

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 6-28-2022

Issue: THE DAWN AT DAYBREAK CONDOMINIUMS PLATS 1-3
PRELIMINARY CONDOMINIUM PLAT
Address: 11281 S., 11309 S. and 11333 S. Lake Run Road
Project No: PLPP202200029
Applicant: Daybreak Communities

Submitted By: Greg Schindler, City Planner
Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready): Approve Project No. PLPP202200029 subject to the following:

1. That all South Jordan City requirements are met prior to recording the plat.

STANDARDS FOR CONDOMINIUM REVIEW

The Planning Commission shall receive public comment at a public hearing regarding the proposed condominium plat. The Planning Commission may approve, approve with conditions or if the proposed condominium plat does not meet City ordinances, sanitary sewer or culinary water requirements, deny the preliminary condominium plat application.

ACREAGE	Plat 1- 0.560 acre Plat 2- 0.498 acre Plat 3- 0.499 acre
CURRENT LU DESIGNATION	Large Scale Master Planned Community
CURRENT ZONING	PC
CURRENT USE	Vacant
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	Northwest - Large Scale Master Planned Community, (P-C)/Vacant and Apartment Buildings Southwest- Large Scale Master Planned Community, (PC)/Townhomes Northeast - Large Scale Master Planned Community, (P-C)/Single Family Residential Southwest -Large Scale Master Planned Community, (P-C)/Single Family Residential and Future Condominium Building

Weekley Homes has filed an application for preliminary plat review and approval of The Dawn at Daybreak Condominiums Plats 1 through 3. Each of the three plats contains one building with twenty-one condominium units within in each building.

ANALYSIS

<u>Plat No./ Bldg. No.</u>	<u>Address</u>	<u>Acreage</u>	<u>No. Units</u>	<u>Building Height</u>
1/Bldg. A	11333 S. Lake Run Rd.	0.560 ac.	21	62 ft.
2/Bldg. B	11309 S. Lake Run Rd.	0.498 ac.	21	68 ft.
3/Bldg. C	11281 S. Lake Run Rd.	0.499 ac.	21	51 ft.

<u>Plat No./ Bldg. No.</u>	<u>Residential Density</u>	<u>Parking Spaces (Covered – Uncovered – Total)</u>
1	37.5 units/acre	27(C) – 19 (UC) – 46 (Total)
2	42.1 units/acre	27(C) – 17 (UC) – 44 (Total)
3	42.0 units/acre	27 (C) – 7 (UC) – 24 (Total)

The parking requirement for these condominiums is 1.5 spaces per unit. However, if the condo units are within ¼ mile of a light rail station, the number can be reduced to 1 parking space per unit. Each of the three condo buildings are within a ¼ mile of the Daybreak South Trax station. However, the overall parking ratio for the three proposed buildings is 1.8 spaces per unit.

The overall residential density of this proposal is 39.9 units per acre, which is consistent with the P-C zone and adopted Community Structure Plan for Daybreak. The proposed unit sizes range from 793 sq. ft. to 1,429 sq. ft. (building A), 793 sq. ft. to 1453 sq. ft. (building B) and 781 sq. ft. to 1487 sq. ft. (building C).

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The Daybreak Community Structure Plan designates this area as Town.
- Section 17.72.020 describes the Town Land Use Designation as follows: “This category is designed for high density mixed use development that emphasizes office, commercial and recreational uses, but also includes residential (single- and multi-family), public/semipublic, industrial and open space uses. This category may accommodate gross residential density of fifty (50) units per acre.”
- All PC zone and Kennecott Master Subdivision requirements will be met regarding the preliminary subdivision plat.
- All State and Local subdivision review requirements have been followed.
- The proposal meets all City ordinances
- All units in the proposed subdivision will have culinary water (South Jordan City) and sanitary sewer available (South Valley Sewer District).

Conclusions:

- The proposed subdivision is consistent with the Community Structure Plan and meets the standards of review for subdivisions in the P-C zone.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Subdivision, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

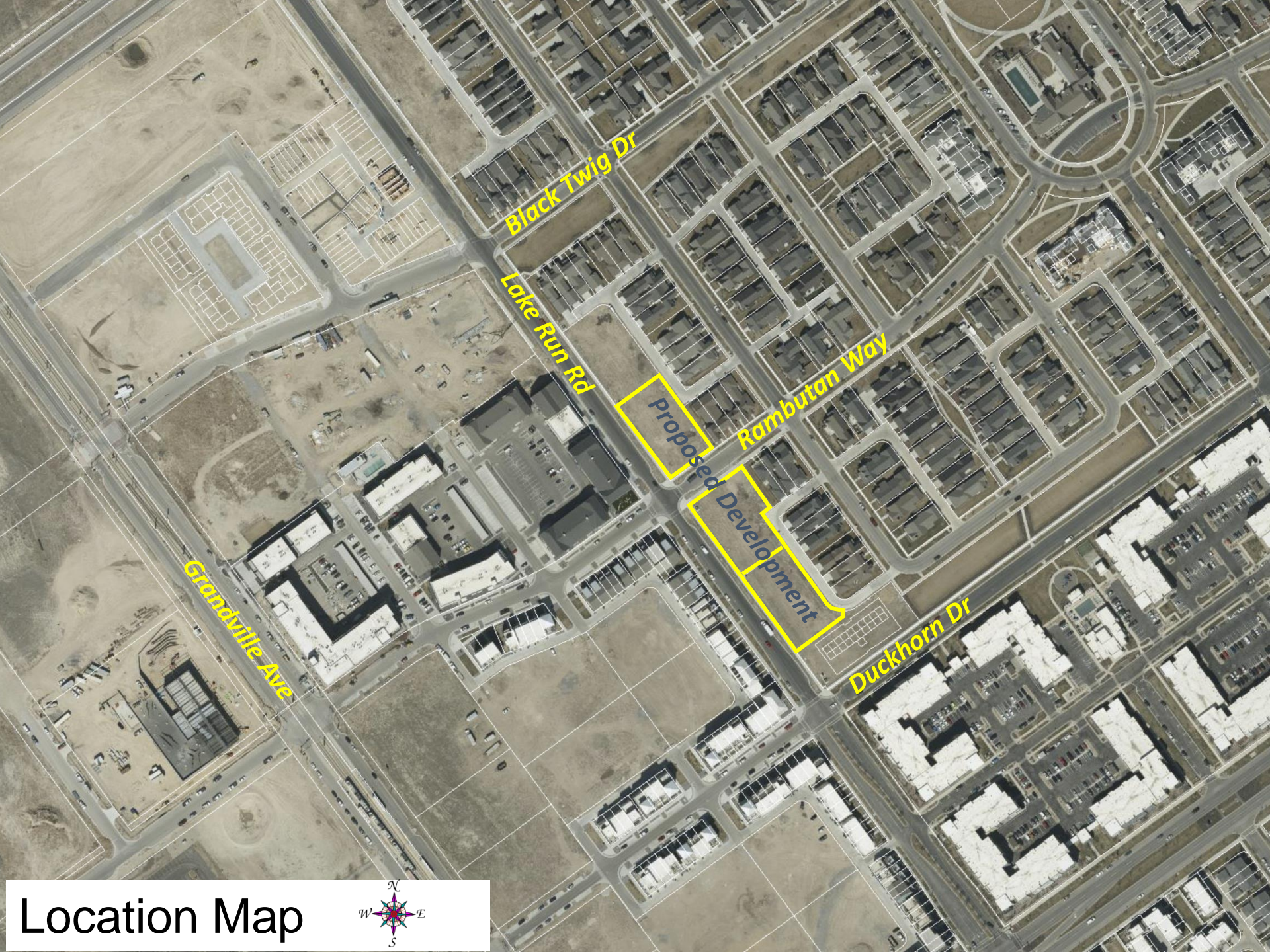
- Minimal.

ALTERNATIVES:

- Approve the preliminary condominium plats.
- Deny the preliminary condominium plats.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Aerial Map
- Proposed Condominium Plats
- Landscape Plans



Black Twig Dr

Lake Run Rd

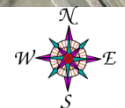
Rambutan Way

Duckhorn Dr

Grandville Ave

Proposed Development

Location Map



DAYBREAK VILLAGE 4A
PLAT 9 SUBDIVISION
BK. 2017P PG. 177

WEEKLEY HOMES, LLC
26-24-259-007

DAYBREAK SOUTH STATION MULTI-
FAMILY #3 AMENDED SUBDIVISION
BK. 2018P PG. 339

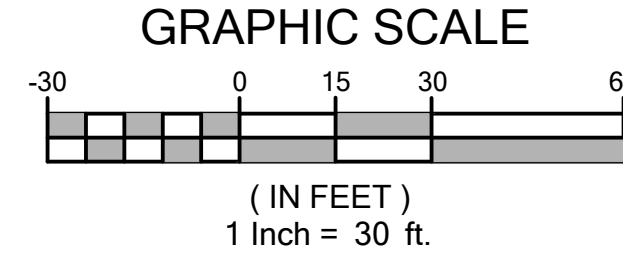
DAYBREAK SOUTH STATION MULTI-
FAMILY #2 SUBDIVISION
BK. 2018P PG. 42

KENNECOTT DAYBREAK VILLAGE 4A PLAT 8 SUBDIVISION
BK. 2015 PG. 163

GARDEN PARK
CONDOMINIUMS PHASE 6
BK. 2016 PG. 253



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Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	42.914	46.000	053°27'06"	S63°16'27"E	41.374
C2	3.218	5.000	036°52'13"	N35°01'00"E	3.162
C3	2.280	2.412	054°09'28"	N09°28'09"W	2.196
C4	2.281	2.412	054°09'48"	S63°37'47"E	2.197

Line Table		
Line #	Length	Direction
L1	29.698	S06°12'59"E
L2	39.224	N59°01'49"W
L3	12.333	S36°32'53"E
L4	5.000	N53°27'07"E
L5	8.333	S36°32'53"E
L6	5.000	S53°27'07"W
L7	16.333	S36°32'53"E
L8	1.500	S53°27'07"W
L9	12.333	S36°32'53"E
L10	5.000	N53°27'07"E
L11	11.439	S36°32'53"E
L12	5.000	S53°27'07"W
L13	38.395	S36°32'53"E
L14	1.500	N53°27'07"E
L15	31.167	S36°32'53"E
L16	5.000	N53°27'07"E
L17	8.333	S36°32'53"E
L18	5.000	S53°27'07"W
L19	12.833	S36°32'53"E
L20	21.000	S53°27'07"W
L21	1.500	N36°32'53"W
L22	47.167	S53°27'07"W
L23	50.167	N36°32'53"W
L24	1.500	N53°27'07"E
L25	3.000	N36°32'53"W
L26	6.000	S53°27'07"W

Line Table		
Line #	Length	Direction
L27	56.167	N36°32'53"W
L28	6.000	N53°27'07"E
L29	2.667	N36°32'53"W
L30	1.500	S53°27'07"W
L31	39.500	N36°32'53"W
L32	1.500	N53°27'07"E
L33	5.000	N36°32'53"W
L34	8.000	N53°27'07"E
L35	5.000	S36°32'53"E
L36	13.917	N53°32'16"E
L37	1.479	S36°32'53"E
L38	44.750	N53°27'07"E
L39	36.245	N36°32'53"W
L40	37.745	N36°32'53"W
L41	7.044	N36°32'53"W
L42	9.219	N24°01'10"W
L43	9.220	N49°04'37"W
L44	2.999	N53°27'07"E
L45	2.999	N53°27'07"E
L46	9.222	N24°01'24"W
L47	9.219	S49°04'37"E
L48	8.791	N36°32'53"W
L49	9.000	N36°32'54"W
L50	18.000	N36°32'54"W
L51	10.917	N36°32'54"W
L52	18.334	N53°27'07"E

PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE
REBAR & CAP OR NAILS SET IN THE TOP
OF CURB OR ALLEY ON THE EXTENSION OF
SIDE LOT LINES.

