

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 4/12/2022

Issue: **SEGO LILY DAY SPA
SITE PLAN APPLICATION**

Address: 10418 S Willow Valley Rd
File No: PLSPR202100204
Applicant: Johan VanZeben, VanZeben Architecture

Submitted by: Ian Harris, Planner I
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** the Site Plan application, file number **PLSPR202100204**, to allow for construction of a two-story personal services building in the C-C zone at 10418 S Willow Valley Rd.

ACREAGE:	.81 acres
CURRENT ZONE:	C-C (Commercial - Community) Zone
CURRENT USE:	Vacant Land
FUTURE LAND USE PLAN:	EC (Economic Center)
NEIGHBORING ZONES/USES:	North – South Jordan Pkwy / C-C (Retail) South – R-M-7 (Multi-Family Residential) West – C-C (Financial institution) East – Willow Valley Rd / R-M-7 (Multi-Family Residential)

STANDARD OF REVIEW:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in Chapter 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Title 16 & 17 of South Jordan City Code, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND:

The proposed development is located on a vacant parcel on the southwest corner of South Jordan Pkwy. and Willow Valley Rd. It is bordered by these roads on the north side and east side,

respectively, an America First Credit Union branch to the west, and the Harvest Crossing Villas PUD to the south.

The project consists of one personal services building (day spa) with the main façade fronting South Jordan Pkwy., and a shorter, side façade fronting Willow Valley Rd. The main parking area will be behind the building to the south, wrapping around the west side of the building, partially bordering South Jordan Pkwy.

Auto access will be through two routes. The first is a private drive to the west of the parcel that connects to the parking lot of America First Credit Union, which leads to River Heights Dr. The second is an access point to the east which connects to Willow Valley Rd. The sidewalks along both South Jordan Pkwy. and Willow Valley Rd. will maintain the current layouts. There will be two pedestrian connections to the building from South Jordan Pkwy. and one connection from Willow Valley Rd.

The building is two stories. The materials of the building will be a mix of rammed earth, concrete, steel, and glass. The building's colors are a mix of earthen tones, with glass used primarily at the main entrance and on the first story. The height of the building at the tallest point is 34', one foot under the limit for the zone (35'). The building received a positive recommendation from the Architectural Review Committee (ARC).

Landscaping will be a variety of trees, shrubs, groundcovers, and grasses. Rock mulch will be used around the building and parking lot, while a small amount of sod will be used in small areas fronting South Jordan Pkwy. New street trees will be planted in the park strip along Willow Valley Rd. The park strip along South Jordan Pkwy. will be maintained as-is, while the park strip along Willow Valley Rd. will be covered in crushed stone as a base layer. The landscaping plans meet city requirements.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The business is classified as “personal services” per city code. The use is permitted in the C-C zone.
- An operations plan is required as part of Impact Control Measures, which is stated above.
- The Architectural Review Committee reviewed the proposed building on January 12, 2022. The project received a positive recommendation with no additional concerns.
- The project meets the Planning and Zoning (Title 17) and the Subdivision and Development (Title 16) Code requirements.

Conclusion:

- The proposed project will meet the requirements of the Subdivision and Development (Title 16) and the Planning and Zoning (Title 17) Codes and thus it should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.

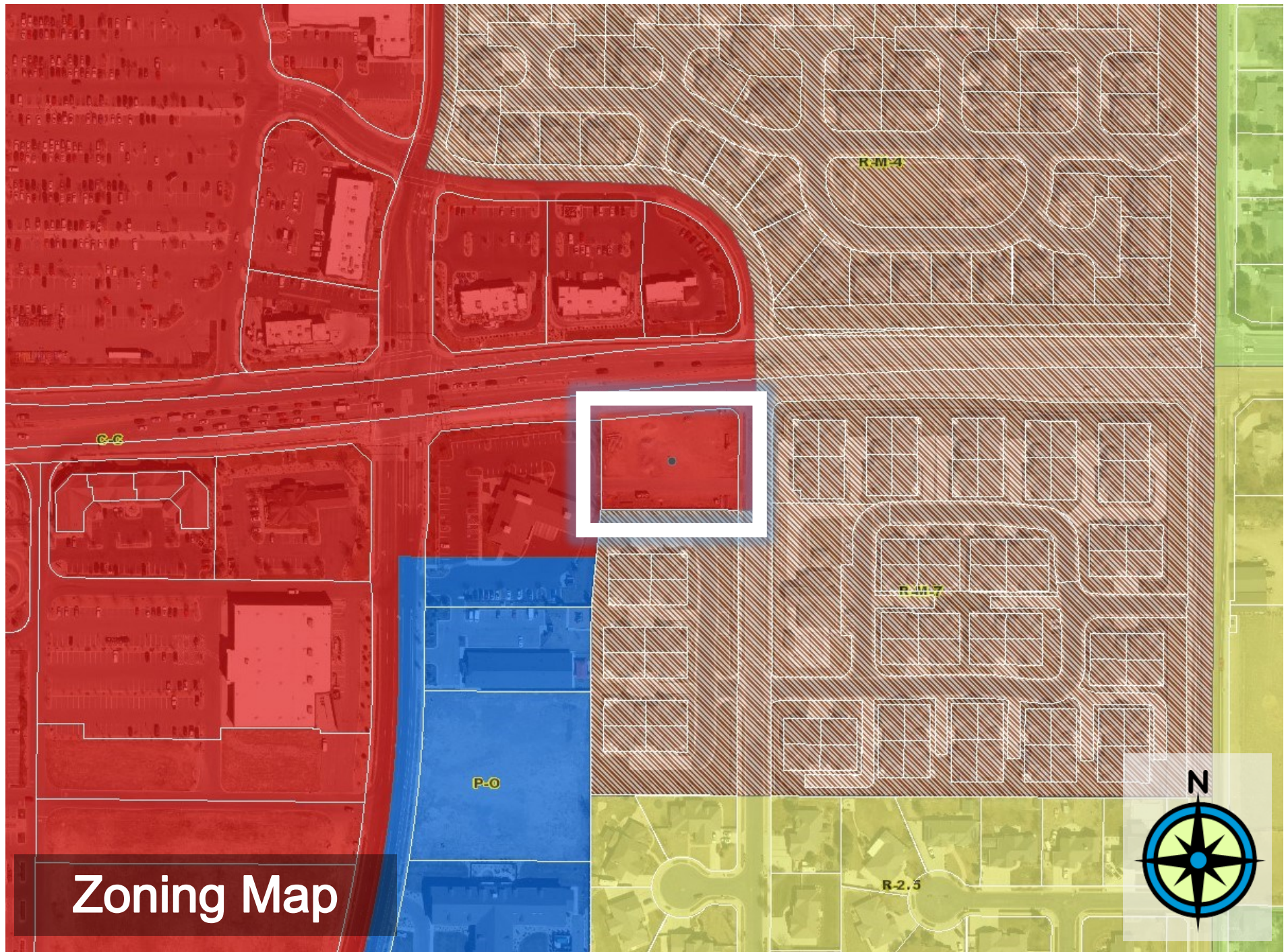
SUPPORT MATERIALS:

- Aerial Map
- Zoning Map
- Site Plan
- Landscape Plan
- Building Elevations
- Rendering and Materials

