FRONTAGE LOTS.
29. ONE-WAY VALVES ARE REQUIRED ON RESIDENTIAL LAND DRAIN LINES THAT GO FROM A FOUNDATION DRAIN ON A HOME TO A PUBLIC STORM DRAIN SYSTEM.

1. WHEN A DESIGNATED "SAFE ROUTE TO SCHOOL" IS ENCLOSED UPON BY A CONSTRUCTION WORK ZONE THE ROAD SURFACE SHALL BE MAINTAINED IN A MANNER ACCEPTABLE TO SOUTH JORDAN CITY AND THE JORDAN SCHOOL DISTRICT.
2. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR DESIGNER.
3. THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.
5. ALL PERMANENT TRAFFIC SIGNS DEVELOPED FOR THIS PROJECT FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR PER APPROVED CONSTRUCTION DRAWINGS UNLESS APPROVED BY THE CITY ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.
7. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS AND THE CITY ENGINEER SHALL BE NOTIFIED. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING PUBLIC STREETS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PER THE CURRENT EDITION ADOPTED BY UDOT AND BE APPROVED BY THE CITY OF SOUTH JORDAN BEFORE CONSTRUCTION BEGINS.
8. ALL SIGNS LARGER THAN 36" X 36" OR 1296 SQUARE INCHES PER SIGN POLE SHALL BE MOUNTED ON A SLIP BASE SYSTEM PER UDOT STANDARD DRAWING SN 108 (DETAIL DRAWING ATTACHED TO STANDARD DRAWINGS) WITH A "Z" BAR BACKING. SIGNS OF THIS SIZE ARE NOT ALLOWED TO BE MOUNTED ON A YIELDING POLE.
9. SIGN COMPONENTS SUCH AS SHEETING, EC FILM, INKS, LETTERS AND BORDERS ARE ALL REQUIRED TO BE FROM THE SAME MANUFACTURER. ONE SIGN TYPE MAY BE USED TO ACHIEVE COLOR. VINYL, EC FILM IS NOT ACCEPTED.
10. ALL NEW ROUNDABOUTS, CROSSWALKS, STOP BARS AND LEGENDS SHALL BE INSTALLED WITH 90 MIL PREFORMED THERMO PLASTIC.
11. PAVING ASPHALT BINDER GRADE SHALL BE PG 58-28 UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. ASPHALT AGGREGATE SIZE SHALL BE ½ INCH FOR RESIDENTIAL AND COLLECTOR ROADS. NO MORE THAN 15% RAP (RECLAIMED ASPHALT PAVEMENT) BY WEIGHT WILL BE ALLOWED IN THE ASPHALT MIX DESIGN FOR THE PAVING OF PUBLIC AND PRIVATE STREETS. UP TO THE 15 PERCENT WILL BE ALLOWED WITH NO CHANGE IN THE SPECIFIC BINDER GRADE. THE ASPHALT MIX DESIGN SHALL HAVE NO MORE THAN 3% AIR VOIDS.
12. POTHOLES: ALL POTHOLES MUST BE SAW CUT SQUARE AND HAVE A MINIMUM SIZE OF 1 SQUARE FOOT. WHEN REPAIRING A POTHOLE, SAND OR PEA GRAVEL MEETING SOUTH JORDAN CITY STANDARDS SHALL BE PLACED OVER THE EXPOSED UTILITY TO A DEPTH OF 6 INCHES. FOLLOWING THE PEA GRAVEL WILL BE FLOWABLE FILF UP TO 1 INCH BELOW THE BOTTOM EDGE OF THE EXISTING ASPHALT. THE REMAINING PORTION OF THE HOLE SHALL BE FILLED WITH ASPHALT, WHICH WILL HAVE AN OVERALL THICKNESS OF THE EXISTING ASPHALT PLUS 1 INCH.
13. ALL FILL WITHIN THE PUBLIC RIGHT OF WAY SHALL BE A-1-A TO A-3, WITH THE EXCEPTION OF TOP SOIL. IN THE PARK STRIP FOR LANDSCAPING AND TRENCH BACKFILL. TRENCH BACKFILL MATERIAL UNDER PAVEMENTS OR SURFACE IMPROVEMENTS SHALL BE CLEAN, NON-CLUMPING, GRANULAR AND FLOWABLE, 2" MINUS, A-1-A TO A-2-7 SILTS ACCORDING TO ASHTO 145 SOIL CLASSIFICATION SYSTEM. LIME TREATED FLOWABLE FILLS, IF APPROVED, SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 65 PSI.
14. ALL TRAFFIC ROAD CLOSURES INVOLVING 1 OR MORE LANES OF TRAFFIC MUST RECEIVE PRIOR APPROVAL FROM THE CITY ENGINEER OR HIS/HER REPRESENTATIVE. VMS PCMS BOARDS MUST BE PLACED A MINIMUM OF 7 DAYS IN ADVANCE OF ANY LANE CLOSURE ON COLLECTOR, MINOR COLLECTOR OR ARTERIAL STREET. VMS PCMS BOARDS MUST ALSO BE PLACED IN ADVANCE OF ANY LANE CLOSURES ON A SUBDIVISION STREET PER THE CITY ENGINEER'S DIRECTION.
15. ROUNDABOUTS, INCLUDING THEIR INGRESS AND EGRESS, SHALL BE CONSTRUCTED WITH CONCRETE PAVEMENT. ENGINEER SHALL DESIGN CROSS SECTION AND SUBMIT TO THE CITY FOR REVIEW AND APPROVAL.
16. ALL CURBS AND LANES ARE TO HAVE 6 FEET MAXIMUM SPACING FOR CONCRETE JOINTS IN STRAIGHT SECTIONS AND ARE TO BE 12 FEET MAXIMUM SPACING IN CURVED SECTIONS. ALL CURBS AND LANES ARE TO BE 6 FEET MINIMUM.
17. CONSTRUCTION OF ANY PUBLIC STREET REQUIRES A SIGN OFF CHECKLIST PRIOR TO THE ROAD BEING OPENED TO TRAFFIC FOR USE BY THE GENERAL PUBLIC. THE CHECKLIST MUST BE REQUESTED BY THE DEVELOPER. THE CITY'S ASSIGNED PROJECT ENGINEER WILL PREPARE THE CHECKLIST AND PROVIDE IT TO THE DEVELOPER/CONTRACTOR. TREES ARE NOT ALLOWED TO BE PLANTED WITHIN 30' OF A STOP SIGN.

ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT SOUTH JORDAN CITY STANDARDS AND N.E.C. (NATIONAL ELECTRIC CODE), A STREET LIGHT PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO THE CITY OF SOUTH JORDAN AND BE APPROVED PRIOR TO CONSTRUCTION. NO DEVIATION OF STREETLIGHT, PULL BOXES, CONDUITS, ETC. LOCATIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE CITY ENGINEER OR HIS/HER REPRESENTATIVE.

1. LOCATION OF THE STREET LIGHT POLE.
 - A. SHALL NOT BE INSTALLED WITHIN 5 FEET OF A FIRE HYDRANT. THE LOCATION SHALL BE SUCH THAT IT DOES NOT HINDER THE OPERATION OF THE FIRE HYDRANT AND WATER LINE OPERATION VALVES.
 - B. SHALL BE A MINIMUM OF 5 FEET FROM ANY TREE, UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE CITY ENGINEER.
 - C. SHALL NOT BE INSTALLED WITHIN 5 FEET TO BE PRUNED AS DETERMINED BY THE ENGINEERING INSPECTOR IN THE FIELD AT THE TIME OF INSTALLATION.
 - C. SHALL NOT BE INSTALLED WITHIN 5 FEET FROM THE EDGE OF ANY DRIVEWAY.
2. ANTI-SEIZE LUBRICANT SHALL BE USED ON ALL COVER BOLTS AND GROUND BOX BOLTS.
3. ALL EXISTING STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
4. ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM OF EIGHTEEN (18) INCHES TO THE FACE OF THE STREET LIGHT POLE ON ALL SIDES.
5. ALL SERVICE POINT(S) SHALL BE COORDINATED WITH ROCKY MOUNTAIN POWER AND WHENEVER POSSIBLE BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINT(S) SHALL BE SHOWN ON THE PLANS WITH A SYMBOLIC FROM ROCKY MOUNTAIN POWER. POLE LOCATIONS AS SHOWN ON THE APPROVED PLANS MAY BE ADJUSTED IN THE FIELD BY THE ENGINEERING INSPECTOR AT TIME OF INSTALLATION AT NO ADDITIONAL COST TO THE CITY.
6. IT SHALL BE REQUIRED THAT IN THE ABSENCE OF AN EXISTING WORKABLE CIRCUIT TO ATTACH TO, THAT ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUITS IN THIS CASE DEVELOPER AND OR HIS ENGINEER SHALL CONTACT ROCKY MOUNTAIN POWER.
7. WHEREVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION OF THE STREET LIGHT CIRCUITS AND/OR STREETLIGHT POLES, THOSE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE THE STREET LIGHT BASES ARE CONSTRUCTED AT NO EXPENSE TO THE CITY OF SOUTH JORDAN AND/OR ROCKY MOUNTAIN POWER. THE RESOLUTION MUST BE APPROVED BY THE CITY OF SOUTH JORDAN AND ROCKY MOUNTAIN POWER.
8. THE CONTRACTOR SHALL FURNISH A COMPLETE SERVICE TO THE TRANSFORMERS AND CONTROL SYSTEMS IF REQUIRED ON THE PLANS AND/OR IS DEEMED NECESSARY BY ROCKY MOUNTAIN POWER AND/OR SOUTH JORDAN CITY.
9. A STREET LIGHT PLAN SHOWING WIRING LOCATION, WIRING TYPE, VOLTAGE, POWER SOURCE LOCATION, CONDUIT SIZE AND LOCATION SHALL BE SUBMITTED TO THE CITY OF SOUTH JORDAN AND BE APPROVED PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A 10 DAY BURN TEST OF THE STREET LIGHTS AFTER THEY ARE COMPLETED AND ENERGIZED BY ROCKY MOUNTAIN POWER. THIS TEST SHALL BE COORDINATED AND WITNESSED BY A SOUTH JORDAN ENGINEERING INSPECTOR.
11. EACH STREETLIGHT POLE SHALL HAVE ITS OWN PHOTO CELL INDEPENDENT OF A MASTER CONTROL. ON DOUBLE HEAD FIXTURES A SINGLE PHOTO CELL SHALL BE INSTALLED ON THE NORTH MOST FACING HEAD AND BE WIRED TO ENERGIZE BOTH HEADS.

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER AND CITY ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADE AND SLOPE SHOWN.
2. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION, ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED: HORIZONTAL VERTICAL COMPACTION
 - A. PAVEMENT AREA SUBGRADE 0.1"± -0.0' TO -0.1' SEE SOILS REPORT
 - B. ENGINEERED FILL 0.5"± -0.1' TO -0.1' SEE SOILS REPORT COMPACTION TESTING WILL BE PERFORMED BY THE DEVELOPER OR HIS REPRESENTATIVE.
 - 6. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSTRUCTION OF EROSION CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM THE PUBLIC WORKS DEPARTMENT.
8. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE PLANS, THE CONTRACTOR AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.
10. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.


1. ON ANY NEW HOME OR BUILDING INSTALLATION, ACCESSIBLE FIRE HYDRANTS SHALL BE INSTALLED BEFORE COMBUSTIBLE CONSTRUCTION COMMENCES AND SAID FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER WITH AN ADEQUATE WATER SUPPLY.
2. CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND ENGINEERING INSPECTOR FOR UNDERGROUND INSPECTION, PRESSURE AND FLUSH VERIFICATION OF ALL FIRE HYDRANTS AND FIRE LINES BEFORE BACK FILLING.
3. PAINTING OF THE CURBS AND HYDRANT AND ANY WORK NECESSARY FOR PROTECTION OF HYDRANTS FROM PHYSICAL DAMAGE SHALL BE APPROVED BEFORE BEING CONSTRUCTED.
4. A FLOW TEST MUST BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO OCCUPANCY FOR VERIFICATION OF REQUIRED ON-SITE WATER SUPPLY.
5. ALL ON-SITE FIRE MAIN MATERIALS MUST BE U.L. LISTED AND A.W.W.A. APPROVED.
6. THE TURNING RADIUS FOR ANY FIRE APPARATUS ACCESS ROAD AND/OR FIRE LANE, PUBLIC OR PRIVATE, SHALL BE NOT LESS THAN FORTY-FIVE FEET (45') OUTSIDE RADIUS AND TWENTY-TWO FEET (22') INSIDE RADIUS AND SHALL BE PAVED.
7. A FIRE APPARATUS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN ONE-HUNDRED FIFTY FEET (150') FROM FIRE DEPARTMENT VEHICLE ACCESS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF ONE-HUNDRED FIFTY FEET (150') IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND AREA.
8. ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE, OR AT THE END OF THE FIRE LANE AND WIDTH SIGNS AT INTERVALS OF ONE HUNDRED FEET (100') LONG ALONG ALL DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS SHALL BE INSTALLED AT LEAST 5', MEASURED FROM THE BOTTOM EDGE OF THE SIGN TO THE NEAR EDGE OF PAVEMENT. WHEN PARKING OR PEDESTRIAN MOVEMENTS OCCUR, THE CLEARANCE TO THE BOTTOM OF THE SIGN SHALL BE AT LEAST 7'. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT IF CURB IS NOT PRESENT, SHALL BE PAINTED WITH RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS.
9. ELECTRICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM. SAID SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE SOUTH JORDAN CITY F.D. APPROVAL. GATES ARE ONLY ALLOWED WITH PRIOR APPROVAL.
10. ALL UNDERGROUND FIRE LINES THAT SERVICE AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE NO SMALLER THAN SIX (6) INCHES IN DIAMETER AND HAVE A PIV BETWEEN THE WATER MAIN AND THE BUILDING. IF A PIV ISN'T FEASIBLE DUE TO SITE CONSTRAINTS, A WIV MAY BE USED WITH THE APPROVAL OF THE CITY ENGINEER OR FIRE CODE OFFICIAL. FOR A WIV TO BE ALLOWED, ANOTHER VALVE MUST BE INSTALLED ON THE FIRE SERVICE LINE BACK TO THE MAIN AND DIRECTLY CONNECTED TO THE MAIN, WHICH WILL BE MAINTAINED BY THE CITY AS PART OF ITS CULINARY WATER SYSTEM. ALL FIRE LINES MATERIAL SHALL BE DUCTILE IRON, (DUCTILE IRON FROM THE PIV TO THE BUILDING SHALL BE PERMITTED OR DUCTILE IRON FROM THE MAIN WATER LINE TO THE WIV).
11. POST INDICATOR VALVES (PIV) SHALL BE BETWEEN 6 AND 40 FEET FROM BUILDINGS NOT EXCEEDING THREE STORIES OR EQUIVALENT IN HEIGHT AND BETWEEN 30 AND 40 FEET ON BUILDINGS IN EXCESS OF THREE OR MORE STORIES IN HEIGHT OR EQUIVALENT.
12. ROADS AND ACCESSES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS. SURFACING SHALL BE PAVED BEFORE THE APPLICATION OF COMBUSTIBLE MATERIALS.
13. ALL NEW BURNING EQUIPMENT WITH FIRE DEPARTMENT CONNECTION (FDC) MUST HAVE INLETS SECURED WITH KNOX BRAND LOCKING FDC CAP(S) WITH A SWIVEL COLLAR. ALL NEW BURNING ARE ALSO REQUIRED TO HAVE A KNOX BRAND KEY LOCK BOX MOUNTED ON THE EXTERIOR BUILDING, SUCH THAT FIRE DEPARTMENT PERSONNEL MAY GAIN ACCESS IN CASE OF AN EMERGENCY.

11. ALL FITTINGS TO BE COATED WITH POLY FM GREASE AND WRAPPED WITH 8-MIL THICK POLYETHYLENE.
12. NO OTHER UTILITY LINES MAY BE PLACED IN THE SAME TRENCH WITH WATER LINE UNLESS APPROVED BY THE CITY ENGINEER.
13. ANY CONFLICT WITH EXISTING UTILITIES SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE CITY ENGINEER OR DESIGNEE.
14. ALL WATER VAULTS WILL BE CONSTRUCTED PER CITY OF SOUTH JORDAN STANDARD DRAWINGS AND SPECIFICATIONS. NO VAULTS ARE ALLOWED IN TRAFFIC AREAS WITHOUT PRIOR APPROVAL OF THE CITY ENGINEER.
15. LANDSCAPING AND IRRIGATION ADJACENT TO VAULTS SHALL DRAIN AWAY FROM VAULTS.
16. ONCE THE WATERLINE HAS BEEN TESTED, APPROVED AND CITY WATER IS FLOWING THROUGH THE PIPE, ONLY CITY PERSONNEL ARE AUTHORIZED TO SHUT DOWN AND CHARGE THE WATERLINE.
17. MEGALUG FOLLOWING RING OR AN APPROVED EQUIVALENT SHALL BE USED ON ALL FITTINGS.
18. APPLICABLE TO 16" AND 20" DIAMETER STAINLESS STEEL TIE-DOWN RESTRAINTS WITH TURNBUCKLES ONLY. 5/8" REBAR IS NOT ACCEPTABLE. MEGALUG FOLLOWERS REQUIRED ON ALL FITTINGS AND ALL DIMENSIONS OF TRUSS BLOCKING STILL APPLY. TIE-DOWN BLOCKS MAY BE ELIMINATED IF HORIZONTAL TIE DOWN RESTRAINTS HAVE BEEN PRE-ENGINEERED AND RECEIVE CITY APPROVAL.
19. WATER MAINS WILL BE HOT TAPPED AS CALLED OUT ON THE APPROVED PLANS. UNDER SPECIAL CIRCUMSTANCES, WHEN A CONTRACTOR SUBMITS A REQUEST FOR A SHUTDOWN CONTRARY TO THE APPROVED PLANS AND THE REQUEST IS APPROVED AT THE DISCRETION OF THE CITY ENGINEER OR DESIGNEE, THE CONTRACTOR MUST PROVIDE A 24-HOUR NOTICE AND THOSE AFFECTED. IF BUSINESSES ARE IMPACTED BY THE SHUTDOWN IT WILL BE DONE AFTER HOURS AND ALL OVERTIME FEES FOR CITY PERSONNEL, EQUIPMENT AND VEHICLES MUST BE PAID IN ADVANCE.
20. CONTRACTORS ARE REQUIRED TO WRITE THE LOT NUMBER WITH A BLACK PERMANENT MARKER ON THE INSIDE OF THE WATER METER BARRELS AS THEY ARE INSTALLED.

Everbrook
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1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

ENGINEERS STAMP



A circular professional engineer seal for the State of Utah. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "STATE OF UTAH" at the bottom. Inside the ring, the license number "10081986" is printed above the name "THOMAS J. HUNT". A blue ink signature, which appears to be "Thomas J. Hunt", is written across the center of the seal. Below the name, the date "06-21-2023" is handwritten in blue ink.

BAR IS ONE INCH ON ORIGINAL DRAWING

0  1"

IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT INFO.

