

SOUTH JORDAN CITY PLANNING COMMISSION

STAFF REPORT

MEETING DATE: April 22, 2025

FILE OVERVIEW

Item Name	Site Plan: New SOJO Retail Commercial Building
Address	10983 S. Redwood Road
File Number	PLSPR202400192
Applicant	Clayton Kitterman; Element Design Co.
Owner of Record	Noble Reality Group, LLC.
Staff Contact	Andrew McDonald, AICP Planner II

PROPERTY OVERVIEW

Total Acreage	1.56	
Current Zoning	C-C (Commercial-Corridor)	
Subdivision	Falcons Plaza (Commercial) Subdivision, Lot 2	
Adjacent Properties	<i>Current Zone</i>	<i>Current Use</i>
<i>North</i>	C-C	Office Building
<i>East</i>	R-M-6 (Residential-Multifamily; 6 Units per Acre)	Single-Family Housing; Crystal Cove Subdivision
<i>South</i>	MU-V (Mixed-Use Village)	Commercial / Single-Family Housing
<i>West</i>	A-5 (Agricultural; 5 Units per Acre)	South Jordan City Park / Public Works

ITEM SUMMARY

This Application is associated with the CUP application (PLCUP202500041). The proposed project is to construct a new commercial building located at 10983 S. Redwood Road (Attachment A). The building will have eight tenant units. The two end units will be for restaurant uses, each with their own drive through facilities. The middle units will be a mix of office and retail. The current zoning (C-C) permits restaurant, office, and retail uses. The inclusion of drive through facilities is permitted with the approval of a conditional use permit (CUP) by the Planning Commission.



TIMELINE

- **October 7, 2024:** The City received a complete site plan application for review.
- **January 15, 2025:** The Architectural Review Committee reviewed the application and recommend approval with suggestions for improving the design of the building's west elevations and the south-west corner. The Applicant submitted new elevations reflecting the suggested changes.
- **April 9, 2025:** The application met the requirements of City Code and was scheduled for the next available Planning Commission meeting.

REPORT ANALYSIS

Parking & Access (Attachment B): Exiting access points from Redwood Road, 11010 South, and Beckstead Lane provide access to parking on-site and within the commercial subdivision development. The building is meant to contain a mixture of restaurant, office, and retail uses. Each use has its own required parking ratio described in [City Code § 16.26.040](#). There is no exclusive parking stall signage included in this application.

Building Elevations (Attachment C): [City Code § 17.60.020.H](#) requires that projects design each building elevation with equal design consideration. Exterior walls that are longer than 60 feet are required to include relief features at least four inches deep at planned intervals.

Maximum Building Height in C-C: 35 Feet

Proposed Building Height: 18 Feet, with the parapet projecting to 22 Feet

Landscaping (Attachment D): This application complies with the landscaping requirements of [City Code § 17.60.020.J](#) and [City Code § 16.30.040](#). At least 50% of the landscaped areas shall be covered in live plants, shrubs, and grasses. 22 trees are required to be planted on-site. The landscaping plans include 24 trees, in addition to the 10 street trees that will be planted in the park strip areas along Redwood Road and 11010 South.

Lighting (Attachment E): [City Code § 17.60.020.K](#) requires that the Applicant is required to provide a lighting plan, which includes a photometric analysis. Site Lighting shall be designed and/or shielded to prevent glare on adjacent properties.

Signage: Despite the elevation renderings showing signage locations, this project does not approve any type of signage design or placement. All signage shall be reviewed as part of a Sign Permit via the Building Department, and are subject to the underlying zone requirements.

- **Drive-through Lanes:** Restaurants are a permitted use in the C-C Zone. Drive-through facilities remain a conditional use in the C-C Zone. Drive-through facilities are a common accessory use to restaurants. This application proposes two drive-through lanes for each corner unit on the building.



