

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 8/9/2022

Issue: SLIM CHICKENS RESTAURANT
SITE PLAN / CONDITIONAL USE PERMIT APPLICATION

Address: 1631 W 11400 S
File No: PLSPR202200115
Applicant: Tim Leonard

Submitted by: Ian Harris, Planner I
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application and Conditional Use Permit application, file number **PLSPR202200115**, to allow for construction of drive-thru restaurant in the MU-SOUTH Zone at 1631 W 11400 S.

ACREAGE:	1.31 acres
CURRENT ZONE:	MU-SOUTH (Redwood Road Mixed Use - South)
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	EC (Economic Center)
NEIGHBORING ZONES/USES:	North – MU-SOUTH (Car Wash) South – MU-SOUTH (Multifamily Residential) West – MU-SOUTH (Gas Station) East – MU-SOUTH (Restaurant/Retail)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition, the detrimental effect must be identified and be based on substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect. Further, under City Code Section 17.84.090.A:

1. A conditional use may be commenced and operated only upon:
 - a. Compliance with all conditions of an applicable conditional use permit;
 - b. Observance of all requirements of this title relating to maintenance of improvements and conduct of the use or business as approved; and
 - c. Compliance with all applicable local, state, and federal laws.
2. A conditional use permit may be revoked by the city council at any time due to the permittee's failure to commence or operate the conditional use in accordance with the requirements of subsection A of this section.

No conditional use permit shall be revoked until after a public hearing is held before the city council. The permittee shall be notified in writing of such hearing. The notification shall state the grounds for complaint, or reasons for revocation, and the time and location of the hearing. At the hearing, the permittee shall be given an opportunity to be heard and may call witnesses and present evidence on his or her behalf. Upon conclusion of the hearing, the city council shall determine whether or not the permit should be revoked.

BACKGROUND:

The project consists of a commercial building (a restaurant with a drive-thru) with the front entrance oriented eastward, facing the parking lot, Old Cedar Drive, and a Starbucks. The drive-thru will include a wrap-around stacking lane that should accommodate up to 27 cars at a given time. The façade includes a mix of materials, relief features and windows. The main parking area will be to the east, with some stalls to the immediate south.

Auto access will be through one primary route, to the east off Old Cedar Drive, toward the southern end of the parcel.

The building is one story. The veneer of the building will be a mix of brick, siding, and glass. The building's colors are a mix of rust, gray, red, yellow, white and black, in addition to large amounts of glass. The building is 27 feet high (max. height: 35 feet). The developer received a request from the Architectural Review Committee to send in a materials board to be viewed by Commissioners at the public hearing.

Landscaping will be a variety of trees (deciduous and evergreen), shrubs, groundcovers, and grasses. Cobble will be used as mulch around the building and parking lot islands. The landscaping plans meet city landscaping requirements for trees, ground cover, and water efficiency standards.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The Ridgepoint Development Agreement primarily governs the subdivision.
- The development agreement requires a Conditional Use Permit for drive-thru service.
- Operations will be typical for the company (10:30 AM to 10:00 PM)
- All uses will be indoor apart from drive-thru service.
- The Architectural Review Committee reviewed the proposed building on April 27, 2022. They requested a materials board be brought to the Planning Commission meeting and be reviewed by commissioners.
- The project meets the Planning and Zoning (Title 17) and the Subdivision and Development (Title 16) Code requirements.

Conclusion:

- The proposed project will meet the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus it should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

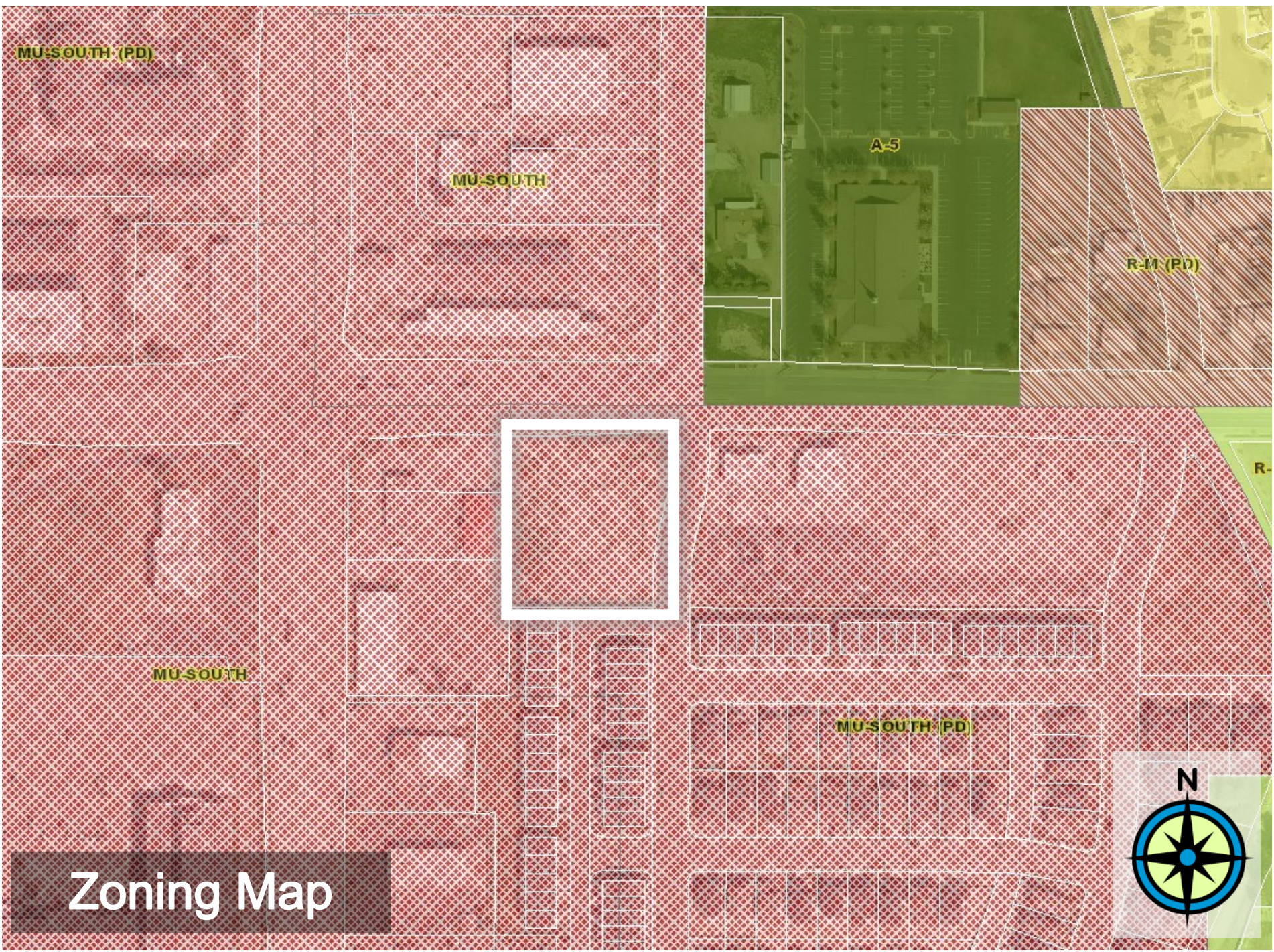
SUPPORT MATERIALS:

- Location Map
- Zoning Map
- Site Plan
- Landscape Plan
- Building Elevations

Ian Harris
Planner I
Planning Department



Location Map



MU-SOUTH (PD)

MU-SOUTH

A-5

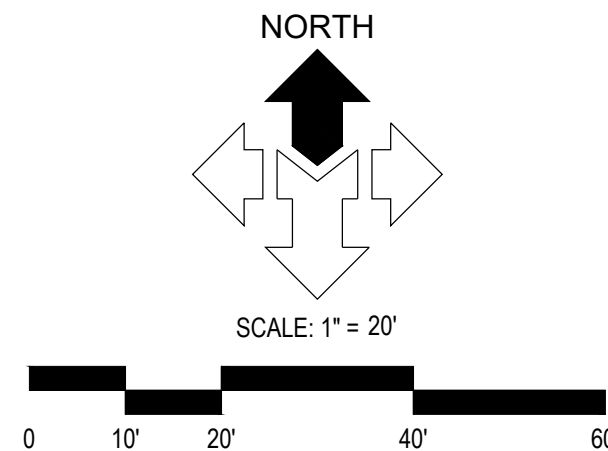
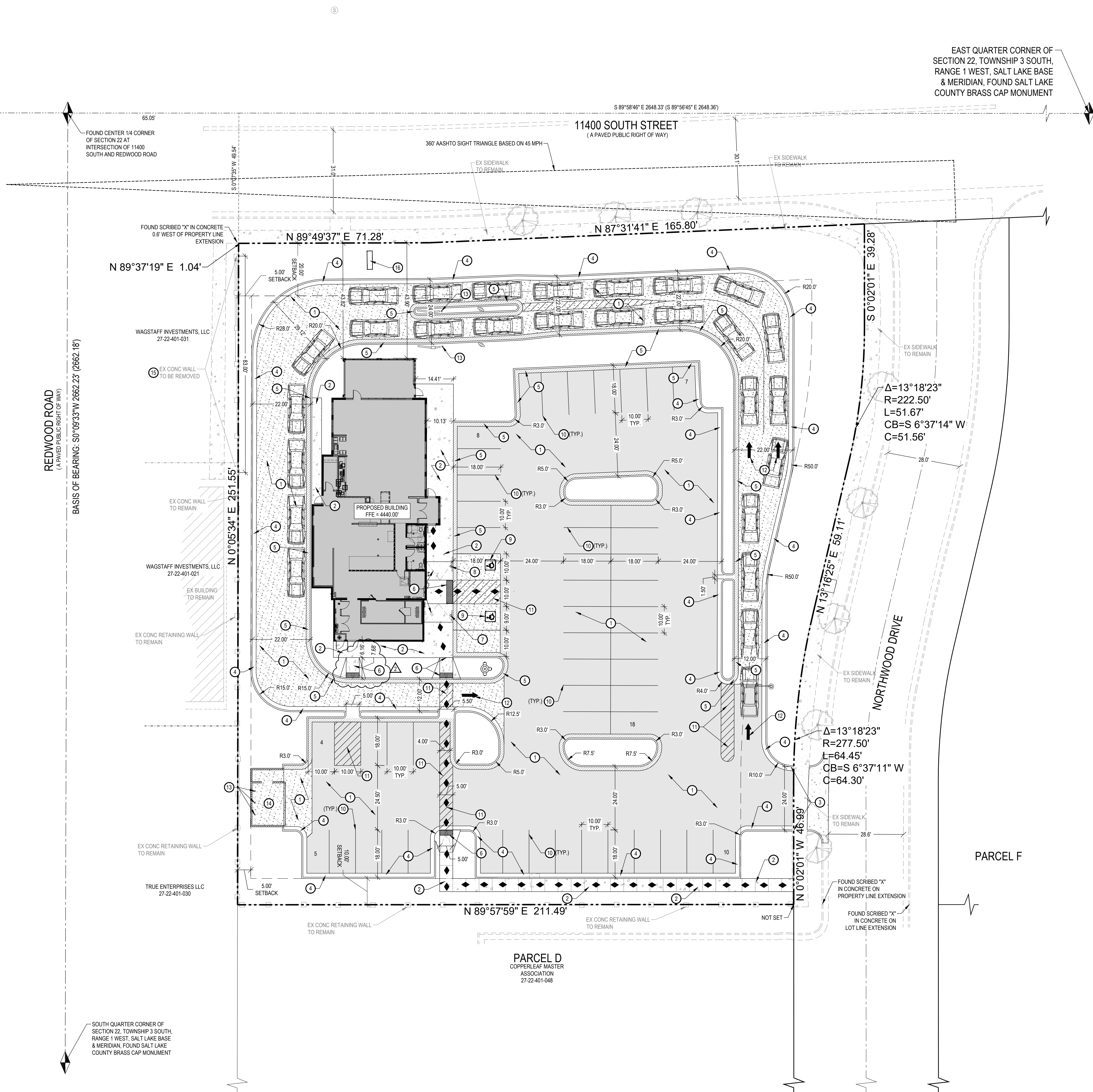
R-M (PD)