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- EXISTING STREET MONUMENT
- LIMITED COMMON AREA
- PRIVATE OWNERSHIP AREA
- COMMON AREA
- PRIVATE RIGHT-OF-WAY AND UTILITY AND DRAINAGE EASEMENT

Sheet 2 of 5

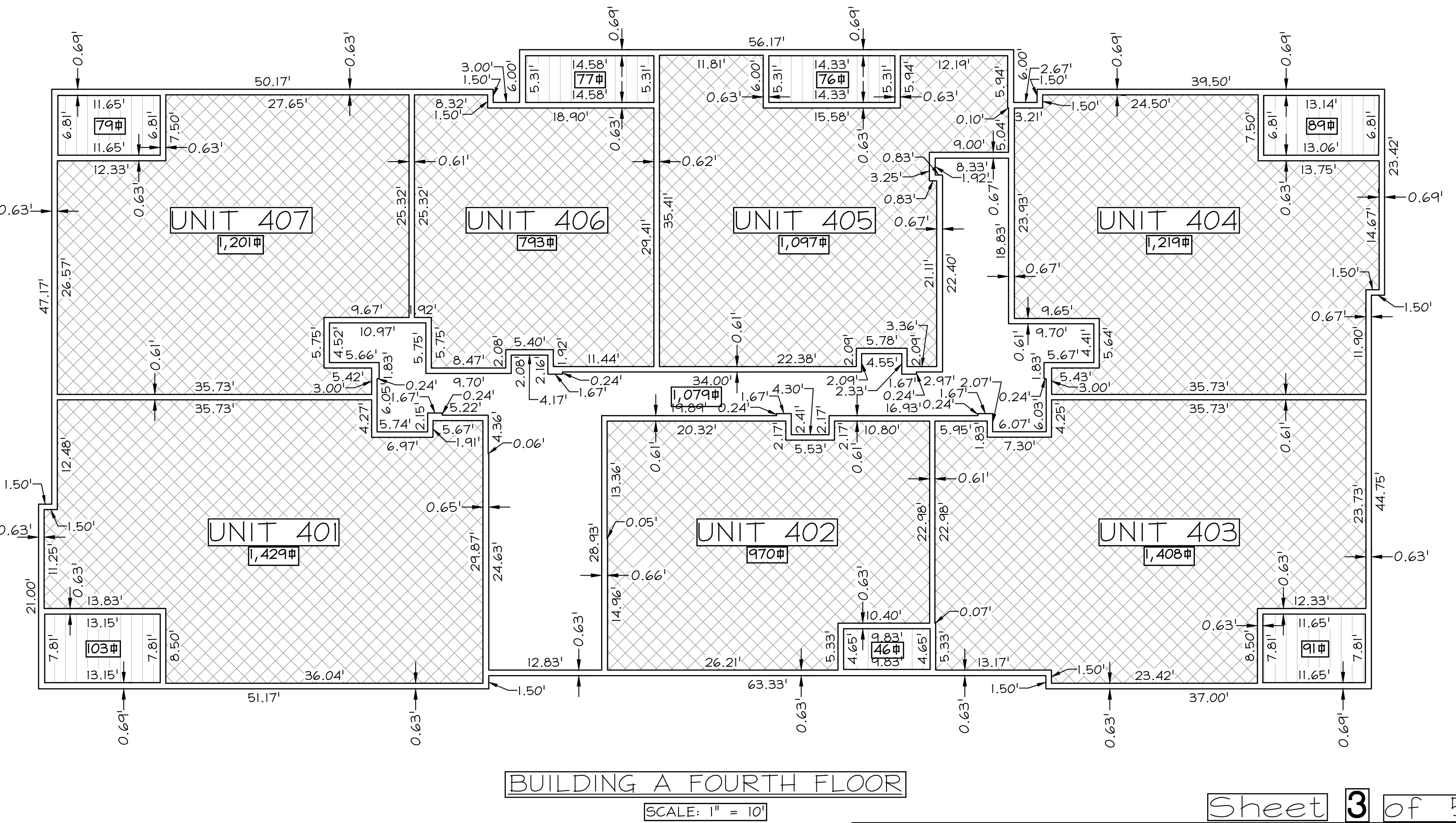
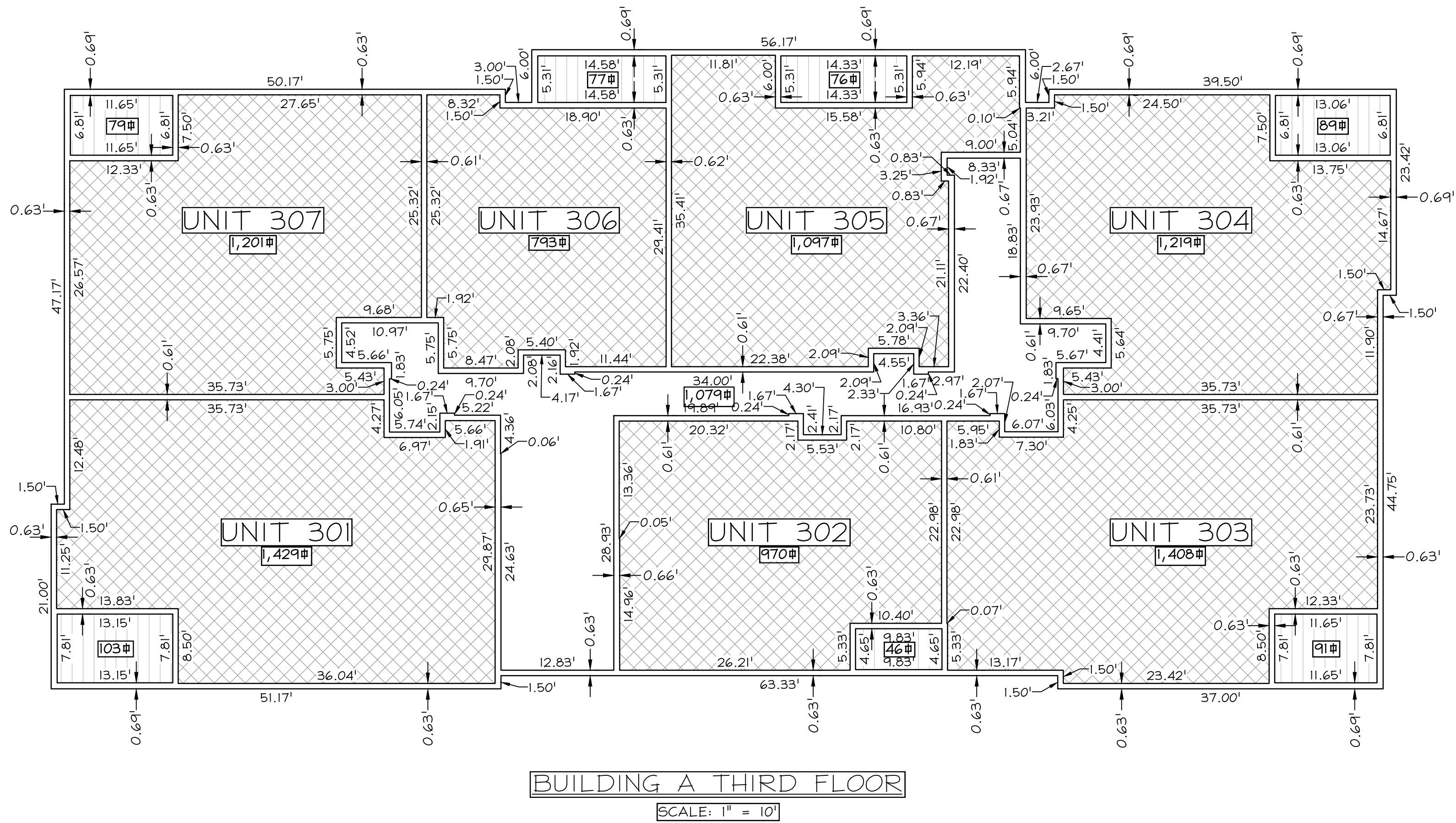
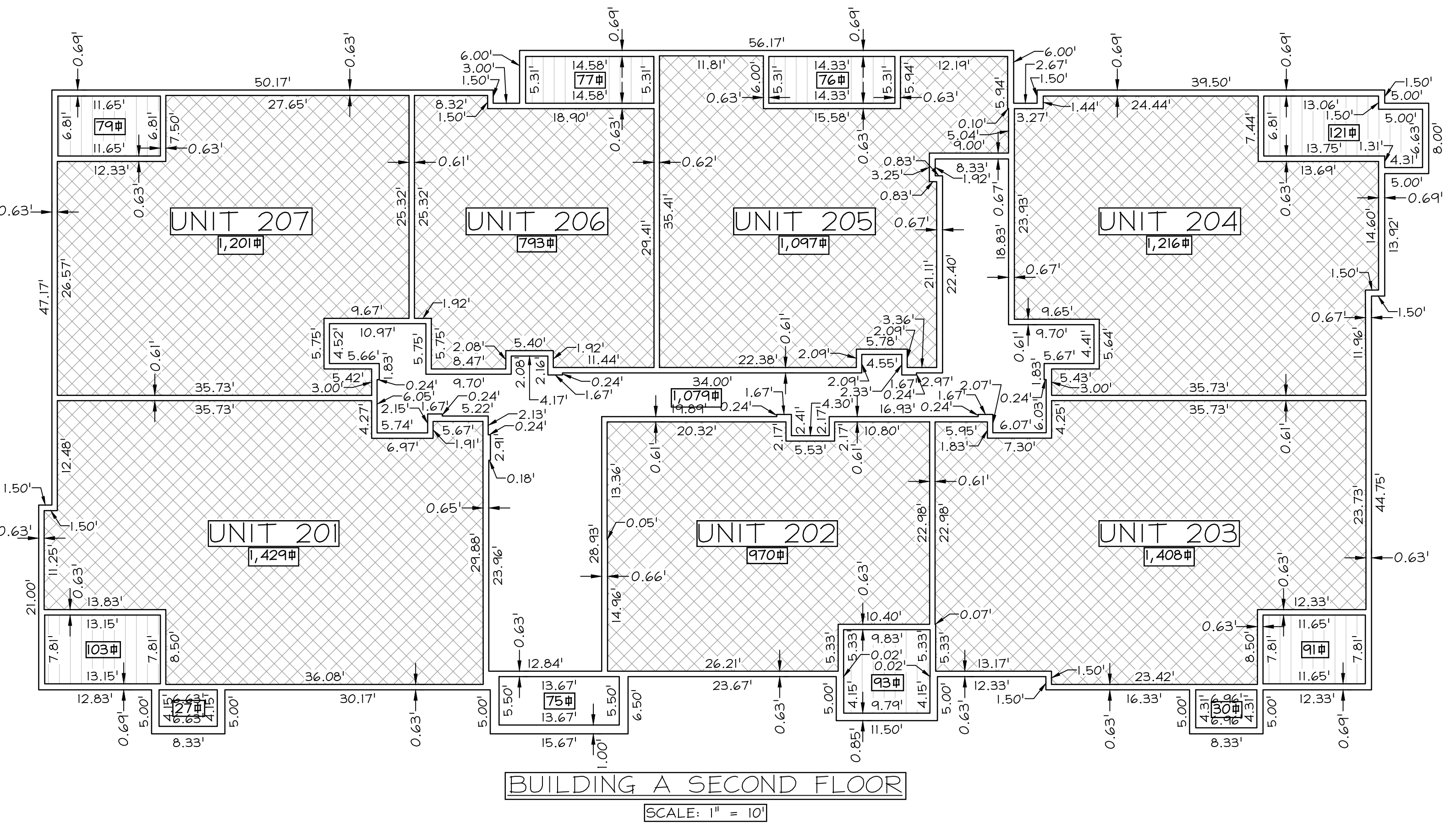
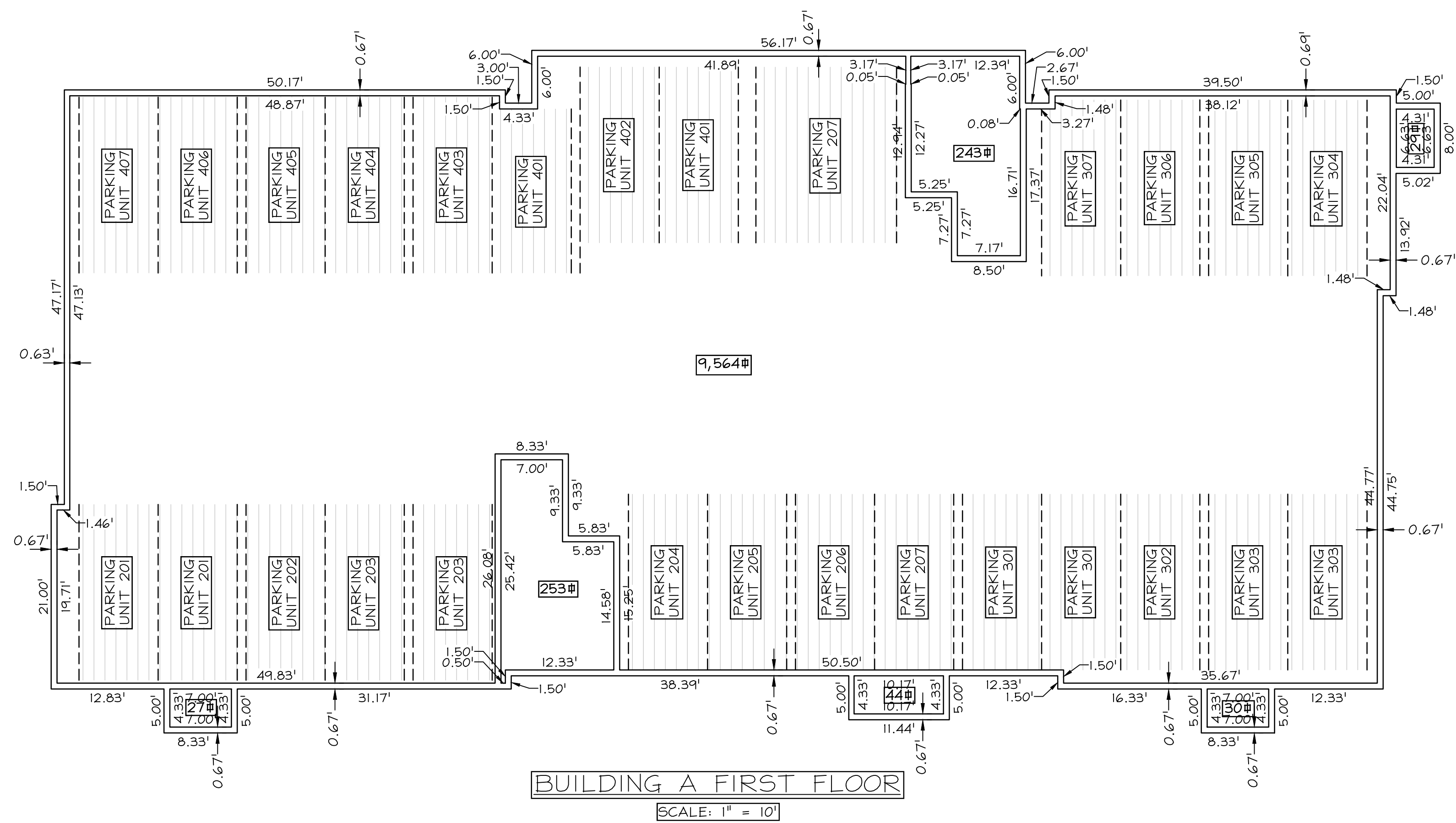
THE DAWN CONDOMINIUMS PLAT #1
AMENDING LOTS M-201 & M-202 OF THE
DAYBREAK VILLAGE 4A PLAT 9
SUBDIVISION AMENDMENT #1