Engineer:	T. Hunt
Drawn:	T. Pridemore
Checked:	-
Date:	12 / 09 / 2022
Proj. No.	-

SHEET TITLE

C002

THE SOUTH JORDAN CITY STANDARD NOTES ARE REQUIRED TO BE INCLUDED AS PART OF ALL CONSTRUCTION PLANS FOR RESIDENTIAL OR COMMERCIAL DEVELOPMENT. PLANS SUBMITTED BY PUBLIC OR PRIVATE ENTITIES FOR ALL OTHER TYPES OF PROJECTS WITHIN CITY RIGHT-OF-WAY, ITS EASEMENTS OR PROPERTY SHALL REFERENCE THE SOUTH JORDAN CITY STANDARD NOTES AND SPECIFICATIONS.

SHEET NO.

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General Notes

1.0 COMPLIANCE

- 1.1 ALL WORK TO CONFORM TO GOVERNING MUNICIPALTY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- 1.2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING:

- INTERNATIONAL BUILDING CODES (IBC)

- INTERNATIONAL PLUMBING CODES

- STATE DRINKING WATER REGULATIONS

- APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS

- ADA ACCESSIBILITY GUIDELINES.
- 1.3 ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

2.0 PERMITTING AND INSPECTIONS

- 2.1 PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 2.2 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
- 2.3 ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

3.0 COORDINATION AND VERIFICATION

- 3.1 ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 3.2 CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
- 3.3 CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO:

- LANDSCAPE PLANS

- SITE ELECTRICAL PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S)

- FIRE PROTECTION

- ARCHITECTURAL SITE PLANS

- ACCESSIBLE ROUTES

- ETC.
- 3.4 CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

4.0 SAFETY AND PROTECTION

- 4.1 CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
- 4.2 CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
- 4.3 CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OR WORKERS AND PUBLIC.
- 4.4 CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
- 4.5 CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
- 4.6 IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- 4.7 CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
- 4.8 CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
- 4.9 CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
- 4.10 CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
- 4.11 WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- 4.12 CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
- 4.13 NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
- 4.14 THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

5.0 MATERIALS

- 5.1 SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 + OR -1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. SEE SPECIFICATION:

- SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.

- CONCRETE WATERWAYS, CURBWALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED 1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.

- UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.

- UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) MIN. SUBGRADE.

- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN."

- ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT.
- 5.2 ASPHALT CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE.

- ASPHALT COMPACTION SHALL BE A MINIMUM 96%.

- SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.

- AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.

- THICKNESS OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

6.0 GRADING & SOILS

- 6.1 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
- 6.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
- 6.3 ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
- 6.4 CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- 6.5 SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- 6.6 ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

7.0 UTILITIES

- 7.1 THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
- 7.2 CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES, NOT ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 7.3 CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWER POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 7.4 CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD, PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
- 7.5 CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.6 SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
- 7.7 STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
- 7.8 ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
- 7.9 ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
- 7.10 NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
- 7.11 ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

8.0 SURVEY CONTROL

- 8.1 CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEY OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
- 8.2 THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
- 8.3 CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

9.0 AMERICAN DISABILITIES ACT

- 9.1 PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:

- ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.

- ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM RUNNING SLOPE.

- RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
- 9.2 ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
- 9.3 THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

10.0 EROSION CONTROL

- 10.1 THE CONTRACTOR TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GOVERNING AGENCIES ORDINANCES AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE COUNTIES. ALSO, INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
- 10.2 CONTRACTOR SHALL KEEP THE SITE WATERED TO CONTROL DUST. CONTRACTOR TO LOCATE A NEARBY HYDRANT FOR USE AND TO INSTALL TEMPORARY METER. CONSTRUCTION WATER COST TO BE INCLUDED IN BID.
- 10.3 WHEN GRADING OPERATIONS ARE COMPLETED AND THE DISTURBED GROUND IS LEFT "OPEN" FOR 14 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS.
- 10.4 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.
- 10.5 ALL ACCESS TO PROPERTY WILL BE FROM PUBLIC RIGHT-OF-WAYS. THE CONTRACTOR IS REQUIRED BY STATE AND FEDERAL REGULATIONS TO PREPARE A STORM WATER POLLUTION PREVENTION.

11.0 MAINTENANCE

- 11.1 ALL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THIS PLAN MUST BE MAINTAINED AT ALL TIMES UNTIL PROJECT CLOSE-OUT.
- 11.2 THE CONTRACTOR'S RESPONSIBILITY SHALL INCLUDE MAKING BI-WEEKLY CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY. CHECKS SHALL BE DOCUMENTED AND COPIES OF THE INSPECTIONS KEPT ON SITE.
- 11.3 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF BARRIER.
- 11.4 SEDIMENT TRACKED ONTO PAVED ROADS MUST BE CLEANED UP AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN THE END OF THE NORMAL WORK DAY. THE CLEAN UP WILL INCLUDE SWEEPING OF THE TRACKED MATERIAL, PICKING IT UP, AND DEPOSITING IT TO A CONTAINED AREA.
- 11.5 ANY EXPOSED SLOPE THAT WILL REMAIN UNTOUCHED FOR LONGER THAN 14 DAYS MUST BE STABILIZED BY ONE OR MORE OF THE FOLLOWING METHODS:

- SPRAYING DISTURBED AREAS WITH A TACKIFIER VIA HYDROSEED

- TRACKING STRAW PERPENDICULAR TO SLOPES

- INSTALLING A LIGHT-WEIGHT, TEMPORARY EROSION CONTROL BLANKET

Abbreviations

- BFE = BASEMENT FLOOR ELEVATION
- BLDG = BUILDING
- BOS = BOTTOM OF STAIRS
- BOW = BOTTOM OF WALL
- BP = BEGINNING POINT
- C&G = CURB & GUTTER
- CB = CATCH BASIN
- CF = CUBIC FEET
- CFS = CUBIC FEET PER SECOND
- FF = FINISH FLOOR
- FFE = FINISH FLOOR ELEVATION
- FG = FINISHED GRADE
- FH = FIRE HYDRANT
- FL = FLOW LINE
- GB = GRADE BREAK
- INV = INVERT
- LF = LINEAR FEET
- NG = NATURAL GRADE
- PC = POINT OF CURVATURE
- PP = POWER/UTILITY POLE
- PRC = POINT OF RETURN CURVATURE
- PT = POINT OF TANGENCY
- PUE = PUBLIC UTILITY EASEMENT
- RCP = REINFORCED CONCRETE PIPE
- RIM = RIM OF MANHOLE
- ROW = RIGHT-OF-WAY
- SD = STORM DRAIN
- SS = SANITARY SEWER
- TBC = TOP BACK OF CURB
- TOA = TOP OF ASPHALT
- TOC = TOP OF CONCRETE
- TOFF = TOP OF FINISHED FLOOR
- TOS = TOP OF STAIRS
- TOW = TOP OF WALL
- TSW = TOP OF SIDEWALK
- W = CULINARY WATER
- WM = WATER METER

Linetype Legend

- BOUNDARY
- CENTERLINE
- LOT LINE
- EASEMENT
- SETBACK
- STORM DRAIN
- SANITARY SEWER
- CULINARY WATER
- SECONDARY WATER
- ROOF DRAIN
- GAS
- POWER
- EX STORM DRAIN
- EX SANITARY SEWER
- EX CULINARY WATER
- EX SECONDARY WATER
- EX GAS
- EX FIBER
- EX POWER
- 4355
- CONTOUR MAJOR

4355

4355

4355

FENCE

Hatching Legend

- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- EXISTING CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED GRAVEL

Symbol Legend

- SIGN
- STREET LIGHT
- LIGHT
- SD MH, INLET, AND COMBO BOX
- SEWER MANHOLE
- CLEAN-OUT
- VALVE, TEE, & BEND
- WATER BLOW-OFF
- WATER METER
- FIRE HYDRANT
- POWER POLE
- ELECTRICAL BOX
- TRAFFIC BOX
- TELEPHONE MANHOLE
- IRRIGATION VALVE
- PROP STREET MONUMENT
- EX STREET MONUMENT
- SECTION CORNER
- SPOT ELEVATION

NOTE: DUPLICATE SYMBOLS USE SOLID FILL TO INDICATE WHETHER A FEATURE IS EXISTING OR PROPOSED.

Detail Identification

- DETAIL NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- Scale: NTS
- SHEET NUMBER
- TYPICAL DETAIL NUMBER
- Typical Detail Name
- Scale: NTS
- TYPICAL DETAIL NUMBER
- SECTION LETTER
- SHEET NUMBER

HUNT · DAY

3445 Antelope Drive, St 200

Syracuse, UT 84075

PH: 801.664.4724

PROJECT TITLE

Everbrook ACADEMY

1780 SHIELD LANE, SOUTH JORDAN

SALT LAKE COUNTY, UT 84095

REVISIONS

				DESCRIPTION	
			TP		BY
2	06-22-2023	REVISED PER CITY COMMENTS	TP		
1	04-19-2023	REVISED PER CITY COMMENTS	TP		
0	03-08-2023	INITIAL SUBMITTAL	TP		
REV.	DATE				

ENGINEERS STAMP

PROFESSIONAL ENGINEER

THOMAS J. HUNT

06-21-2023

STATE OF UTAH

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt

Drawn: T. Pridemore

Checked: -

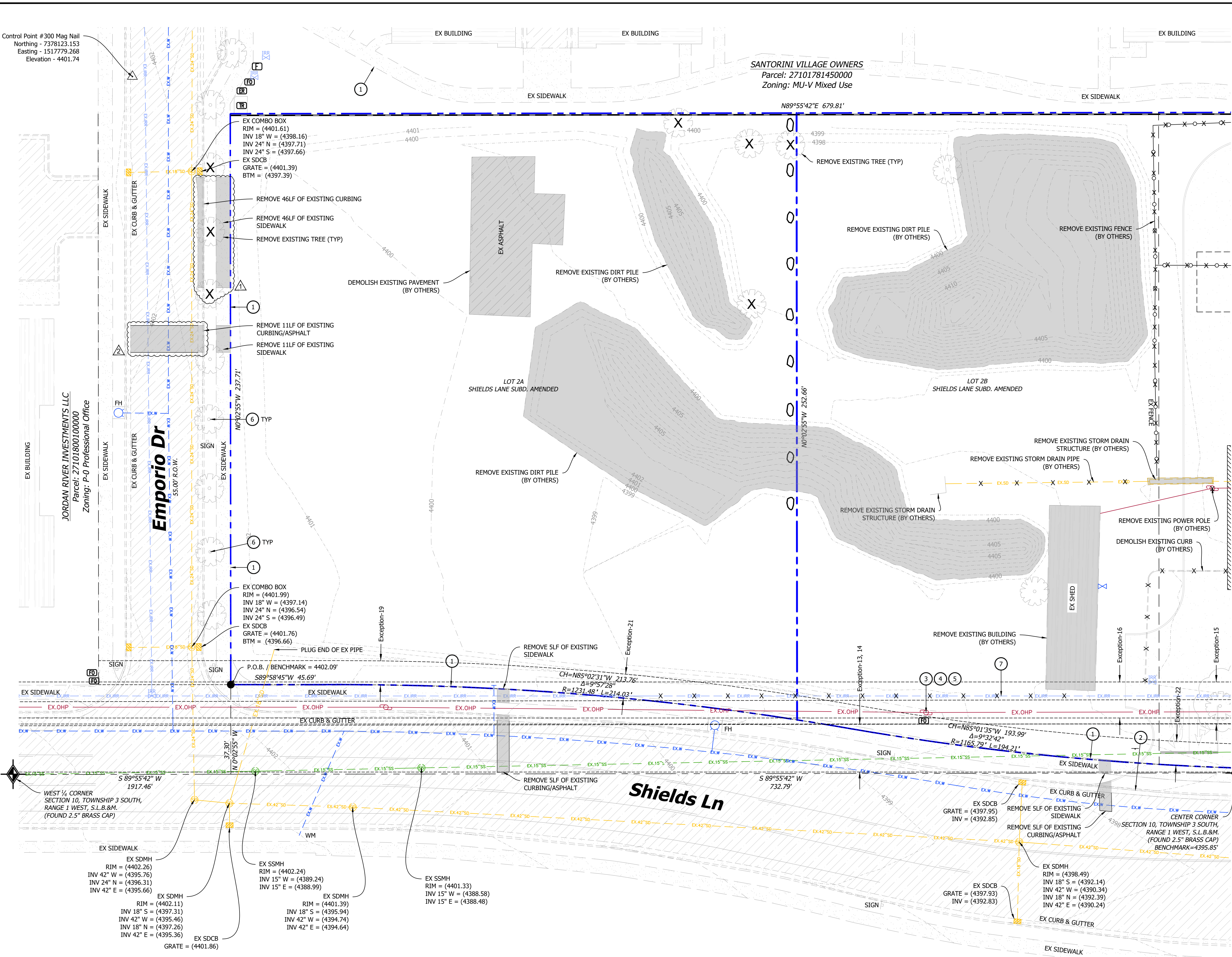
Date: 12 / 09 / 2022

Proj. No. -

SHEET TITLE

C003

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Key Notes

1. PROTECT EXISTING CONCRETE SIDEWALK.
2. PROTECT EXISTING 30" CURB AND GUTTER.
3. PROTECT EXISTING OVERHEAD POWER LINE.
4. PROTECT EXISTING UTILITY POLE.
5. PROTECT EXISTING FIBER OPTIC VAULT.
6. PROTECT EXISTING TREE.
7. REMOVE APPROX. 175 LF OF EXISTING 16" IRRIGATION LINE. COORDINATE REPLACEMENT WITH IRRIGATION COMPANY.

Existing Easements

- EXCEPTION 13: 20' RIGHT-OF-WAY, DATED SEPT 26 1961. ENTRY 1832374 / BOOK 1846
- EXCEPTION 14: 20' RIGHT-OF-WAY, DATED SEPT 04 1968. ENTRY 2258566 / BOOK 2688
- EXCEPTION 15: PACIFICORP EASEMENT, DATED FEB 10, 1994. ENTRY 5736925 / BOOK 6870
- EXCEPTION 16: SEC. WATER EASEMENT, DATED MAR 06, 1996. ENTRY 6296834 / BOOK 7345
- EXCEPTION 19: PUBLIC UT. EASEMENT, DATED FEB 05, 2004. ENTRY 8971087 / BOOK 8942
- EXCEPTION 21: QUESTAR EASEMENT, DATED FEB 08, 2008. ENTRY 10343795 / BOOK 9568
- EXCEPTION 22: QUESTAR EASEMENT, DATED FEB 08, 2008. ENTRY 10343796 / BOOK 9568

TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1044571-OMHA, WITH AN EFFECTIVE DATE OF DECEMBER 21, 2020 AT 7:30 A.M.

Legend

- = AREA OF DEMOLITION
- = EXISTING FEATURE TO BE DEMOLISHED

Datum Information

SITE BENCHMARK:
SECTION CORNER LOCATED IN REDWOOD ROAD AND SHIELDS LANE, NAVD88
ELEVATION = 4395.85'

Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

Everbrook ACADEMY
1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

REVISIONS		PROJECT TITLE	
REV.	DATE	DESCRIPTION	BY
2	06-22-2023	REVISED PER CITY COMMENTS	TP
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0	03-08-2023	INITIAL SUBMITTAL	TP

ENGINEERS STAMP

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1" = 20'

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 12 / 09 / 2022
Proj. No. -

SHEET TITLE

Demolition Plan

SHEET NO.

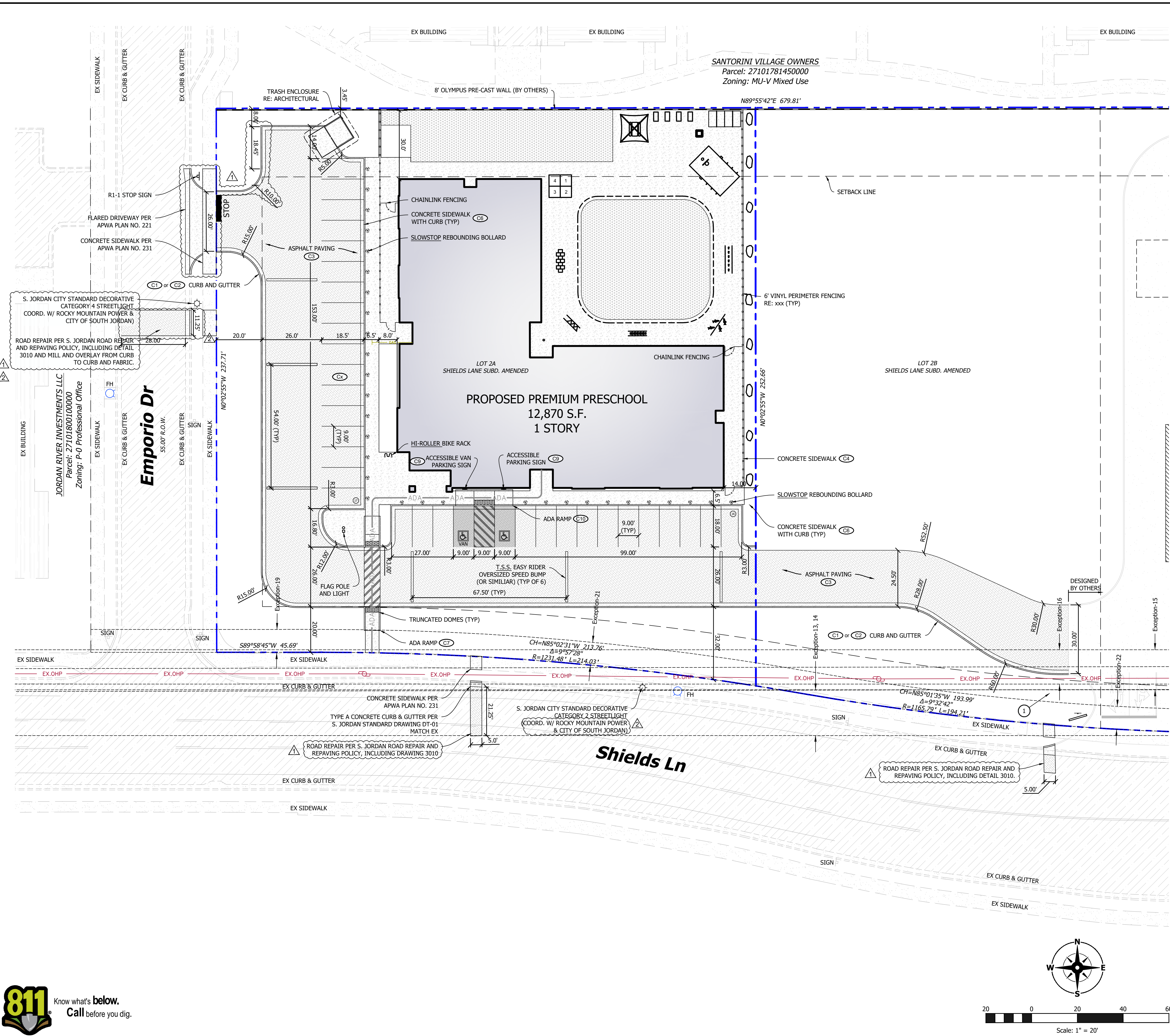
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Know what's below.
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Know what's below.
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General Notes

- REFERENCE SHEET C300 / GRADING PLAN FOR CURB CATCH / SPILL LIMITS.
- PLAYGROUND DESIGN SHOWN FOR REFERENCE ONLY. REFER TO x PLANS FOR FINAL LAYOUT.