Findings:

Parking & Access

- South Jordan parking requirements are described in [City Code § 16.26.040](#). Restaurant, Retail, and Office uses each have their own required parking ratios:
 - Office = 1 Parking Stall per 300 sf²
 - Retail = 1 Parking Stall per 200 sf²
 - Restaurant = 1 Parking Stall per 100 sf² or 1 parking stall per 4 identified seats
- Each parking ratio is calculated using the gross square footage provided for each unit. The required 64 parking stalls is not taking into account that there will be areas of these units (i.e., mechanical & utility spaces) that are not being occupied by employees or patrons. This could result in fewer parking stalls being required for the uses.
- Presently, it is not known what businesses will locate in the various units. It is possible that the required parking could increase or decrease depending on the uses that occupy the units.
- Staff will review parking requirements with every business license and Tenant Improvement permit required to locate in the building. It is possible that some businesses will not be approved because of insufficient parking requirements.
- Using the gross square footage of the units, the project would be required to provide 64 parking stalls.
- Units 1 & 8 are intended to be restaurants. The gross square footage of units 1 & 8 (3,084 sf²) would require 31 parking stalls (3,084 sf²/100sf²) between the two units.
- Units 2-7 are intended to be a mixture of office and retail. Staff is able to use the average of the office and retail parking ratios to reduce the required parking stalls needed. Based on the combined gross square footage of these units (8,201 sf²), these units, in total, would require 33 parking stalls (8,201 sf²/250sf²).
- Since City Code allows restaurants to base the required parking on the number of seating, Staff is not concerned that there will be insufficient parking.
- Lot 2 has both pedestrian and vehicular access to other lots in the subdivision, and is able to utilize parking stalls if needed. Lot 1, to the north, is required to have 73 parking stalls (1 per seat), the site provides 90.
- The subdivision consists of various restaurant and office uses. The regular daytime hours of the office uses would complement the evening business hours of the restaurants.
- Typically, drive through restaurants experience peak hours in the morning and evening hours. The office uses provide parking stalls for these hours, if needed.



Building Elevations

- The building elevations meet the minimum requirements of City Code.
- The varying use of color, materials, and projections provide the required relief features.

Landscaping

- The landscaping plans meet the requirements of City Code.
- The landscaping adjacent to Redwood Road will screen the drive-through lanes from view of the Right-of-Way. The landscaping consists of a series of trees, bushes, and shrubs that will aid in screening the drive-through lanes as the landscaping matures in time.

Lighting

- The proposed lighting elements are in compliance with City Code.

Signage

- The existing monument sign is the only monument sign permitted to be located on any lot within this subdivision

Drive-Through Lanes

- Drive-through restaurants in South Jordan typically contain one drive-through lane.
- City Code does not prohibit a project from having two drive-through facilities
- City Code does not prevent drive-through facilities from being located between the building and the Right-of-Way.
- One freestanding menu board is permitted per drive-through lane at drive-through restaurants. Each restaurant is allowed a maximum of two menu board signs.
- The elevation of the drive-through lanes are roughly three feet lower than the elevation of the sidewalk.
- There is a three-foot retaining wall proposed between the sidewalk and the drive-through lanes. This lowers the elevation of the drive-through lanes and helps screen them from view of the Right-of-Way. Attachment F shows the existing and proposed grading changes.
- The inner drive-through lane can queue 5-6 cars, from the pick-up window, without interfering with the parking lot drive aisles.
- The outer drive-through lane can queue 12-13 cars, from the pick-up window, without interfering with the parking lot drive aisles.
- The Site Plan shows each drive-through lane with a capacity of 5 cars in queue from the menu boards.



Conclusions:

The application conforms to the minimum requirements of City Code and other pertinent laws and ordinances, including those of the underlying zone.

Recommendation:

Staff recommends approval of the application based on the report analysis, findings, and conclusions listed above.

PLANNING COMMISSION ACTION

Required Action:

Final Decision

Scope of Decision:

This is an administrative decision to be decided by the Planning Commission.

Standard of Approval:

All proposed commercial, office, industrial, multi-family dwelling or institutional developments and alterations to existing developments shall meet the site plan review requirements outlined in [City Code § 16.24](#), and the requirements of the individual zone in which a development is proposed. All provisions of City Code Title 16, Title 17, and other City requirements shall be met in preparing site plan applications and in designing and constructing the development. Building permits may not be obtained nor shall any site work be performed prior to site plan approval.