Located in the Northeast Quarter of Section 24, T3S, R2W, Salt Lake Base and Meridian

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PROPERTY CORNERS)
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LEGEND

- LIMITED COMMON AREA
- PRIVATE OWNERSHIP AREA
- COMMON AREA

Sheet **3** of 5

THE DAWN CONDOMINIUMS PLAT #1
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BUILDING A FRONT ELEVATION
SCALE: 1" = 10'



BUILDING A RIGHT SIDE ELEVATION
SCALE: 1" = 10'



BUILDING A REAR ELEVATION
SCALE: 1" = 10'



BUILDING A LEFT SIDE ELEVATION
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BENCHMARK

THE CONTROLLING BENCHMARK IS THE FOUND BRASS CAP SALT LAKE COUNTY MONUMENT LOCATED AT THE NORTHWEST CORNER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 2 WEST AND HAS A NAVD 88 VERTICAL DATUM OF 4915.587' (CONVERTED TO FEET FROM METERS)

4816.75'±0' ON THE ABOVE SHOWN ELEVATION



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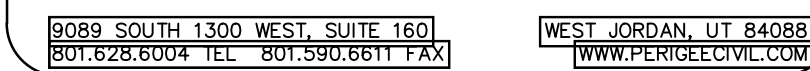
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Sheet 4 of 5



Line Table			Line Table		
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L2	22.301	N78°49'39"W	L25	1.500	S36°32'53"E
L3	12.165	S36°32'53"E	L26	13.917	S53°27'07"W
L4	4.667	N53°27'07"E	L27	5.000	S36°32'53"E
L5	7.939	S36°32'53"E	L28	8.167	S53°27'07"W
L6	4.667	S53°27'07"W	L29	5.000	N36°32'53"W
L7	29.562	S36°32'53"E	L30	1.333	S53°27'07"W
L8	1.458	S53°27'07"W	L31	39.500	N36°32'53"W
L9	12.833	S36°32'53"E	L32	1.500	N53°27'07"E
L10	1.458	N53°27'07"E	L33	2.667	N36°32'53"W
L11	13.646	S36°32'53"E	L34	6.000	S53°27'07"W
L12	1.500	S53°27'07"W	L35	56.167	N36°32'53"W
L13	13.352	S36°32'53"E	L36	6.000	N53°27'07"E
L14	5.000	N53°27'07"E	L37	3.000	N36°32'53"W
L15	10.836	S36°32'53"E	L38	1.500	S53°27'07"W
L16	5.000	S53°27'07"W	L39	50.167	N36°32'53"W
L17	12.667	S36°32'53"E	L40	68.167	N53°27'07"E
L18	1.500	N53°27'07"E	L41	1.753	S36°32'53"E
L19	16.333	S36°32'53"E	L42	1.755	N36°32'53"W
L20	4.667	N53°27'07"E	L43	18.331	N53°27'07"E
L21	8.333	S36°32'53"E	L44	19.000	S53°27'07"W
L22	4.667	S53°27'07"W	L45	18.999	S53°27'07"W
L23	12.333	S36°32'53"E			

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
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- LIMITED COMMON AREA
- PRIVATE OWNERSHIP AREA
- COMMON AREA
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THE DAWN CONDOMINIUMS PLAT #2
AMENDING LOT M-202 OF THE DAYBREAK
VILLAGE 4A PLAT 9 SUBDIVISION
AMENDMENT #1