Key Notes

- SHARED MONUMENT SIGN, REFERENCE SIGNAGE PLANS.

Legend

- ADA = ADA ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 4.5% OR CROSS SLOPE GREATER THAN 1.5%
- ADA = ADA AREA - NOT TO EXCEED SLOPE GREATER THAN 1.5% IN ANY DIRECTION

Existing Easements

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TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1044571-OMHA, WITH AN EFFECTIVE DATE OF DECEMBER 21, 2020 AT 7:30 A.M.

Site Data

LOCATION: SOUTH JORDAN
ZONING: C-N COMMERCIAL NEIGHBORHOOD
PROPERTY SIZE: 56,976 SF / 1.31 AC
BUILDING FOOTPRINT: 12,877 SF (22.6%)
HARD SURFACE AREA: 28,058 SF (49.2%)
LANDSCAPE AREA: 16,041 SF (28.2%)
PARKING: DAYCARE USE (1 STALL / 300 SF)
9,135 SF FOR INTENDED USE
9,135 / 300 = 30.45 STALLS
30 STALLS REQUIRED
33 STALLS PROVIDED (2 ADA)

Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



Everbrook ACADEMY
1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

PROJECT TITLE

REVISIONS

ENGINEERS STAMP



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PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
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Date: 12 / 09 / 2022
Proj. No. -
SHEET TITLE

Site Plan

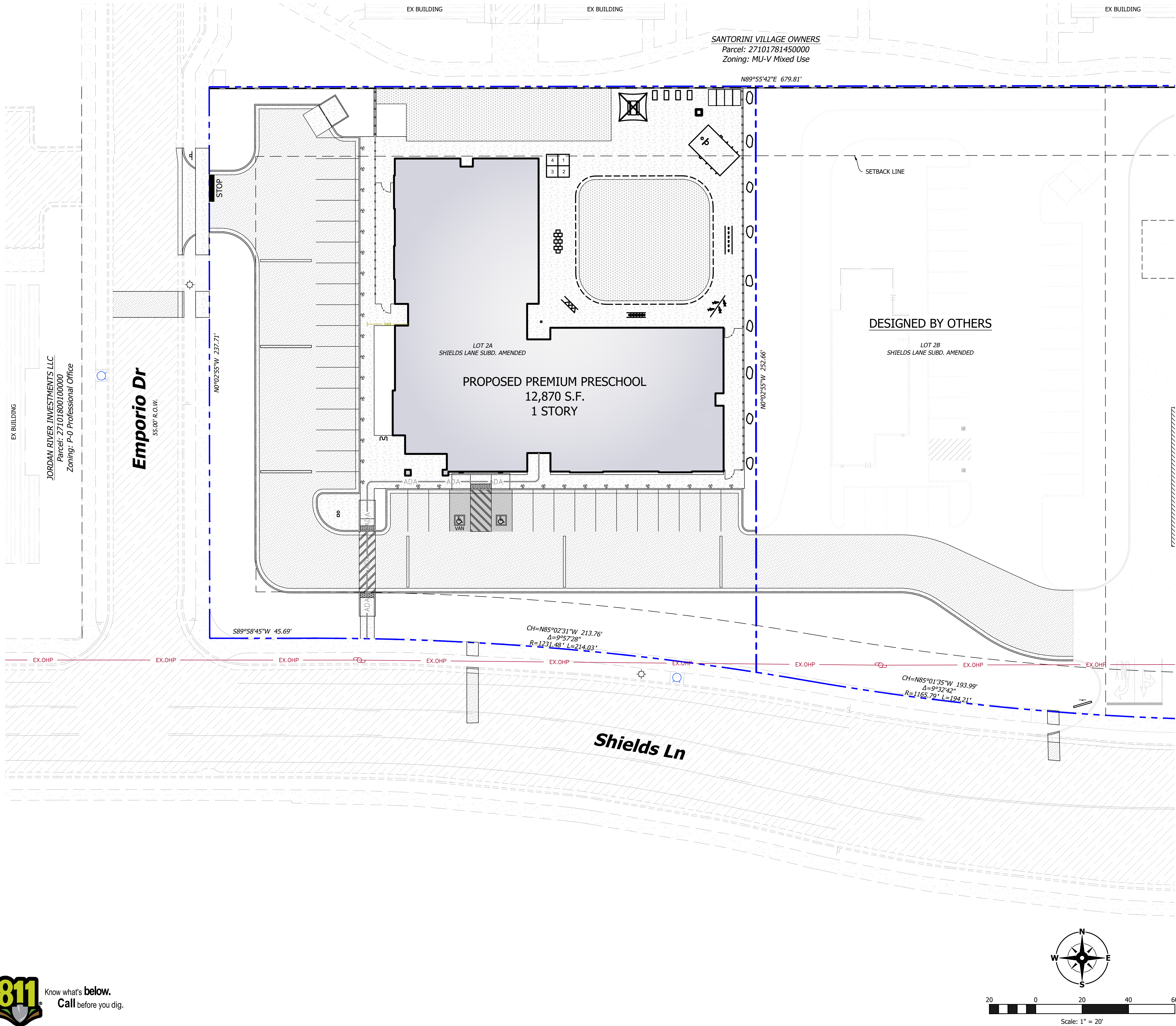
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General Notes
1. LOT 4 LAYOUT SHOWN FOR REFERENCE ONLY. DESIGNED TO BE COMPLETED BY OTHERS.

Site Data - Lot 3
LOCATION: SOUTH JORDAN
ZONING: C-N COMMERCIAL NEIGHBORHOOD
PROPERTY SIZE: 56,976 SF / 1.31 AC
BUILDING FOOTPRINT: 12,877 SF (22.6%)
HARD SURFACE AREA: 28,058 SF (49.2%)
LANDSCAPE AREA: 16,041 SF (28.2%)
PARKING: DAYCARE USE (1 STALL / 300 SF)
9,135 SF FOR INTENDED USE
9,135 / 300 = 30.45 STALLS
30 STALLS REQUIRED
33 STALLS PROVIDED (2 ADA)
Site Data - Lot 4
LOCATION: SOUTH JORDAN
ZONING: C-N COMMERCIAL NEIGHBORHOOD
PROPERTY SIZE: 39,697 SF / 0.911AC
BUILDING FOOTPRINT: N/A
HARD SURFACE AREA: N/A
LANDSCAPE AREA: N/A



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

PROJECT TITLE




Everbrook
ACADEMY

1780 SHIELDS LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

REVISIONS		DESCRIPTION	
REV.	DATE	DESCRIPTION	BY
2	06-22-2023	REVISED PER CITY COMMENTS	TP
1	04-19-2023	REVISED PER CITY COMMENTS	TP
0	03-08-2023	INITIAL SUBMITTAL	TP

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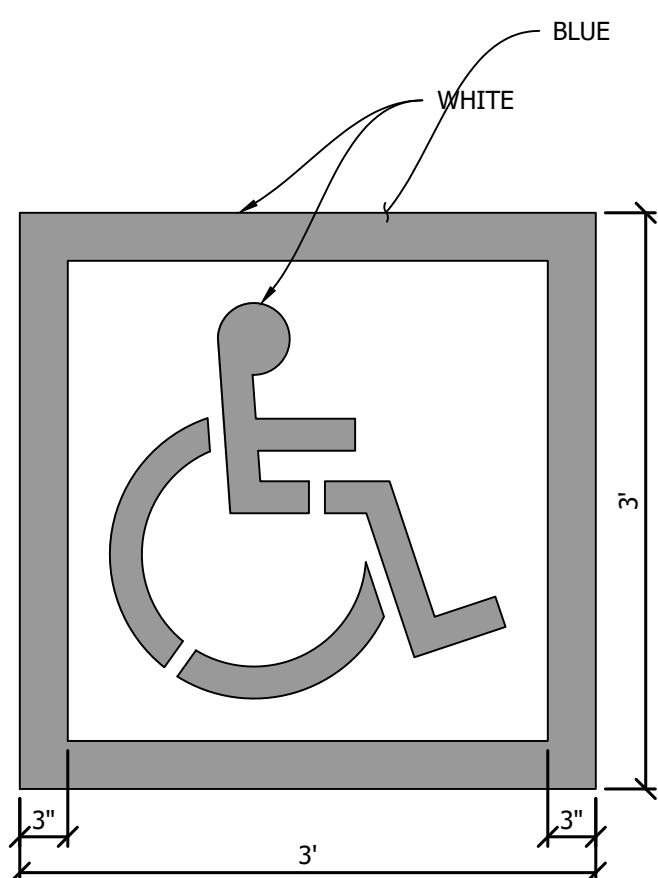
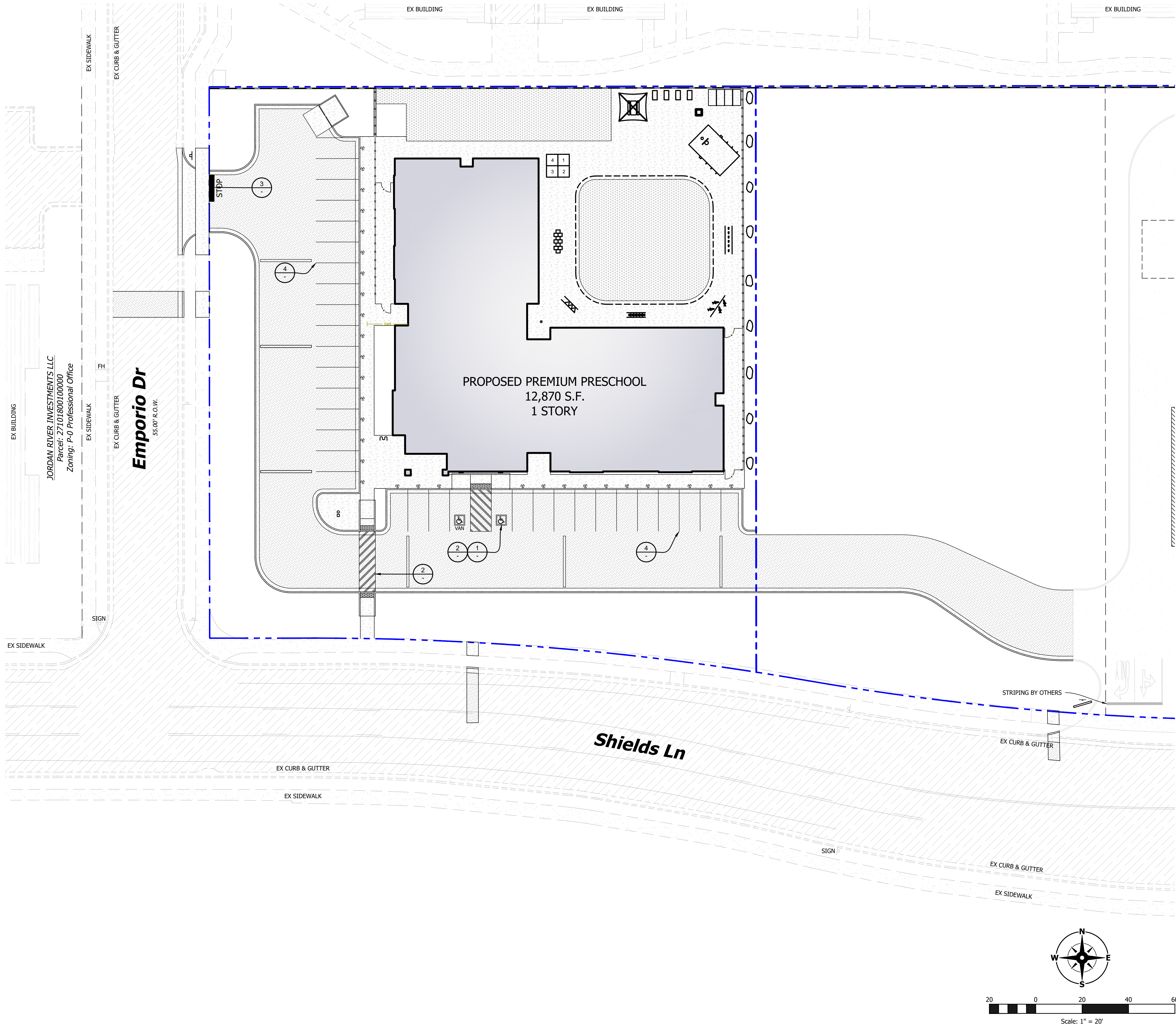
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PROJECT INFO.
Engineer: T. Hunt
Drawn: T. Pridmore
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Date: 12 / 09 / 2022
Proj. No. -
SHEET TITLE

Overall Site Layout

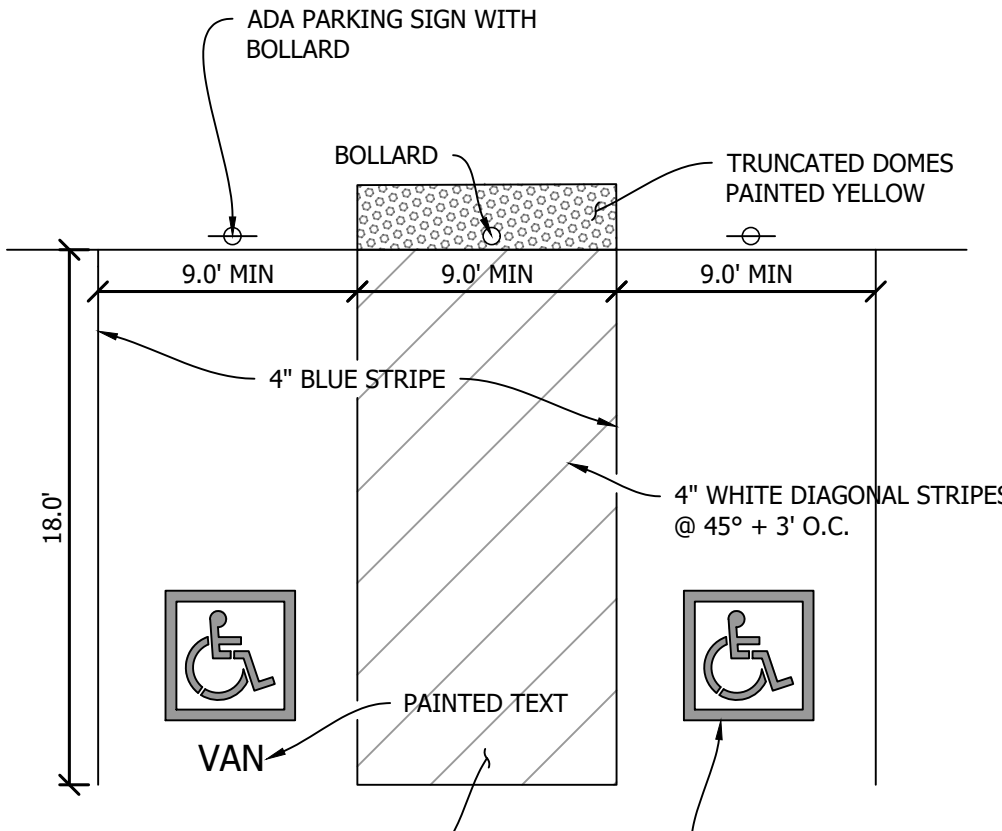
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NOTES:
- LOCAL JURISDICTION MAY HAVE MORE STRINGENT REQUIREMENTS THAT SHALL BE VERIFIED AND ADHERED TO.
- PROVIDE TWO COATS OF PAINT
- BLUE BACKGROUND WITH WHITE SYMBOL

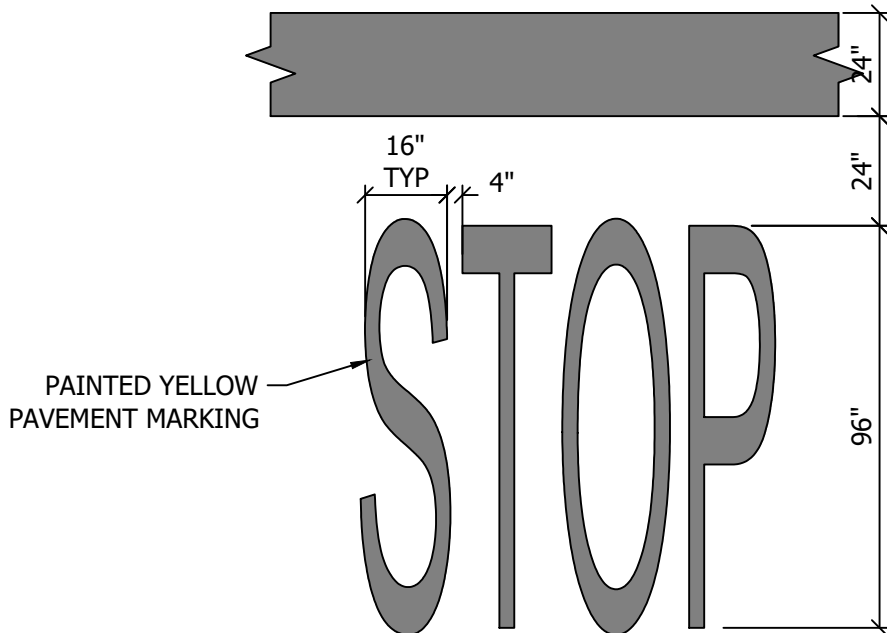
1 ADA Sybmol
Scale: NTS



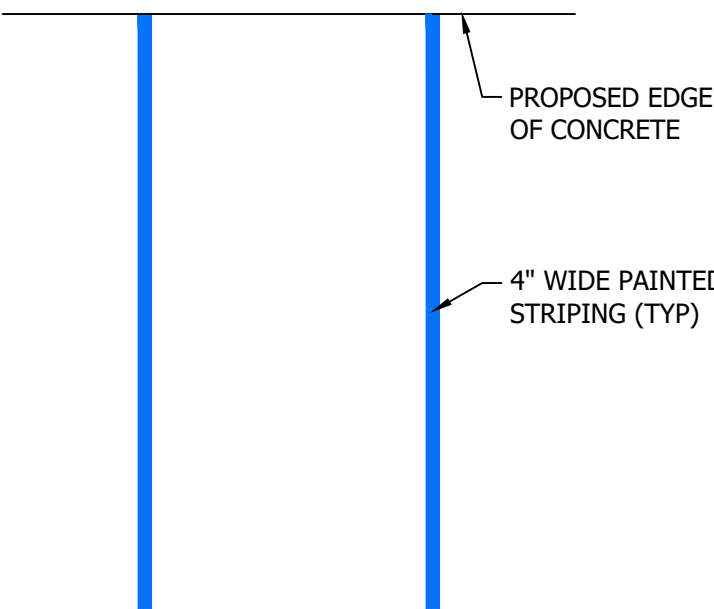
1.5% MAX SLOPE IN ALL DIRECTIONS THROUGHOUT ENTIRE ADA PARKING STALL(S) AND ACCESS AISLE(S)

NOTE: LOCAL JURISDICTION MAY HAVE MORE STRINGENT REQUIREMENTS THAT SHALL BE VERIFIED AND ADHERED TO.

