

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 8/9/2022

Application: BLACK RIFLE COFFEE DRIVE THROUGH SITE PLAN AND CONDITIONAL USE PERMIT

Address: 3634 West 11400 South

File No: PLSR202200036

Applicant: Joshua Helzlsouer

Submitted By: David Mann, Long Range Planning Analyst
Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready):

I move that the Planning Commission **approve** file no. PLSR202200036 for the construction of a drive through restaurant located at 3634 West 11400 South.

ACREAGE: 0.53 acres

CURRENT ZONE: BH-MU

CURRENT USE: Vacant

FUTURE LAND USE PLAN: Mixed Use

NEIGHBORING

LU DESIGNATIONS,

(ZONING)/USES

North - Stable Neighborhood, (BH-MU) / Multi Family Residential
South - Economic Center, (BH-MU) / Harmon's
East - Stable Neighborhood, (BH-MU) / Detention Pond
West - Stable Neighborhood, (BH-MU) / Credit Union

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of titles 16 & 17 of the City Code, and other city requirements, shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition, the detrimental effect must be identified and be based on substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect. Further, under City Code Section 17.84.090.A:

1. A conditional use may be commenced and operated only upon:
 - a. Compliance with all conditions of an applicable conditional use permit;
 - b. Observance of all requirements of this title relating to maintenance of improvements and conduct of the use or business as approved; and
 - c. Compliance with all applicable local, state, and federal laws.
2. A conditional use permit may be revoked by the city council at any time due to the permittee's failure to commence or operate the conditional use in accordance with the requirements of subsection A of this section.

No conditional use permit shall be revoked until after a public hearing is held before the city council. The permittee shall be notified in writing of such hearing. The notification shall state the grounds for complaint, or reasons for revocation, and the time and location of the hearing. At the hearing, the permittee shall be given an opportunity to be heard and may call witnesses and present evidence on his or her behalf. Upon conclusion of the hearing, the city council shall determine whether or not the permit should be revoked.

BACKGROUND & ANALYSIS:

The subject property is located on the north side of 11400 South along the eastern edge of The District. The proposed development will have access to the site from 11400 South via a shared access located at 3650 South. The site plan shows a drive through lane circling around the property in a counter clockwise direction starting from the south west corner. The menu board and speaker that will be used for ordering will be located on the south side of the subject property with the proposed building pushed as close to 11400 South as possible. Pedestrian access is also shown from the connecting crosswalk on the adjacent property to the west. Parking stalls are shown in the center and north side of the subject property and will primarily be used by employees. The municipal code requires room for a minimum 5 cars to stack in a drive-through. Staff has determined that nine cars can stack in the drive-through, with space for an additional eight cars to stack on the property. Required landscaping areas are provided adjacent to 11400 South and include landscaping material that meets the city standards.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The BH-MU Zone permits drive through uses as a conditional use and require a conditional use permit.
- Staff reviewed the proposed use for potential detrimental effects and found none that would require mitigation.

- Based on the proposed use, the subject property will require 11 parking stalls (1 stall per 4 seats). There are 18 parking stalls shown on the civil plans.
- Staff received a complete application on March 4, 2022.

Conclusion:

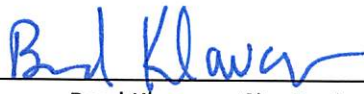
- Based on the application materials submitted by Applicant, staff review of the Application, and the findings listed above, staff concludes that the proposal is consistent with the City's General Plan and the pertinent sections of the City's Planning and Land Use Code (including section 17.70).