Ian Harris
Planner I
Planning Department



Location Map





South Jordan City
Planning Division
Reviewed for Code Compliance
Date: 04/01/2022 By: *J. Harris*

SOUTH JORDAN PARKWAY

PROPOSED DAY SPA
FFE = 4637.25

ADJACENT RESIDENTIAL

SITE PLAN
SCALE: 1" = 10'-0"

NORTH

5 0 5
GRAPHIC SCALE

SITE PLAN KEYNOTES:

1. PROPERTY LINE.
2. EXISTING PRECAST CONCRETE WALL.
3. EXISTING CURB AND GUTTER TO REMAIN. REPAIR ANY DAMAGED SECTIONS.
4. EXISTING CONCRETE SIDEWALK. REPAIR ANY DAMAGED SECTIONS.
5. EXISTING ELECTRICAL SECTIONALIZER.
6. EXISTING ELECTRICAL LINE.
7. EXISTING TELEPHONE PEDESTAL.
8. EXISTING TELEPHONE LINE.
9. EXISTING STREET LIGHT TO REMAIN.
10. EXISTING STORM DRAIN CATCH BASIN.
11. EXISTING STORM DRAIN LINE.
12. EXISTING GAS LINE.
13. EXISTING 12" WATER LINE.
14. EXISTING 8" SEWER LINE.
15. EXISTING CONCRETE CURB CUT TO REMAIN.
16. 30" HIGHBACK CURB. SEE DETAIL 1/A/S701
17. 4" CONCRETE WATERWAY. SEE DETAIL 2/A/S701
18. 4" THICK CONCRETE WALK ON 4" GRAVEL BASE W/ SCORE MARKS AS SHOWN. 2% MAX. CROSS SLOPE.
19. CONCRETE UNIT PAVERS OVER 2" COMPACTED SAND SETTING BED ON 4" DEEP 3/8" MINUS GRAVEL BASE ON 8" UNTREATED ROAD BASE. BELGARD MELVILLE PLANK, SCANDINAVIA GRAY, 40% SLIM 60" LARGE PATTERN, INSTALL ACCORDING TO MANUFACTURERS SPECIFICATIONS.
20. 3" THICK ASPHALT PAVING ON 8" UNTREATED ROAD BASE ON COMPACTED SUBBASE (95% MAX. DENSITY).
21. 4" WIDE PAINTED PARKING STRIPE, WHITE.
22. ADA PARKING SIGN. SEE DETAIL 4/A/S701.
23. 8" THICK CONCRETE RETAINING WALL. SEE DETAIL 7/A/S701.
24. CONCRETE STAIR AND HANDRAIL. (2) 6" RISERS WITH 12" TREAD.
25. TRASH ENCLOSURE. SEE DETAIL 8/A/S701.
26. 20' POLE LIGHT. SEE DETAIL 5/A/S701.
27. GAS METER.
28. GAS LINE.
29. 6" PVC SEWER LATERAL, REFER TO CIVIL.
30. 1 1/2" WATER LATERAL, REFER TO CIVIL.
31. 1 1/2" WATER METER, REFER TO CIVIL.
32. 1" WATER LATERAL, REFER TO CIVIL.
33. 1" IRRIGATION METER WITH BACKFLOW PREVENTER.
34. STORM DRAIN CATCH BASIN, REFER TO CIVIL.
35. CONCRETE STORM DRAIN LINE, REFER TO CIVIL.
36. STORM DRAIN OUTLET CONTROL STRUCTURE, REFER TO CIVIL.
37. CONCRETE BOLLARD. SEE DETAIL 6/A/S701.
38. PROPOSED MONUMENT SIGN, DESIGN TBD.
39. 800 GALLON GREASE INTERCEPTOR, REFER TO CIVIL.
40. CONCRETE STAIR AND HANDRAIL. (5) 6" RISERS WITH 12" TREADS.
41. NEW STREET LIGHT PER CITY STANDARDS, REFER TO CIVIL.

SITE PLAN GENERAL
NOTES:

- A. ALL WORK SHALL CONFORM TO SOUTH JORDAN CITY REQUIREMENTS.
- B. VERIFY EXISTING CONDITIONS BEFORE COMMENCING WITH WORK.
- C. SLABS ON GRADE SHALL BE SCORED ($\frac{1}{4}$ DEPTH OF SECTION) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH. PLACE TO PREVENT RANDOM CRACKING.
- D. EXPANSION JOINTS SHALL BE PLACED AGAINST OBJECTS AND AT FIXED CHANGES IN DIRECTION BUT NOT TO EXCEED 50 FT.
- E. CONCRETE WATERWAYS, CURBS, GUTTERS AND WALKS SHALL BE SCORED AT INTERVALS NOT EXCEEDING 10 FT. AND EXPANSION JOINTS SHALL NOT EXCEED 50 FT.
- F. UNLESS NOTED OTHERWISE, SLABS ON GRADE SHALL BE PLACED ON 4" THICK GRAVEL BASE, COMPACTED TO 95%.
- G. SEAL ALL JOINTS WITH CAULKING. REFER TO SPECIFICATIONS.
- H. REMOVE AND REPLACE SOFT, YIELDING, AND/OR UNSUITABLE MATERIALS AND REPLACE WITH SUITABLE MATERIALS. COMPACT IN 8" LIFTS TO 95% MAX. DENSITY.
- I. EXISTING UTILITIES SHOWN ARE APPROXIMATE. VERIFY ACTUAL LOCATIONS PRIOR TO COMMENCING THE WORK.
- J. ALL EXISTING VALVES, MANHOLES, CLEAN OUTS, ETC., SHALL BE RAISED OR LOWERED TO ACCOMMODATE NEW GRADES.
- K. WATER SYSTEM CONSTRUCTION SHALL COMPLY WITH SOUTH JORDAN PUBLIC WORKS REQUIREMENTS.
- L. SEWER SYSTEM CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT REQUIREMENTS.
- M. COMPLY WITH ROCKY MOUNTAIN POWER REQUIREMENTS FOR ELECTRICAL SERVICE.
- N. COMPLY WITH DOMINION ENERGY COMPANY REQUIREMENTS FOR NATURAL GAS SERVICE.
- O. COTG = CLEAN OUT TO GRADE.
- P. CONTOURS ARE TO BE CONSIDERED NO MORE ACCURATE THAN $\frac{1}{2}$ THE INTERVAL DISTANCE.



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PROJECT NO: 18027
DRAWN BY: MJV
CHECKED BY: DJV

REVISIONS:

GARN DEVELOPMENT

PROJECT: SOUTH JORDAN SEGO LILY

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OWNER:



SITE PLAN

SHEET NUMBER:
AS101

DATE: 02/14/22



PLANTING KEYNOTES: 1

- EXISTING SOD TO REMAIN.
- NEW 6" CONCRETE MOWSTRIP.
- FLEXIBLE METAL EDGING.