MU-SOUTH

MU-SOUTH (PD)



Zoning Map



DESCRIPTION	AREA	%
HARDSCAPE	36,878 SQFT	66%
LANDSCAPE	15,878 SQFT	28%
BUILDINGS	4,104 SQFT	7%
TOTAL	56,860 SQFT	100%

GENERAL NOTES:
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

- KEYED NOTES:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D2', SHEET C5.01.
 - CONCRETE SIDEWALK, PER APWA PLAN NO. 231 ON SHEET C5.01.
 - CONCRETE OPEN DRIVE APPROACH, PER APWA PLAN NO. 225 ON SHEET C5.01.
 - 24" CONCRETE CATCH CURB AND GUTTER. SEE DETAIL 'D3', SHEET C5.01.
 - 24" CONCRETE RELEASE CURB AND GUTTER. SEE DETAIL 'D4', SHEET C5.01.
 - ADA RAMP WITH DETECTABLE WARNING SURFACE. SEE APWA PLAN NO. 236.2 AND DETAIL 'A1', SHEET C5.01, FOR RAMP DETAIL. APWA PLAN NO. 236 FOR DETECTABLE WARNING SURFACE DETAIL.
 - ADA PARKING SIGN. SEE DETAIL 'A4', SHEET C5.01.
 - VAN ACCESSIBLE ADA PARKING SIGN. SEE DETAIL 'A4', SHEET C5.01.
 - PAINTED ADA SYMBOL. SEE DETAIL 'A3', SHEET C5.01.
 - 4" WIDE SOLID WHITE PARKING STALL STRIPE LINES.
 - 4" WIDE SOLID WHITE STRIPE LINES.
 - PAINTED ARROW SYMBOL.
 - BOLLARD. SEE DETAIL 'D6', SHEET C5.01.
 - DUMPSTER ENCLOSURE WITH HEAVY DUTY CONCRETE PAVEMENT, SEE DETAIL 'D1' ON SHEET C5.01 FOR CONCRETE DETAIL. SEE ARCHITECTURAL PLANS ENCLOSURE DETAILS.
 - APPROXIMATELY 83-FEET OF EXISTING OF CONCRETE WALL TO BE REMOVED TO EDGE OF EXISTING GAS STATION BUILDING. REMOVE TO NEAREST COLUMN AND CONTRACTOR TO COORDINATE WITH ADJACENT PROPERTY OWNER FOR REMOVAL.
 - PROPOSED MONUMENT SIGN. APPROVAL, DESIGN, AND INSTALLATION BY OTHERS.
- ◆ ◆ ◆ ACCESSIBLE ROUTE WITH MAXIMUM 1:48 CROSS-SLOPE AND MAXIMUM 1:20 RUNNING-SLOPE.

PARKING TABULATION:

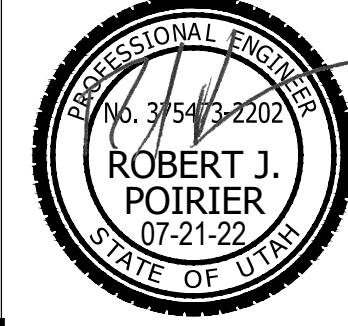
PROVIDED STALLS:	50
PROVIDED ADA STALLS:	2
TOTAL STALLS:	52
DRIVE THRU STACKING:	27

South Jordan City
Planning Division
Reviewed for Code Compliance
Date: 08/01/2022 By: J. Harris

City Engineer
City of South Jordan
Approved 07/27/2022
B. J. Kloss City Engineer



NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



REVISIONS		DATE	DESCRIPTION
REV	DATE	DESCRIPTION	
1	06-27-22	CITY REVIEW 1	
2	07-21-22	CITY REVIEW 2	
3			
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PROJECT NO: 22080
DRAWN BY: BRM
CHECKED BY: CCW/RJP
DATE: JULY 21, 2022

South Jordan City
Planning Division
Reviewed for Code Compliance
Date: 08/01/2022 By: Harris



