

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 06/28/2022

Issue: CAMERON DETACHED GARAGE
CONDITIONAL USE PERMIT

Address: 11164 S. Anna Cir.

File No: PLCUP202200124

Applicant: Gary Monteer, Clic Homes

Submitted by: Damir Drozdek, Planner III

Staff Recommendation (Motion Ready):

- **Approve** application PLCUP202200124 to allow for construction of a detached garage on property located at 11164 S. Anna Cir.

ACREAGE:	0.5 acres
CURRENT ZONE:	R-1.8 (Single-family Residential, 1.8 lots per acre) Zone
CURRENT USE:	Single-family Residence
FUTURE LAND USE PLAN:	SN (Stable Neighborhood)
NEIGHBORING ZONES/USES:	North – R-1.8 / Vacant Lot South – R-1.8 / Single-family Residence West – R-1.8 / Single-family Residence East – R-1.8 / Anna Cir. street

CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition on a use, the detrimental effect must be identified and be based on upon substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect.

The Planning Commission shall approve a conditional use permit application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed conditional use in accordance with applicable standards.

The Planning Commission may deny a conditional use permit application if the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards. Further, City Code § 17.18.050 provides:

I. COMPLIANCE AND REVOCATION:

1. A conditional use may be commenced and operated only upon:
 - a. compliance with all conditions of an applicable conditional use permit;
 - b. observance of all requirements of this title relating to maintenance of improvements and conduct of the use or business as approved; and
 - c. compliance with all applicable local, state, and federal laws.
2. A conditional use permit may be revoked by the City Council at any time due to the permittee's failure to commence or operate the conditional use in accordance with the requirements of subsection A of this section.

BACKGROUND:

The applicant is requesting that the Planning Commission review and approve a Conditional Use Permit for a detached garage. The proposed garage will be constructed on property located at 11164 S. Anna Cir. Said garage will be situated at the end of a drive towards the rear of the property. The garage will be located in the rear yard behind the main building (house).

The house is located approximately 26' from the City right-of-way. The house is a rambler and it is 18' tall at the ridge. The garage will be 5' higher than the house topping off at 23' at the ridge. Most properties in the near vicinity are large properties and many have detached structures. According to the applicant there are more than a few examples of properties nearby where a detached structure is taller than the main dwelling.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The subject property is located in the R-1.8 zone.
- Accessory buildings may not be higher than the main building, except as approved by the Planning Commission as a conditional use permit. In no case shall an accessory building be greater than twenty five feet (25') high (§17.40.020.I.3.a).
- Staff has not identified any potential detrimental effects that the proposed structure may cause.

Conclusion:

- The proposed use does not appear to violate any health, safety or welfare standards. In addition, staff was not able to identify any detrimental effects to the adjacent properties or the general area. And therefore the planning staff recommends approval of the application.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve the Application with conditions.
- Deny the Application.
- Schedule the Application for a decision at some future date.


SUPPORT MATERIALS:

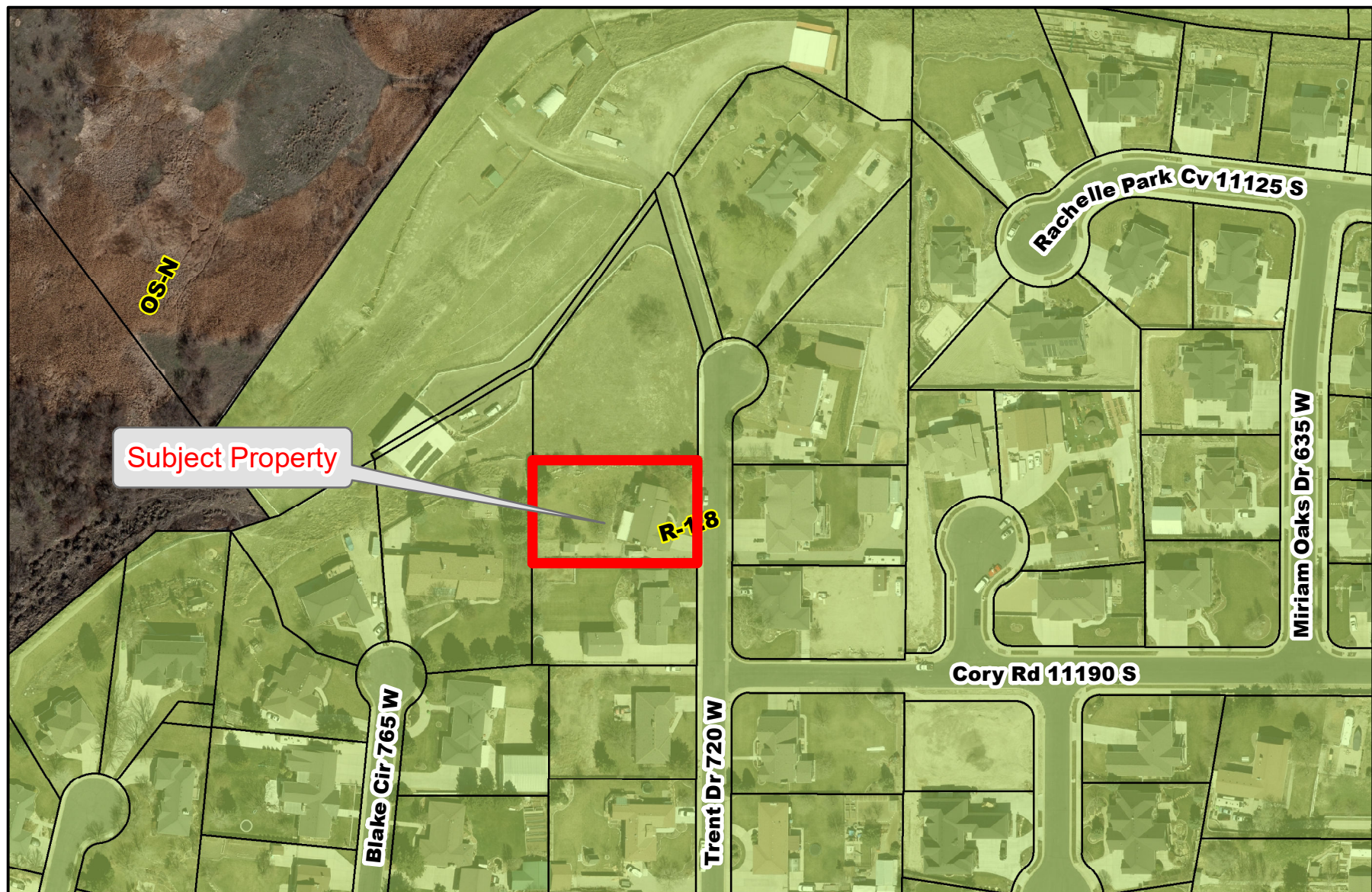
- Aerial Map
- Zoning Map
- Applicant's letter
- Elevations
- Site Plan
- Floor Plans


A handwritten signature in black ink, appearing to read 'D. Drozdek', is positioned above a horizontal line.

Damir Drozdek, AICP
Planner III
Planning Department



<p>Legend</p> <p>STREETS</p> <p>PARCELS</p>	<h2>Aerial Map</h2> <p><i>City of South Jordan</i></p>	<p>0 50 100 200 300 400 Feet</p> <p>Aerial Imagery 2021</p> 
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<p>Legend</p> <p>STREETS</p> <p>PARCELS</p>	<h2>Zoning Map</h2> <p><i>City of South Jordan</i></p>	<p>0 50 100 200 300 400 Feet</p> <p>Aerial Imagery 2021</p> 
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DBA

Gary Monteer

7537 W. Sage Grass Lane

Herriman, UT 84096

Detached Garage - PLCUP202200124

Damir,

Our client's home is a rambler, and the ridge of the main house is at about 18' +/-.

The home to the south or the home next door, (11182 S. Anna Cir), to our clients is a (2) story home and the detached garage is not taller than the home as this property has an advantage so the garage can be taller as seen in the following image).



1. (11182 Anna Circle) (Our client is the house to the north or right side of this home)

Here are a few examples in the area, a street to the west (Blake Cir.) or on the same street (Anna Circle):



2. (11273 S. Blake Circle)





3.
(742 Kolton Rd (11260 So))



4.
(11243 Blake Circle)



5.
(11173 Dalton Farm Cove) Added dormers this year.