PLANTING GENERAL NOTES:

- EXAMINE SITE TO VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF INCONSISTENCIES.
- COORDINATE PLANTING OPERATION WITH OTHER TRADES TO AVOID CONFLICT.
- COORDINATE PLACEMENT OF TREES WITH PLACEMENT OF IRRIGATION LINES, VALVES, SPRINKLER HEADS, ETC.
- MAKE FINAL GRADE ELEVATIONS WITH TOPSOIL, CONSTRUCT BERMS, AND GRADE TO CONTOURS.
MINIMUM TOPSOIL DEPTHS:
TURF AREAS: 4"
SHRUBS AREAS: 8"
- ALLOW FOR 3" DEEP MULCHING IN SHRUB AREAS, 2" DEEP @ TURF AREAS.
- PROVIDE 4" DEEP MULCHING IN PLANTING AREAS AND AT TREE WELLS.
- AREAS OF VEGETATIVE GROUND COVER SHALL BE PROVIDED WITH 3" DEEP MULCHING OF 1/2" DIA. MAX., WOOD OR STONE ACCEPTABLE.
- IF USED, WEED BARRIER SHALL ONLY BE USED IN AREAS WITH STONE GROUND COVER.
- LANDSCAPER SHALL SUBMIT STONE GROUND COVERS FOR LANDSCAPE ARCHITECT'S APPROVAL.
- IF VARIETY IS NOT SPECIFIED CONTRACTOR MAY SELECT A VARIETY BASED ON AVAILABILITY AND ADAPTIVITY TO LOCAL CONDITIONS. SUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL.

South Jordan City Planning Division
Reviewed for Code Compliance
Date: 04/01/2022 By: Harris

5 0 5 10 20 30
GRAPHIC SCALE

VANZEBEN ARCHITECTURE
2032 Lincoln Avenue
Ogden, Utah 84401
801-627-2400

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PROJECT NO: 18027
DRAWN BY: MJV
CHECKED BY: MJV

REVISIONS:

OWNER: GARN DEVELOPMENT
PROJECT: SOUTH JORDAN SEGO LILY
LOCATION: 10418 SOUTH WILLOW VALLEY ROAD, SOUTH JORDAN, UTAH 84095

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02/14/22

PLANTING PLAN

SHEET NUMBER: L101

DATE: 02/14/22

PLOT DATE: 2/14/2022

NATIVE HYDROSEED MIX:

NATIVE HYDROSEED TO BE THE FOLLOWING MIX OF SPECIES, SUBMIT MIX TO LANDSCAPE ARCHITECT FOR APPROVAL:

GRASSES:

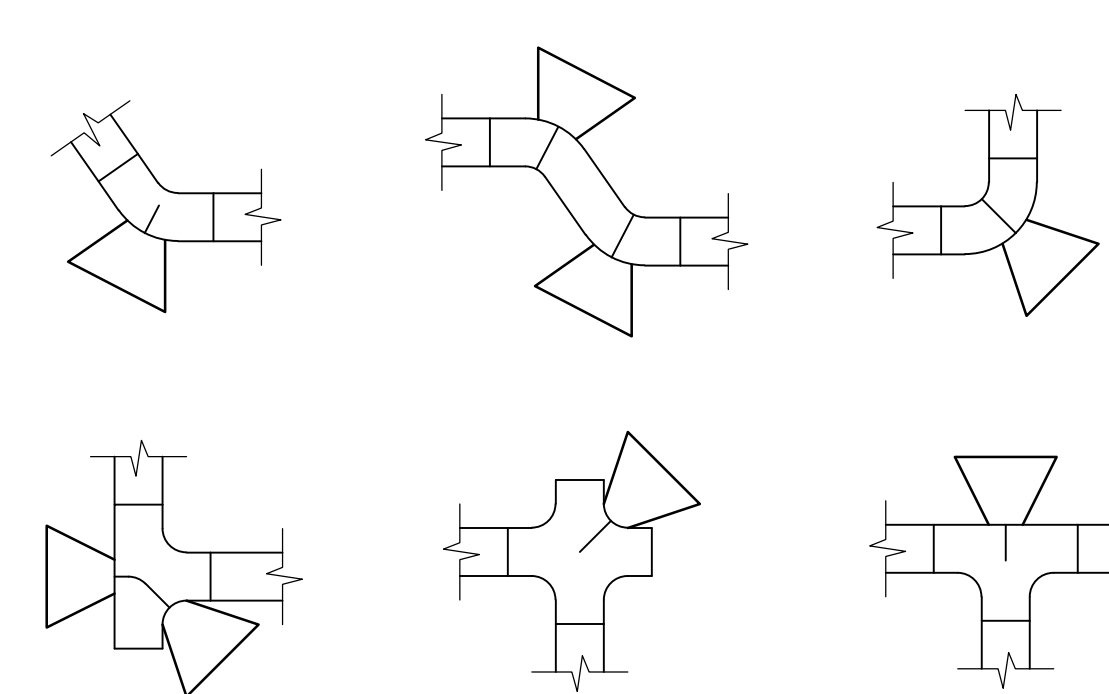
1. ACHNATHERUM HYMENOIDES - INDIAN RICE GRASS
2. BOTULOUA GRACILIS - BLUE GRAMA
3. KOELERIA MACRANTHA - PRAIRIE JUNEGRASS
4. PASCOPYRUM SMITHII - WESTERN WHEATGRASS
5. SCHIZACHYRIUM SCOPARIUM - LITTLE BLUESTEM

WILDFLOWERS:

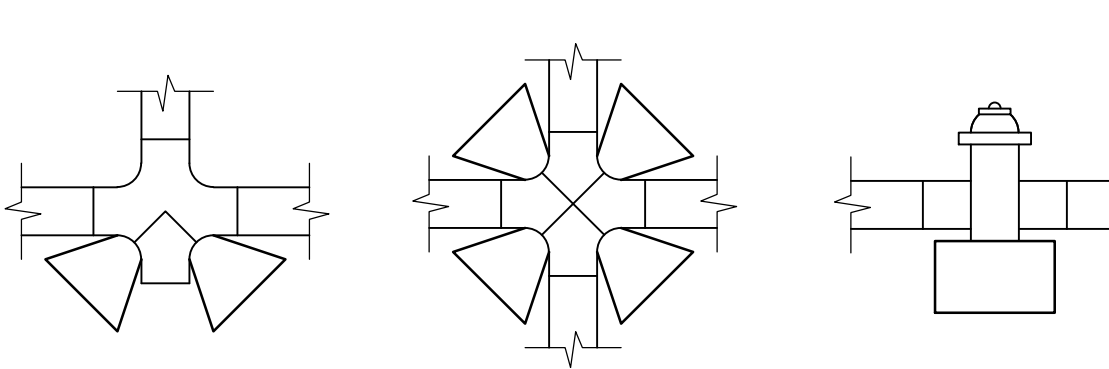
1. ACHILLEA MILLEFOLIUM - COMMON YARROW
2. CALYLOPHUS HARTWEGII - SUNDROPS
3. CAMPENULA ROTUNDIFOLIA - BLUEBELL
4. COREOPSIS TINCTORIA - PLAINS COREOPSIS
5. RATIBIDA COLUMNIFERA - PRAIRIE CONEFLOWER
6. LINUM LEWISII - BLUE FLAX
7. MIRABILIS MULTIFLORA - DESERT FOUR O'CLOCK
8. PENSTEMON BRABATUS - SCARLET BUGLER
9. PENSTEMON EATONII - FIRECRACKER PENSTEMON
10. ZINNIA GRANDIFLORA - ROCKEY MOUNTAIN ZINNIA