ALTERNATIVES:

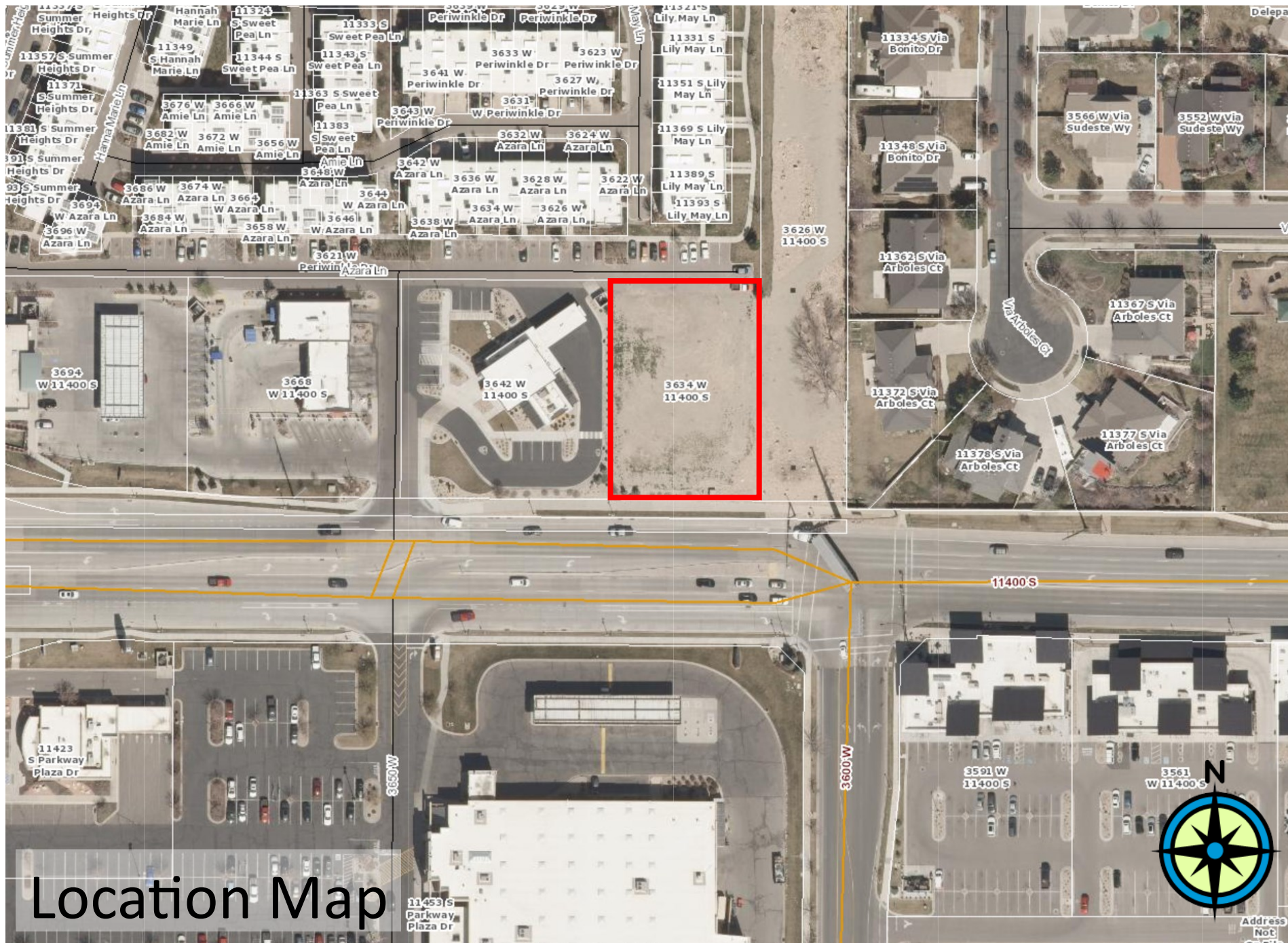
- Deny the application.
- Propose modification(s) to the application.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Zoning Map
- Site Plan
- Landscape Plan
- Elevations