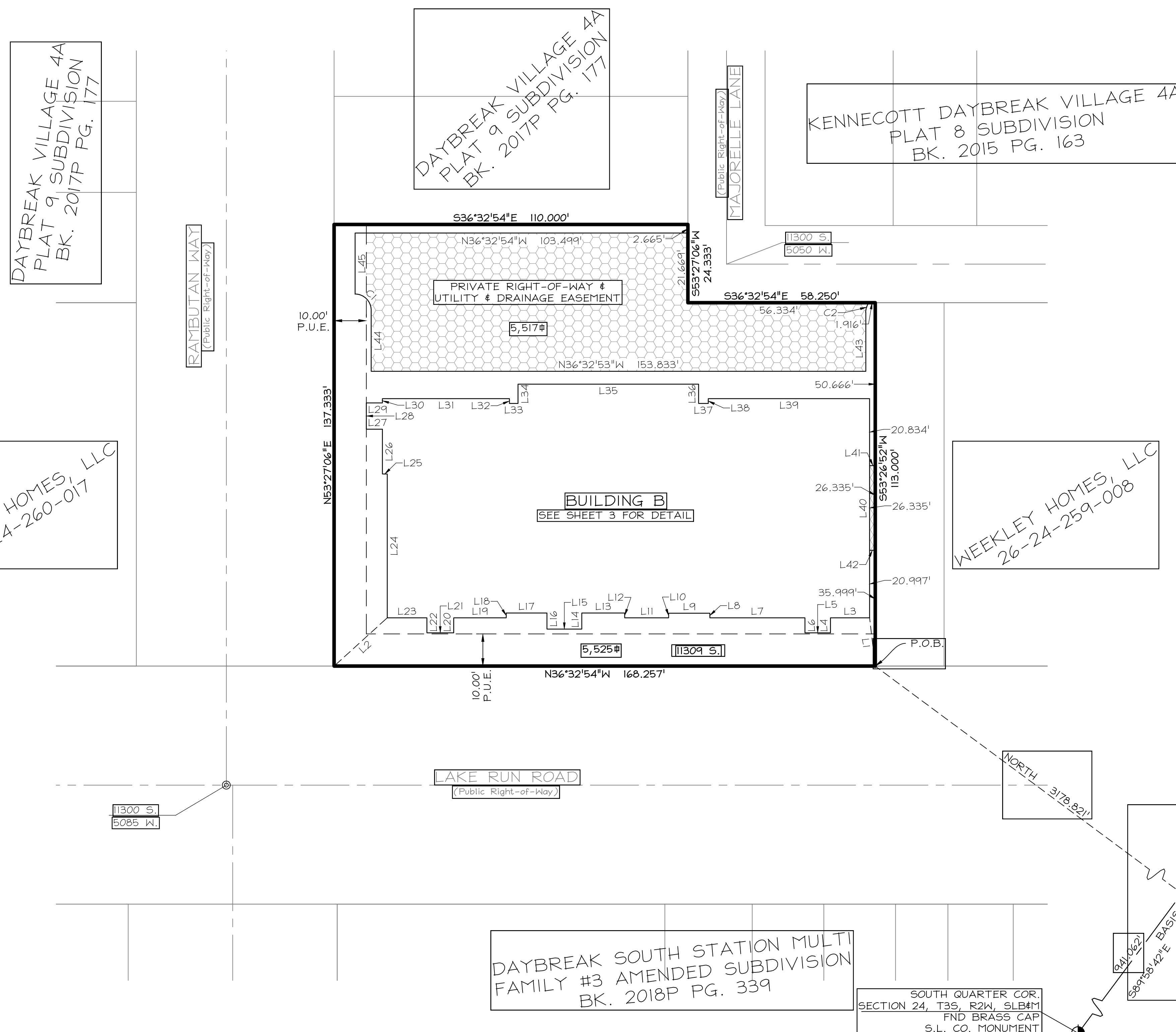
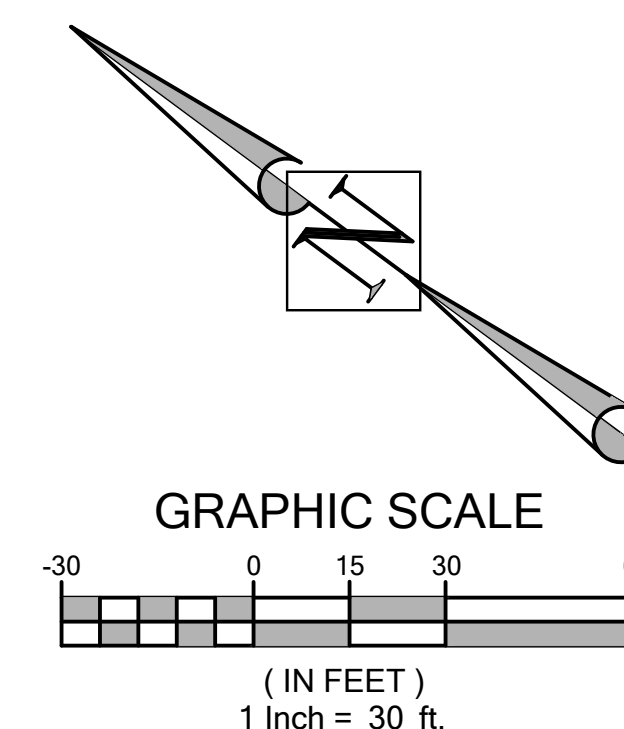
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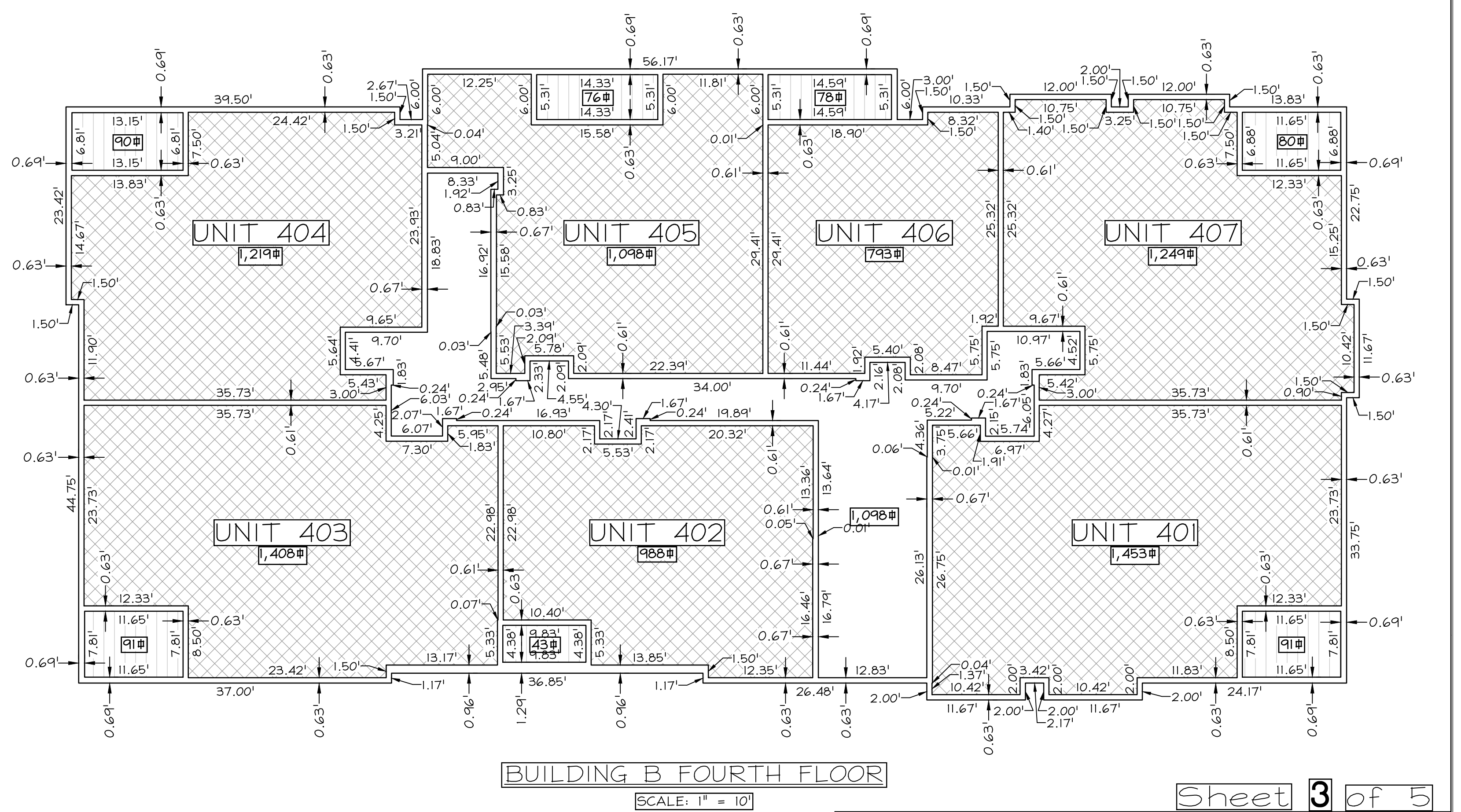
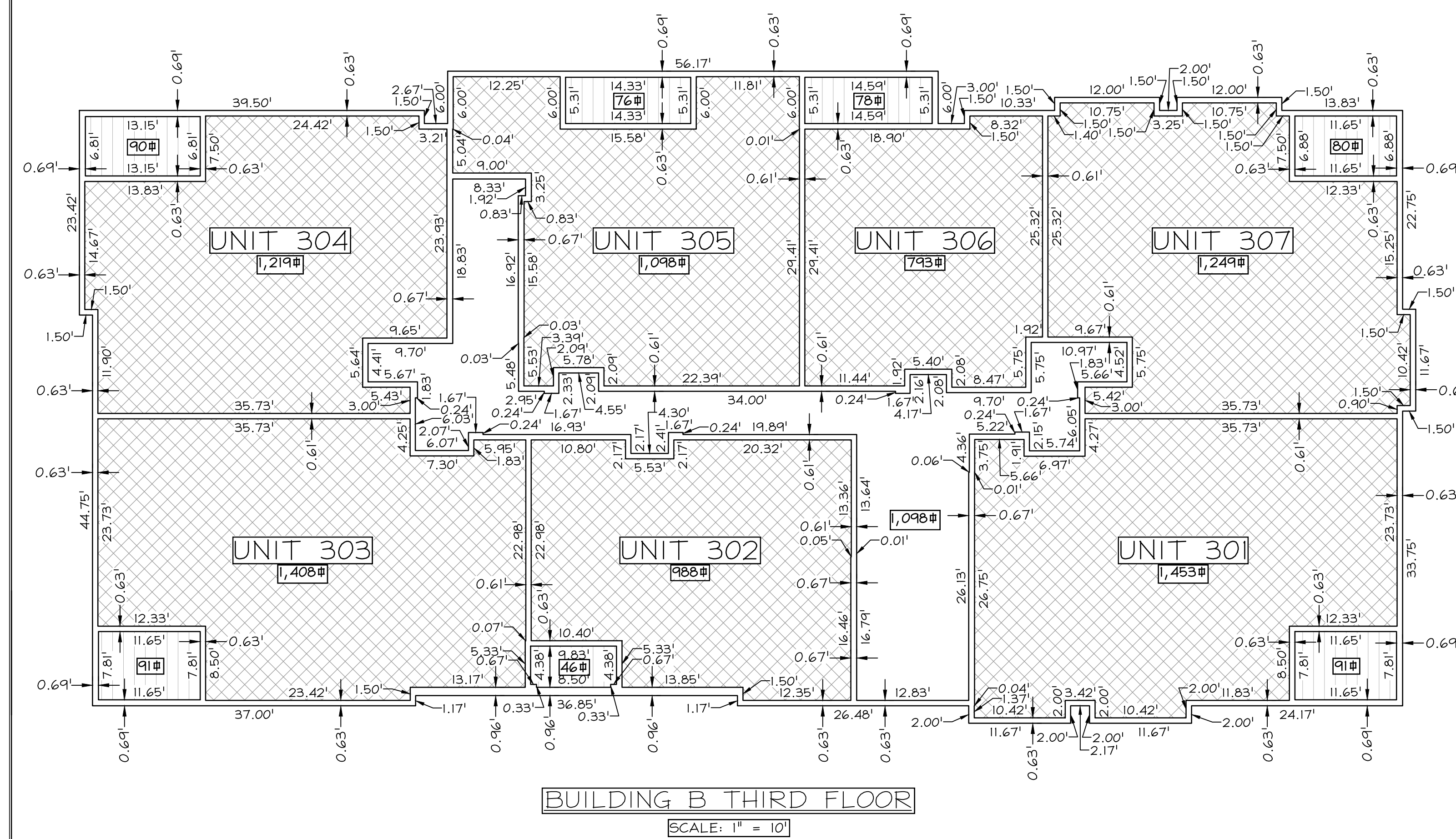
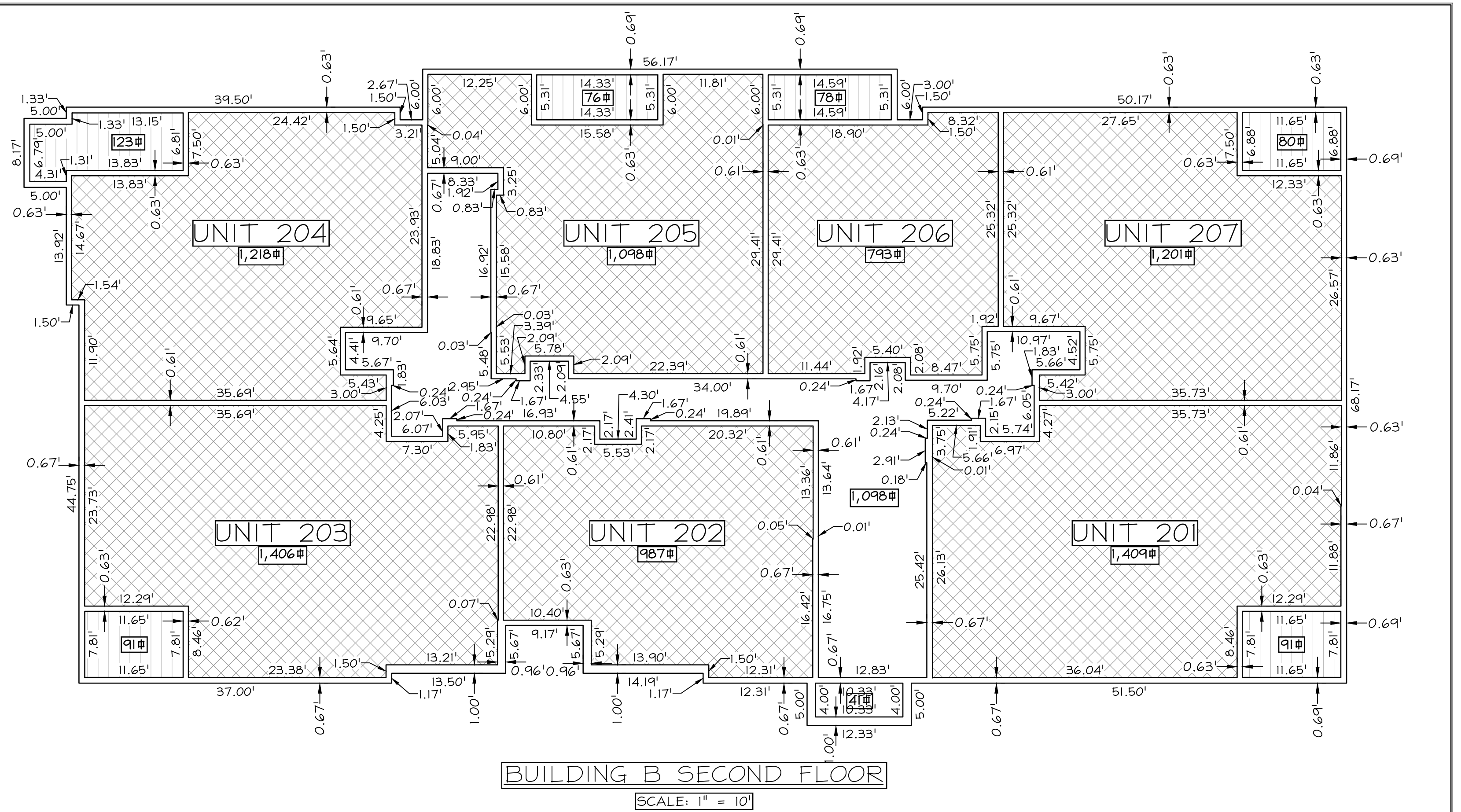
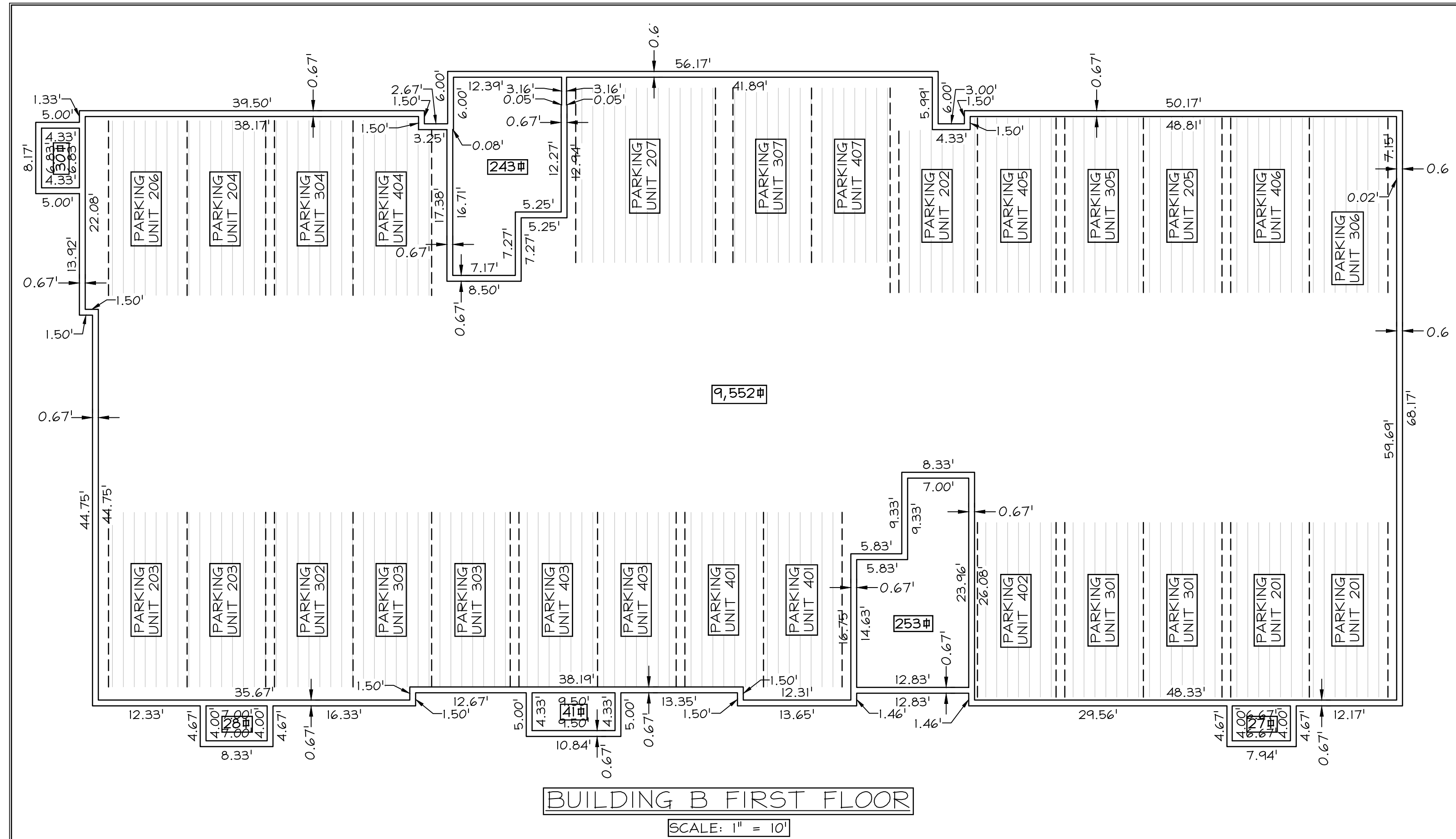
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PROPERTY CORNERS)
PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.