PLANTING LEGEND

MARK	BOTANICAL NAME	COMMON NAME	SIZE & SPACING	QUANTITY / AREA
TREES				
(T-1)	ABIES CONCOLOR	WHITE FIR	6' TALL	2
(T-2)	GINGKO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	2" CAL.	6
(T-3)	JUNIPERUS OSTEOSPERMA	UTAH JUNIPER	6' TALL	1
(T-4)	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2" CAL.	9
(T-5)	MALLUS 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	2" CAL.	4
(T-6)	PICEA OMORIKA 'BRUNS'	SIBERIAN SPRUCE	6' TALL	3
(T-7)	PRUNUS 'ACCOLADE'	ACCOLADE FLOWERING CHERRY	2" CAL.	3
SHRUBS				
(S-1)	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	5 GAL. @ 3' O.C.	98
(S-2)	ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL. @ 4' O.C.	22
(S-3)	MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL. @ 4' O.C.	76
(S-4)	POTENTILLA FRUTICOSA	CINQUEFOIL	5 GAL. @ 3' O.C.	113
(S-5)	RHUS AUROMATICA 'GRO-LOW'	LOW GROW SUMAC	5 GAL. @ 4' O.C.	30
(S-6)	RIBES AUREUM	GOLDEN CURRANT	5 GAL. @ 4' O.C.	31
(S-7)	SALVIA DORRII	DORR'S SAGE	5 GAL. @ 3' O.C.	24
GROUND COVER				
(GC-1)	CRUSHED STONE - LIGHT GREY COLOR		1/2" DIA. MAX.	2,893 SQ. FT.
(GC-2)	CRUSHED STONE - TAN COLOR		1" DIA. MAX.	2,915 SQ. FT.
(GC-3)	ROCKS		3" DIA. MAX.	499 SQ. FT.
(GC-4)	SOD			2,036 SQ. FT.
(GC-5)	VINCA MINOR	DWARF PERIWINKLE	@ 8" O.C.	1,796 SQ. FT.
(GC-6)	NATIVE HYDROSEED MIX - SEE NOTE			2,359 SQ. FT.
PERENNIALS				
(P-1)	HYSSOPUS OFFICINALIS	HYSSOP	2 GAL. @ 24" O.C.	185
(P-2)	STACHYS BYZANTINA	LAMB'S EARS	2 GAL. @ 18" O.C.	154
ORNAMENTAL GRASSES				
(G-1)	MISCANTHUS SINENSIS 'MORNING LIGHT'	JAPANESE SILVER GRASS	5 GAL. @ 3' O.C.	56



NOTES:
THE AREA OF BEARING PER THRUST BLOCK TO EQUAL THE FULL AREA SPECIFIED FOR THE LARGEST PIPE.



NOTES:
THE AREA OF BEARING PER THRUST BLOCK TO EQUAL 1/2 THE AREA SPECIFIED FOR THE LARGEST PIPE.

#4 REBAR 12" MIN. EMBEDMENT. ALL EXPOSED METAL TO BE COATED IN POLY FM GREASE #1 AND WRAPPED WITH POLYVINYL.

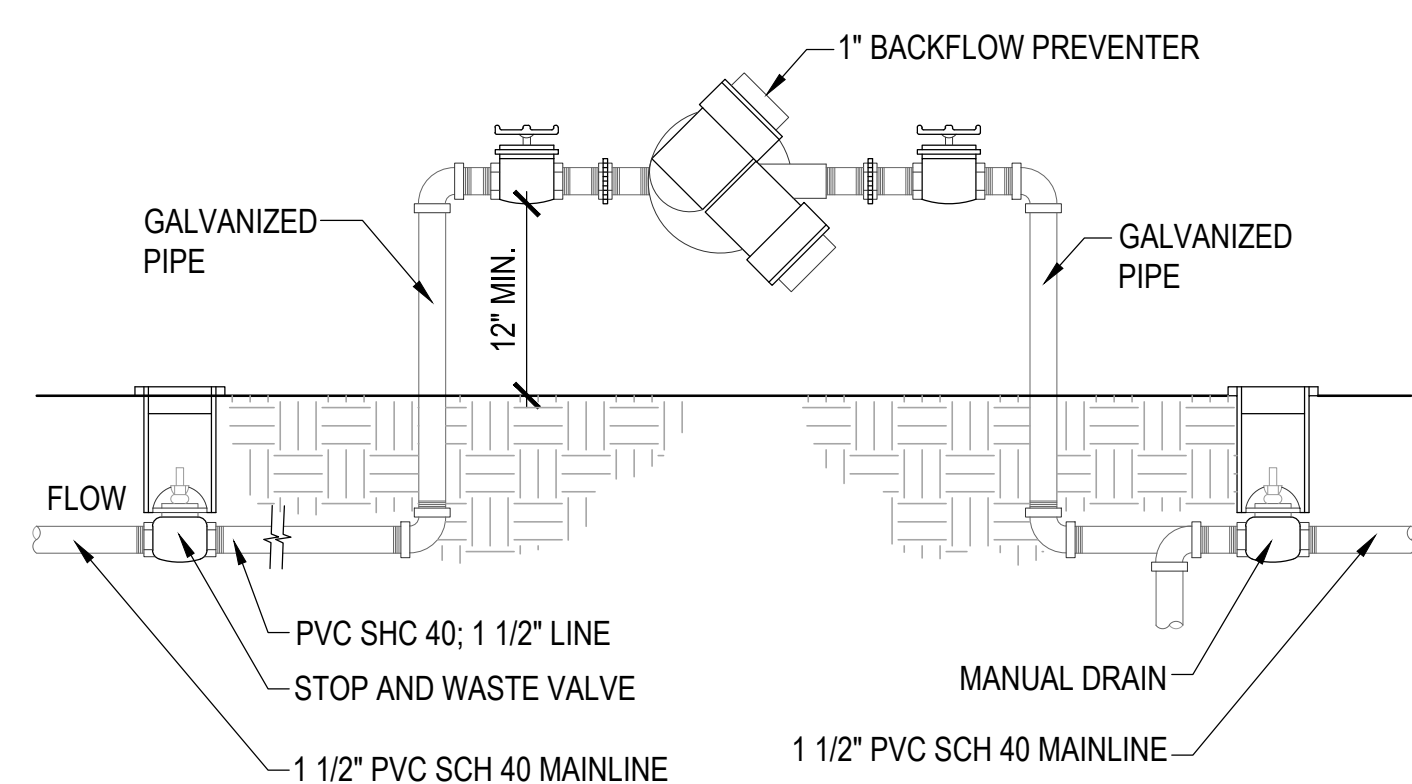
MINIMUM BEARING AREA IN SQUARE FEET								
FITTING SIZE	TEE, WYE, PLUG OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22.5° BEND	11.25° BEND	45° VERT. BEND (CU. YDS.)
			A1	A2				
4	1.4	1.9	1.9	1.4	1.0	1.0	1.0	1.0
5	2.8	4.0	4.0	2.8	2.1	1.1	1.0	2.1
8	4.8	6.8	6.8	4.8	3.7	1.9	1.0	3.6
10	7.3	10.3	10.3	7.3	5.6	2.8	1.4	5.5

VALUES LISTED ARE FOR 130 PSI TEST PRESSURE & 1733 PSF SOIL BEARING STRESS.