2 ADA Striping and PED Access
Scale: NTS



3 Pavement Stop marking
Scale: NTS



4 Typical Parking Space
Scale: NTS



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

PROJECT TITLE
Everbrook
ACADEMY
1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

REVISIONS

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0	03-08-2023	INITIAL SUBMITTAL	TP

ENGINEERS STAMP



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PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridmore
Checked: -
Date: 12 / 09 / 2022
Proj. No. -

SHEET TITLE

Striping Plan

SHEET NO.

C202



		REVISED PER CITY	REVISED PER CITY	INITIAL SUB
2	06-22-2023			
1	04-19-2023			
0	03-08-2023			

0 1"
 AT ONE INCH ON THIS SHEET, ADJUST
 SCALES ACCORDINGLY

Peer: T. Hunt
 n: T. Pridemore
 ked: -
 12 / 09 / 2022
 No. -

ET NO.

C300

C300

1. ROOF DRAINS SHOWN FOR REFERENCE ONLY. REFER TO PLUMBING PLANS FOR FINAL LAYOUT.


<u>ELEV</u>	<u>AREA</u>	<u>AVG END INC. VOL.</u>	<u>AVG END TOTAL VOL</u>
4,394.10 BTM	0.69 sq ft	0 cu ft	0.00 cu ft
4,395.00	885.59 sq ft	398.82 cu ft	398.82 cu ft
4,396.00	1,667.20 sq ft	1276.40 cu ft	1675.22 cu ft
4,397.00	2,840.14 sq ft	2253.67 cu ft	3928.89 cu ft
4,398.00 TOP	4,288.53 sq ft	3564.34 cu ft	7493.23 cu ft
4,399.00	5,709.08 sq ft	4998.80 cu ft	12492.03 cu ft

NOTE: NOT ALL FITTINGS ARE SHOWN, AND PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL ALL FITTINGS REQUIRED TO FOLLOW THE ALIGNMENT PROVIDED IN THE DRAWINGS.

CUT = 874.50 cu yd
FILL = 4,476.32 cu yd
TOTAL = 3,601.28 cu yd (FILL)

NOTE: QUANTITIES DO NOT ACCOUNT FOR COMPACTION OR SHRINKAGE, UTILITY TRENCHING, OR BUILDING FOOTINGS.

—ADA— = ADA ROUTE - NOT TO EXCEED A RUNNING SLOPE GREATER THAN 4.5% OR CROSS SLOPE GREATER THAN 1.5%

 = ADA AREA - NOT TO EXCEED SLOPE GREATER THAN 1.5% IN ANY DIRECTION

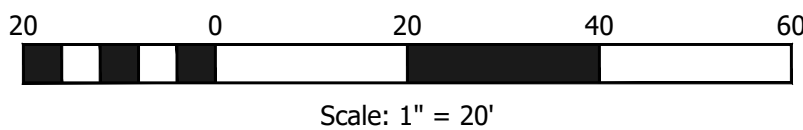
Site Data

PROPERTY SIZE: 56,976 SF / 1.31 AC

SITE BENCHMARK:
SECTION CORNER LOCATED IN REDWOOD ROAD AND SHIELDS LANE, NAVD88

ELEVATION = 4395.85

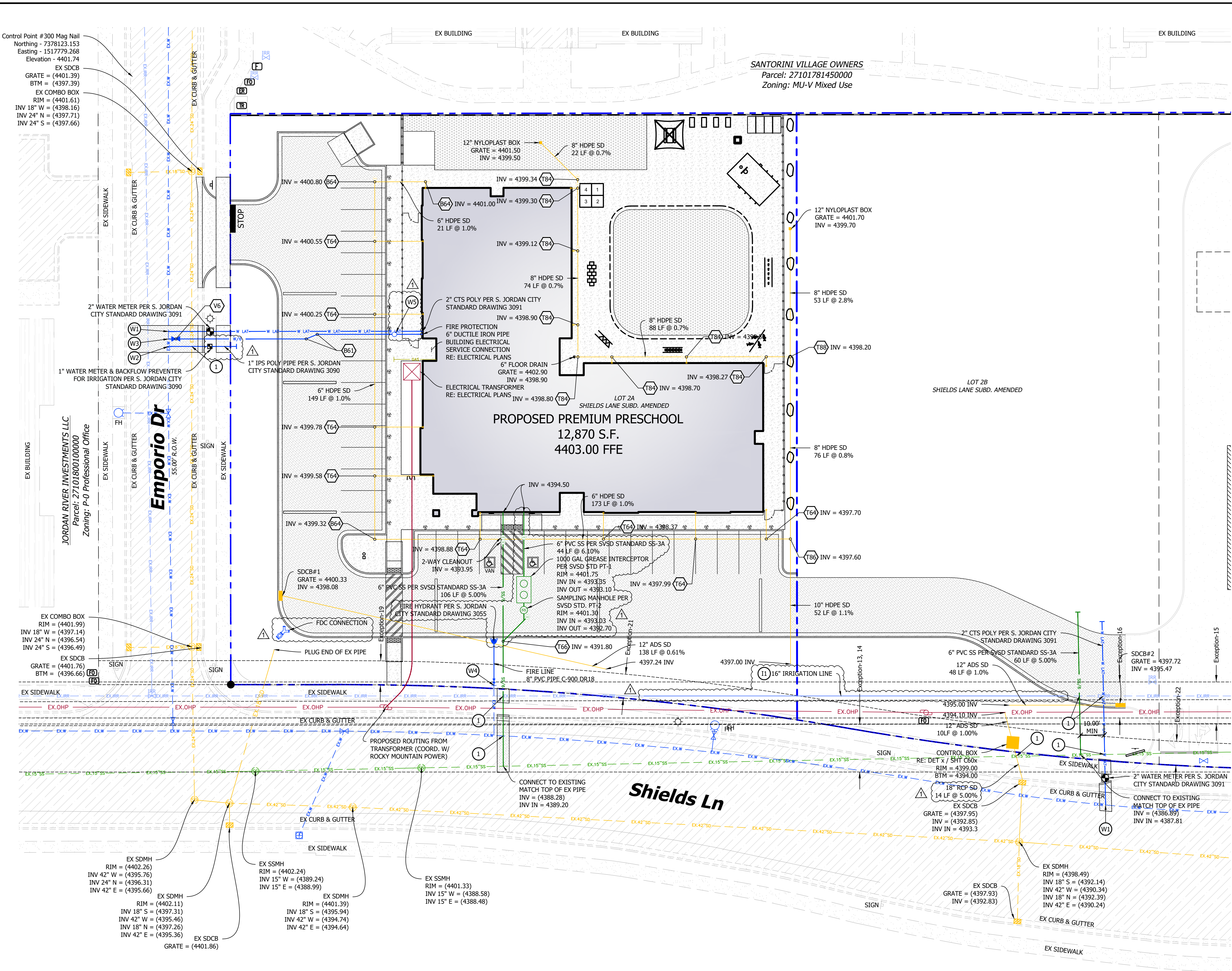
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Existing Easements

- EXCEPTION 13: 20' RIGHT-OF-WAY, DATED SEPT 26 1961. ENTRY 1832374 / BOOK 1846
EXCEPTION 14: 20' RIGHT-OF-WAY, DATED SEPT 04 1968. ENTRY 2258566 / BOOK 2688
EXCEPTION 15: PACIFICORP EASEMENT, DATED FEB 10, 1994. ENTRY 5736925 / BOOK 6870
EXCEPTION 16: SEC. WATER EASEMENT, DATED MAR 06, 1996. ENTRY 6296834 / BOOK 7345
EXCEPTION 19: PUBLIC UT. EASEMENT, DATED FEB 05, 2004. ENTRY 8971087 / BOOK 8942
EXCEPTION 21: QUESTAR EASEMENT, DATED FEB 08, 2008. ENTRY 10343795 / BOOK 9568
EXCEPTION 22: QUESTAR EASEMENT, DATED FEB 08, 2008. ENTRY 10343796 / BOOK 9568

TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1044571-OMHA, WITH AN EFFECTIVE DATE OF DECEMBER 21, 2020 AT 7:30 A.M.

General Notes

1. PLAYGROUND DESIGN SHOWN FOR REFERENCE ONLY. REFER TO X PLANS FOR FINAL LAYOUT.

Key Notes

1. UTILITY CROSSING. CONTRACTOR TO FIELD VERIFY AND NOTIFY ENGINEER OF RECORD OF CONFLICTS, PRIOR TO CONSTRUCTION.

Key Notes (Water)

- W1. 2" WATER LINE SERVICE TAP PER SOUTH JORDAN STANDARD DRAWING 3095.
W2. 1" IRRIGATION LINE SERVICE TAP PER SOUTH JORDAN STANDARD DRAWING 3095.
W3. 6" FIRE PROTECTION SERVICE TAP PER SOUTH JORDAN STANDARD DRAWING 3095.
W4. 8" FIRE LINE CONNECTION PER SOUTH JORDAN STANDARD DRAWING 3055.
W5. P.I.V. - PVC C-900 FROM MAIN TO P.I.V. / D.I.P. FROM P.I.V. TO STRUCTURE. ENSURE P.I.V. IS BETWEEN 6' AND 40' FROM BUILDING.

Key Notes (Irrigation)

11. APPROX. 175 LF OF 16" IRRIGATION LINE (MATCH EXISTING). INSTALL FOUR VERTICAL 45° FITTINGS TO LOWER TOP OF NEW 16" PIPE NO HIGHER THAN 4391.50', ENSURING 2.5' FEET OF COVER TO BOTTOM OF BASIN. INSTALL BLOW-OFF VALVE ON LOWERED PORTION OF NEW IRRIGATION LINE.

South Valley Sewer District Notes

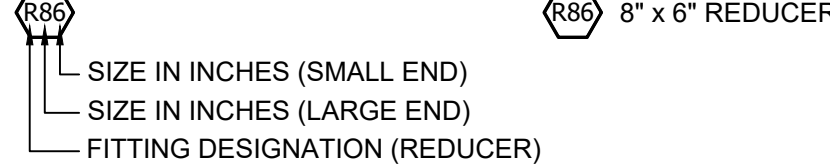
1. ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
4. THE NOSE-ON FOR THE SEWER LATERAL SHALL BE PERFORMED BY SOUTH VALLEY SEWER DISTRICT (SVSD) PERSONNEL. CONTACT SVSD AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.

Fitting Legend

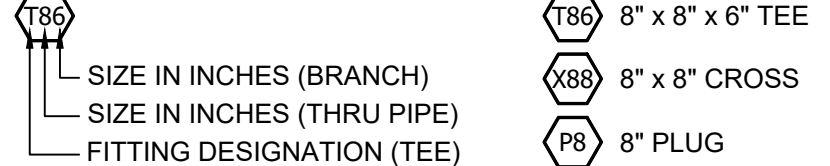
VALVES



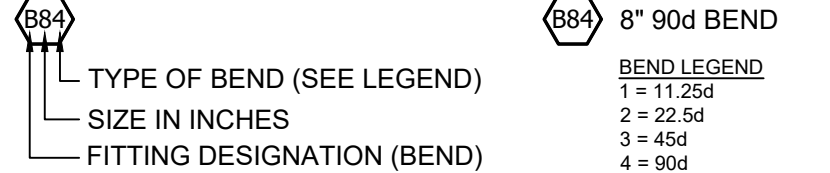
REDUCERS



TEES



BENDS



NOTE: NOT ALL FITTINGS ARE SHOWN, AND PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL ALL FITTINGS REQUIRED TO FOLLOW THE ALIGNMENT PROVIDED IN THE DRAWINGS.

Utility Takeoffs

STORMWATER:	
4" x 4" PRE-CAST CONTROL BOX:	1 EA
12" NYLOPLAST BOX:	2 EA
2" x 4" SDCB	2 EA
CLEANOUT (SIZE VARIES):	20 EA
6" HDPE PIPE:	343 LF
8" HDPE PIPE:	313 LF
10" HDPE PIPE:	52 LF
12" ADS PIPE:	196 LF
15" RCP PIPE:	14 LF

CULINARY WATER:	
1" IPS POLY:	26 LF (MIN)
2" CTS POLY:	167 LF
6" PVC C-900 DR18:	106 LF
2" METER:	2 EA
1" METER & BACKFLOW:	1 EA

SANITARY SEWER:	
4" PVC PIPE:	106 LF
6" PVC PIPE:	60 LF
2-WAY CLEANOUT	1 EA

Datum Information

SITE BENCHMARK:
SECTION CORNER LOCATED IN REDWOOD ROAD AND SHIELDS LANE, NAVD88

ELEVATION = 4395.85'

Notice To Contractors:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

PROJECT TITLE

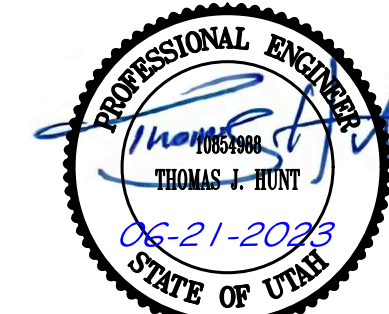


**1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095**

REVISIONS

REV.	DATE	DESCRIPTION	BY
2	06-22-2023	REVISED PER CITY COMMENTS	TP
1	04-19-2023	REVISED PER CITY COMMENTS	TP
0	03-08-2023	INITIAL SUBMITTAL	TP

ENGINEERS STAMP



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.

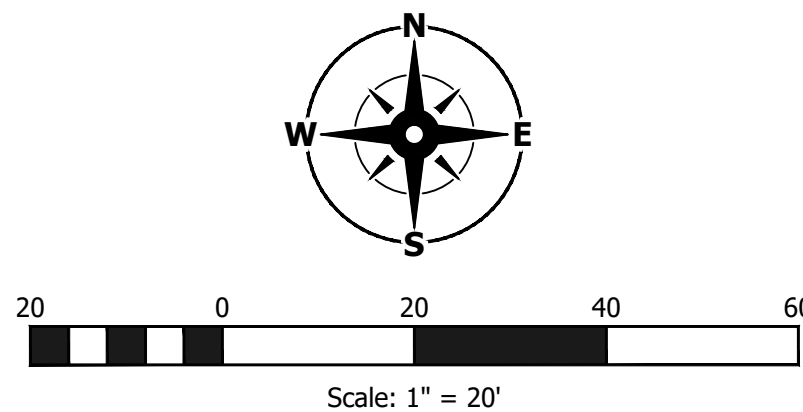
Engineer: T. Hunt
Drawn: T. Pridemore
Checked:
Date: 12 / 09 / 2022
Proj. No. -

SHEET TITLE

Utility Plan

SHEET NO.

C400





HUNT · DAY
445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

Everbrook
ACADEMY®

1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

		REV.	DATE	DESCRIPTION	BY
		0	03-08-2023	INITIAL SUBMITTAL	TP
		1	04-19-2023	REVISED PER CITY COMMENTS	TP
2	06-22-2023			REVISED PER CITY COMMENTS	TP

ENGINEERS STAMP



RIFY SCALES

IS ONE INCH ON ORIGINAL DRAWING

0 1"

PROJECT INFO.

Owner:	T. Hunt
Drawn:	T. Pridemore
Checked:	-
Date:	12 / 09 / 2022
Sheet No.	-

SHEET TITLE

Civil Details

SHEET NO.

C600

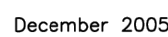
1. **UNTREATED BASE COURSE:** Provide material specified in APWA Section 32 11 23.
 - A. Do not use gravel as a substitute for untreated base course without ENGINEER's permission.
 - B. Place material per APWA Section 32 05 10.
 - C. Compact per APWA Section 32 11 23 to a modified proctor density of 95 percent or greater. Maximum fill thickness before compaction is 8 inches when using riding compaction equipment or 6 inches when using hand held compaction equipment.
2. **CONCRETE:** Class 4000 per APWA Section 03 30 04.
 - A. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
 - B. Place concrete per APWA Section 03 30 10.
 - C. Provide 1/2 inch radius on concrete edges exposed to public view.
 - D. Cure concrete per APWA Section 03 39 00 with type ID Class A or B (clear with fugitive dye) membrane forming compound unless specified otherwise.
3. **EXPANSION JOINT:** Make expansion joints vertical, full depth, 1/2 inch wide with type I joint filler material per APWA Section 32 13 73. Set top of filler flush with surface of concrete.
4. **CONTRACTION JOINT:** Make contraction joints vertical.
 - A. 1/8 inch wide and 1 inch deep or 1/4 slab thickness if slab is greater than 4 inches thick.
 - B. Maximum length to width ratio for non-square panels is 1.5 to 1.
 - C. Maximum panel length (in feet) is 2.5 times the slab thickness (in inches) to a maximum of 15 feet.
5. **REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel. See APWA Section 03 20 00 requirements. Not required if driveway ramp is constructed without a cold joint.
6. **FIELD CHANGES TO SLOPE REQUIREMENTS:** The following design parameters are to be used as a guide. Specific uses or site conditions may require profile design submittal for review and acceptance.
 - A. As a rule, driveway grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.
 - B. Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.
7. **FINISH:** Broomed.
8. **PROTECTION AND REPAIR:**
 - A. Fill flow-line with water. Repair construction that doesn't drain.
 - B. Protect concrete from deicing chemicals during cure period.



45

Plan No.

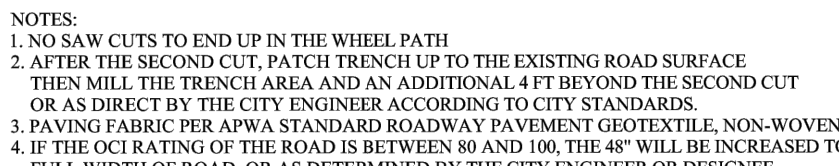
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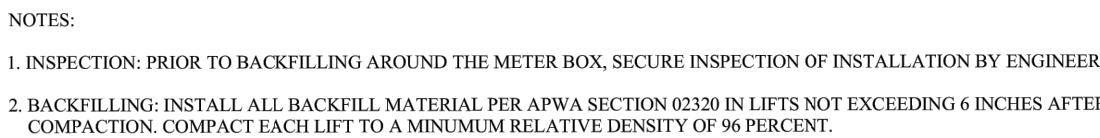
Plan No.

231



PREPARED BY:

SOUTH JORDAN CITY			
DATE (mm/yy)	REVISION	BY RP	DRAWN KS
			TRENCH CROSS SECTION TERMINOLOGY & STANDARD SIZES
		DATE 1/06	
			STANDARD DRAWING 3010

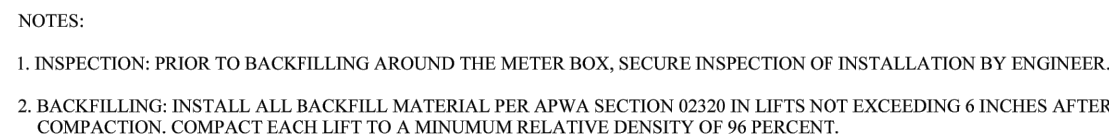


3. PLACEMENT:

- DO NOT INSTALL METERS IN HARD SURFACE 2 FEET MINIMUM FROM LID.
- IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
- ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE AND OUTSIDE OF HARD SURFACE).