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LEGEND

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Sheet **3** of 5

THE DAWN CONDOMINIUMS PLAT #2
AMENDING LOT M-202 OF THE DAYBREAK
VILLAGE 4A PLAT 9 SUBDIVISION
AMENDMENT #1

Located in the Northeast Quarter of Section 24, T35, R2W,
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BUILDING B FRONT ELEVATION
SCALE: 1" = 10'



BUILDING B RIGHT SIDE ELEVATION
SCALE: 1" = 10'



BUILDING B REAR ELEVATION
SCALE: 1" = 10'



BUILDING B LEFT SIDE ELEVATION
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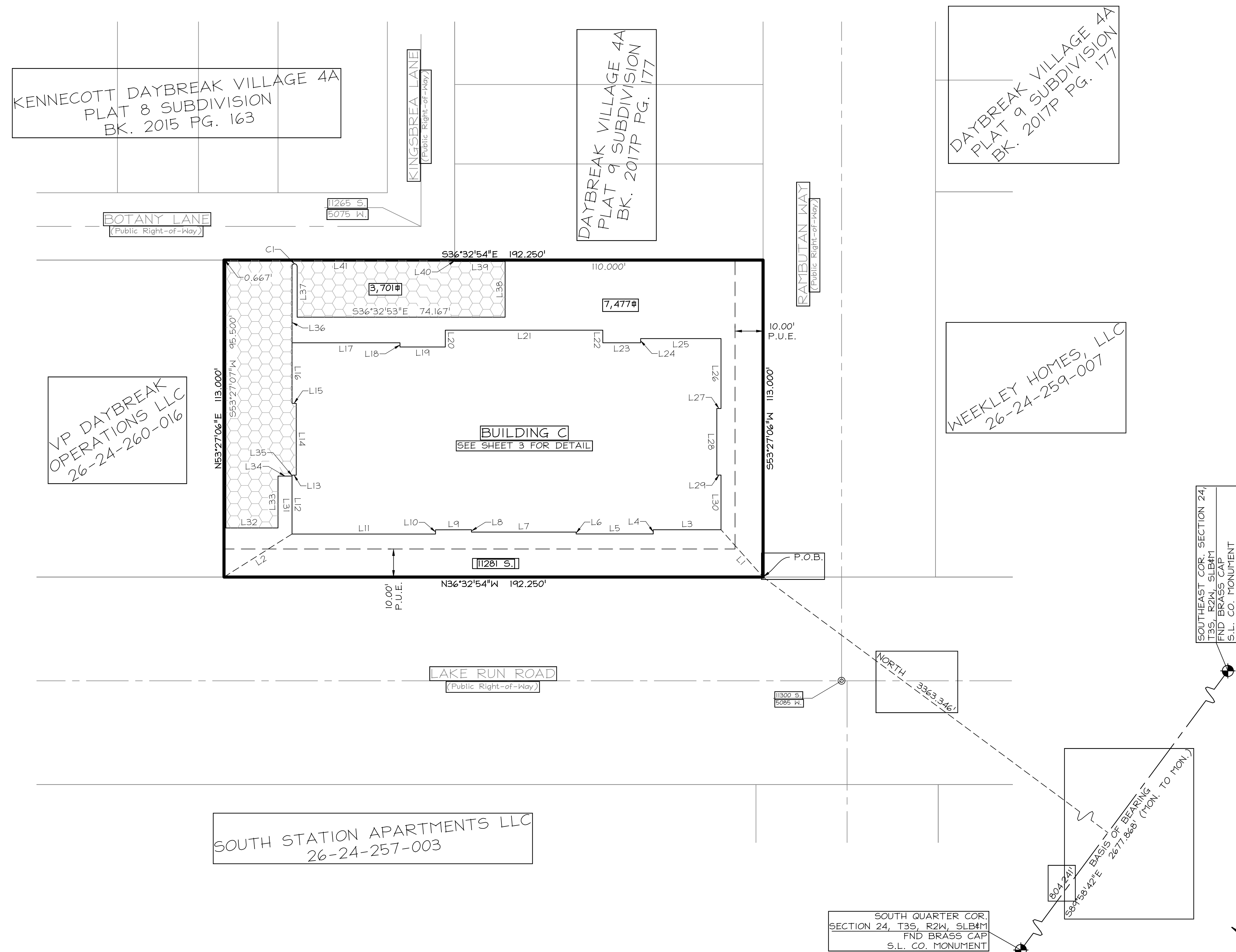
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Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	2.886	0.919	180°00'00"	S36°32'53"E	1.837


Line Table		
Line #	Length	Direction
L1	22.546	N11°46'55"E
L2	28.701	N68°50'44"W
L3	24.167	S36°33'04"E
L4	1.500	N53°26'56"E
L5	27.500	S36°33'04"E
L6	0.667	S53°26'56"W
L7	37.333	S36°33'04"E
L8	0.833	S53°26'56"W
L9	12.833	S36°33'04"E
L10	1.500	N53°26'56"E
L11	51.167	S36°33'04"E
L12	21.000	S53°26'56"W
L13	1.500	N36°33'04"W
L14	25.583	S53°26'56"W
L15	1.500	S36°33'04"E
L16	21.583	S53°26'56"W
L17	38.500	N36°33'04"W
L18	1.500	N53°26'56"E
L19	16.167	N36°33'04"W
L20	6.000	S53°26'56"W
L21	56.167	N36°33'04"W

Line Table		
Line #	Length	Direction
L22	4.500	N53°26'56"E
L23	13.500	N36°33'04"W
L24	1.500	S53°26'56"W
L25	28.667	N36°33'04"W
L26	24.917	N53°26'56"E
L27	1.500	S36°33'04"E
L28	23.750	N53°26'56"E
L29	1.500	N36°33'04"W
L30	19.500	N53°26'56"E
L31	20.666	N53°26'56"E
L32	18.594	S36°32'53"E
L33	18.501	N53°27'07"E
L34	4.999	S36°32'53"E
L35	0.334	N53°26'56"E
L36	27.248	N53°27'07"E
L37	18.087	S53°27'07"W
L38	19.837	N53°27'07"E
L39	18.011	N36°32'54"W
L40	0.500	N53°27'06"E
L41	81.583	N36°32'54"W


PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.




FOUND SALT LAKE COUNTY SECTION CORNER




EXISTING STREET MONUMENT




LIMITED COMMON AREA



PRIVATE OWNERSHIP AREA



COMMON AREA



PRIVATE RIGHT-OF-WAY AND UTILITY AND DRAINAGE EASEMENT

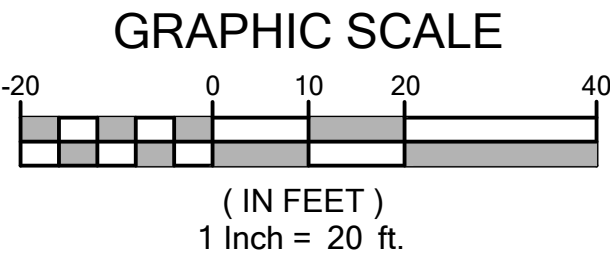
THE DAWN CONDOMINIUMS PLAT #3
AMENDING ALL OF LOT M-203 OF THE
DAYBREAK VILLAGE 4A PLAT 9
SUBDIVISION AMENDMENT #1

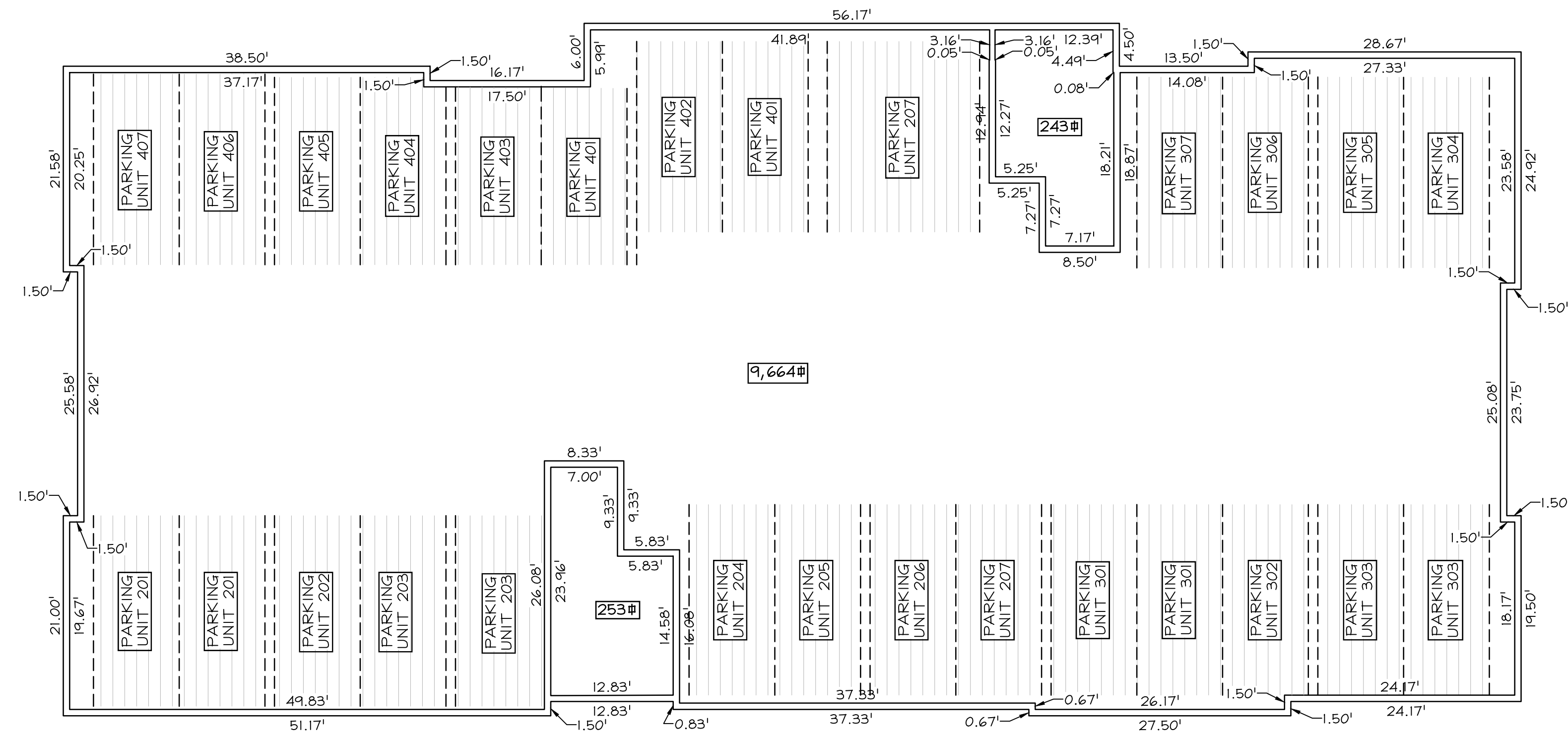
Located in the Northeast Quarter of Section 24, T35, R2W, Salt Lake Base and Meridian