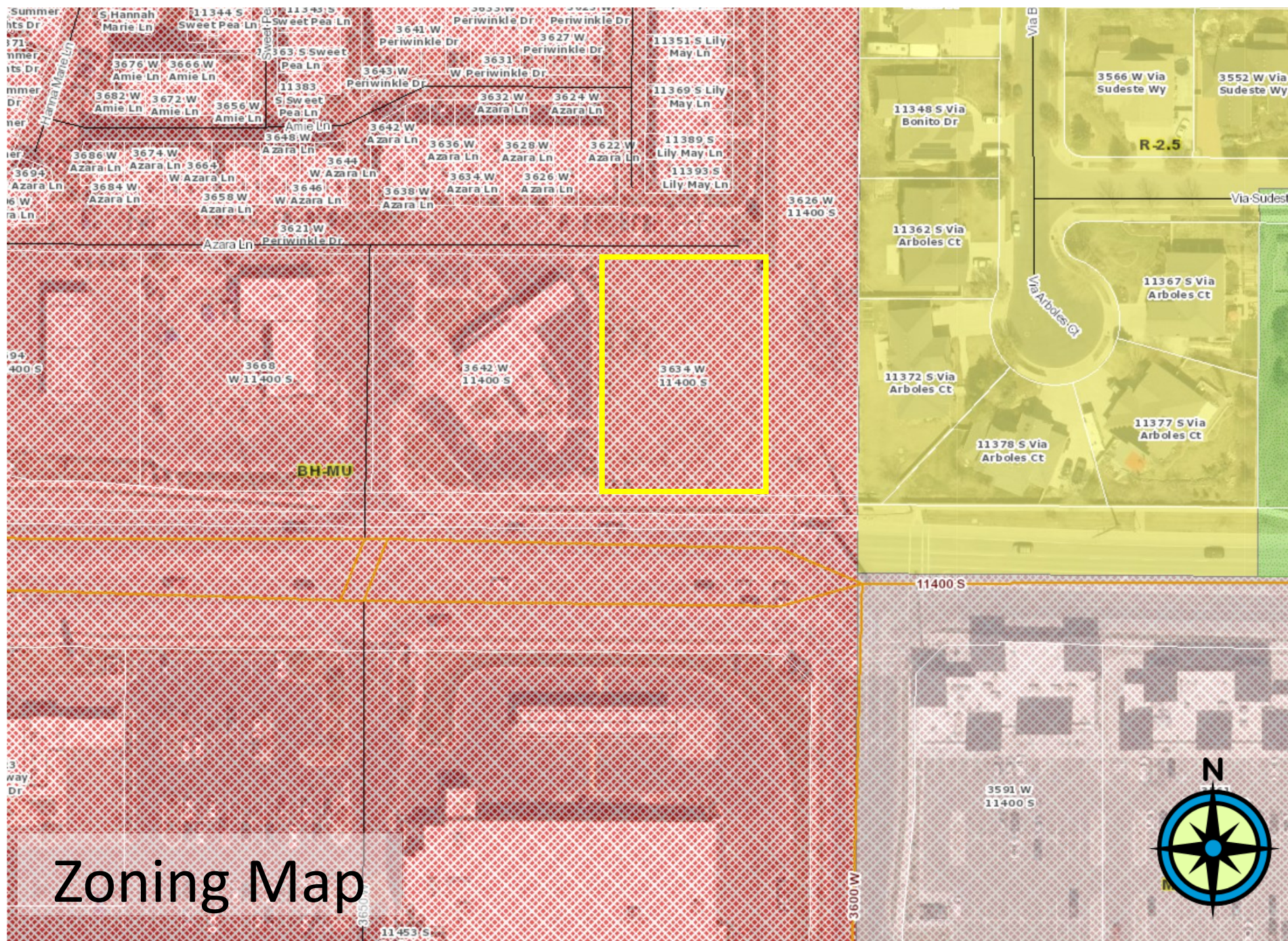


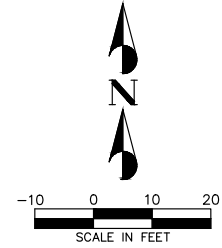
Brad Klavano, City Engineer