LANDSCAPE SCHEDULE

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	DETAIL	
DECIDUOUS TREES						
	4	SUCKER PUNCH CHOKECHERRY	PRUNUS VIRGINIANA 'SUCKER PUNCH'	2" CAL.	D/L5.01	
	10	ALLEE LACEBARK ELM	ULMUS PARVIFLORA 'ELMER II'	2" CAL.	D/L5.01	
	8	MUSASHINO COLUMNAR ZELKOVA	ZELKOVA SERRATA 'MUSASHINO'	2" CAL.	D/L5.01	
	3	PROPOSED STREET TREE TO MATCH AXIS		2" CAL.	D/L5.01	
	8	EXISTING DECIDUOUS TREE TO REMAIN				
EVERGREEN TREES						
	23	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	6' HT	E/L5.01	
	3	VANDERWOLF'S PYRAMID PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	6'-7' HT	E/L5.01	
SHRUBS						
	73	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADOENSIS	3 GAL.	B/L5.01	
	2	NEW MEXICO PRIVET	FORESTIERA NEOMEXICANA	5 GAL.	B/L5.01	
	33	HILLSIDE CREEPER SCOTCH PINE	PINUS SYLVESTRIS 'HILLSIDE CREEPER'	5 GAL.	B/L5.01	
	15	SAPPHIRE SKIES BEAKED BLUE YUCCA	YUCCA ROSTRATA 'SAPPHIRE SKIES'	3 GAL.	B/L5.01	
ORNAMENTAL GRASSES						
	81	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.	A/L5.01	
	110	FOERSTER'S FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL.	A/L5.01	
	380	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPHIRSPRUDEL'	1 GAL.	A/L5.01	
SYMBOL	QTY.	DESCRIPTION	INSTRUCTIONS	SIZE	SOURCE	DETAIL
LAWN						
	2,349 S.F.	LAWN SOD	INSTALL OVER MINIMUM 5" TOPSOIL LAYER		CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL	F/L5.01
BOULDERS						
	38	"RED VEIN" BOULDERS FROM BROWNS CANYON QUARRY	BURY 1/3 THE DEPTH OF THE BOULDER INTO FINISH GRADE. DO NOT USE BOULDERS THAT ARE LESS THAN 24" DIAMETER. BOULDER SHALL BE WASHED AND FREE OF DIRT AND OTHER FOREIGN DEBRIS	2'-4"	MOUNTAIN VALLEY STONE (435) 654-0120 OR APPROVED EQUAL	H/L5.01
CRUSHED ROCK						
	15,587 S.F.	"COPPER CANYON" CRUSHED ROCK	INSTALLED A MINIMUM 3" DEEP. INSTALL OVER DEWITTS 4.1 WEED BARRIER FABRIC. CRUSHED ROCK SHALL BE FREE OF DIRT & OTHER FOREIGN DEBRIS.	1" DIAMETER	STAKER & PARSON COMPANIES (801) 819-9089 OR APPROVED EQUAL	G/L5.01

SOUTH JORDAN CITY DATA

CITY CODE: CH. 16. 30 - WATER EFFICIENT LANDSCAING & 17.54 - MIXED USE ZONES		
ZONED AS	MIXED USE SOUTH (MU-SOUTH)	
TOTAL SITE AREA	56,860 S.F.	
ON-SITE LANDSCAPE AREA	15,652 S.F. = 27.5%	
GENERAL:	REQUIRED	PROVIDED
	REQUIRED TREES: 1 PER 500 S.F. LANDSCAPE AREA (EXCLUDING REQUIRED PARKING LOT & STREET TREES)	31
EVERGREEN TREES: 30% OF REQUIRED TREES	31 x .30 = 9	26
	MIN. 50%	51%
PLANT COVERAGE	MAX. 20%	2,349 S.F. = 15%
LAWN	20'	YES
FRONT YARD	20'	YES
SIDE YARD	20'	YES
PARKSTRIP:	PLANT COVERAGE	50%
	TREES - 1 PER 30'	10
PARKING:	TREES IN DOUBLE ROWS - 1 PER 6 STALLS	YES
	TREES IN SINGLE ROWS - 1 PER 3 STALLS	YES
TOTAL PARKING LOT TREES	18	18

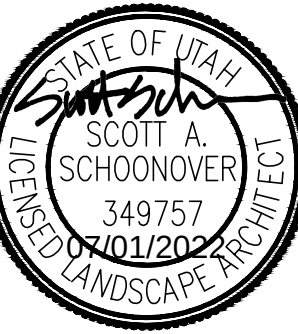
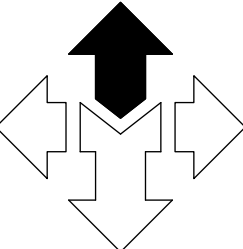
REFERENCE NOTES

- L-1. CONCRETE MOWSTRIP
J/L5.01
L-2. METAL EDGING
I/L5.01

GENERAL NOTE

1. REFER TO COMMON EARTHWORK AND PLANTING NOTES ON SHEET L0.01

NORTH



REVISIONS

REV	DATE	DESCRIPTION

PROJECT NO: 22080
DRAWN BY: TG
CHECKED BY: SS
DATE: APRIL 2022
PROPERTY NO:

LANDSCAPE
PLANTING
PLAN

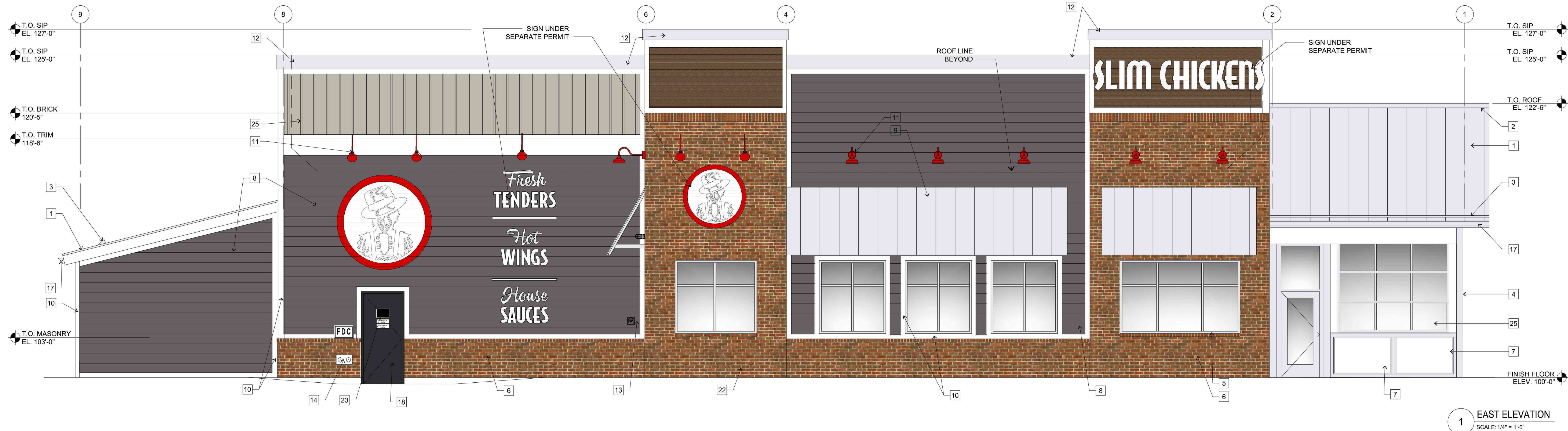
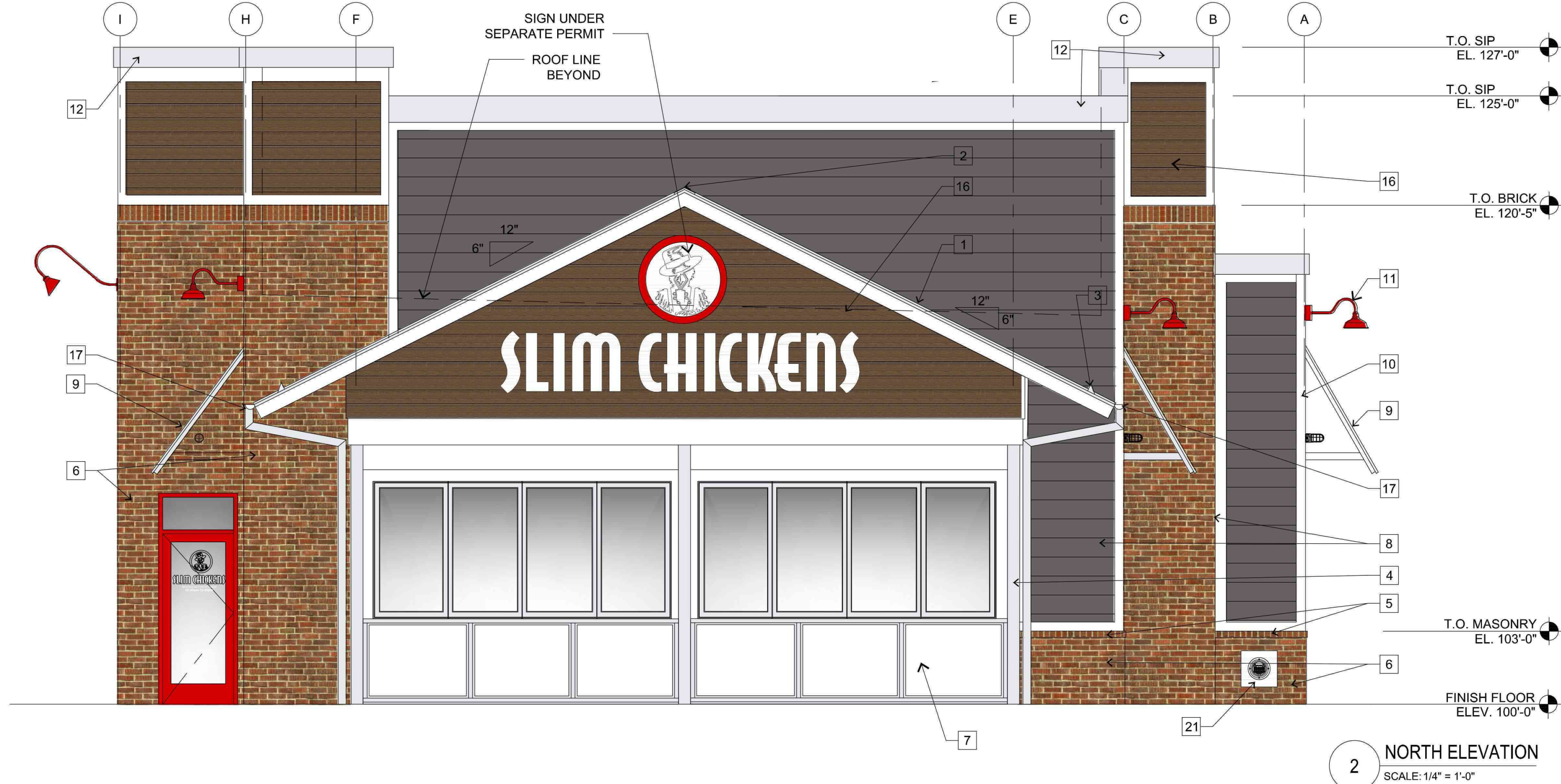
EXTERIOR FINISH LEGEND (XX)						
KEY	MATERIAL	MANUFACTURER	FINISH/STYLE	SPECIFICATIONS	LOCATION	MATERIAL NOTES
BR-1	BRICK	ACME BRICK (OR APPROVED EQUAL)	OLD FORT SMITH - KING SIZED	RUNNING BOND - ROWLOCK SILL	EXTERIOR WALLS	NATURAL OR WHITE MORTAR COLOR, AS REQUIRED - RE: SPEC FOR COMPLETE INFORMATION
CD-1	COMPOSITE DECKING BOARDS	MOISTURE SHIELD	2" X 6" BOARDS, COLOR - BRIDLE	WOOD COMPOSITE DECKING	PATIO SIGNAGE	1" GAPS BETWEEN BOARDS - FASTENED PER MFR RECOMMENDATIONS
FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE OR APPROVED EQUAL	P100 WHITE		BACK OF HOUSE	PROVIDE MANUFACTURERS STANDARD PVC CORNER GUARDS. INSTALL ABOVE BASE.
MT-1	GALVALUME R-PANELS	METAL SALES MANUFACTURING CORP.	CLEAR	26 GAUGE	AWNINGS AND PATIO ROOF	---
MT-2	PRE-FINISHED METAL COPING	FIRESTONE	UNA-CLAD / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPINGS	---
MT-3	GALVALUME COPING	METAL SALES MANUFACTURING CORP.	CLEAR	---	COPINGS AT DUMPSTER ENCLOSURE	---
MT-4	PRE-FINISHED METAL COPING	FIRESTONE	UNA-EDGE DE / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPING AT DRIVE-THRU	---
P-1	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SW 7005 - PURE WHITE	EXTERIOR FIBER CEMENT BOARD TRIM	---
PRIMER		SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	CHARCOAL GRAY (CUSTOM)	EXTERIOR WOOD / FIBER CEMENT LAP SIDING / DUMPSTER ENCLOSURE STEEL POSTS AND CMU	---
PRIMER		SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	BASE: TINT 50%	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	---
PRIMER		SHERWIN WILLIAMS	LOXON BLOCK SURFACER	BASE: TINT 50%	DUMPSTER ENCLOSURE CMU	---
PRIMER		SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	DUMPSTER ENCLOSURE STEEL POSTS	---
P-5	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / ULTRADEEP / SEMI-GLOSS	SW 6258 - TRICORN BLACK	HM DOORS & FRAMES	---
PRIMER		SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	---	---
P-6	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	---
PRIMER		SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	BASE: TINT 50%	---	---
P-11	PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	SW 7663 - MONORAIL SILVER	METAL COLUMNS	---