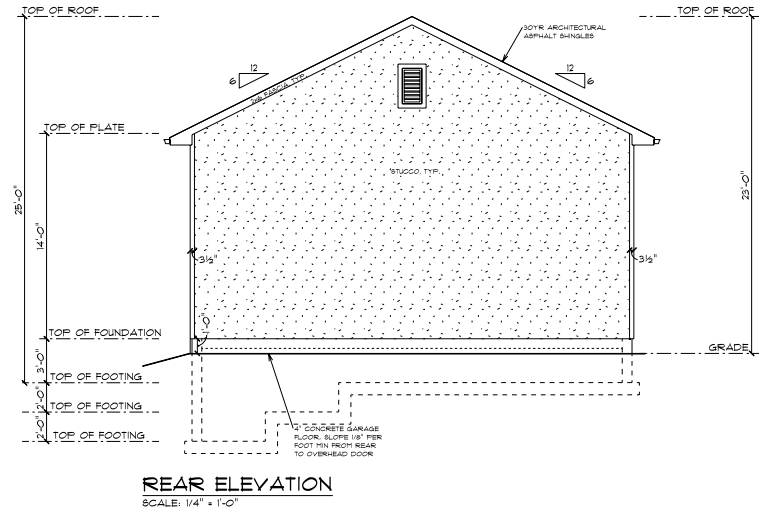
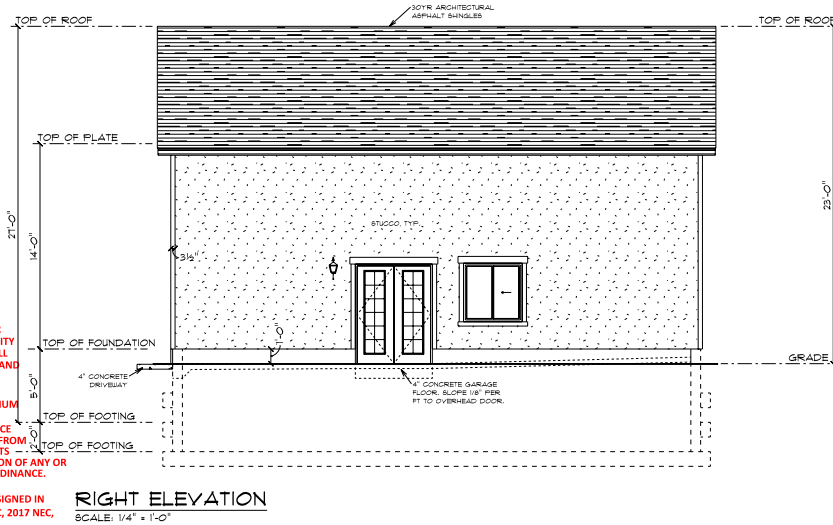
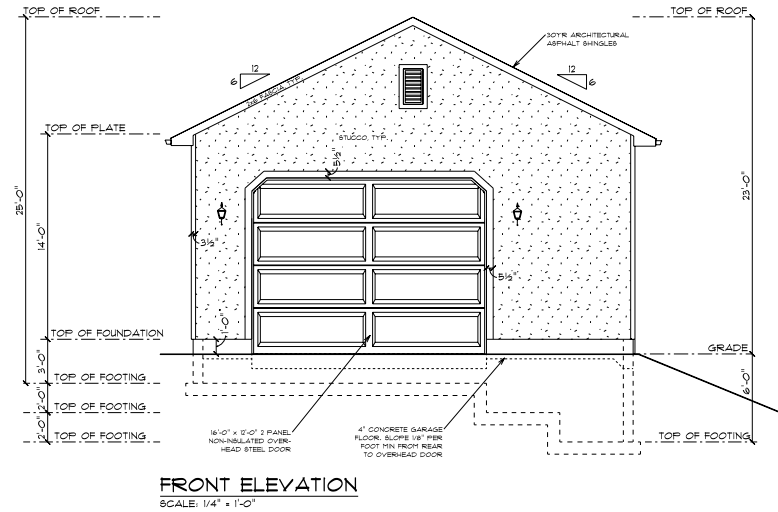
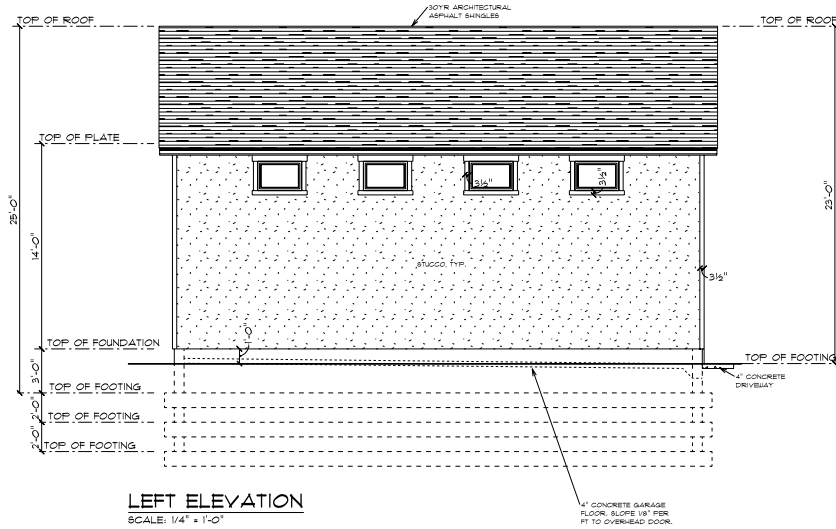
All of the previous examples I've shown have detached garages that are clearly taller than the rambler homes associated with the properties. I have more examples that I could include but I think this should be sufficient for now.