PREPARED BY: _____

SOUTH JORDAN CITY			
		DRAWN	STANDARD DRAWING 3090
		DATE	
		3/4" AND 1" METER SERVICE	
	BY		

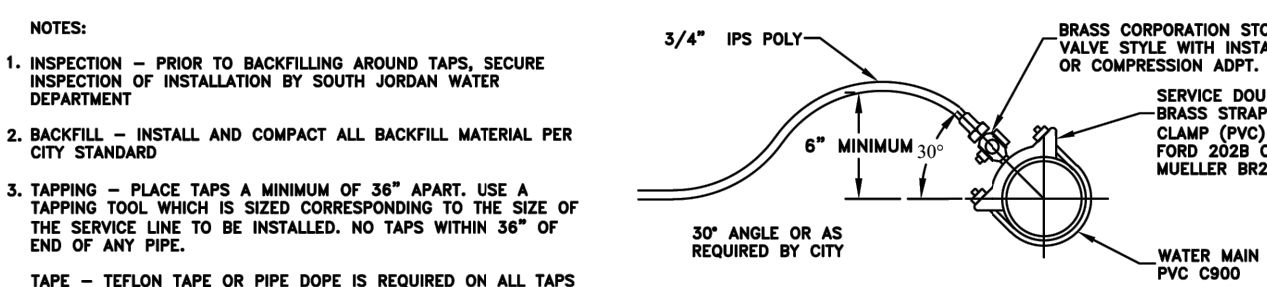


3. PLACEMENT:

- A. DO NOT INSTALL METERS IN HARD SURFACE 2 FEET MINIMUM FROM LID.
- B. IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OF PER SOUTH JORDAN CITY REQUIREMENTS.
- C. ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 4 FEET OF THE PROPERTY LINE (STREET SIDE AND OUTSIDE OF HARD SURFACE.

PREPARED BY: _____

SOUTH JORDAN CITY			
		DRAWN	STANDARD DRAWING 3091
		DATE	
	BY	1 1/2" AND 2" METER SERVICE	



COMPRESSION FITTINGS ARE EITHER:
FORD QUICK JOINTS OR
MUELLER 110 COMPRESSION

PREPARED BY: _____

SOUTH JORDAN CITY									
				DRAWN	3/4" - 2" WATER METER PLAN SERVICE INSTALLATION	STANDARD DRAWING 3095			
				DATE					
DATE	REVISIONS		BY						



		REV	DATE	DESCRIPTION	BY
	2	06-22-2023		REVISED PER CITY COMMENTS	TP
	1	04-19-2023		REVISED PER CITY COMMENTS	TP
	0	03-08-2023		INITIAL SUBMITTAL	TP

ENGINEERS STAMP



BAR IS ONE INCH ON ORIGINAL DRAWING

0 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST
SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt
 Drawn: T. Pridemore
 Checked: -
 Date: 12 / 09 / 2022
 Proj. No. -

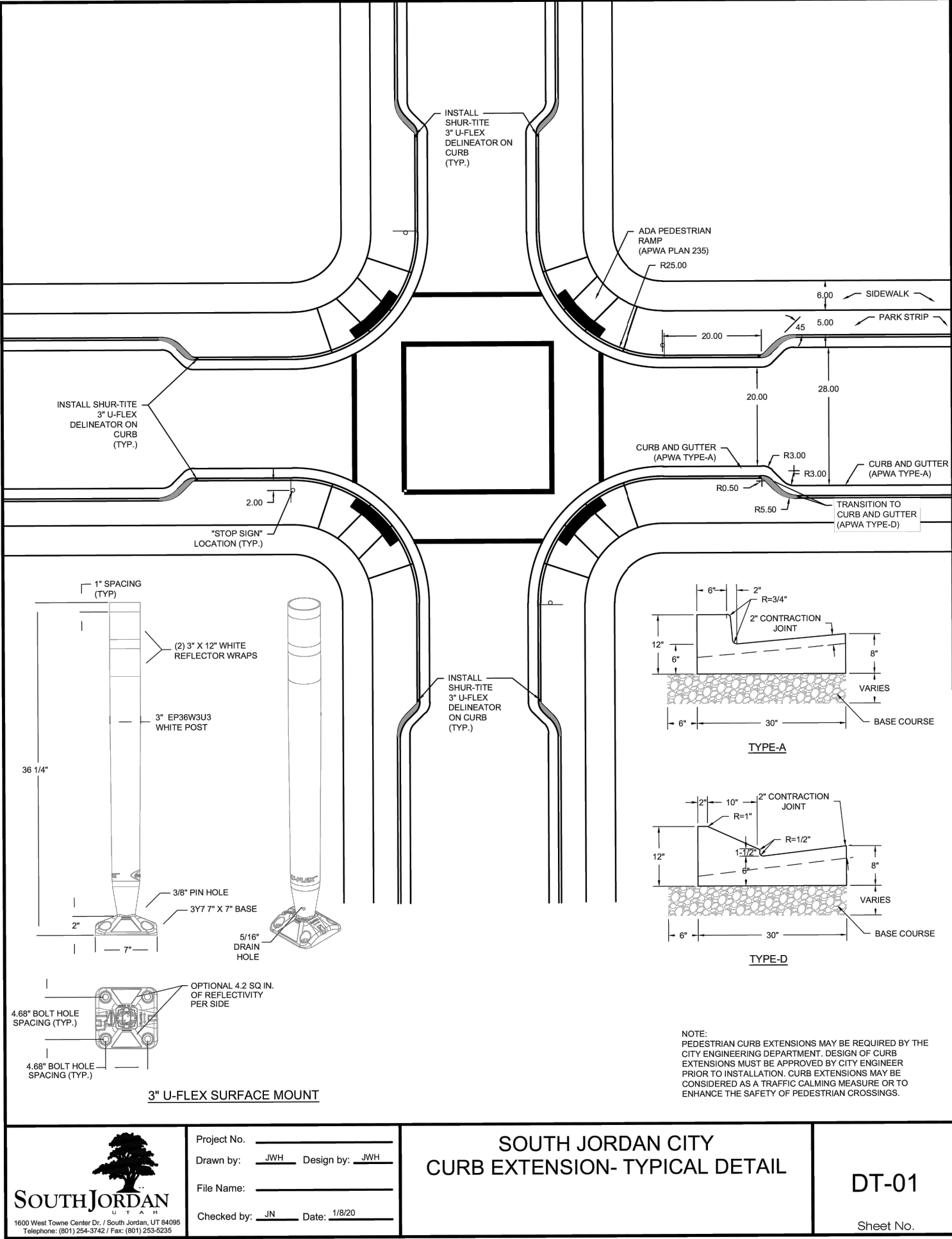
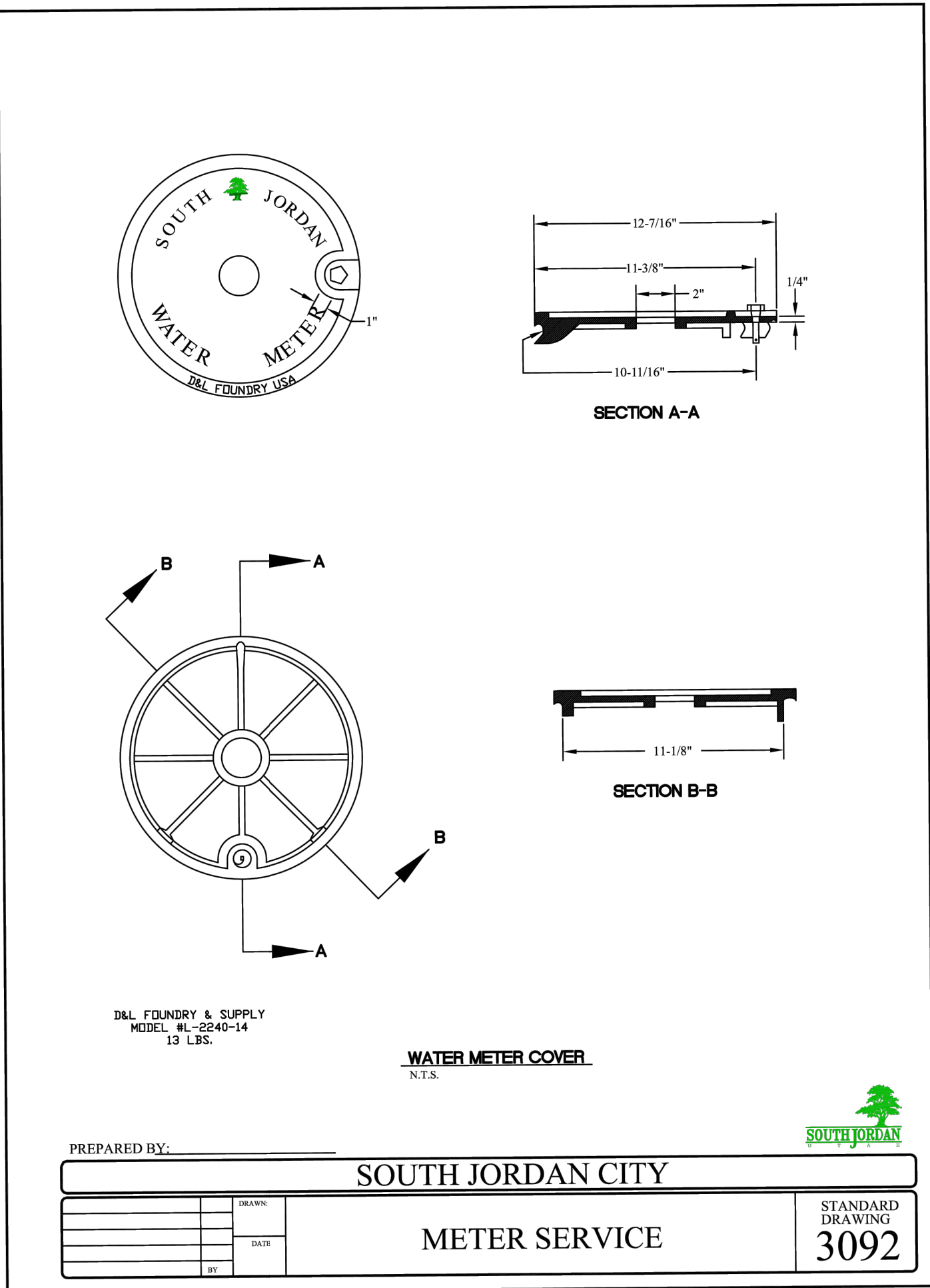
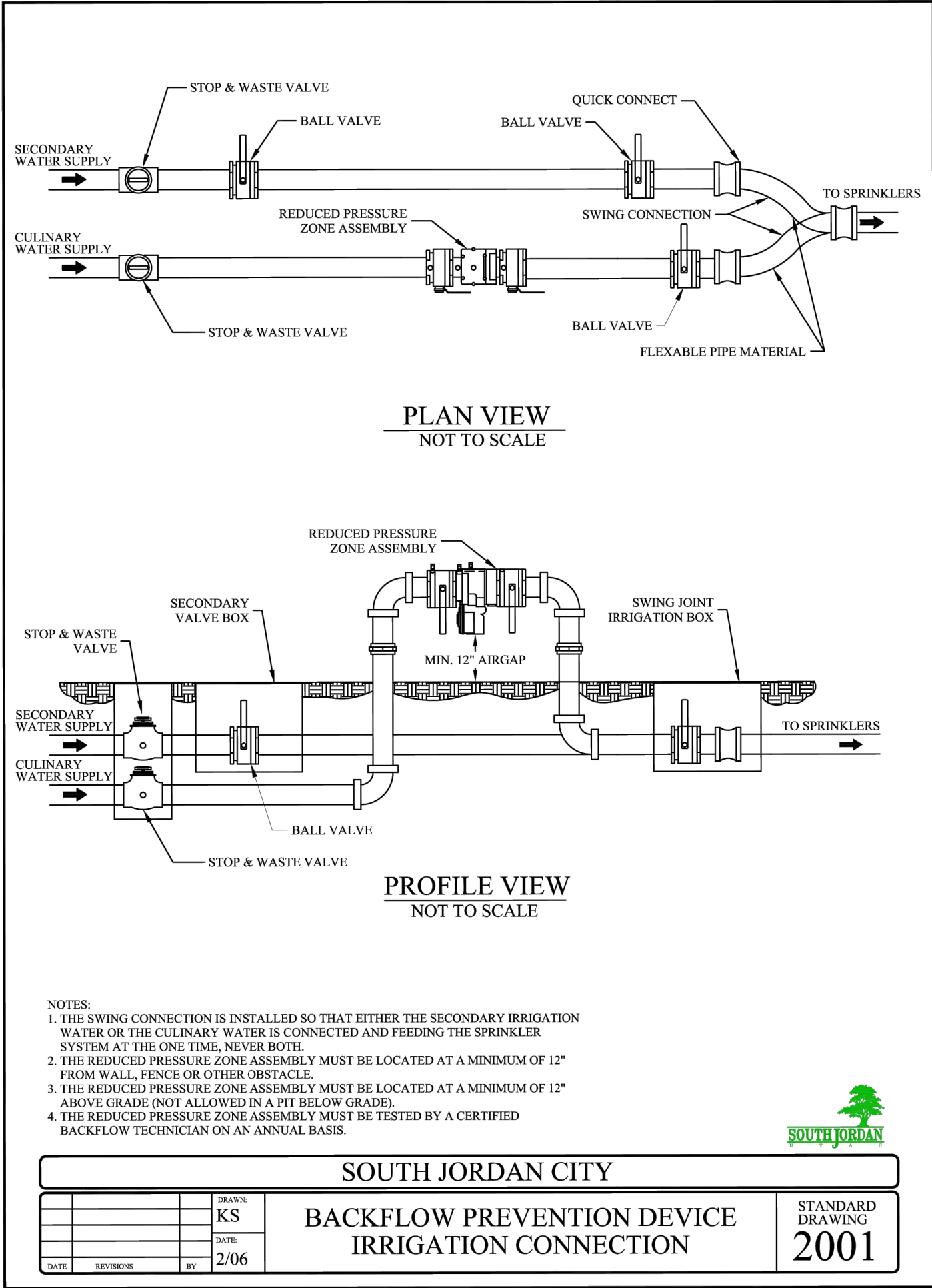
SHEET TITLE

Civil Details

SHEET NO

C601

TYLER_HUNTDAY C:\Users\Tyler_Hunt\Day Dropbox\Projects\100-01 Everbrook South Jordan\100-00-CAD\01-AutoCAD\CAPO1-20220622\2022 6/22/2023 4:14 PM



LOCATED IN THE WEST HALF OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN, SALT LAKE COUNTY, UT
JUNE, 2023



SWPPP Notes

1.

AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
2.

THE CONTRACTOR SHALL REMOVE LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, FROM THE SITE ON A DAILY BASIS, OR AS A MINIMUM, PRIOR TO ANY ANTICIPATED STORM EVENT; OR OTHERWISE PREVENT SUCH MATERIAL FROM BECOMING A POLLUTANT SOURCE FOR STORM WATER DISCHARGES.
3.

CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLE WILL ENTER OR EXIT THE SITE. VEHICLE TRACKING CONTROL FACILITIES, SILT FENCE, AND INLET PROTECTION WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY FOR PHASING OF THE WORK, UNTIL ALL WORK IS COMPLETE.
4.

CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING STREETS CLEAN OF DEBRIS FROM TRAFFIC FROM THE SITE. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, THE CONTRACTOR SHALL REMOVE OFF-SITE ACCUMULATIONS OF SEDIMENT IMMEDIATELY TO MINIMIZE OFF SITE IMPACTS. AT NO TIME SHALL SEDIMENT BE WASHED DOWN UNPROTECTED INLETS INTO THE PUBLIC STORM SEWER SYSTEM.
5.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED, AND SHALL REMOVE SEDIMENT FROM SEDIMENT TRAPS OR PONDS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6.

EXCEPT AS PROVIDED IN (A), (B), AND (C) BELOW, THE CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

(A)WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
(B)WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE A TO BE INITIATED ON THAT PORTION OF THE SITE.
(C) IN ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 0-10 INCHES), SEMI-ARID AREAS (AREAS WITH AN AVERAGE ANNUAL RAINFALL OF 10-20 INCHES), AND AREAS EXPERIENCING DROUGHTS WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED IS PRECLUDED BY SEASONAL ARID CONDITIONS, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.

7.

EROSION CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE, EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. EROSION CONTROL IN PROPOSED PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE.
8.

ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PAVED OR SEEDED PER PLAN.
9.

ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORSEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE LOCAL JURISDICTION MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ANY NECESSARY CHANGES AND POSTING ANY UPDATES TO THE PLANS AND RECORDING CHANGES IN THE STORMWATER POLLUTION PLAN DOCUMENT.
10.

THIS PLAN IS ONLY TO BE USED FOR INSTALLATION OF EROSION CONTROL FACILITIES. DO NOT USE THIS PLAN FOR FINISH GRADING OR STORM SEWER CONSTRUCTION.
11.

THE CONTRACTOR SHALL AMEND THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHENEVER:

- THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO THE WATERS OF THE STATE AND WHICH HAS NOT OTHERWISE BEEN ADDRESSED IN THE PLAN;
- INSPECTIONS OR INVESTIGATIONS BY SITE OPERATORS, LOCAL, STATE, OR FEDERAL OFFICIALS INDICATE THE SWPPP IS PROVIDING INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART III.D.1 OF THE PERMIT, OR IS OTHERWISE NOT ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY; AND
- A NEW CONTRACTOR AND/OR SUBCONTRACTOR WILL IMPLEMENT A MEASURE OF THE SWPPP IN ORDER TO IDENTIFY THEIR ROLE AND RESPONSIBILITY FOR THE SWPPP. AMENDMENTS TO THE PLAN MAY BE REVIEWED BY THE EXECUTIVE SECRETARY (OR AUTHORIZED REPRESENTATIVE) IN THE SAME MANNER AS PART III.B.2 OF THE PERMIT.

12.

THE CONTRACTOR SHALL KEEP A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, AND INCLUDE THIS INFORMATION IN THE SWPPP.
13.

THE CONTRACTOR SHALL NOTE THAT FLUCTUATIONS OF THE GROUNDWATER TABLE MAY OCCUR DUE TO VARIOUS FACTORS NOT EVIDENT AT THE TIME OF PREPARATION OF THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY DEWATERING PERMITS REQUIRED FOR THE PROJECT.
14.

THE PROJECT SITE IN IN FLOOD ZONE "IX" WHICH DENOTES AREAS OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD.
15.

THERE ARE NO SURFACE WATER FEATURES LOCATED ON THIS SITE.
16.

THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA. EMPLOYEES BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR SHALL CONTAIN AND TREAT ALL LEAKS AND SPILLS FROM ANY EQUIPMENT OR FACILITIES.
17.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT WITH STORM WATER DISCHARGES FROM THE SITE. CONCRETE TRUCK WASHING SHALL BE DONE AT THE LOCATION SHOWN.
18.

MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS TO CONTAIN AND CLEANUP FUEL OR CHEMICAL SPILLS AND LEAKS.
19.

FUGITIVE DUST BLOWING FROM THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS ABSOLUTELY PROHIBITED.
20.

NO RUBBISH, TRASH, GARBAGE, OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
21.

ALL MEASURES PRESENTED IN THE SWPPP SHALL BE INITIATED AS SOON AS PRACTICABLE.
22.