KEY NOTES (X)		FOR SHEETS A2.1 & A2.2	
1.	R-PANEL METAL ROOF (MT-1)	14.	FIRE DEPARTMENT CONNECTION
2.	RIDGE CAP	15.	WALL MOUNTED TVS ABOVE WINDOWS RE: SPECS
3.	CONTINUOUS ALUMINUM SNOW GUARD	16.	COMPOSITE DECKING BOARD (CD-1)
4.	STEEL COLUMN, RE: STRUCT (P-11)	17.	5" HALF ROUND GALVANIZED METAL GUTTER & 4" ROUND DOWNSPOUTS TYP.
5.	ROWLOCK BRICK SILL	18.	HOLLOW METAL DOOR AND (P-5)
6.	BRICK - RUNNING BOND (BR-1)	19.	ELECTRIC PANELS (P-4)
7.	NON-ILLUMINATED FROSTED TRANSLUCENT PANEL	20.	GAS METER
8.	FIBER CEMENT BOARD LAP SIDING - (P-4)	21.	ROOF DRAIN OUTLET, RE: ROOF PLAN
9.	METAL AWNING (MT-1)	22.	BOLLARDS, RE: CIVIL (P-6)
10.	FIBER CEMENT BOARD TRIM, TYP (P-1)	23.	FIRE RISER DOOR LABEL
11.	EXTERIOR LIGHTING FIXTURE, RE: ELECTRICAL	24.	WOOD TRIM, PAINTED
12.	PREFINISHED METAL COPING (MT-2)	25.	16" O.C. FIBER CEMENT BOARD & BATTEN SIDING (P-7)
13.	KNOX BOX		

GENERAL NOTES	
1. SIGNAGE COMPANY TO PERMIT THE LARGEST POSSIBLE SIGNAGE. COORDINATE WITH AHJ.	
FINISH NOTES	
1. ALL MATERIAL SUBSTITUTIONS PROPOSED BY GENERAL CONTRACTORS MUST HAVE CORPORATE APPROVAL PRIOR TO SUBMISSION OF PROPOSAL. CONTRACTORS SUBMITTING PROPOSALS WITH MATERIALS OTHER THAN THOSE LISTED ABOVE DO SO AT THEIR OWN RISK.	2. ALL CAULK/SEALANT USED IN PROJECT TO EXHIBIT COLOR THAT MATCHES ADJACENT FINISHES.
3. CEMENT BOARD SIDING TO HAVE ALL SCREWS COUNTERSUNK AND LOCATED EVERY 12" O.C.	
BUILDING ANALYSIS	
PATIO: 415 SF DINING AND BOH: 3,455 SF NON-OCCUPIABLE: 216 SF (COOLER/Co2 STORAGE) TOTAL BUILDING AREA: 4,086 SF	