- NOTES:
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH OR STRUCTURAL BACK FILL APPROVED BY LANDSCAPE ARCHITECT.
 2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES
 3. ALL BURIED PIPING EXCEPT FLANGED, SCREWED, SOCKET WELD PVC OR WELDED STEEL PIPE SPECIFIED TO BE PRESSURE TESTED SHALL BE PROVIDED WITH CONCRETE THRUST BLOCKS AT ALL DIRECTION CHANGES UNLESS OTHERWISE NOTED.
 4. THRUST BLOCK SHALL NOT BE LOCATED OR SIZED TO ENCASE ADJACENT PIPES OF FITTINGS.

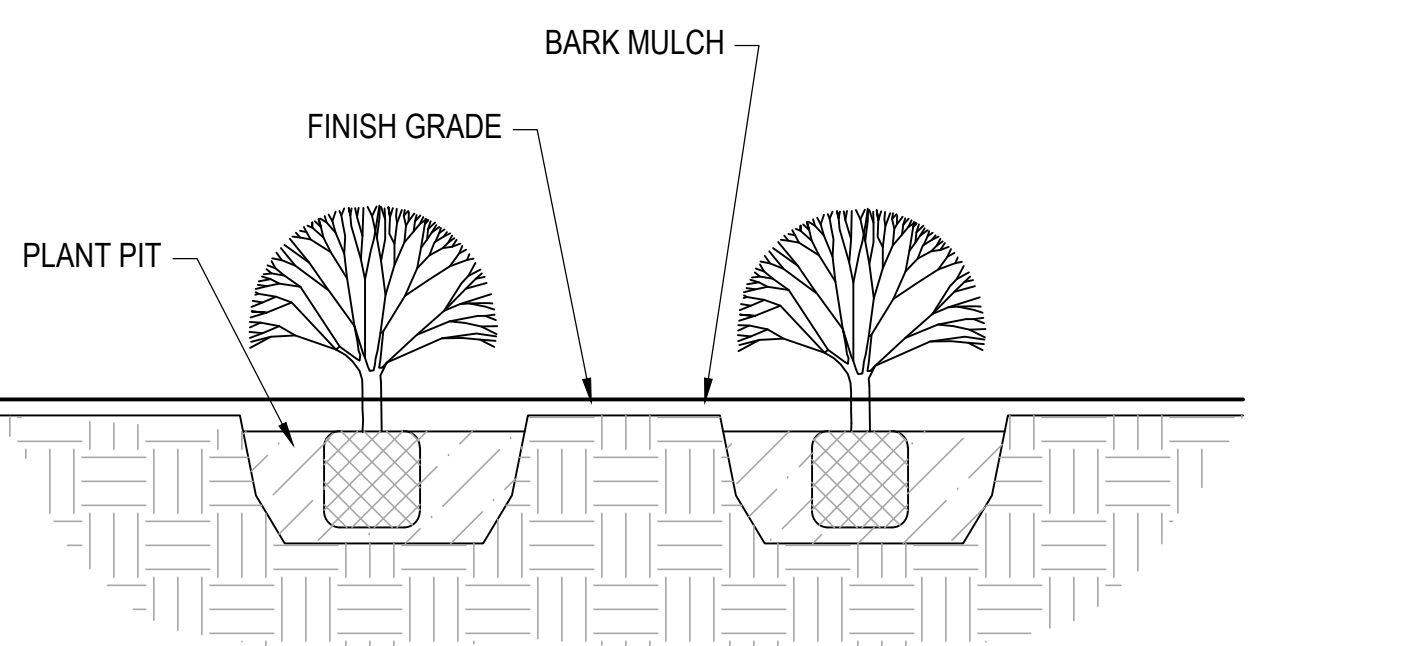
5 TYP. THRUST BLOCKING
L701 SCALE: 1'-1/2" = 1'-0"

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Planning Division
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Date: 04/01/2022 Bgf Harris