IF THE GRAVEL CONSTRUCTION ENTRANCES ARE NOT EFFECTIVE IN REMOVING THE MAJORITY OF DIRT OR MUD FROM THE TIRES OF THE CONSTRUCTION VEHICLES, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER THE PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
23.

ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
24.

IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
25.

ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
26.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT.
27.

ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAIN CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
28.

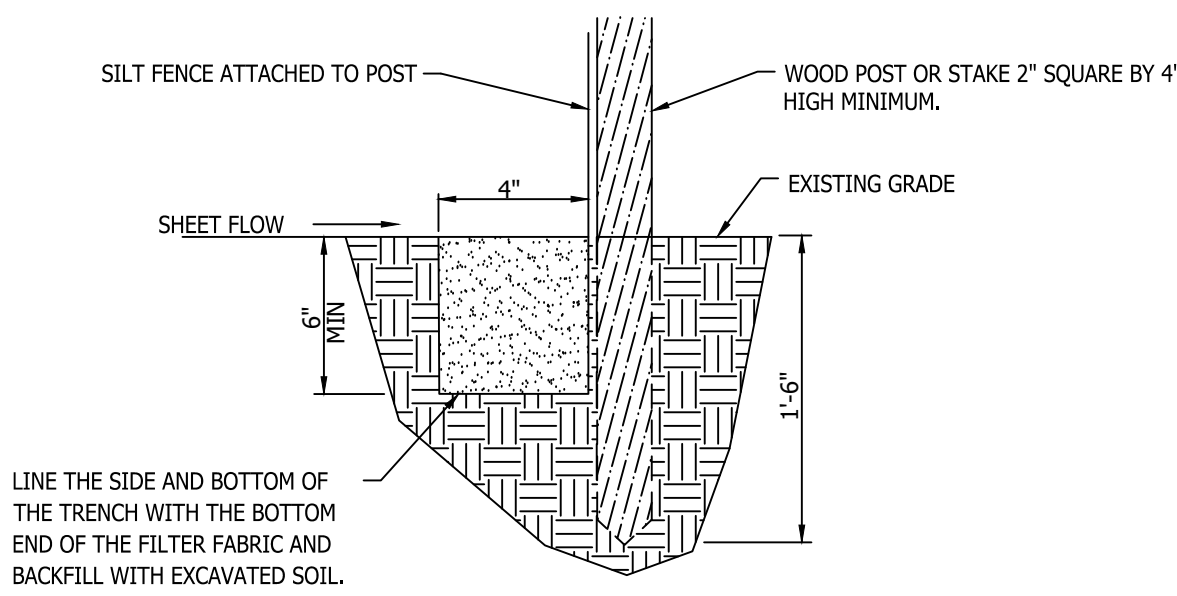
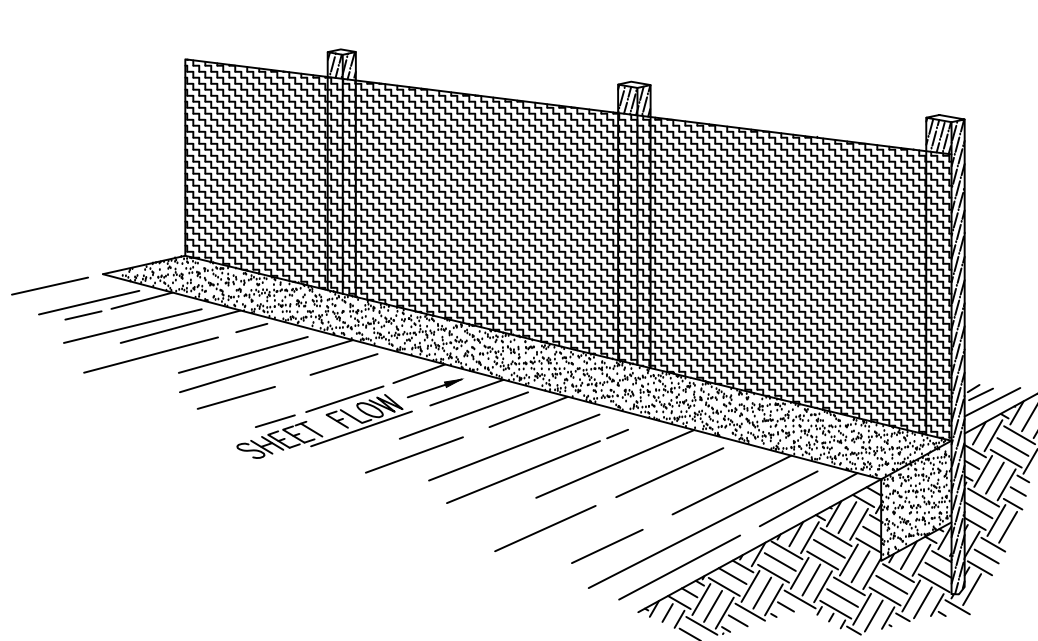
THE CONTRACTOR SHALL POST THESE PLANS AND THE SWPPP IN THE JOB TRAILER, LOG ALL CHANGES, AND UPDATE PLANS AND THE SWPPP AS REQUIRED.
29.

THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) AND CONFORM TO ALL CITY AND STATE REQUIREMENTS FOR EROSION CONTROL AND STORM WATER PROTECTION.
30.

IN THE UNLIKELY EVENT THAT A PHASE DOES NOT IMPROVE ACCESS AND/OR AN ACCESS ROAD IS CONSTRUCTED, BEST MANAGEMENT PRACTICES SHALL BE APPLIED IN ANY TEMPORARY OR PERMANENT STRUCTURES OR ACCESS POINTS.
31.

THE CONTRACTOR SHALL COMPLETE WEEKLY INSPECTION FORMS FOR THE CITY'S RECORDS, COVERING WEEKLY INSPECTIONS AND MAINTENANCE.
32.

EXISTING PERIMETER FENCING TO ACT AS CONSTRUCTION FENCING. IF PERIMETER FENCING IS REMOVED, A CONSTRUCTION SHALL BE INSTALLED UNTIL A NEW FENCE OR WALL IS CONSTRUCTED.



Perspective View

Section

Silt Fence Notes:

1.

WHERE POSSIBLE, LAYOUT THE SILT FENCE 5' TO 10' BEYOND THE TOE OF THE SLOPE.
2.

ALIGN THE FENCE ALONG THE CONTOUR AS CLOSE AS POSSIBLE.
3.

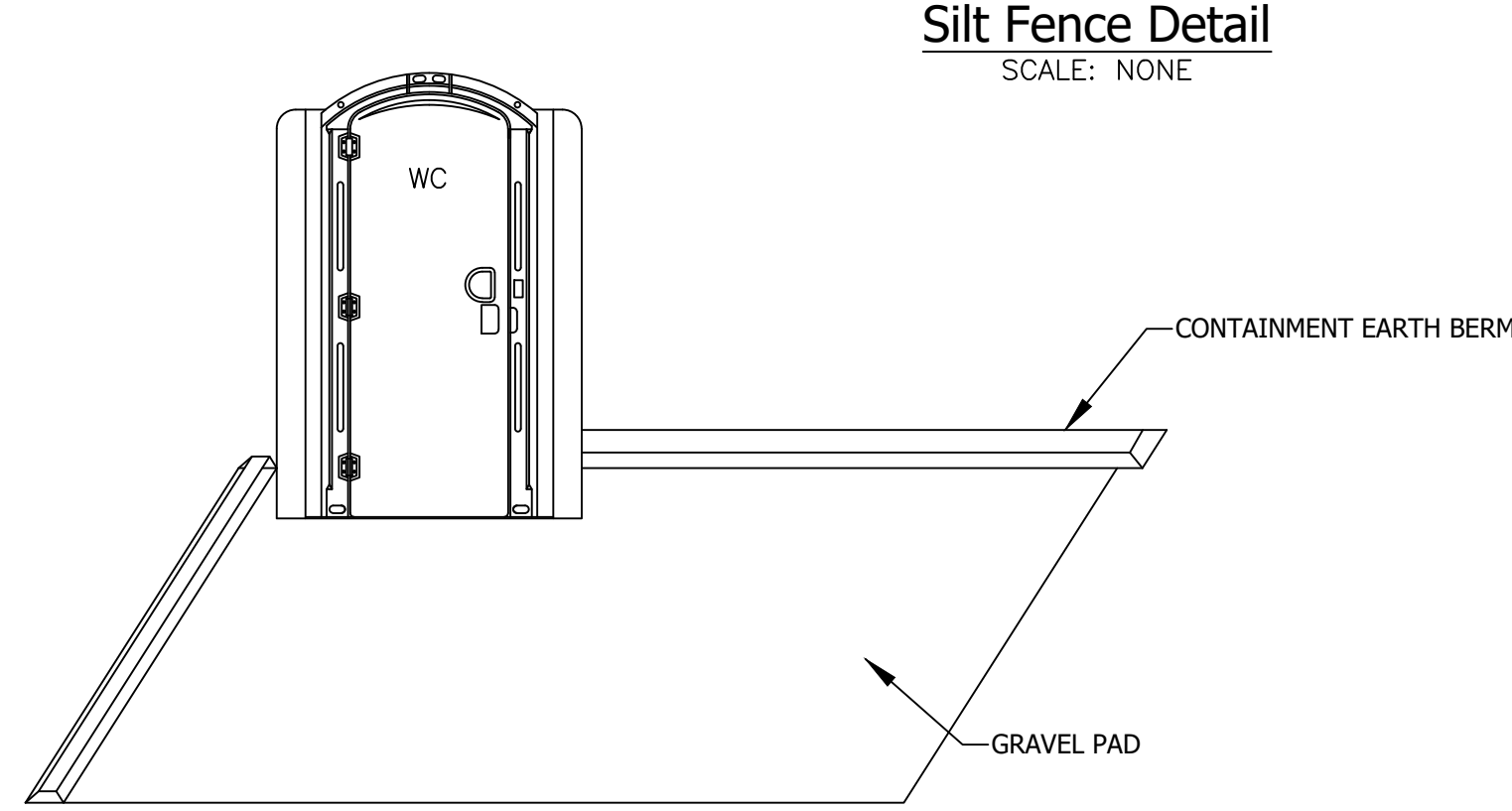
WHEN EXCAVATING THE TRENCH, USE MACHINERY THAT WILL PRODUCE NO MORE THAN THE DESIRED DIMENSIONS.
4.

AVOID USING JOINTS ALONG THE FENCE AS MUCH AS POSSIBLE. IF A JOINT IS NECESSARY, SPLICE THE SILT FENCE AT A POST WITH A 6" OVERLAP AND SECURELY FASTEN BOTH ENDS TO THE POST.
5.

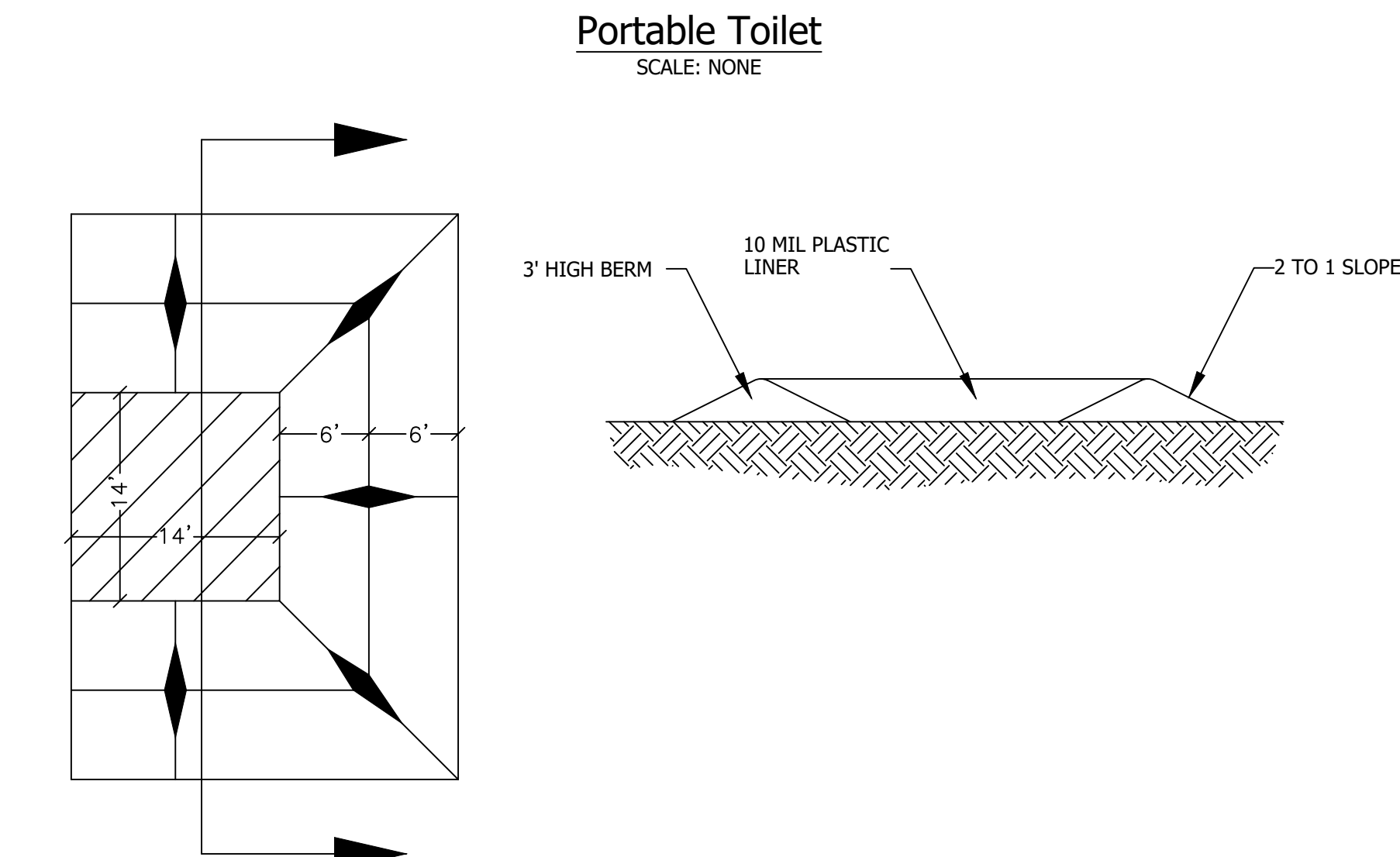
MAINTAIN A PROPERLY FUNCTIONING SILT FENCE THROUGHOUT THE DURATION OF THE PROJECT OR UNTIL DISTURBED AREAS HAVE BEEN VEGETATED.
6.

REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA.
7.

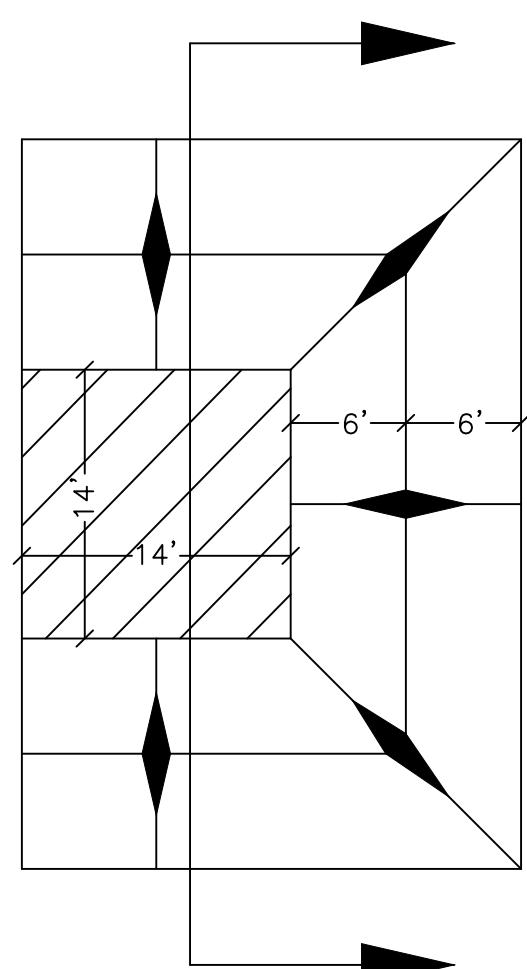
WHEN PLACING FENCE ON SLOPES STEEPER THAN 2:1 SEE SWPPP REPORT.