RECORDED #
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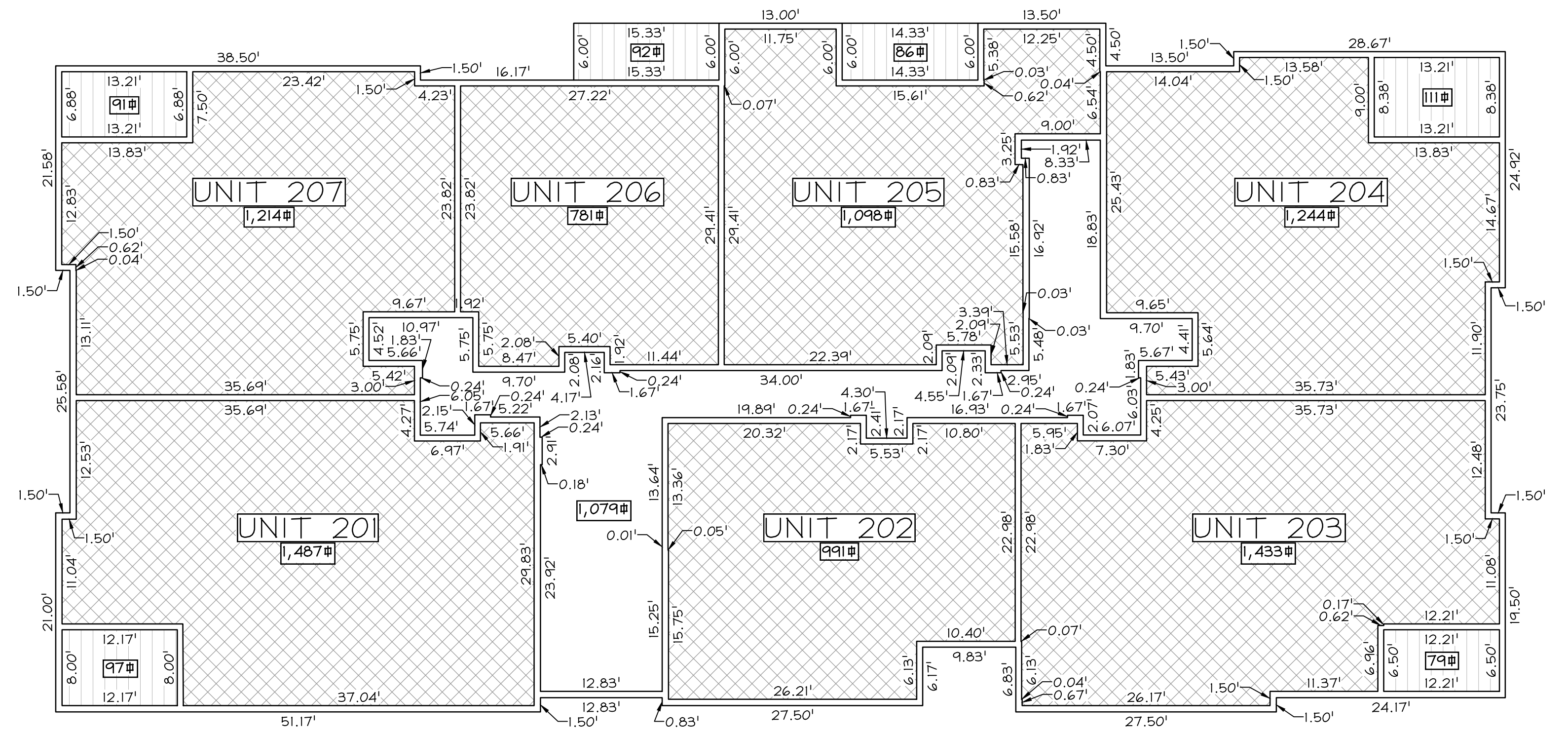
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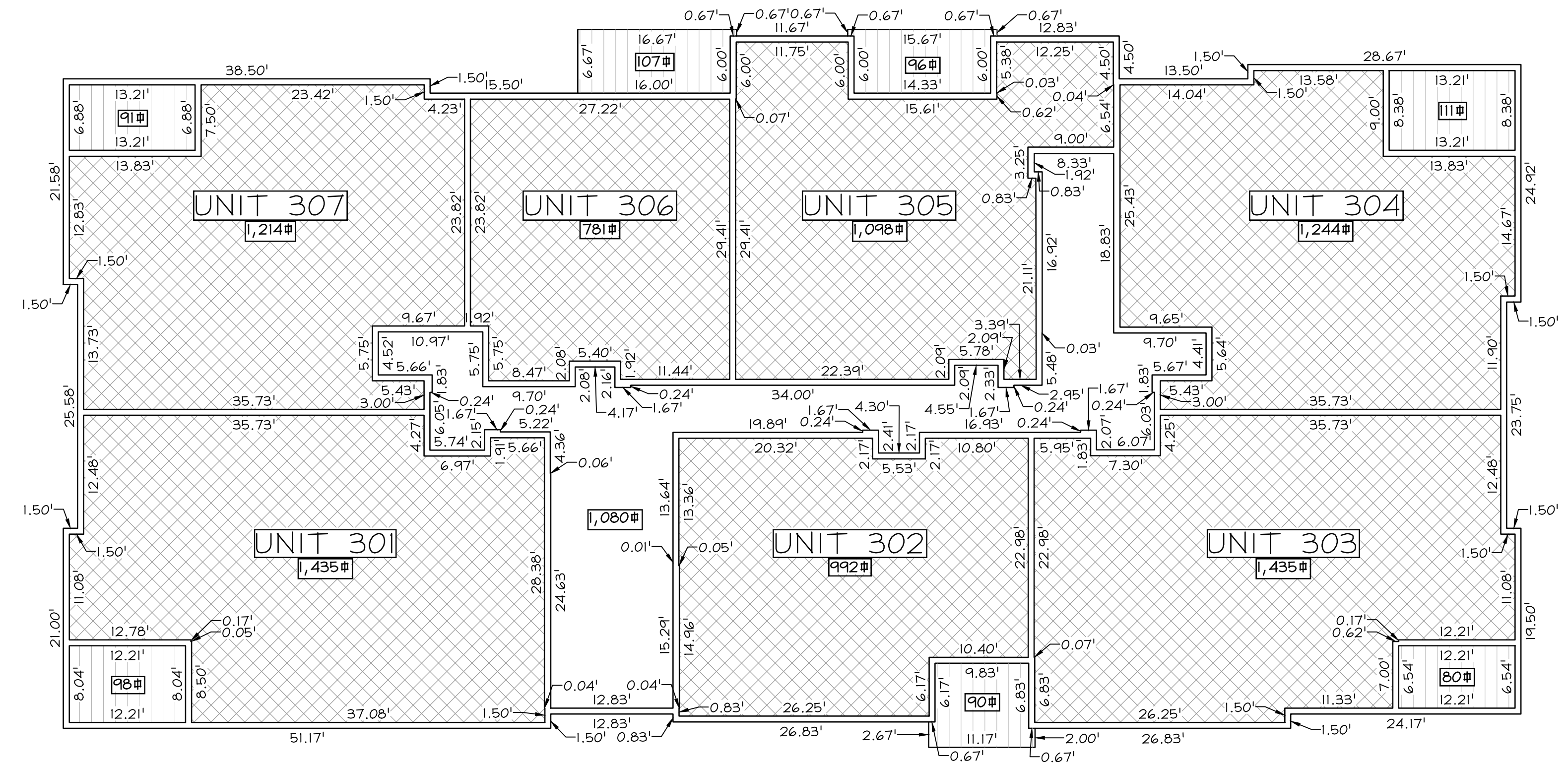




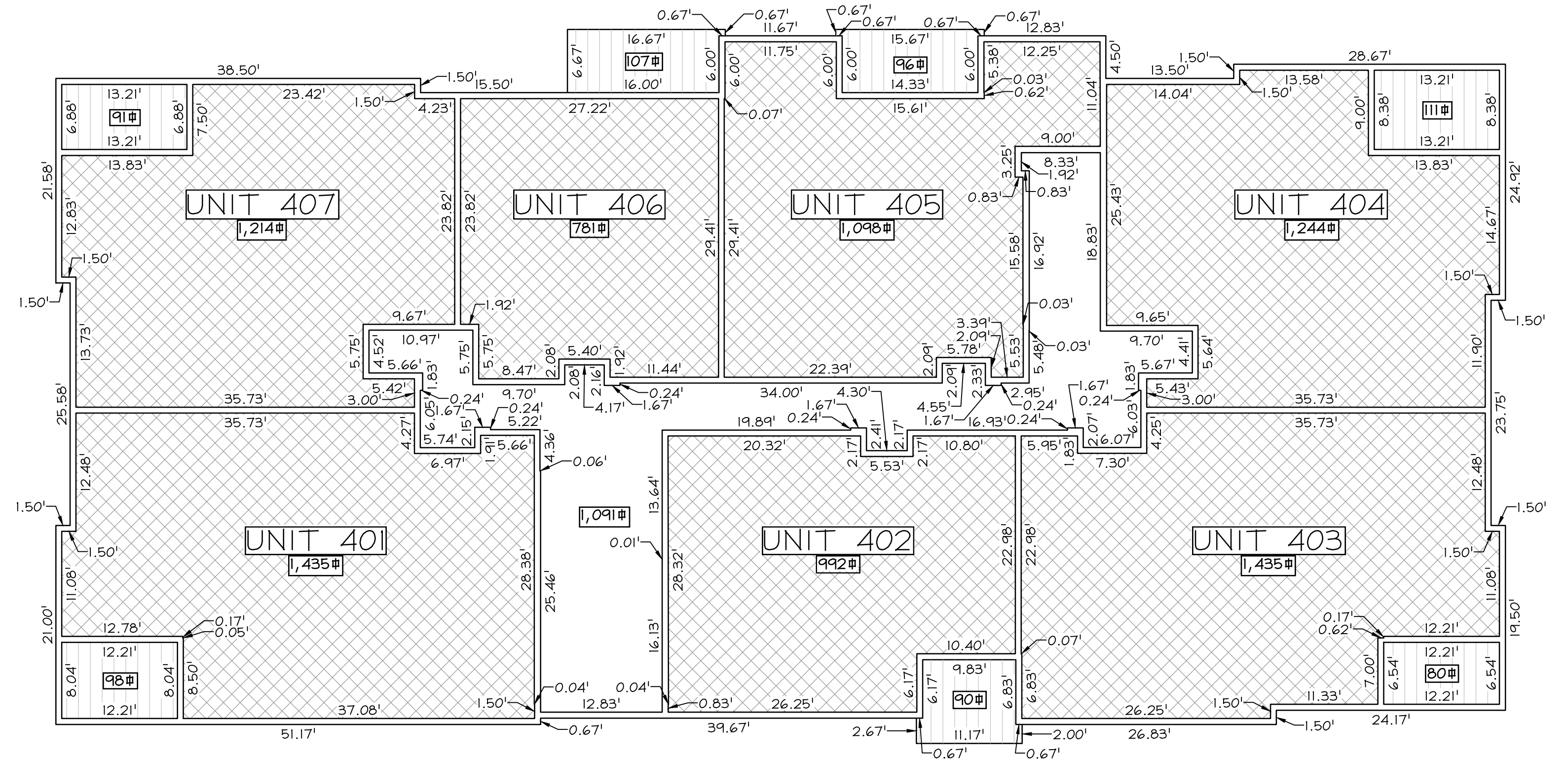
BUILDING C FIRST FLOOR
SCALE: 1" = 10'



BUILDING C SECOND FLOOR
SCALE: 1" = 10'



BUILDING C THIRD FLOOR
SCALE: 1" = 10'



BUILDING C FOURTH FLOOR
SCALE: 1" = 10'

PROPERTY CORNERS)

PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.