Location Map

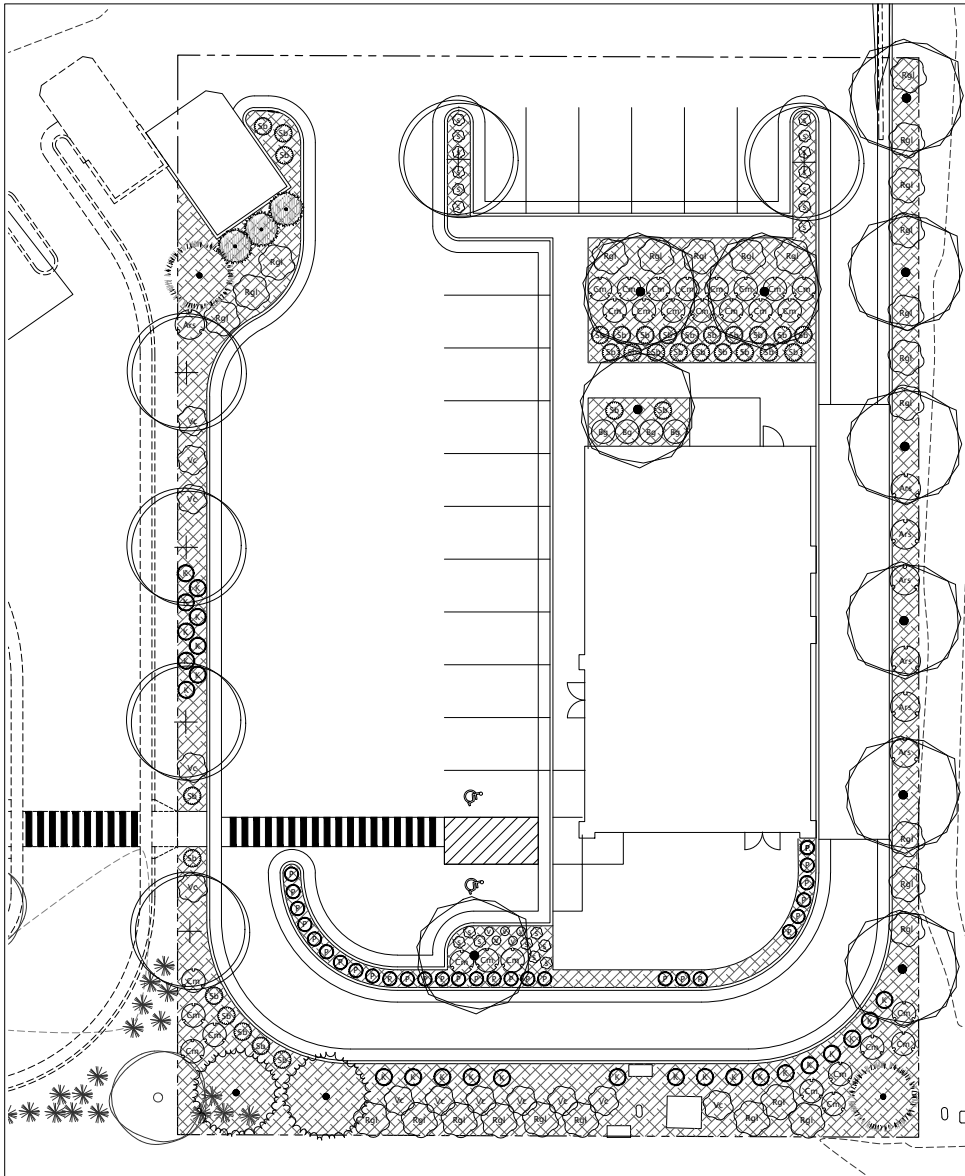
Address
Not
On File





- [illegible]