Motion Ready:

I move that the Planning Commission approve:

1. File PLSPR202400192, SOJO Retail Commercial Building Site Plan

Alternatives:

1. Approve an amended Application
2. Deny the application
3. Schedule the Application for a decision at some future date

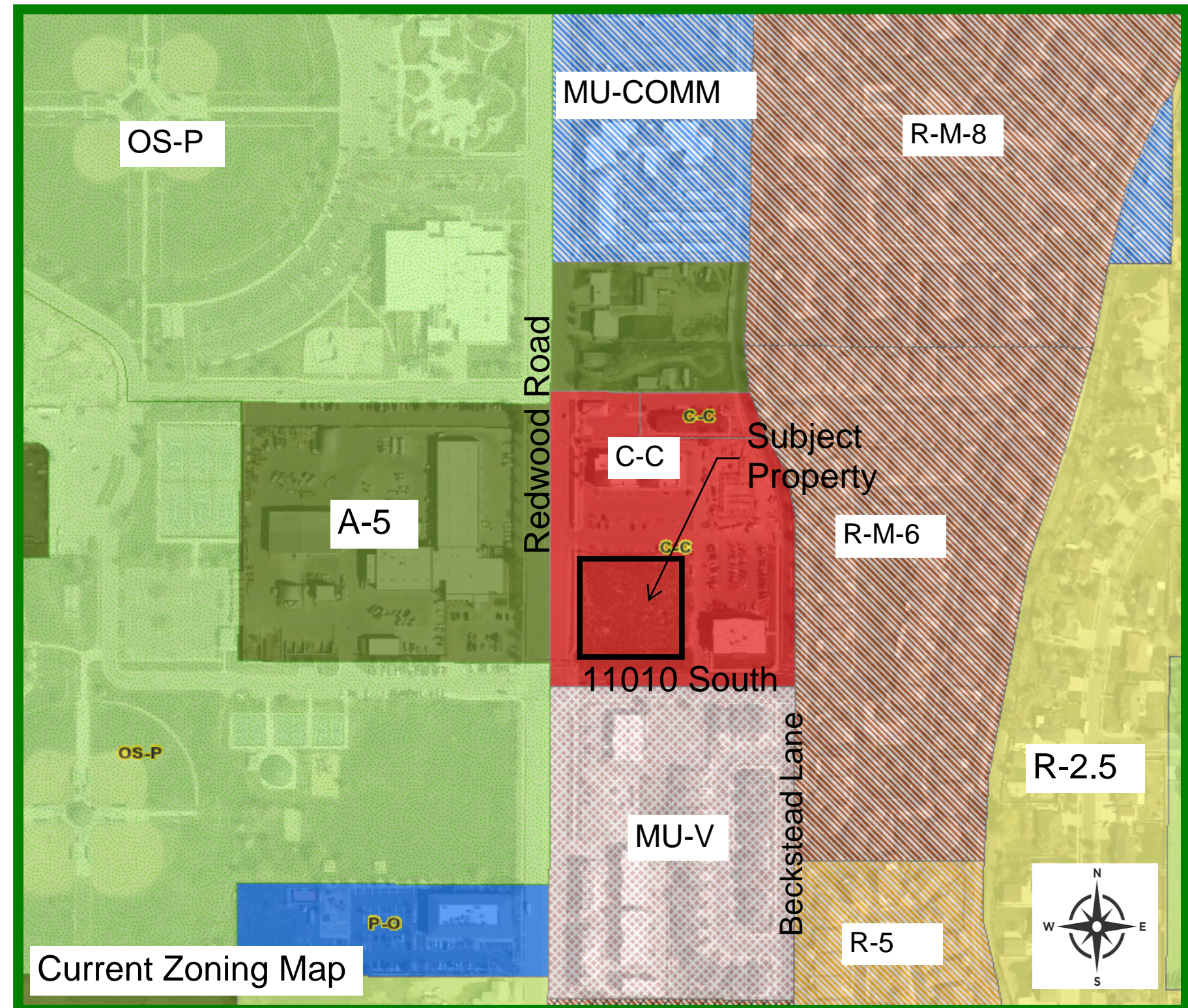