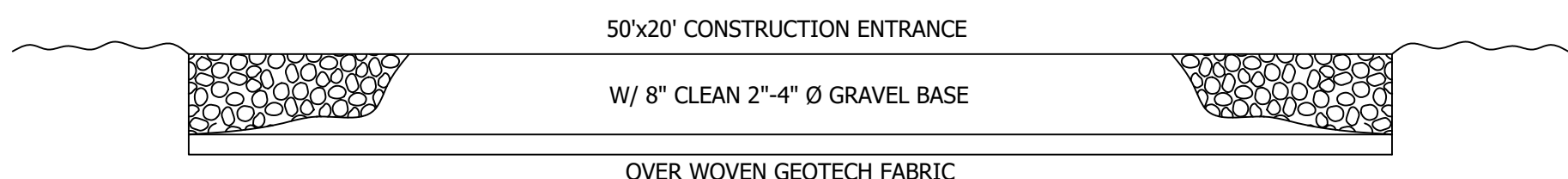
Silt Fence Detail
SCALE: NONE



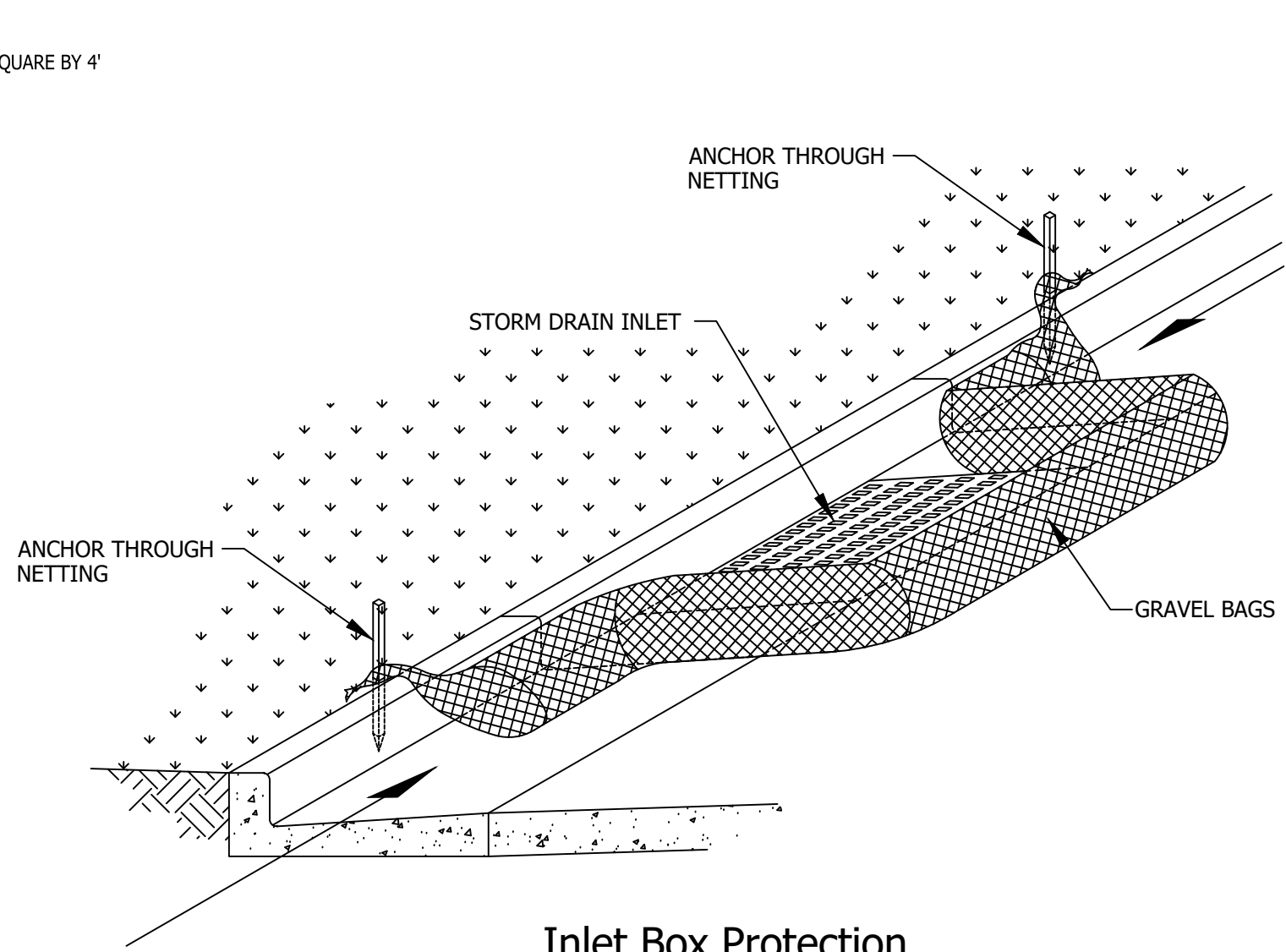
Portable Toilet
SCALE: NONE



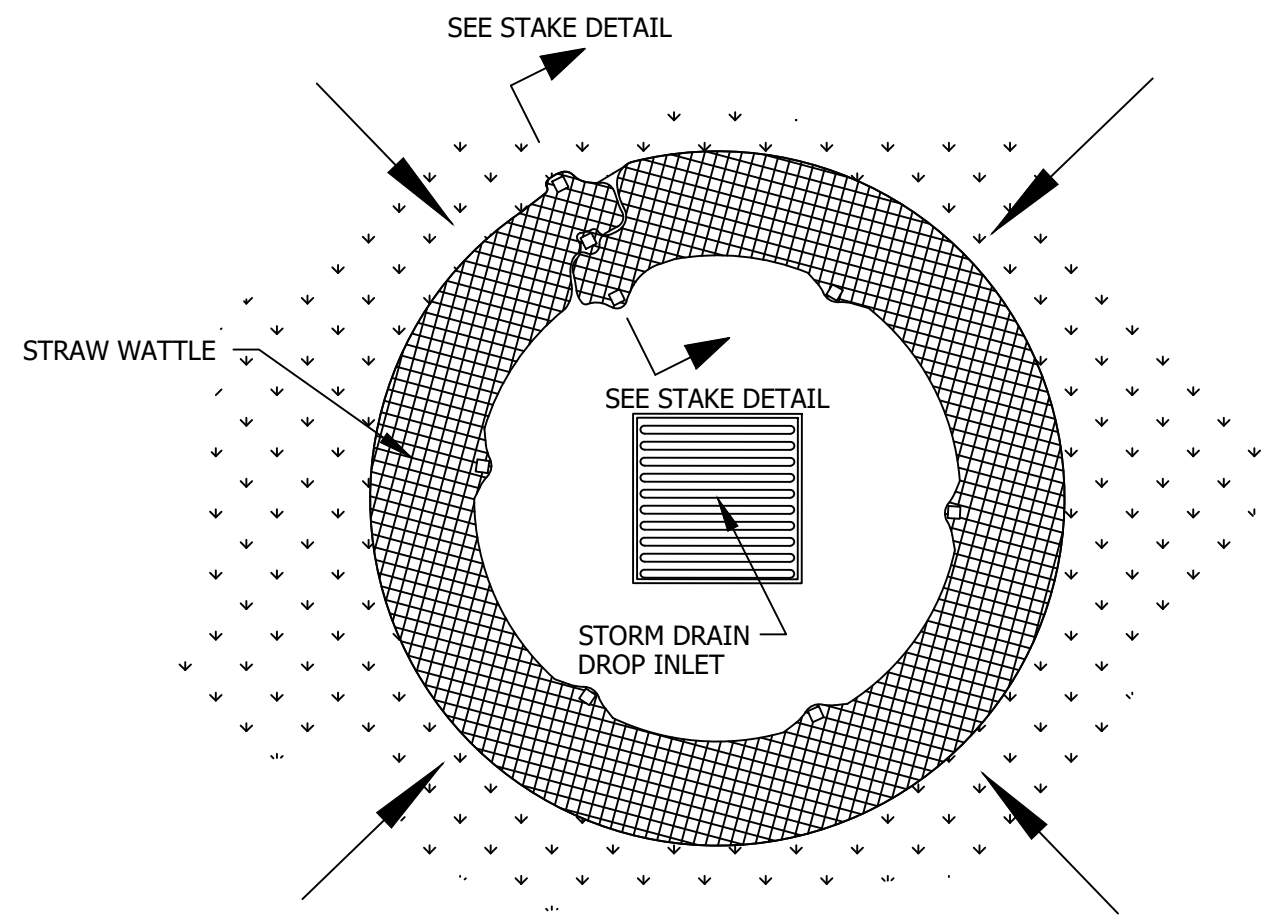
Concrete Washout Area
w/ 10 mil Plastic Liner
SCALE: NONE



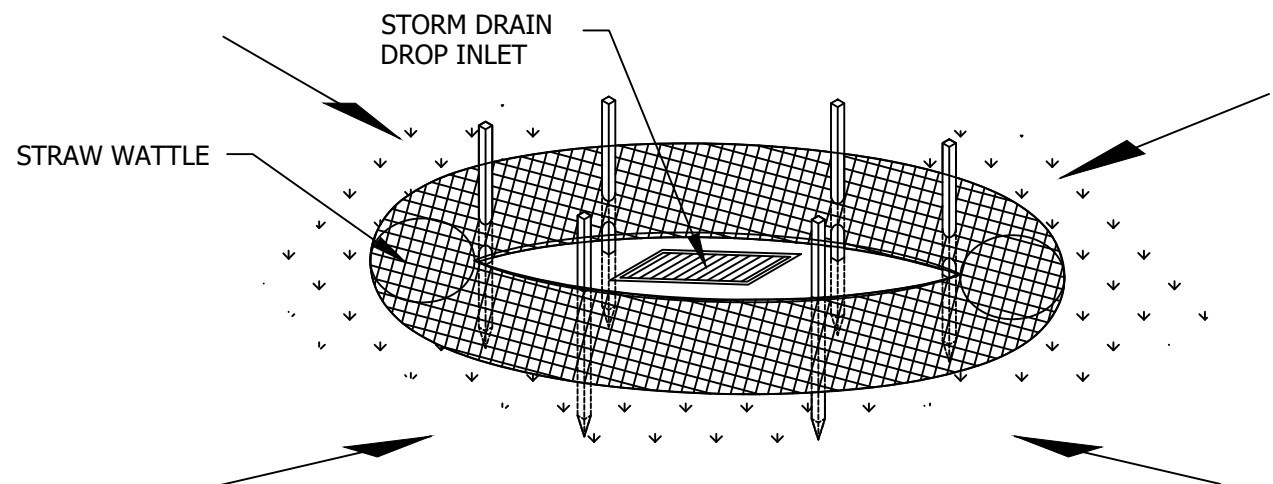
Cross Section 50' x 20' Construction Entrance



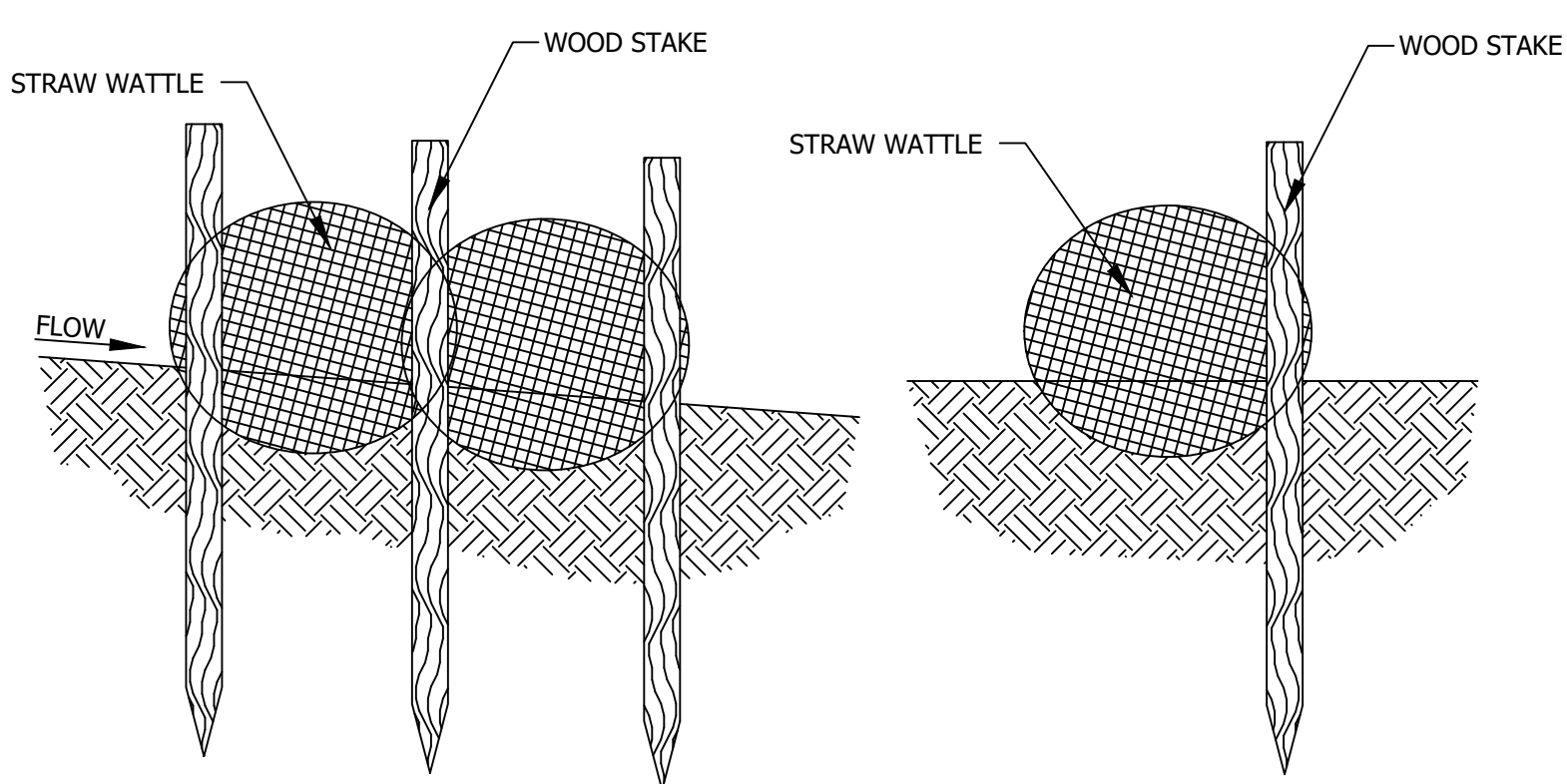
Inlet Box Protection



Plan View



Drop Inlet Protection



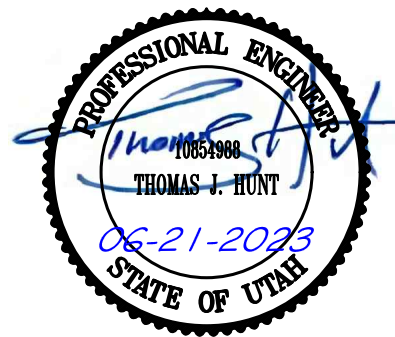
HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724

PROJECT TITLE
Everbrook ACADEMY
1780 SHIELD LANE, SOUTH JORDAN
SALT LAKE COUNTY, UT 84095

REVISIONS

REV.	DATE	DESCRIPTION	BY
2	06-22-2023	REVISED PER CITY COMMENTS	TP
1	04-19-2023	REVISED PER CITY COMMENTS	TP
0	03-08-2023	INITIAL SUBMITTAL	TP

ENGINEERS STAMP



VERIFY SCALES

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PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 12 / 09 / 2022
Proj. No. -

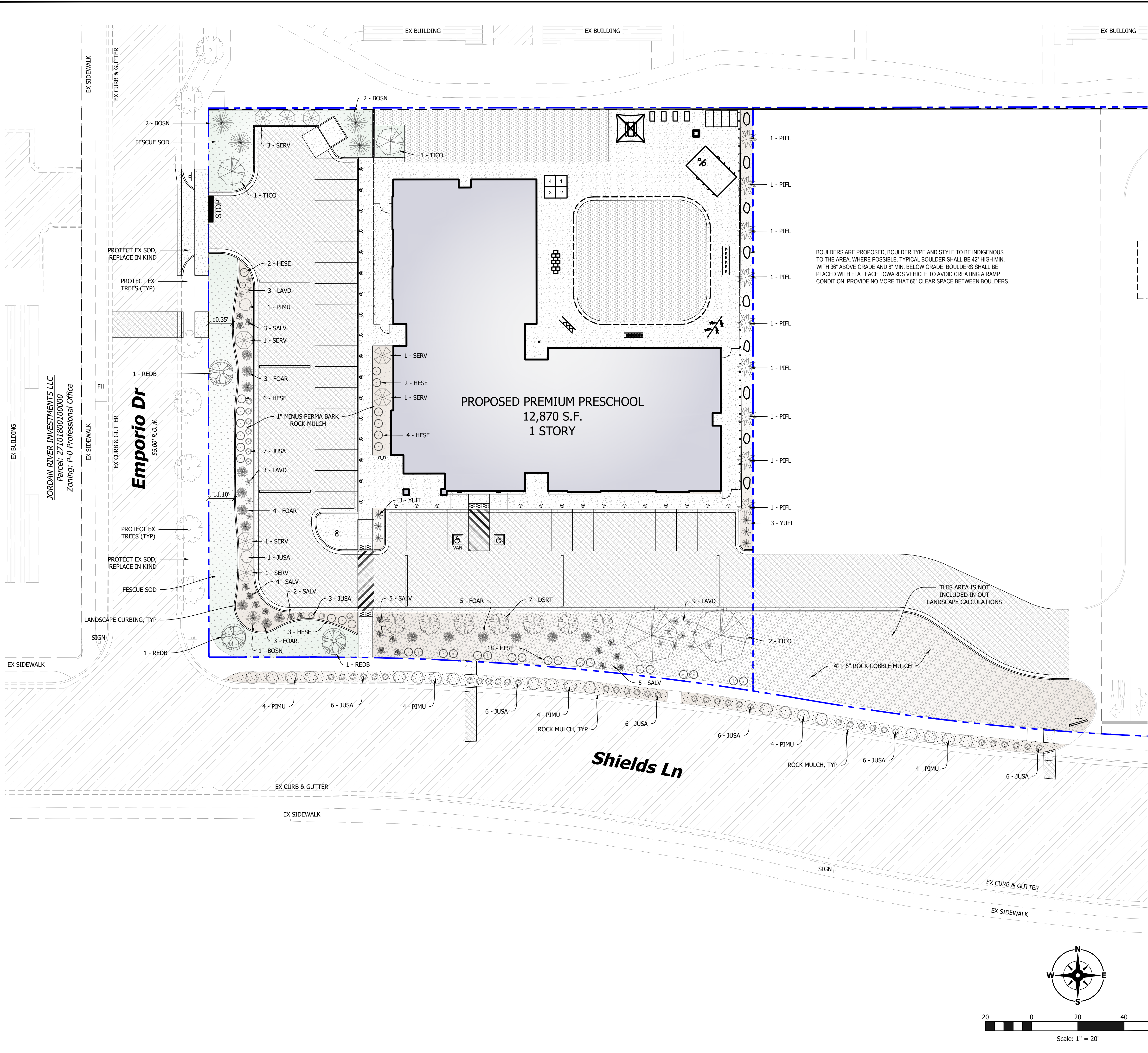
SHEET TITLE

SWPPP Notes

SHEET NO.

C701

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Plant Schedule

DECIDUOUS TREES

QTY	ABBREV.	BOTANIC NAME	COMMON NAME
4	TICO	TILIA CORDATA	LITTLELEAF LINDEN
8	SERV	AMELANCHIER UTAHENSIS	UTAH SERVICEBERRY
3	REDB	CERCIS OCCIDENTALIS	WESTERN REDBUD
7	DSRT	CHILOPSIS LINEARIS	DESERT WILLOW

EVERGREEN PINES

QTY	ABBREV.	BOTANIC NAME	COMMON NAME
5	BOSN	PINUS 'HELDRECHII'	BOSNIAN PINE
9	PIFL	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	LIMBER PINE

DECIDUOUS SHRUBS

QTY	ABBREV.	BOTANIC NAME	COMMON NAME
15	FOAR	FORSYTHIA 'ARNOLD DWARF'	ARNOLD DWARF FORSYTHIA

EVERGREEN SHRUBS

QTY	ABBREV.	BOTANIC NAME	COMMON NAME
6	YUFI	YUCCA FILAMENTOSA 'GOLDEN SWORD'	GOLDEN SWORD YUCCA
24	PIMU	PINUS MUGO V. PUMILO	MUGO PINE
42	JUSA	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER

ORNAMENTAL GRASSES

QTY	ABBREV.	BOTANIC NAME	COMMON NAME
35	HESE	HELIOTRICHON SEMPERVIRENS	BLUE AVENA

ORNAMENTAL GRASSES

QTY	ABBREV.	BOTANIC NAME	COMMON NAME
15	LAVD	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	MUNSTEAD LAVENDER
17	SALV	SALVIA X SYLVESTRIS 'MAY NIGHT'	MAY NIGHT SALVIA

Plant Coverage

	TICO = 3' AREA x 4 DEC. = 12 SF (TRUNK COVERAGE)
	SERV = 176' AREA x 8 DEC. = 1,408 SF
	REDB = 176' AREA x 3 DEC. = 530 SF
	DSRT = 78' AREA x 7 DEC. = 546 SF
	BOSN = 38' AREA x 5 PINES = 190 SF (TRUNK COVERAGE)
	PIFL = 123' AREA x 9 PINES = 1,107 SF
	FOAR = 38' AREA x 15 SHRUBS = 570 SF
	YUFI = 7' AREA x 6 SHRUBS = 42 SF
	PIMU = 50' AREA x 24 SHRUBS = 1,200 SF
	JUSA = 14' AREA x 42 SHRUBS = 588 SF
	HESE = 7' AREA x 35 GRASSES = 245 SF
	LAVD = 7' AREA x 6 GRASSES = 105 SF
	SALV = 2' AREA x 17 GRASSES = 34 SF
	TOTAL COVERAGE = 6,591 SF

Material Schedule

	= FESCUE SOD
	= 1\"/>
	= 4\"/>

Site Data

LOCATION:	SOUTH JORDAN
ZONING:	C-N COMMERCIAL NEIGHBORHOOD
PROPERTY SIZE:	56,976 SF / 1.31 AC

BUILDING FOOTPRINT:	12,877 SF (22.6%)
HARD SURFACE AREA:	28,058 SF (49.2%)
LANDSCAPE AREA:	16,041 SF (28.2%)
LAWN COVERAGE:	2,890 SF (18.0%)

AT MATURITY, LANDSCAPES ARE REQUIRED TO HAVE ENOUGH PLANT MATERIAL (PERENNIALS AND SHRUBS) TO CREATE AT LEAST 50% LIVING PLAN COVER AT MATURITY AT THE GROUND PLAN, NOT INCLUDING TREE CANOPIES AND .