8089 SOUTH 1300 WEST, SUITE 160 WEST JORDAN, UT 84088
801.825.9004 TEL 801.390.6611 FAX WWW.PERIGEECIVIL.COM

LEGEND

- LIMITED COMMON AREA
- PRIVATE OWNERSHIP AREA
- COMMON AREA

Sheet 3 of 5

THE DAWN CONDOMINIUMS PLAT #3
AMENDING ALL OF LOT M-203 OF THE
DAYBREAK VILLAGE 4A PLAT 9
SUBDIVISION AMENDMENT #1

Located in the Northeast Quarter of Section 24, T35, R2W,
Salt Lake Base and Meridian

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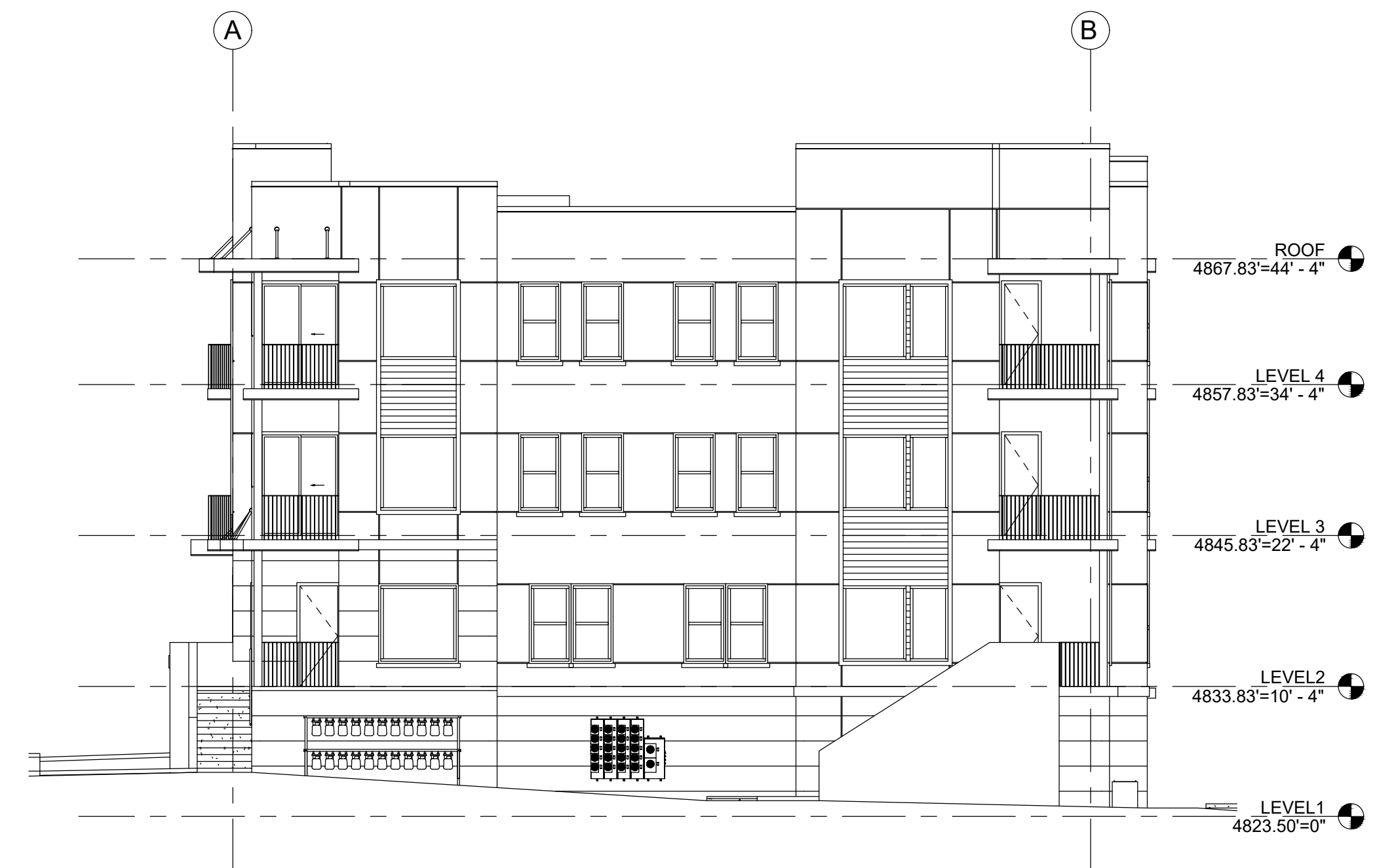
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
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FEE \$ SALT LAKE COUNTY RECORDER



BUILDING C FRONT ELEVATION
SCALE: 1" = 10'



BUILDING C RIGHT SIDE ELEVATION
SCALE: 1" = 10'



BUILDING C REAR ELEVATION
SCALE: 1" = 10'



BUILDING C LEFT SIDE ELEVATION
SCALE: 1" = 10'

PROPERTY CORNERS

PROPERTY CORNERS TO BE SET WILL BE REBAR & CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.

BENCHMARK

THE CONTROLLING BENCHMARK IS THE FOUND BRASS CAP SALT LAKE COUNTY MONUMENT LOCATED AT THE NORTHWEST CORNER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 2 WEST AND HAS A NAVD 88 VERTICAL DATUM OF 4915.587' (CONVERTED TO FEET FROM METERS)

4823.50'=0' ON THE ABOVE SHOWN ELEVATION



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Sheet 4 of 5

THE DAWN CONDOMINIUMS PLAT #3
AMENDING ALL OF LOT M-203 OF THE
DAYBREAK VILLAGE 4A PLAT 9
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Located in the Northeast Quarter of Section 24, T3S, R2W,
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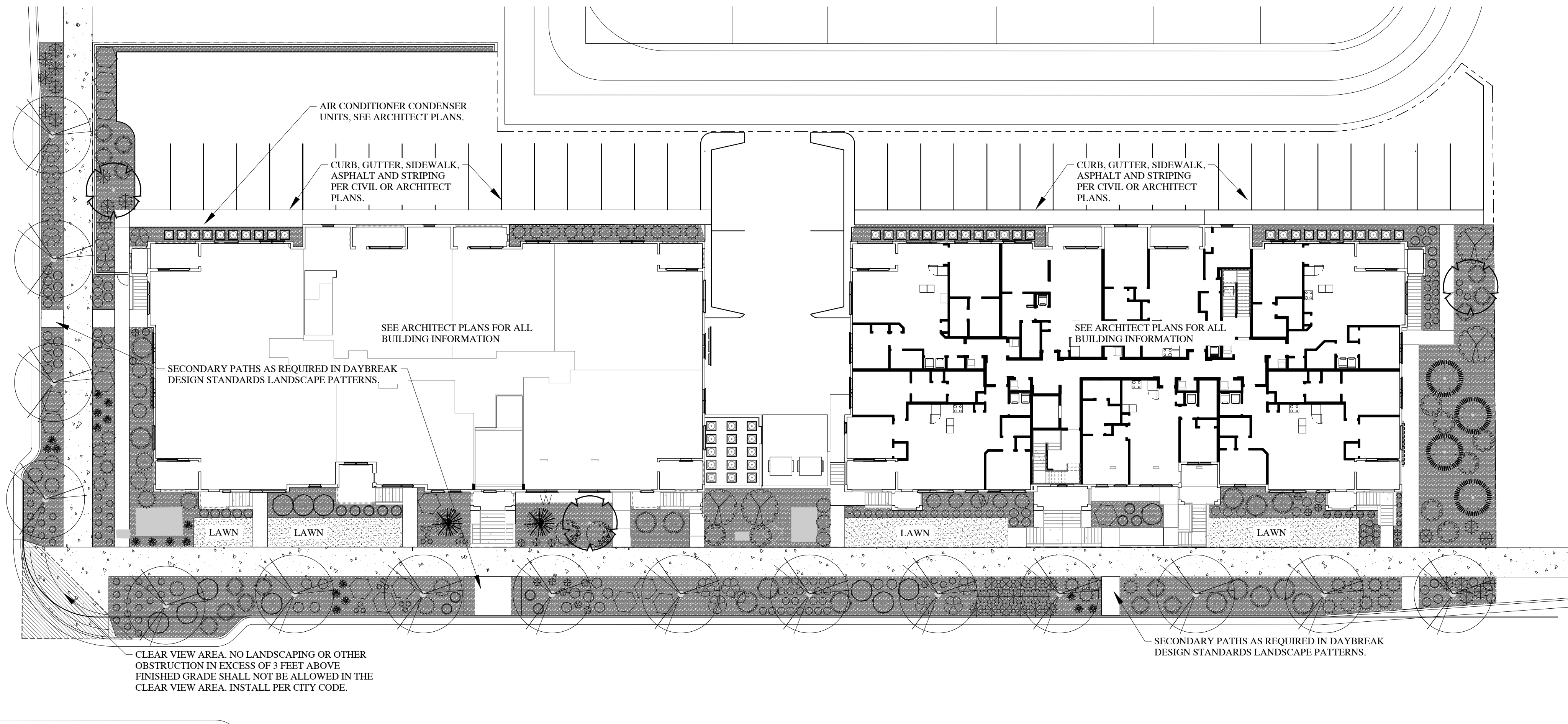
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FEE \$

SALT LAKE COUNTY RECORDER

MATCHLINE- SEE SHEET LS 1.2



LANDSCAPE NOTES

- LANDSCAPE PATTERN UTILIZED FOR THIS SITE TO BE GREAT BASIN PRAIRIE PER DESIGN STANDARDS FOR DAYBREAK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO LANDSCAPE INSTALLATION TO ENSURE PROPER WATERING OF ALL LANDSCAPE AREAS. REFER TO IRRIGATION PLANS FOR SPECIFICS.
- NEW LAWN AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS (MINIMUM OF 3 DIFFERENT VARIETIES). FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. SEE SOD LAYING NOTES FOR MORE INFORMATION.
- SANDY LOAM TOPSOIL TO BE INSTALLED AT THE FOLLOWING DEPTHS: 12" IMPORTED SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS. INSTALL 4" DEPTH OF SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW LAWN AREAS. INSTALL 36" DEPTH OF SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN RAISED PLANTERS ON THE PLAZA LEVEL. INSTALL A MINIMUM OF 12" DEPTH OF SANDY-LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN GARDEN BOXES ON THE PLAZA LEVEL. CONTRACTOR TO VERIFY EXACT DEPTH NEEDED. SOIL SHALL BE 3" BELOW TOP OF PLANTER.
- PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ALLOW FOR TOPSOIL, AMENDMENTS AND MULCH. THE FINISHED GRADE OF LAWN AREAS SHALL BE APPROX. 1" BELOW TOP OF LAWN EDGING, SIDEWALK OR OTHER PAVED AREAS. FINISHED GRADE OF PLANTER AREAS SHALL BE APPROX. 1" BELOW TOP OF CURB, SIDEWALK, OR OTHER PAVED AREA.
- DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL ROCK MULCH AREAS. DO NOT INSTALL WEED BARRIER FABRIC UNDER PERENNIALS, ANNUALS, GROUNDCOVERS AND AREAS TO RECEIVE WOOD MULCH.
- INSTALL PRE-EMERGENT HERBICIDE TO THE TOP OF THE FABRIC AFTER INSTALLING PLANTS AND PRIOR TO INSTALLING MULCH. AFTER INSTALLATION OF THE MULCH THE CONTRACTOR SHALL EVENLY BROADCAST A SECOND APPLICATION OF SLOW-RELEASE PRE-EMERGENT HERBICIDE. APPLY PRE-EMERGENT HERBICIDE PER MANUFACTURERS RECOMMENDATIONS.
- CRUSHED ROCK MULCH TO BE INSTALLED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE AND SHRUB PLANTER AREAS. PULL MULCH MIN. 3' AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6' AWAY FROM ALL TREES.
- TREES LOCATED IN LAWN AREAS SHALL HAVE A GRASS FREE TREE RING AROUND BASE OF TREE WITH 3" DEPTH OF WOOD MULCH. THE GRASS FREE RING FOR FLOWERING TREES SHALL BE 4' DIAMETER AND UP TO 6' DIAMETER FOR SHADE TREES WHERE APPROPRIATE.
- IF HIGH WINDS ARE FREQUENT ON SITE, ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED.
- LAY SOD IN ROWS WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 POUND SOD ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE. PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