		SHEET NO. C.2.0	
BLACK RIFLE COFFEE COMPANY 3634 WEST 11400 SOUTH SOUTH JORDAN CITY		PEP CONSULTING LLC 9270 SOUTH 300 WEST • SUITE 111 84070 PHO: (801) 562-2571 • FAX: (801) 562-2551 WWW: WWW.PEP-UTAH.COM	
SITE & UTILITY PLAN		DATE: 06/28/2022 PROJECT NUMBER: 1547-2210 DRAWN BY: JEFFREY L. HARRIS CHECKED BY: JEFFREY L. HARRIS DATE: 06/28/2022	
ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT GEOTECHNICAL • MATERIALS TESTING • INSPECTIONS		DATE: 12/21 DRAWN BY: JEFFREY L. HARRIS CHECKED BY: JEFFREY L. HARRIS DATE: 06/28/2022	



PLANT SCHEDULE

TREES



BOTANICAL / COMMON NAME

EXISTING EVERGREEN / EXISTING EVERGREEN



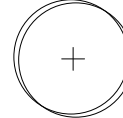
JUNIPERUS SCOPULORUM 'GRAY GLEAM' / GRAY GLEAM JUNIPER



BOTANICAL / COMMON NAME

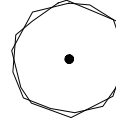
PICEA OMORIKA 'WELLS RIVERSIDE' / WELLS RIVERSIDE SPRUCE

ORNAMENTAL TREES



BOTANICAL / COMMON NAME

CERCIS CANADENSIS / EASTERN REDBUD



MALUS X 'SPRING SNOW' / SPRING SNOW CRAB APPLE

SHRUBS



BOTANICAL / COMMON NAME

BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD



CORNUS ALBA 'MINBAT' / BATON ROUGE DOGWOOD



RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC



SPIRAEA BETULIFOLIA / BIRCH LEAF SPIREA



VIBURNUM OPULUS 'COMPACTUM' / COMPACT EUROPEAN CRANBERRYBUSH

ORNAMENTAL GRASSES



BOTANICAL / COMMON NAME

CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS



PENNISETUM ALOPECUROIDES 'HA MELN' / HA MELN DWARF FOUNTAIN GRASS

DECIDUOUS SHRUBS



BOTANICAL / COMMON NAME

AMELANCHIER ALNIFOLIA 'REGEN T' / REGENT SERVICEBERRY

PERENNIALS



BOTANICAL / COMMON NAME

HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY



SALVIA NEMOROSA 'SENSATION DEEP BLUE IMPROVED' / DEEP BLUE SAGE

GROUND COVERS



BOTANICAL / COMMON NAME

PLANTING BED - 4" DEPTH SOUTHTOWN COBBLE / (3-4") INSTALL OVER DEWITT PROS FABRIC



blu line designs

planning & landscape architecture & design

8719 S. Sandy Parkway
Sandy, UT 84070
p 801.913.7564

CLIENT

BLACK RIFLE COFFEE COMPANY

3634 WEST 11400 SOUTH
SOUTH JORDAN, UT



Designed By: SP
Drawn By: TR
Date: 06/28/2022
Checked By: SP
Printed By: SP-101
Drawing Title:

LANDSCAPE
PLANTING
PLAN

Drawing number

LP101

Scale: 1" = 10'-0"