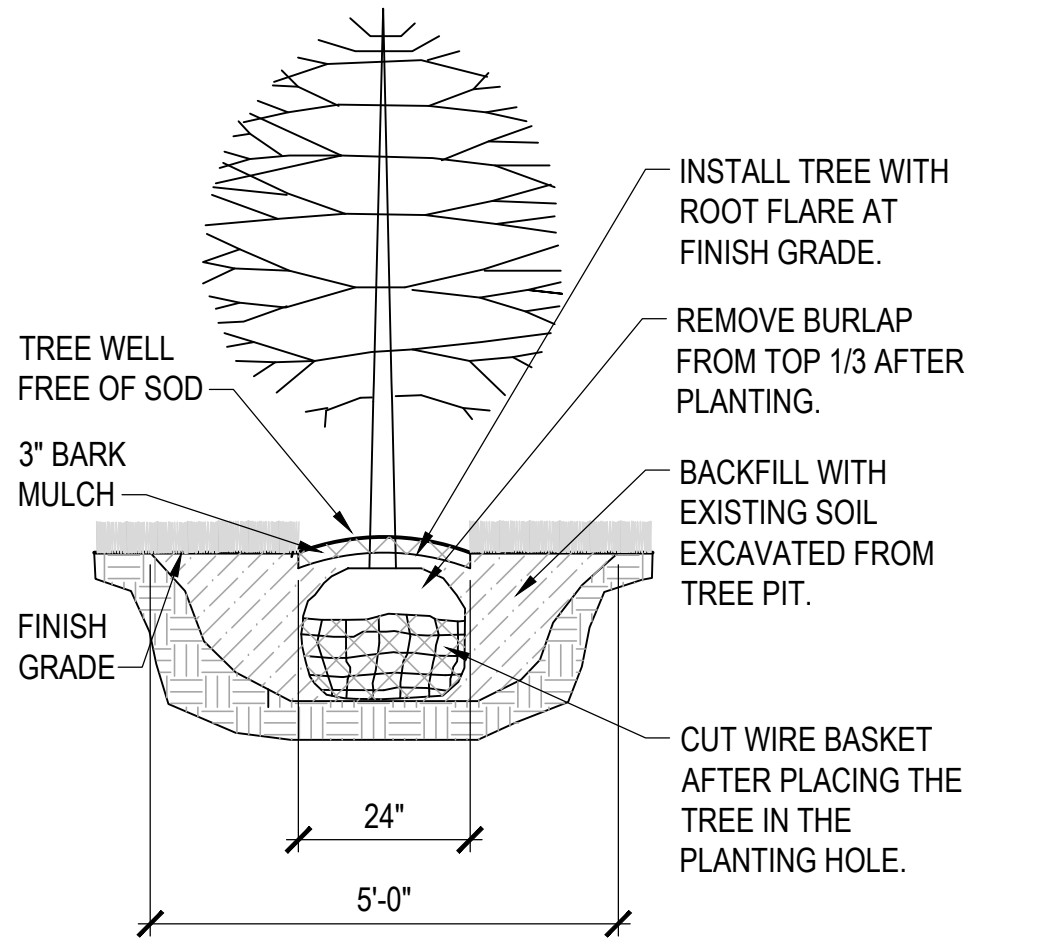


4 BACKFLOW PREVENTER
L701 SCALE: N.T.S.

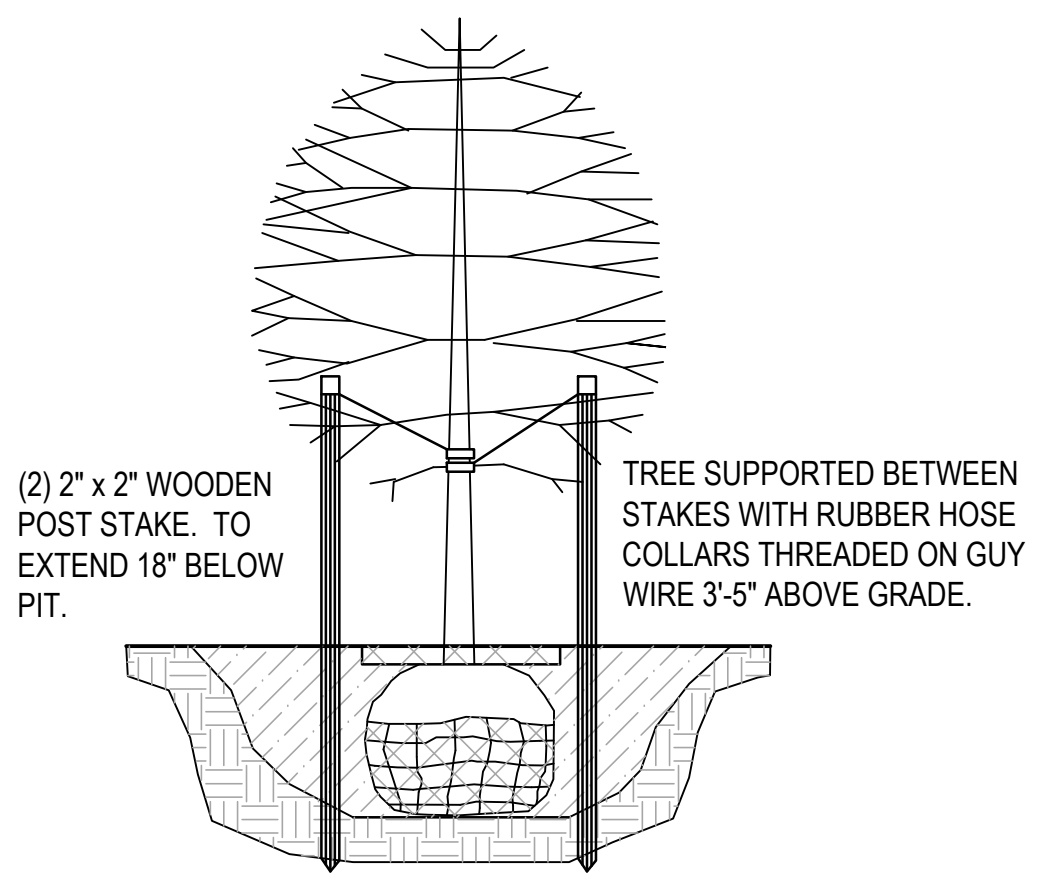
SOAK TOPSOIL AND ALLOW TO PERCOLATE PRIOR TO PLANTING. SET PLANT AT SAME RELATIONSHIP TO FINISH GRADE AS IN CONTAINER.



3 SHRUB PLANTING
L701 SCALE: N.T.S.

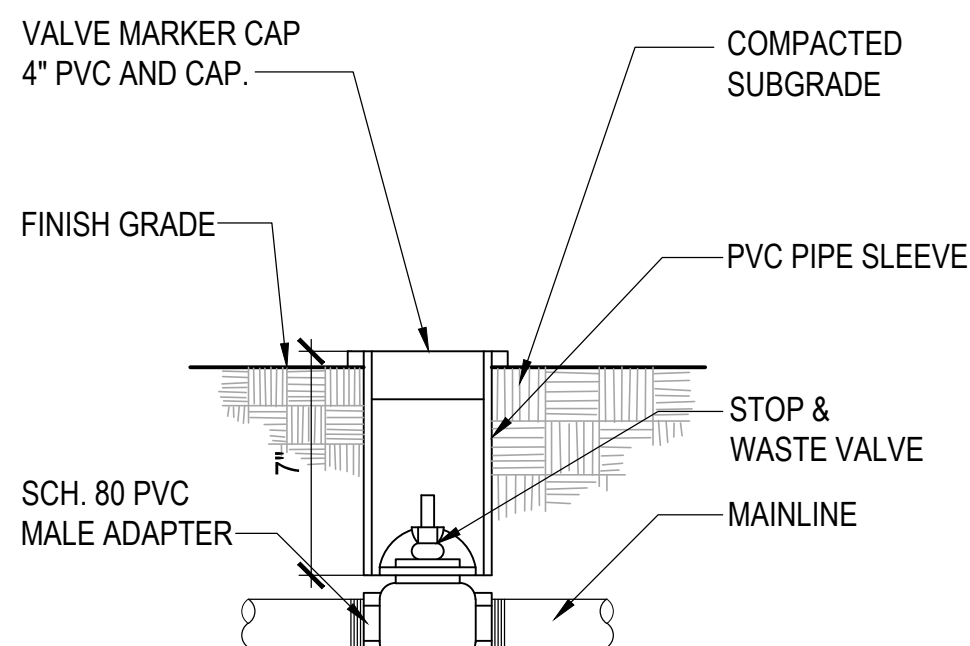


2 TREE PLANTING IN SOD AREA
L701 SCALE: N.T.S.



- STAKING TREES:
1. STAKING IS NOT GENERALLY REQUIRED FOR ALL TREE PLANTING. IF CONDITIONS ARE PRESENT WHERE THE CONTRACTOR DEEMS IT NECESSARY TO STAKE TREES TO ENSURE VIABILITY THROUGH THE GUARANTEE PERIOD, THE CONTRACTOR MAY STAKE THE TREES AT NO ADDITIONAL COST TO THE OWNER.
 2. ANY STAKING WILL BE IN ACCORDANCE WITH CURRENT HORTICULTURE PRACTICE. STAKING OF TREES WILL BE WITH WOODEN STAKES PLACED OUTSIDE THE ROOT BALL.

1 TREE STAKING
L701 SCALE: N.T.S.



6 STOP & WASTE VALVE
L701 SCALE: N.T.S.



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DRAWN BY: MJV
CHECKED BY: MJV

REVISIONS:

OWNER: GARN DEVELOPMENT
PROJECT: SOUTH JORDAN SEGO LILY
LOCATION: 10418 SOUTH WILLOW VALLEY ROAD, SOUTH JORDAN, UTAH 84095
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LANDSCAPE
DETAILS

SHEET NUMBER:
L701
DATE: 02/14/22

KEYNOTES

1. EXTERIOR SIGNAGE. DESIGN TBD.
2. APPROXIMATE LINE OF FINISH GRADE.
3. HOLLOW METAL DOOR IN HOLLOW METAL FRAME, PAINTED HIGH GLOSS FINISH - MATCH TO ADJACENT SURFACE.
4. BUILDING ADDRESS LOCATION. NUMBERS & LETTERS SHALL BE VISIBLE FROM THE STREET AND BE A MINIMUM 10 INCHES HIGH AND A STROKE OF 2 INCHES. THE NUMBERS & LETTERS SHALL BE ARABIC FONT IN IN CONTRAST TO THE COLOR OF BACKGROUND IN WHICH THEY ARE PLACED ON.
5. ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING.
6. 26 GA. G.I. FLASHING, PRE-FINISHED. COLOR TO MATCH ADJACENT MATERIAL UNLESS NOTED OTHERWISE.
7. REEDED CLERESTORY GLAZING IN CURTAIN WALL SYSTEM
8. ALUMINUM FLASHING, PRE-FINISHED. COLOR TO MATCH ADJACENT MATERIAL UNLESS NOTED OTHERWISE.