LANDSCAPE AREA: (EXCLUDING SOD)	13,151 SF
PLANT MATERIAL: (COVERAGE)	6,591 SF - 50%

PARKING:	DAYCARE USE (1 STALL / 300 SF) 9,135 SF FOR INTENDED USE 9,135 / 300 = 30.45 STALLS 30 STALLS REQUIRED 33 STALLS PROVIDED (2 ADA)
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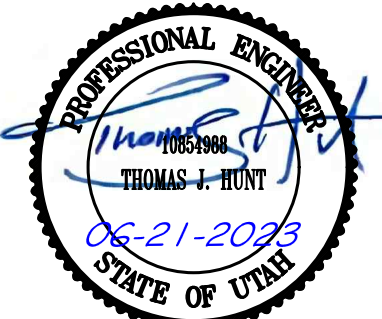


HUNT · DAY
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REVISIONS

ENGINEERS STAMP



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Drawn:	T. Pridemore
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Proj. No.	-

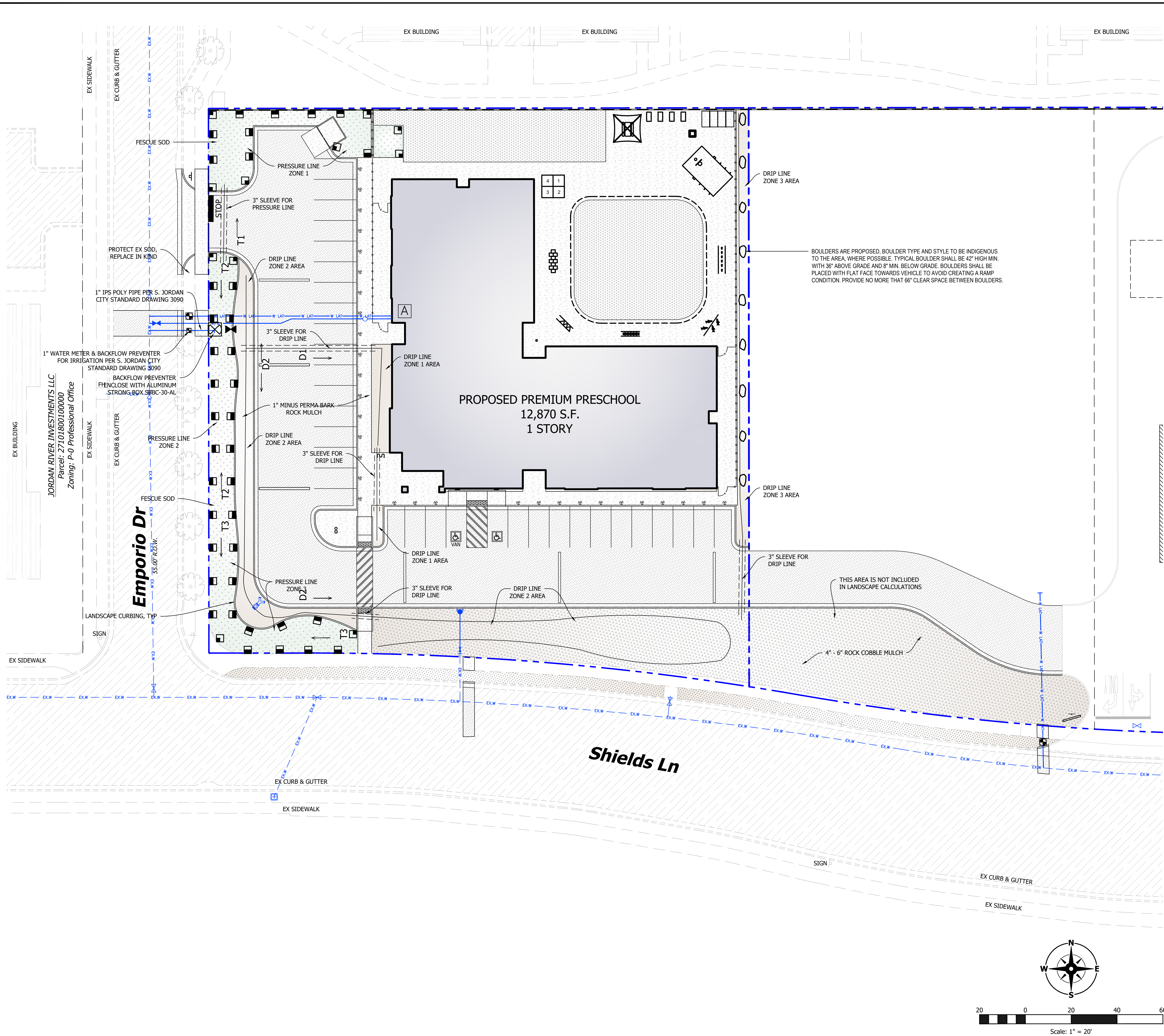
SHEET TITLE

Landscape Plan

SHEET NO.

L100

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General Notes

- FOR DRIP LINE USE RAINBIRD XERIBUG THREADED DRIP EMITTERS, 2 GAL/HOUR (1 EMITTER/1 GAL. PLANT, 2 EMITTERS/5 GAL.)
- USE STRONG BOX SBBC 30 AL ALUMINUM BOX TO ENCLOSE BACKFLOW PREVENTER.
- USE WR2-RC WIRELESS RAIN/FREEZE SENSOR.
- SLEEVING - SCHEDULE 40 PVC 2 SIZES GREATER THAN INTERIOR PIPE SLEEVING USED WHENEVER IRRIGATION IS PLACED UNDER PAVED AREAS.

Legend

	RAINBIRD 10' 1/4 CIRCLE PATTERN NOZZLE
	RAINBIRD 10' HALF CIRCLE PATTERN NOZZLE
	RAINBIRD COMMERCIAL CONTROL ZONE KIT DRIP VALVE
	1-1/2" MAINLINE - SCHEDULE 40 PVC
	DRIP LATERAL LINE - POLY PIPE MAY BE USED
	RAINBIRD INDOOR/OUTDOOR MOUNT BASE CONTROLLER
	BACKFLOW PREVENTION, SIZE AS PER CITY STANDARDS
	GATE VALVE - SIZE PER PIPE - PLACE SLEEVE OVER VALVE

Material Schedule

	= FESCUE SOD
	= 1" MINUS PERMA BARK ROCK MULCH
	= 4" - 6" ROCK COBBLE MULCH

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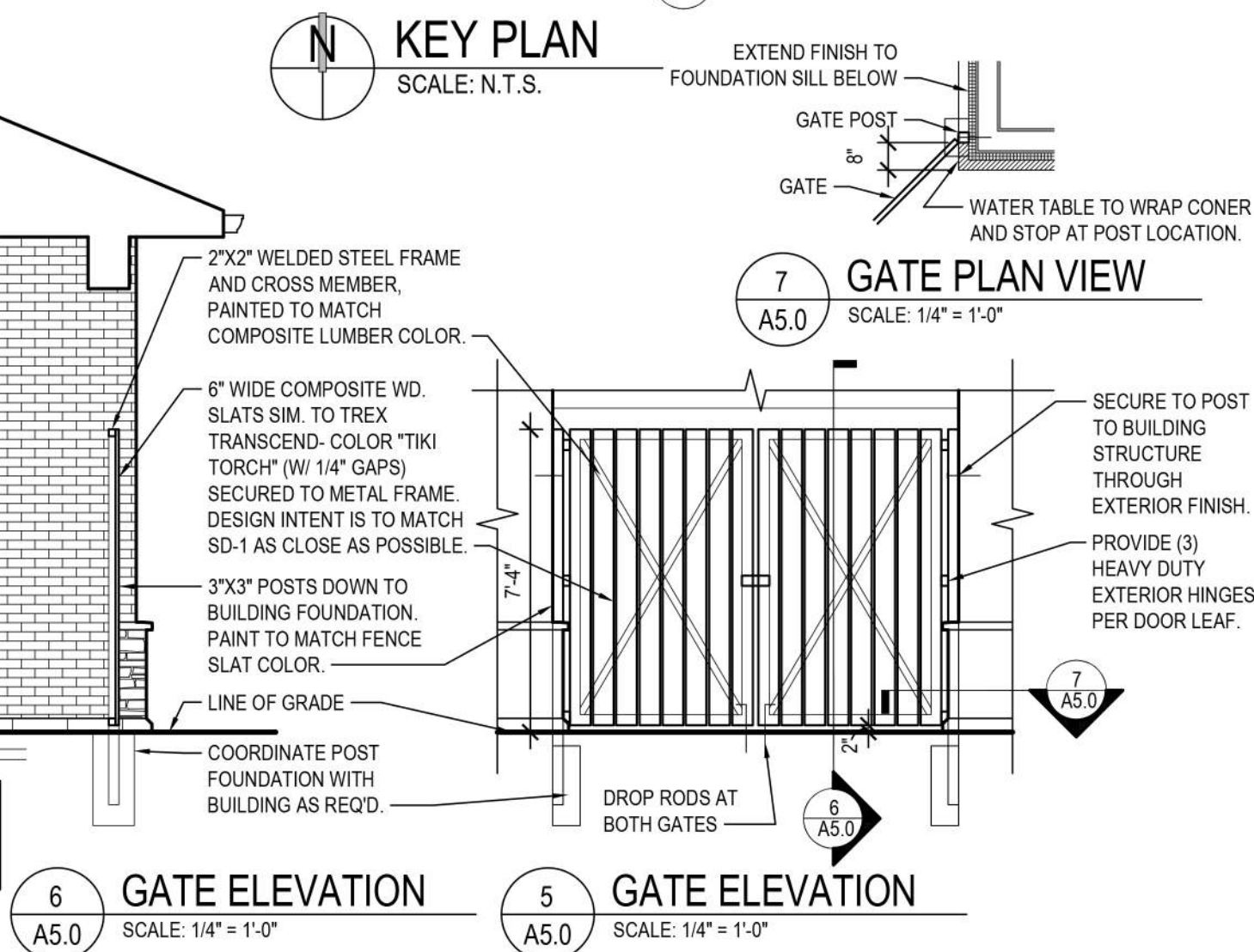
Engineer: T. Hunt
Drawn: T. Pridemore
Checked: -
Date: 12 / 09 / 2022
Proj. No. -

SHEET TITLE

Irrigation Plan

SHEET NO.

L101



1. ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
2. EPS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, 1/2" EPS INSULATION MESH BASE & 1/2" EPS COATS SHALL BE PROVIDED OVER EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
3. ALL EPS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING AND JOINTS AT DISJUNCTION MATERIALS. PROVIDE PANZER 2" REINFORCING MESH TO 8'-0" AFF. (TYP).
4. PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.
6. GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE ON FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
SO-1	STUCCO SAND FINE: COLOR TO MATCH BK-2
SO-2	STUCCO SAND FINE: 053.005 095G3 STORMY NITE, COLORANT: COLORFAST, PRIMER 201HCF - AS MATCHED DRYVIT #452ST
BK-1	BRICK: BELDEN, DUTCH GRAY VELOUR 21-31 OR APPROVED SIMILAR
BK-2	BRICK: BELDEN, 671 VELOUR OR APPROVED SIMILAR
CMU-1	OHIO SPLIT FACE CMU: WHITE BY ECHELON MASONRY OR APPROVED SIMILAR
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH FASCIA (PAD-CLAD SIERRA TAN)
PM-1	PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.
ST-1	STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY INSTALL FULLY GROUTED
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (TAN COLOR) AS CLOSE AS POSSIBLE
DOORS & FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN.

DA
ARCHITECTS

EVERBROOK ACADEMY SOUTH JORDAN

SOUTH JORDAN, UT, 84095

17710 Detroit Avenue Lakewood, Ohio 44107
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REVISIONS		
#	DATE	TYPE
1	03/17/23	SITE APPROVALS PACKAGE
2		
3		
4		
5		
6		
7		
8		
9		
10		

EXTERIOR ELEVATIONS

DATE	10/05/2022
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JOB NO.	22410
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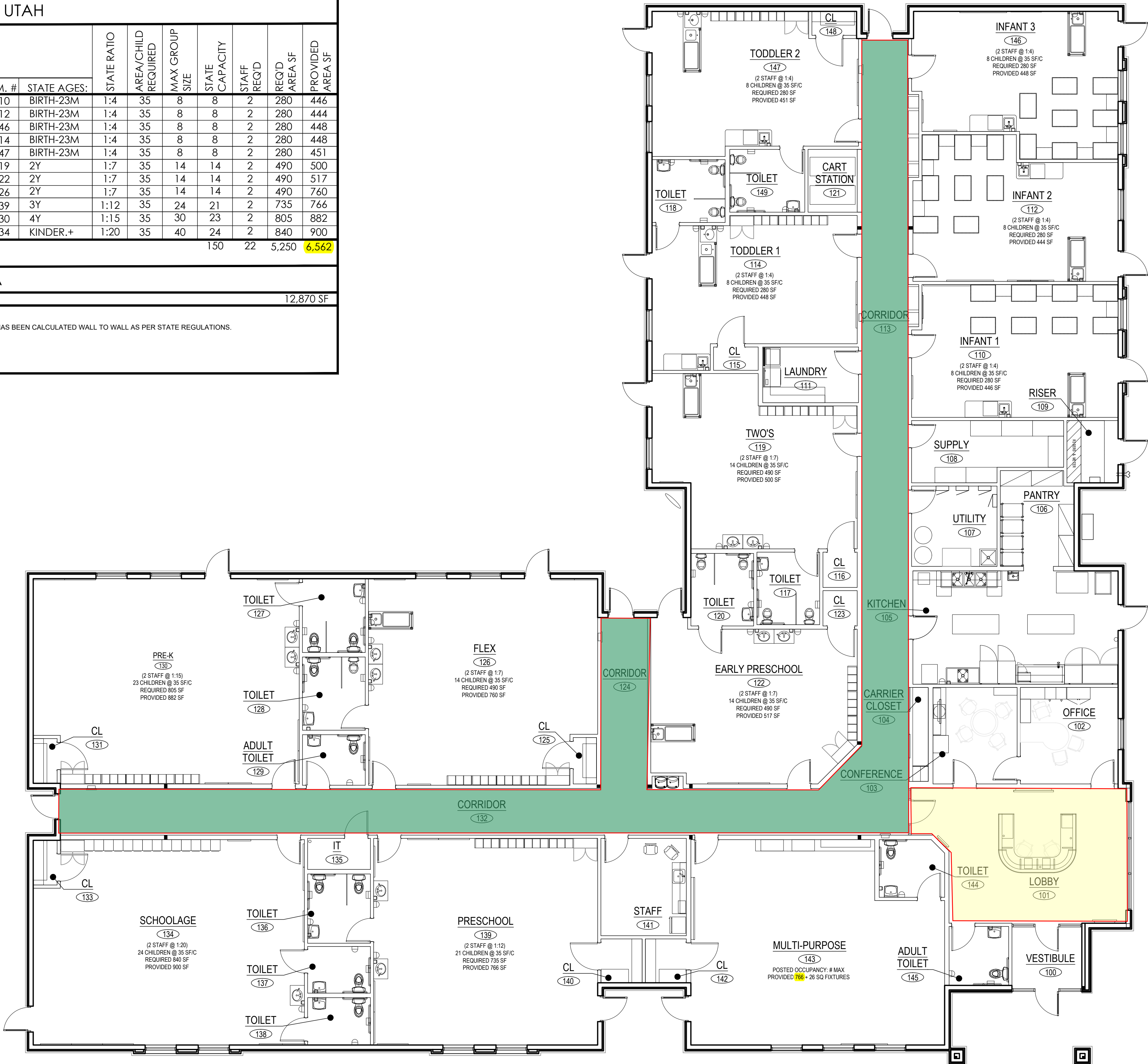
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SHEET NO.

11 Classrooms per Chart: 6,562 SF
Multi-Purpose Room : 766 SF
Lobby: 426 SF
Corridor: 1,381 SF

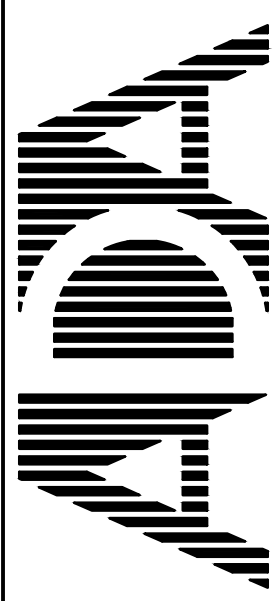
TOTAL SF for PARKING: 9,135 SF

OCCUPANCY - UTAH									
			STATE RATIO	AREA/CHILD REQUIRED	MAX GROUP SIZE	STATE CAPACITY	STAFF REQ'D	REQ'D AREA SF	PROVIDED AREA SF
ROOM:	RM. #	STATE AGES:							
INFANT 1	110	BIRTH-23M	1:4	35	8	8	2	280	446
INFANT 2	112	BIRTH-23M	1:4	35	8	8	2	280	444
INFANT 3	146	BIRTH-23M	1:4	35	8	8	2	280	448
TODDLER 1	114	BIRTH-23M	1:4	35	8	8	2	280	448
TODDLER 2	147	BIRTH-23M	1:4	35	8	8	2	280	451
TWO'S	119	2Y	1:7	35	14	14	2	490	500
EARLY PRESCHOOL	122	2Y	1:7	35	14	14	2	490	517
FLEX	126	2Y	1:7	35	14	14	2	490	760
PRESCHOOL	139	3Y	1:12	35	24	21	2	735	766
PRE K	130	4Y	1:15	35	30	23	2	805	882
SCHOOL AGE	134	KINDER.+	1:20	35	40	24	2	840	900
TOTALS						150	22	5,250	6,562
BUILDING DATA									
BASE BUILDING AREA:								12,870 SF	
NOTE: PROVIDED CLASSROOM AREA HAS BEEN CALCULATED WALL TO WALL AS PER STATE REGULATIONS.									



1
A1.0

FIXTURE PLAN
SCALE: 1/8"=1'-0"



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EVERBROOK PROTOTYPE

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REVISIONS			
#	DATE	TYPE	REVISION
1	07/25/2022		
2			
3			
4			
5			
6			
7			
8			
9			
10			

FIXTURE PLAN (UTAH)	
DATE	03/22/2022
JOB NO.	JOB NO.
FP-1	
SHEET NO.	