EXTERIOR FINISH SCHEDULE

MARK	MATERIAL	MANUFACTURER	STYLE/COLOR	NOTES
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: SW 7005 PURE WHITE SHEEN: MATTE	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS A-100
EP-2	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: SW 6258 TRICORN BLACK SHEEN: MATTER	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS A-100
EP-3	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: SW 6258 TRICORN BLACK SHEEN: MATTER	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS PRO INDUSTRIAL ACRYLIC 866
EP-4	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: SW 6258 TRICORN BLACK SHEEN: MATTER	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS PRO INDUSTRIAL ACRYLIC 866
CL-1	BRICK PANELING	NICHHA USA	STYLE: MODERNBRICK COLOR: MIDNIGHT FINISH	INSTALL NICHHA PANELS PER MFR RECOMMENDATIONS. USE INSIDE AND OUTSIDE CORNERS WERE REQ'D. ALL REQ'D TRIM TO BE BLACK IN COLOR.
CL-2	METAL FASCIA	PAC-CLAD	STYLE: HIGHLIGHT B1 24 GA COLOR: MATTE BLACK	VERTICAL INSTALLATION. INSTALL PER MFR RECOMMENDATIONS.
CL-3	WOOD	TREX	STYLE: TRANSCEND SQUARE EDGE DECK BOARDS COLOR: HAVANA GOLD	INSTALL PER MFR. RECOMMENDATIONS. RAIN-SCREEN APPLICATION METHOD TO BE USED. MITER CORNERS.
CL-4	E.I.F.S.	DRYVIT OR APPROVED SUBSTITUTE	COLOR: #612 MOONLIGHT	INSTALL EIFS TO THICKNESS SPECIFIED ON WALL SECTIONS. INSTALL PER MFR. RECOMMENDATIONS.
SF-1	ALUMINUM STOREFRONT DOOR & FRAME	KAWNEER	STYLE: TRIFAB 451 LOW E DOUBLE PANE MIN. COLOR: BLACK ANODIZED	INSTALL PER MFR. RECOMMENDATIONS RE: COMCHECK FOR REQ'D GLAZING ENERGY VALUES
SF-2	ALUMINUM STOREFRONT CENTER PANE GLAZING	KAWNEER	STYLE: TRIFAB 451 LOW E DOUBLE PANE MIN. COLOR: BLACK ANODIZED	INSTALL PER MFR. RECOMMENDATIONS RE: COMCHECK FOR REQ'D GLAZING ENERGY VALUES
RC-1	METAL ROOF COPING	ROOF MFR.	STYLE: MATCH ROOF SYSTEM COLOR: BLACK	INSTALL PER MFR. RECOMMENDATIONS. IF BLACK IS UNAVAILABLE, G.C. MAY SUBSTITUTE DARK BRONZE. CONFIRM WITH ARCHITECT BEFORE PURCHASE.
MR-1	MEMBRANE ROOFING SYSTEM	DURO-LAST	STYLE: 40 MIL SINGLE-PLY PVC ROOFING MEMBRANE COLOR: WHITE	INSTALL PER MFR. RECOMMENDATIONS.

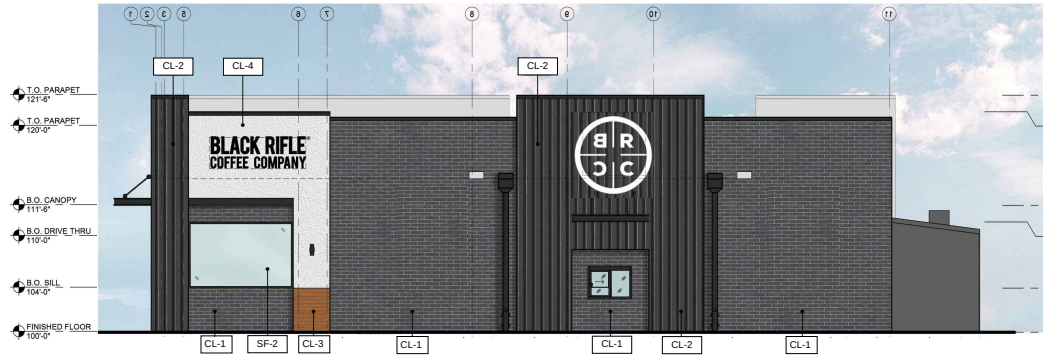
REFER TO A-611 FOR INTERIOR FINISH SCHEDULE AND SPECIFICATIONS