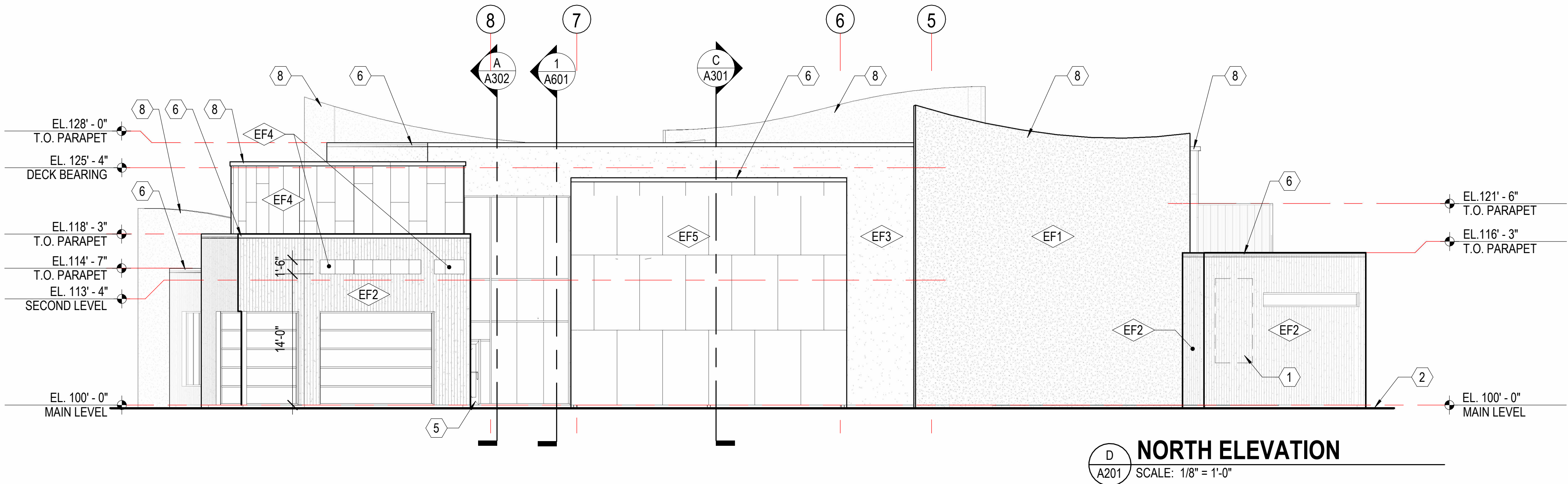
EXTERIOR FINISH NOTES:

- A. COLORS ARE SUBJECT TO CHANGE BASED ON SUBMITTAL OF ACTUAL SAMPLES.

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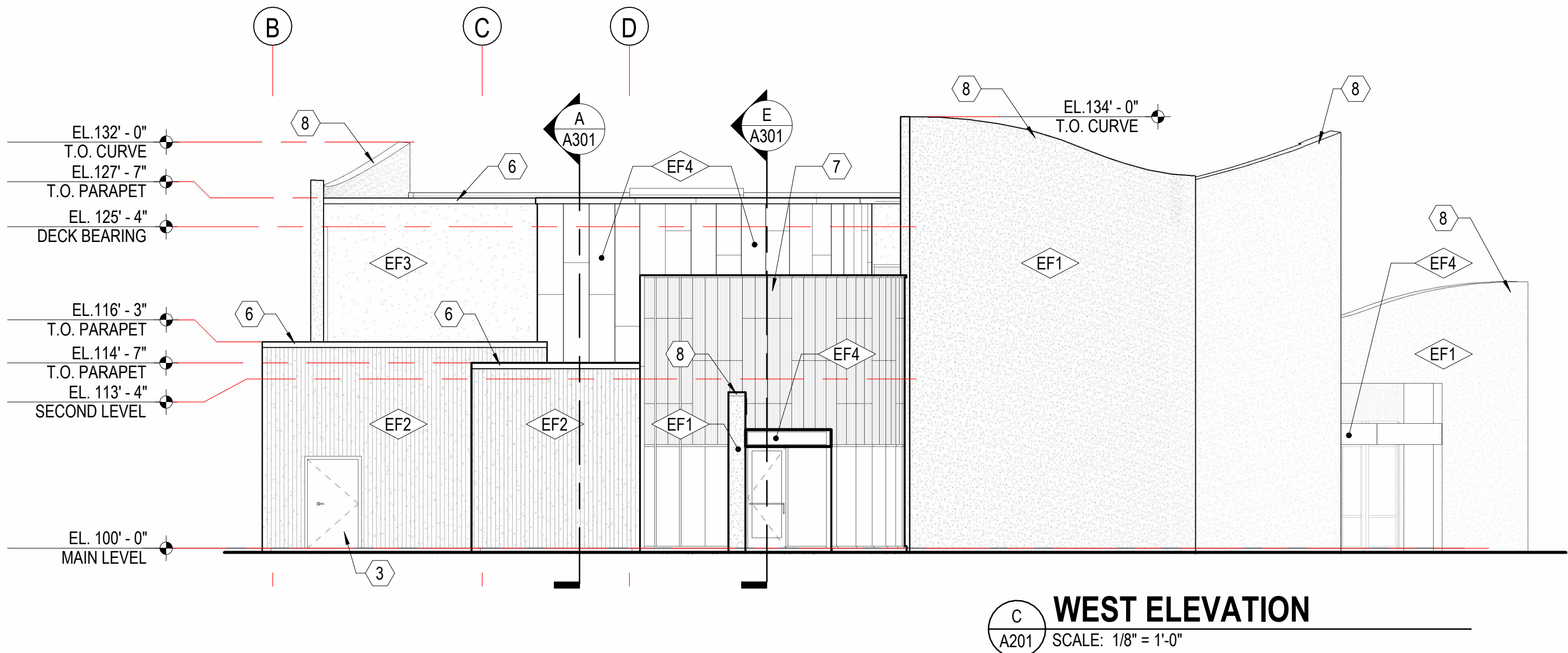
EXTERIOR FINISH MATERIALS

MARK	MATERIAL	DESCRIPTION	COLOR
EF1	LAYERED C.I.P. CONCRETE	INSULATED 16" STRUCTURAL RAMMED EARTH	NATIVE SAND - BLEACHED SANDSTONE
EF2	C.I.P. FORMLINER	3/4" VERTICAL CHanneled FORMLINER PATTERN	OFF-WHITE TO MATCH EF3
EF3	EIFS	SMOOTH FINISH EIFS TO RECEIVE PAINT	SW 7551 GREEK VILLA
EF4	3 FORM CHROMA XT	1/2" GAUGE, 48" x 120" PANEL	Y15 TIGER
EF5	CORTEN STEEL	4'-8" x 8' PANELS, CHEMICALLY TREATED AND SEALED	NATURAL PATINA