If there is anything more that you need let me know. I am here to help and work through this with you so that we can get the CUP and then ultimately the building permit so that we can finish this project for our client as quickly as possible.

Thank you,

Stephen Stamp,

Clic Homes



IT IS IMPORTANT FOR THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO BE SURE THIS PROJECT IS CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES.

THE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES AND ORDINANCES. THIS FACT DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH ALL MINIMUM STANDARDS. NO OMISSION FROM CODE OR ORDINANCE. NO APPROVAL EVER GRANTS THESE PLANS OR GIVES PERMISSION FOR VIOLATION OF ANY OR PERMISSION TO VIOLATE ANY CODE OR TOWN ORDINANCE.

PLANS AND SPECIFICATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE (2015 IRC, 2015 IBC, 2017 NEC, AND 2015 UICC) 4 CURRENT MEC

NOTE: THE GREATEST EFFORT HAS BEEN MADE TO DRAW THESE CONSTRUCTION PLANS AND SITE PLAN WITHOUT ERROR, (HOWEVER) THERE IS NO GUARANTEE THAT THESE PLANS ARE WITHOUT ERROR,

NOTE: CLIC HOMES LLC, THE DESIGNER OR DRAFTSMAN ARE TO BE HELD HARMLESS OF ANY FINANCIAL LIABILITY RESULTING FROM ERRORS IN THESE PLANS.

ANYONE USING THESE PLANS FOR CONSTRUCTION OF BUILDING ACCEPTS FULL RESPONSIBILITY. (CHECK PLANS CAREFULLY BEFORE CONSTRUCTION).

Engineering By: **Canter Engineering**
Drawn: **Canter Engineering**
Print Designer: **Canter Engineering**
Date: **03-08-2022**

NOTICE: THIS PLAN IN ITS ENTIRETY, IS THE SOLE PROPERTY OF CLIC HOMES LLC. ANY REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED. NO PART OF THIS PLAN NUMBERED CLIC HOMES MAY BE REPRODUCED IN ANY WAY WITHOUT WRITTEN PERMISSION OF GARY MONTEER EXCLUSIVELY.

NOTICE: **A-1**

SHEET * 8
SCALE: AS NOTED

EXTERIOR ELEVATIONS

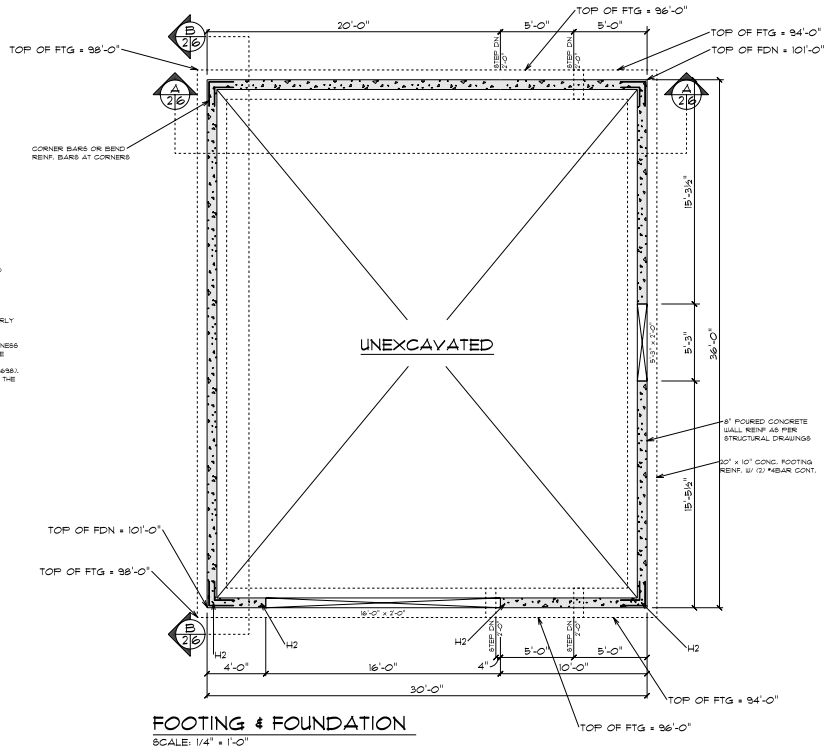
FOUNDATION NOTES:

1. PRIOR TO CONSTRUCTION, ALL ORGANIC MATERIAL, TOP SOIL, AND DEBRIS SHALL BE REMOVED FROM THE BUILDING AREA.
2. ALL FOOTING, INCLUDING RUBB ON GRADE, SHALL BEAR ON UNDISTURBED ROLLER COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE BEARING CAPACITY OF 1500 PSF.
3. ALL FOUNDATION CONCRETE FOR FOOTINGS AND INTERIOR SLABS SHALL OBTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. BOTTOM OF ALL FOOTINGS SHALL BE AS PER GENERAL NOTES, SECTION 4: EXCAVATION, BACKFILL, AND GRADING.
5. ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615, GRADE 60.
6. CONCRETE PROTECTION FOR REINFORCING: AS WELL AS PLACING AND FABRICATION OF REINFORCING SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS" (ACI 308).
7. ALL CONTINUOUS REINFORCING SHALL LAP AS PER THE STRUCTURAL ENGINEERING NOTES, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. BEFORE POURING CONCRETE, ALL EXPOSED IRON SHALL BE PROPERLY LOCATED, ACCURATELY POSITIONED, MAINTAINED SECURELY IN PLACE AND INSPECTED.
9. ANY STRUCTURAL BACKFILL (REQUIRED) IN ADDITION TO THE MIN. THICKNESS AS SHOWN ON THE DRAWINGS SHALL BE PLACED IN 8 TO 10 INCH-THICK LAYERS AND BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D1556).
10. PIER FOOTING THICKNESS SHALL BE ONE-HALF (MINIMUM) THE WIDTH OF THE FOOTING.

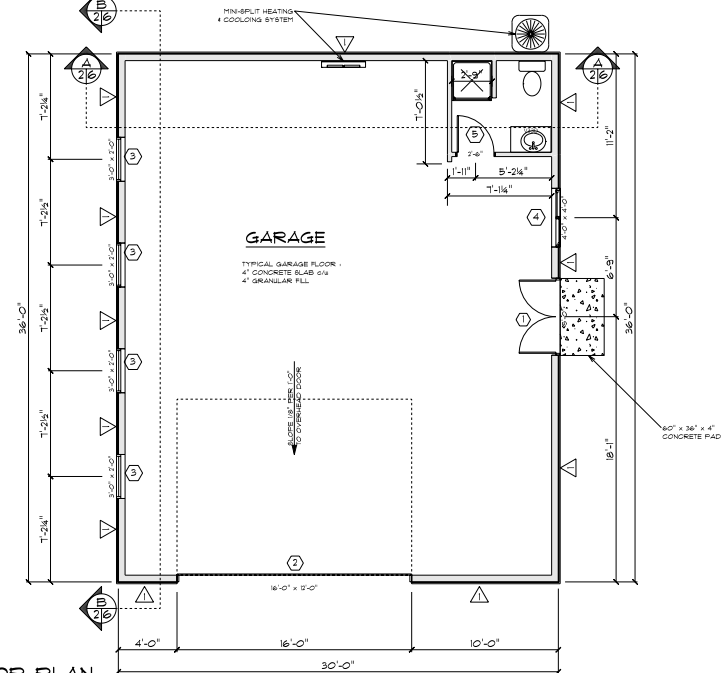
VERIFY ALL OPENING SIZES W/ CONTRACTOR.

ELEVATIONS: (ASSUMED)

MAIN FLOOR / GRADE = 100'-0"
TOP OF FDN = 101'-0"
TOP OF FTG = 98'-0"
TOP OF FTG = 94'-0" RIGHT ELEVATION



OPENING SCHEDULE						
IDENTIFIER	PRODUCT CODE	SIZE	HINGE	REVERSED	COUNT	DESCRIPTION
1	60090 FRENCH	3'-0" x 6'-8"	L	NO	1	FRENCH DOORS W/ GLASS, GRIDED
2	1001200 WING TOP	16'-0" x 13'-0"	U	NO	1	STEEL, NON-POLY (2) PANEL
3	3624 CASSETT	3'-0" x 2'-0"	N	NA	4	VINYL, WHITE
4	48X48 SLIDER	4'-0" x 4'-0"	NL	NA	1	VINYL, WHITE
5	30090 COLONIAL	2'-6" x 6'-8"	L	NO	1	HOLLOW, (2) PANEL



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Prepared By: Carson Engineering
Drawn: Carson Engineering
Checked: Carson Engineering
Date: 03-08-2022

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S-1

SHEET # 2
SCALE: AS NOTED

FLOOR PLANS