South Jordan City
Planning Division
Reviewed for Code Compliance
Date: 08/01/2022 By: Harris

	P-1 FIBER CEMENT BOARD TRIM SW 7005 - PURE WHITE		ALUMINUM STOREFRONT CLEAR ANODIZED
	P-4 FIBER CEMENT LAP SIDING HC-168 CHELSEA GRAY		CD-1 COMPOSITE DECKING ENVISON
	P-5 H.M. DOOR & FRAME SW 6258 - TRICORN BLACK		BRICK GENERAL SHALE WATERTON
	P-6 PAINT SW 4084 - SAFETY YELLOW		MT-1 GALVALUME R-PANELS AWNINGS & PATIO ROOF
	LIGHTING FIXTURES RED		P-8 GAS METER



ISSUES / REVISIONS		
M/D/YYYY	ISSUE	
1	6/28/2022	SITE SUBMITTAL

ISSUE DATE: 6/28/2022
PROTO DATE: 2020 Q1
PROTO SIZE: 2800/L
CHECKED BY: BHH
DRAWN BY: TS
PROJECT #

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1

EXTERIOR FINISH LEGEND

KEY	MATERIAL	MANUFACTURER	FINISH/STYLE	SPECIFICATIONS	LOCATION	MATERIAL NOTES
BR-1	BRICK	ACME BRICK (OR APPROVED EQUAL)	OLD FORT SMITH - KING SIZED	RUNNING BOND - ROWLOCK SILL	EXTERIOR WALLS	NATURAL OR WHITE MORTAR COLOR, AS REQUIRED - RE: SPEC FOR COMPLETE INFORMATION
CD-1	COMPOSITE DECKING BOARDS	MOISTURE SHIELD	2" X 6" BOARDS, COLOR - BRIDLE	WOOD COMPOSITE DECKING	PATIO SIGNAGE	1" GAPS BETWEEN BOARDS - FASTENED PER MFR RECOMMENDATIONS
FRP-1	FIBERGLASS REINFORCED PANEL	MARLITE OR APPROVED EQUAL	P100 WHITE		BACK OF HOUSE	PROVIDE MANUFACTURERS STANDARD PVC CORNER GUARDS. INSTALL ABOVE BASE.
MT-1	GALVALUME R-PANELS	METAL SALES MANUFACTURING CORP.	CLEAR	26 GAUGE	AWNINGS AND PATIO ROOF	---
MT-2	PRE-FINISHED METAL COPING	FIRESTONE	UNA-CLAD / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPINGS	---
MT-3	GALVALUME COPING	METAL SALES MANUFACTURING CORP.	CLEAR	---	COPINGS AT DUMPSTER ENCLOSURE	---
MT-4	PRE-FINISHED METAL COPING	FIRESTONE	UNA-EDGE DE / CLEAR ANODIZED KYNAR 500 FINISH	.05" GAUGE	COPING AT DRIVE-THRU	---
P-1	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	SW 7005 - PURE WHITE	EXTERIOR FIBER CEMENT BOARD TRIM	---
PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	---	EXTERIOR FIBER CEMENT BOARD TRIM	---
P-4	PAINT	SHERWIN WILLIAMS	A-100 / SATIN	CHARCOAL GRAY (CUSTOM)	EXTERIOR WOOD / FIBER CEMENT LAP SIDING / DUMPSTER ENCLOSURE STEEL POSTS AND CMU	---
PRIMER	SHERWIN WILLIAMS	QUICK DRY STAIN BLOCKING PRIMER	---	---	EXTERIOR WOOD / FIBER CEMENT LAP SIDING	---
PRIMER	SHERWIN WILLIAMS	LOXON BLOCK SURFACER	---	---	DUMPSTER ENCLOSURE CMU	---
PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	---	---	DUMPSTER ENCLOSURE STEEL POSTS	---
P-5	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / ULTRADEEP / SEMI-GLOSS	SW 6258 - TRICORN BLACK	HM DOORS & FRAMES	---
PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	---	---	---	---
P-6	PAINT	SHERWIN WILLIAMS	DTM ACRYLIC / SAFETY YELLOW / GLOSS	SW 4084 - SAFETY YELLOW	BOLLARDS	---
PRIMER	SHERWIN WILLIAMS	PRO-CRYL UNIVERSAL PRIMER / OFF-WHITE	---	---	---	---
P-11	PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	SW 7663 - MONORAIL SILVER	METAL COLUMNS	---