CALCULATIONS

TOTAL LANDSCAPE AREA = ~20,809 S.F.
- PARK STRIP LANDSCAPE AREA = ~8,122 S.F.
TOTAL SITE LANDSCAPE AREA = ~12,687 S.F.
- GRASS LAWN AREA = ~2,486 S.F. (-19.6%)
- PLANTER BED AREA = ~10,201 S.F. (80.4%)

EVERGREEN TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	PICEA PUNGENS 'BABY BLUE-EYES' BABY BLUE EYES COLORADO SPRUCE	4	6' HT
	PINUS LEUCODERMIS 'HEIDREICHII' BOSNIAN PINE	7	6' HT
	PINUS LEUCODERMIS 'SATELLIT' SATELLIT BOSNIAN PINE	5	6' HT

DECIDUOUS TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	CERCIS CANADENSIS EASTERN REDBUD	1	1 1/2" CAL
	TILIA CORDATA 'CORZAM' CORINTHIAN LITTLELEAF LINDEN	6	2" CAL
	DAYBREAK INSTALLED STREET TREES PER LANDSCAPE STANDARDS	24	2" CAL

DECIDUOUS SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	AMELANCHIER UTAHENSIS UTAH SERVICEBERRY	6	5 GAL.
	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS' MASSACHUSETTS KINNICKINICK	19	1 GAL.
	COTINUS COGGYGRIA 'LONDUS' TM DUSKY MAIDEN SMOKE TREE	3	5 GAL.
	CYTISUS SCOPARIUS 'SMNC5AB' SISTER REDHEAD SCOTCH BROOM	22	5 GAL.
	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	29	5 GAL.
	PEROVSKIA ATRIPLICIFOLIA 'BLUE JEAN BABY' BLUE JEAN BABY RUSSIAN SAGE	26	5 GAL.
	PRUNUS BESSEYI 'PAWNEE BUTTES' PAWNEE BUTTES SAND CHERRY	18	5 GAL.
	ROSA WOODSII MOUNTAIN ROSE	23	5 GAL.
	ROSA X 'MEIGALPIPO' TM RED DRIPT GROUNDCOVER ROSE	21	5 GAL.
	SYMPHORICARPOS ALBUS COMMON WHITE SNOWBERRY	22	5 GAL.

EVERGREEN SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	HESPERALOE PARVIFLORA 'DESERT FLAMENCO' DESERT FLAMENCO RED YUCCA	7	2 GAL.
	JUNIPERUS COMMUNIS 'GREEN CARPET' GREEN CARPET COMMON JUNIPER	12	5 GAL.
	MAHONIA REPENS CREEPING MAHONIA	9	5 GAL.
	PINUS MUGO 'MUGHUS' MUGHUS MUGO PINE	4	5 GAL.
	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE	16	2 GAL.
	YUCCA FILAMENTOSA 'COLOR GUARD' COLOR GUARD ADAMS NEEDLE	31	2 GAL.

PERENNIAL AND GRASSES LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	QTY	SIZE
	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLONDE AMBITION BLUE GRAMA	112	1 GAL.
	CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE' AVALANCHE FEATHER REED GRASS	30	5 GAL.
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SITE LANDSCAPE MATERIALS

SYMBOL	DESCRIPTION	QTY
	KENTUCKY BLUEGRASS (MIN. 3 VARIETIES). IMPLEMENT AS SOD.	PER PLAN
	3/4"-1 1/2" SIZE CRUSHED STONE (TAN COLOR)	PER PLAN



CONSULTANTS:



STAMP

AXESS AT DAYBREAK

DAVID WEEKLY HOMES
SOUTH JORDAN, UT

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:

SHEET TITLE:

PLANTING PLAN

DRAWN BY: EPS

CHECKED: CBW

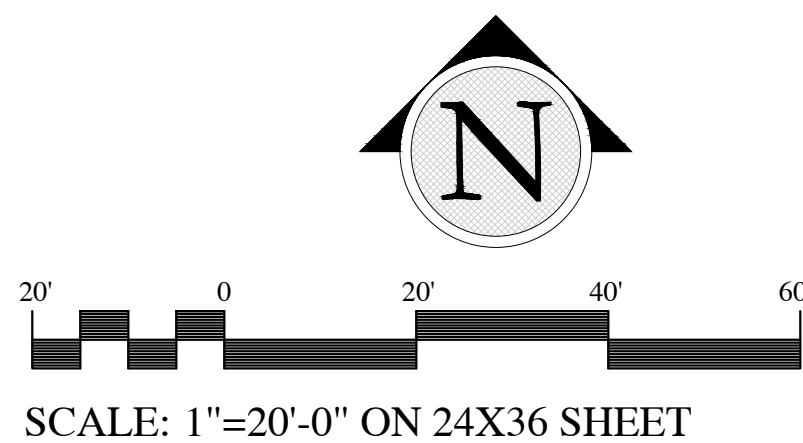
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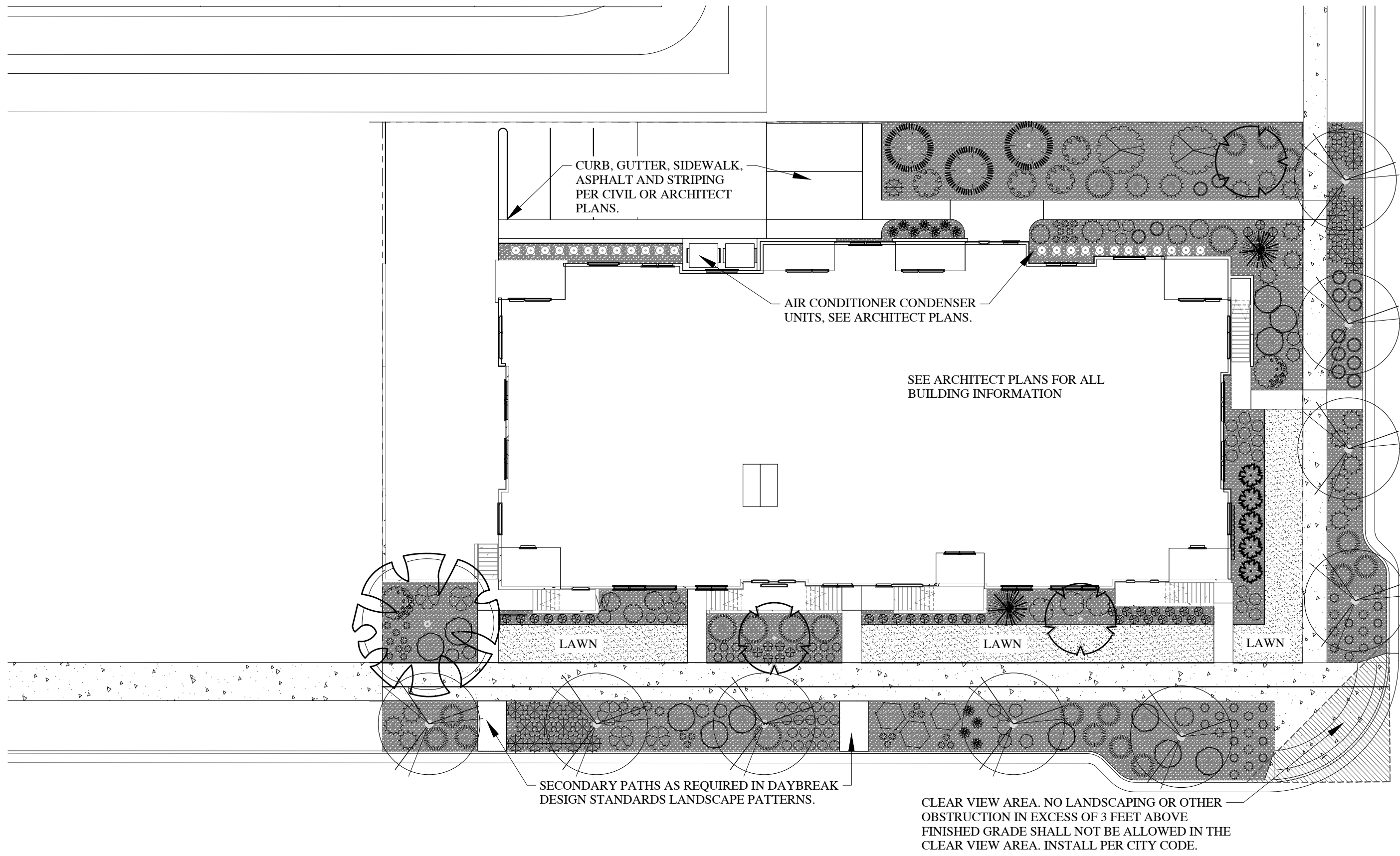
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SHEET:

LS1.1



SCALE: 1"=20'-0" ON 24X36 SHEET



MATCHLINE- SEE SHEET LS 1.1

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EVERGREEN SHRUB LEGEND

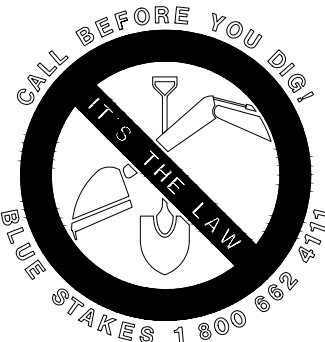
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	MAHONIA REPENS CREEPING MAHONIA	9	5 GAL.
	PINUS MUGO 'MUGHUS' MUGHUS MUGO PINE	4	5 GAL.
	PINUS MUGO 'SLOWMOUND' SLOWMOUND MUGO PINE	16	2 GAL.
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PERENNIAL AND GRASSES LEGEND

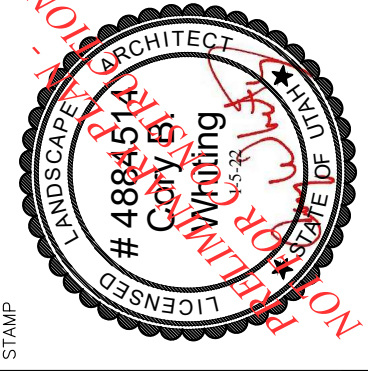
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SITE LANDSCAPE MATERIALS

SYMBOL	DESCRIPTION	QTY
	KENTUCKY BLUEGRASS (MIN. 3 VARIETIES). IMPLEMENT AS SOD.	PER PLAN
	3/4"- 1 1/2" SIZE CRUSHED STONE (TAN COLOR)	PER PLAN



CONSULTANTS:



STAMP

AXESS AT DAYBREAK
DAVID WEEKLY HOMES
SOUTH JORDAN, UT
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:

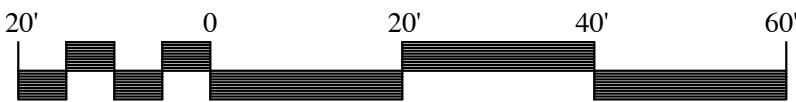
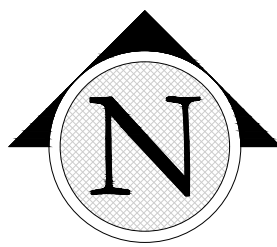
PLANTING
PLAN

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CHECKED: CBW
DATE: 4-15-2022
REVISIONS:
JOB NO. 21-128

SHEET:

LS1.2



SCALE: 1"=20'-0" ON 24X36 SHEET