WALL FINISHES



1 WEST ELEVATION

SCALE: 3/16" = 1'-0"



2 EAST ELEVATION

SCALE: 3/16" = 1'-0"



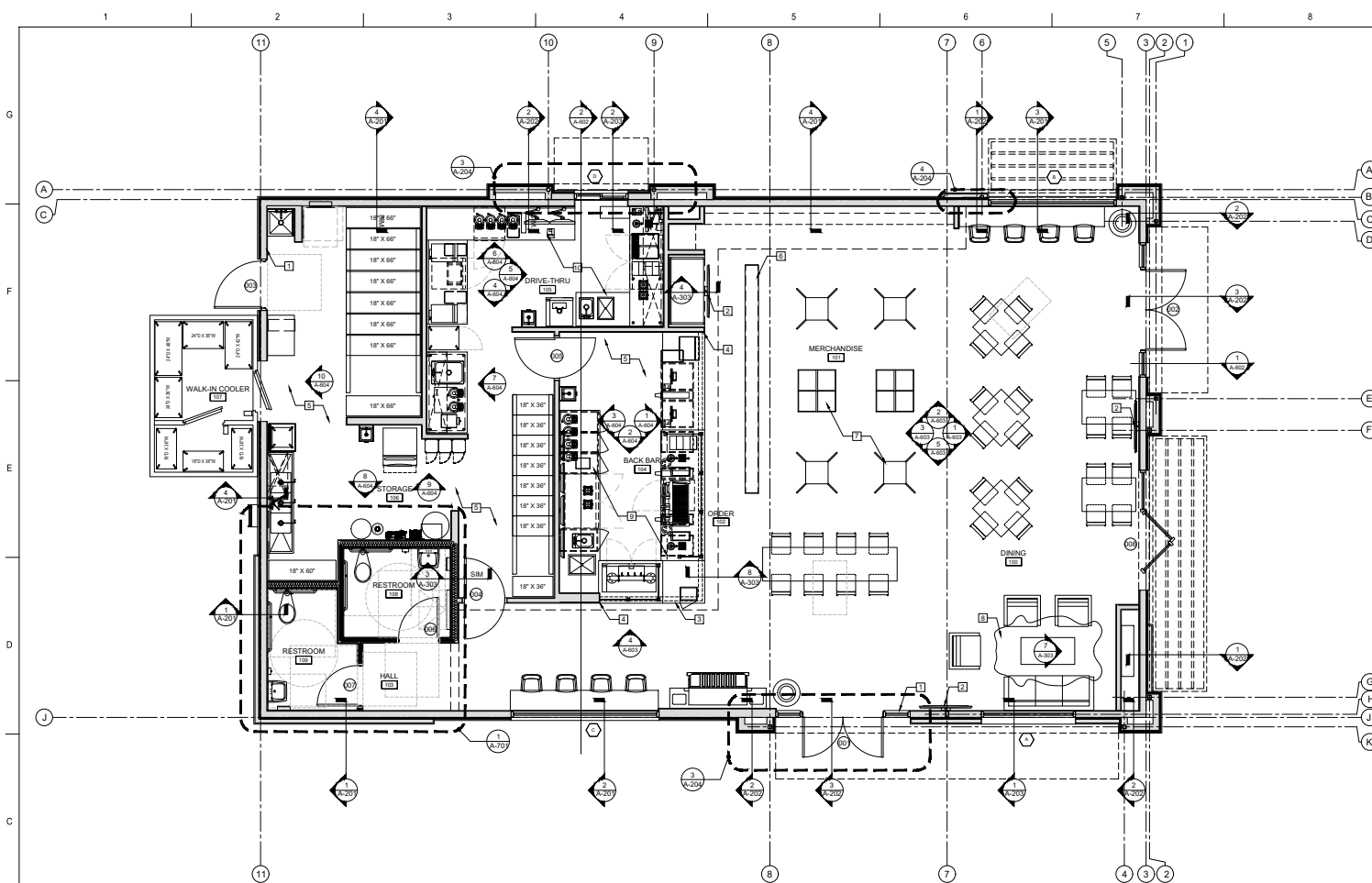
3 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