KEY NOTES

FOR SHEETS A2.1 & A2.2

- R-PANEL METAL ROOF (MT-1)
- RIDGE CAP
- CONTINUOUS ALUMINUM SNOW GUARD
- STEEL COLUMN, RE: STRUCT (P-11)
- ROWLOCK BRICK SILL
- BRICK - RUNNING BOND (BR-1)
- NON-ILLUMINATED FROSTED TRANSLUCENT PANEL
- FIBER CEMENT BOARD LAP SIDING - (P-4)
- METAL AWNING (MT-1)
- FIBER CEMENT BOARD TRIM, TYP (P-1)
- EXTERIOR LIGHTING FIXTURE, RE: ELECTRICAL
- PREFINISHED METAL COPING (MT-2)
- KNOX BOX
- FIRE DEPARTMENT CONNECTION
- WALL MOUNTED TVS ABOVE WINDOWS RE: SPECS
- COMPOSITE DECKING BOARD (CD-1)
- 5" HALF ROUND GALVANIZED METAL GUTTER & 4" ROUND DOWNSPOUTS TYP.
- HOLLOW METAL DOOR AND (P-5)
- ELECTRIC PANELS (P-4)
- GAS METER
- ROOF DRAIN OUTLET, RE: ROOF PLAN
- BOLLARDS, RE: CIVIL (P-6)
- FIRE RISER DOOR LABEL
- WOOD TRIM, PAINTED
- 16" O.C. FIBER CEMENT BOARD & BATTEN SIDING (P-7)

GENERAL NOTES

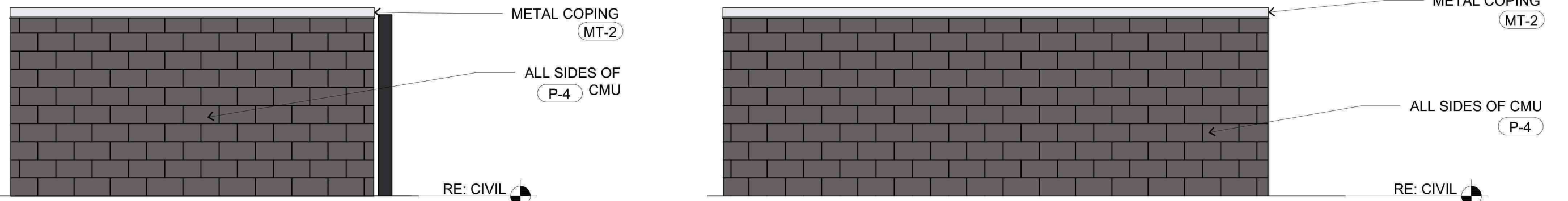
- SIGNAGE COMPANY TO PERMIT THE LARGEST POSSIBLE SIGNAGE. COORDINATE WITH AHJ.

FINISH NOTES

- ALL MATERIAL SUBSTITUTIONS PROPOSED BY GENERAL CONTRACTORS MUST HAVE CORPORATE APPROVAL PRIOR TO SUBMISSION OF PROPOSAL. CONTRACTORS SUBMITTING PROPOSALS WITH MATERIALS OTHER THAN THOSE LISTED ABOVE DO SO AT THEIR OWN RISK.
- ALL CAULK/SEALANT USED IN PROJECT TO EXHIBIT COLOR THAT MATCHES ADJACENT FINISHES.
- CEMENT BOARD SIDING TO HAVE ALL SCREWS COUNTERSUNK AND LOCATED EVERY 12" O.C.

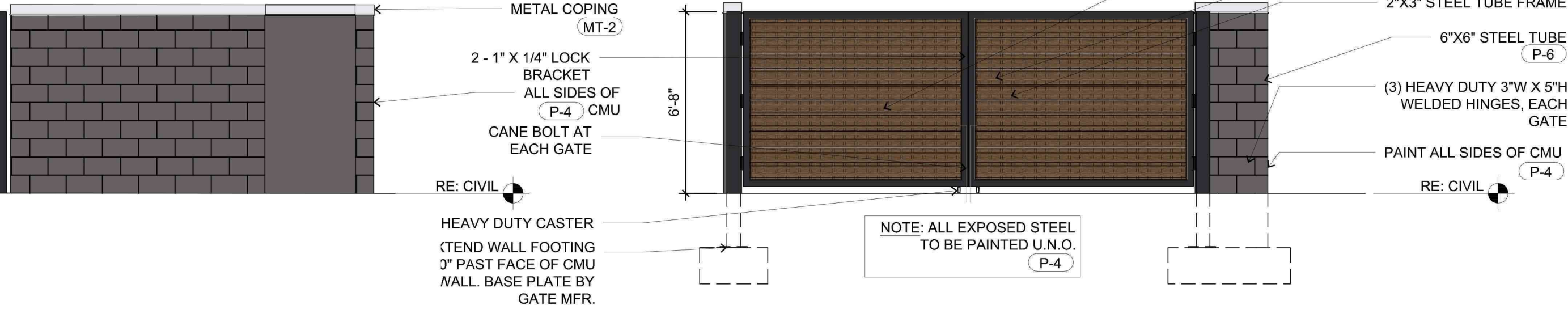
BUILDING ANALYSIS

PATIO: 415 SF
DINING AND BOH: 3,455 SF
NON-OCCUPIABLE: 216 SF (COOLER/CO2 STORAGE)
TOTAL BUILDING AREA: 4,086 SF



6 TRASH ENCLOSURE -LEFT ELEVATION
SCALE: 1/4" = 1'-0"

4 TRASH ENCLOSURE -REAR ELEVATION
SCALE: 1/4" = 1'-0"



5 TRASH ENCLOSURE - RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

3 TRASH ENCLOSURE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



FINISH FLOOR
EL. 100'-0"

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

ISSUES / REVISIONS		
	M/D/YYYY	ISSUE
1	6/28/2022	SITE SUBMITTAL

ISSUE DATE:
PROTO DATE: 2020 Q1
PROTO SIZE: 2800/L
CHECKED BY: BHH
DRAWN BY: TS
PROJECT #

SHEET NAME
EXTERIOR
ELEVATIONS

SHEET NUMBER
A2.2