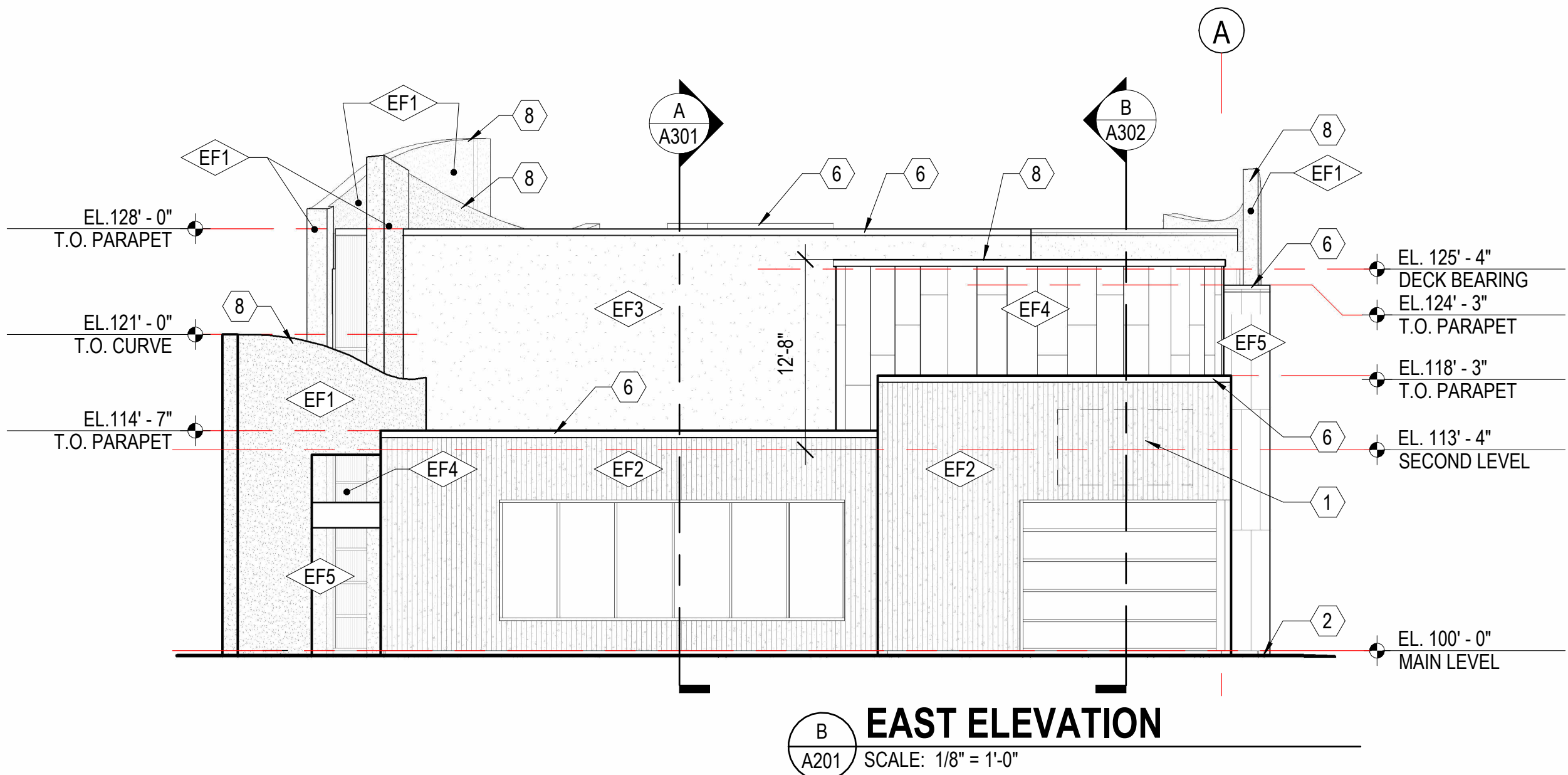
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



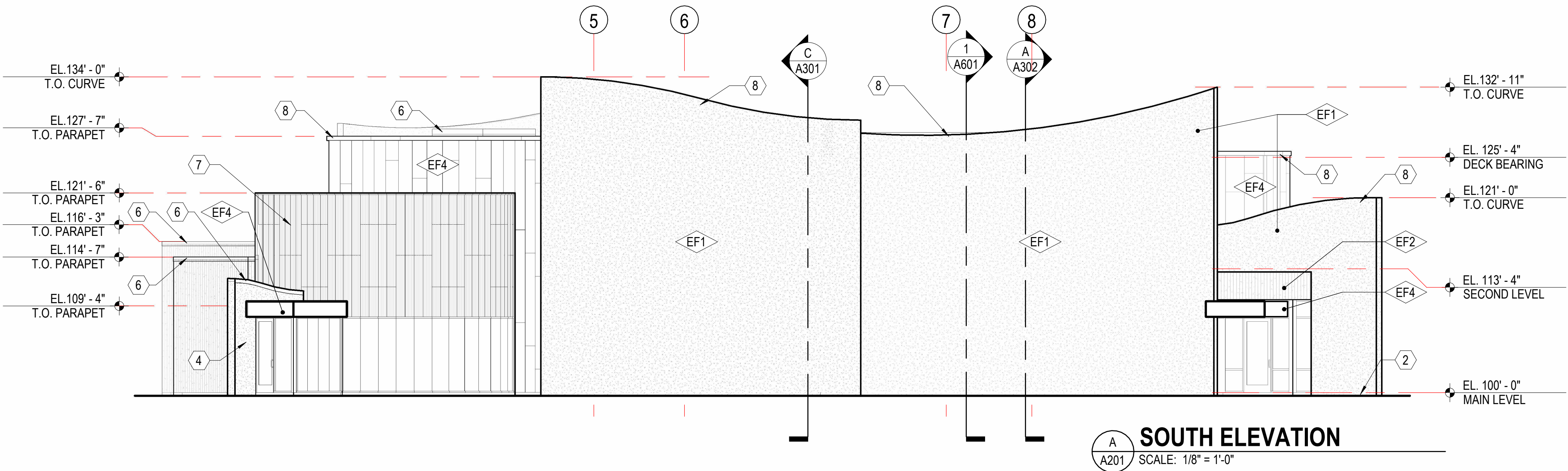
WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



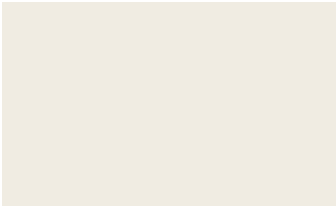
South Jordan City
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EF1 - RAMMED EARTH
INSULATED 16" STRUCTURAL
RAMMED EARTH



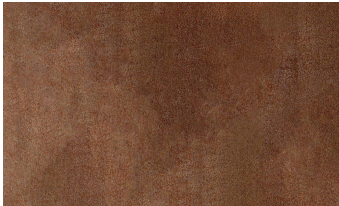
EF2 - C.I.P. FORMLINER
3/4" VERTICAL
CHANNELED FORMLINER
PATTERN



EF3 - EIFS
SW 7551 GREEK VILLA
SMOOTH FINISH



EF4 - 3 FORM CHROMA XT
Y15 TIGER; 1/2" GAUGE
48" x 120" PANEL



EF5 - CORTEN STEEL PANEL
CHEMICALLY TREATED AND
SEALED - NATURAL PATINA



SEGO LILY

SOUTH JORDAN, UT