4 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



1
A-100
REFERENCE FLOOR PLAN
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- G.C. SHALL NOT SCALE THESE DRAWINGS. IN THE EVENT OF OMISSION OF A NECESSARY DIMENSION, G.C. WILL NOTIFY ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
 - DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM FACE OF STUD TO FACE OF STUD.
 - G.C. SHALL ENSURE THAT FINAL CONSTRUCTION TO BE CLEANED TO "LIKE NEW" CONDITIONS BEFORE TURNED OVER TO BLACK RIFLE COFFEE COMPANY.
 - THE G.C. SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH ALL LOCAL, STATE AND NATIONAL CODES GOVERNING THE CONSTRUCTION AND WITH THE AMERICANS WITH DISABILITIES ACT.
 - G.C. TO PROVIDE AND INSTALL WOOD BLOCKING AT ALL WALL HUNG FIXTURES AND TOILET ACCESSORIES. RE: 701 FOR ATTACHMENT OF GRAB BARS.
 - DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS.

- KEYED NOTES**
- INSTALL NEW FIRE EXTINGUISHERS AS REQUIRED BY LOCAL CODES. WHEN MOUNTING ADJACENT TO DOOR OPENING MAINTAIN 12" CLEAR TO DOOR OPENING FOR ADA COMPLIANCE. FINAL LOCATION, MOUNTING HEIGHT AND QUANTITY BY FIRE INSPECTOR. G.C. TO VERIFY FIRE MARSHAL REQUIREMENTS FOR INSPECTION AND TAGGING.
 - WALL MOUNTED TELEVISION. TOP OF SCREEN EQUAL TO 10'-0".
 - KNEE WALL CONSTRUCTION UNDER SOLID SURFACE COUNTER. REF: MILLWORK DRAWINGS FOR KNEEWALL CONSTRUCTION / FINISHES.
 - OUTER EDGE OF SOLID SURFACE COUNTER TOP TO BE FLUSH WITH FACE OF GYPSUM BD.
 - SEE DETAIL 21A-303 FOR FLOOR TILE PATTERN.
 - STORAGE AND QUEUING WALL CASEWORK BY MILLWORK VENDOR. DIMENSION TO BE 3'-0" CLEAR MINIMUM FROM P.O.S. COUNTER.
 - FREE STANDING MERCHANDISE CASEWORK. COORDINATE INSTALLATION AND LOCATIONS W/ MILLWORK VENDOR.
 - COW HIDE RUG PROVIDED BY BRCC. RE: FINISH PLAN FOR ADDITIONAL DETAILS.
 - BACK-BAR POS AND COFFEE PREPARATION EQUIPMENT. RE: KITCHEN PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
 - DRIVE-THRU POS AND COFFEE EQUIPMENT. RE: KITCHEN PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.

LEGEND

	NEW CONSTRUCTION
	NEW CONSTRUCTION W/ BATT INSULATION
	DOOR NO.
	WALL TYPE
	FIRE EXTINGUISHER
	ROOF DRAIN
	OVERFLOW ROOF DRAIN

Larson Design Group
1000 COMMERCE PARK DRIVE
SUITE 201
WILLIAMSBURG, PA 17171
(877) 323-6603

BLACK RIFLE COFFEE COMPANY
355 SPENCER LANE
SAN ANTONIO, TX 78201

CLIENT

DATE	REVISION	BY	CHKD	DATE

BLACK RIFLE COFFEE COMPANY - SOUTH JORDAN, UT
3634 WEST 11400 SOUTH SOUTH JORDAN, UT 84095

REFERENCE FLOOR PLAN

Project No.: 12940-013

Sheet No.: A-100