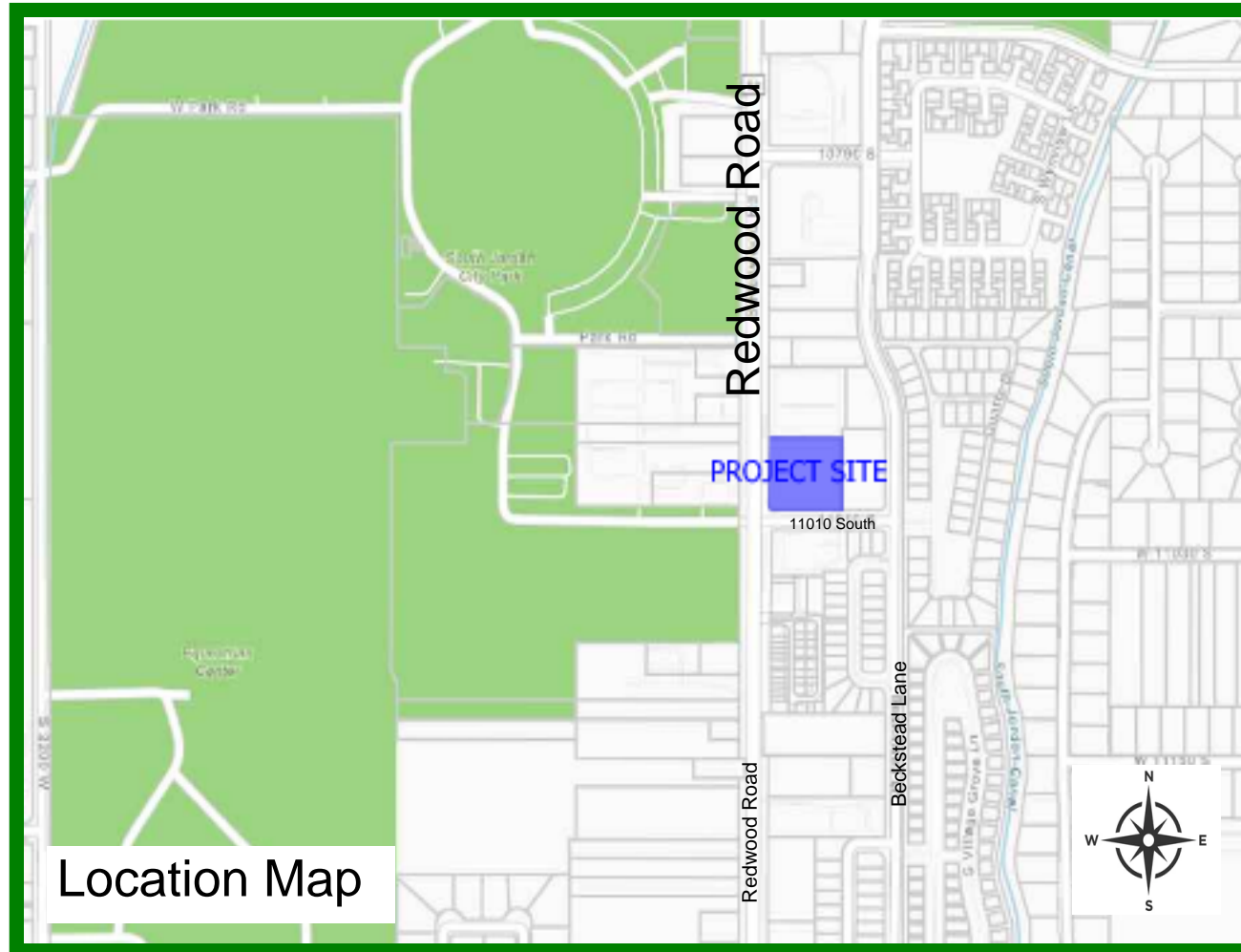
SUPPORTING MATERIALS

1. Attachment A, Location & Current Zoning Map
2. Attachment B, Site Plan
3. Attachment C, Building Elevations
4. Attachment D, Landscaping Plans
5. Attachment E, Lighting Plan
6. Attachment F, Grading Plan



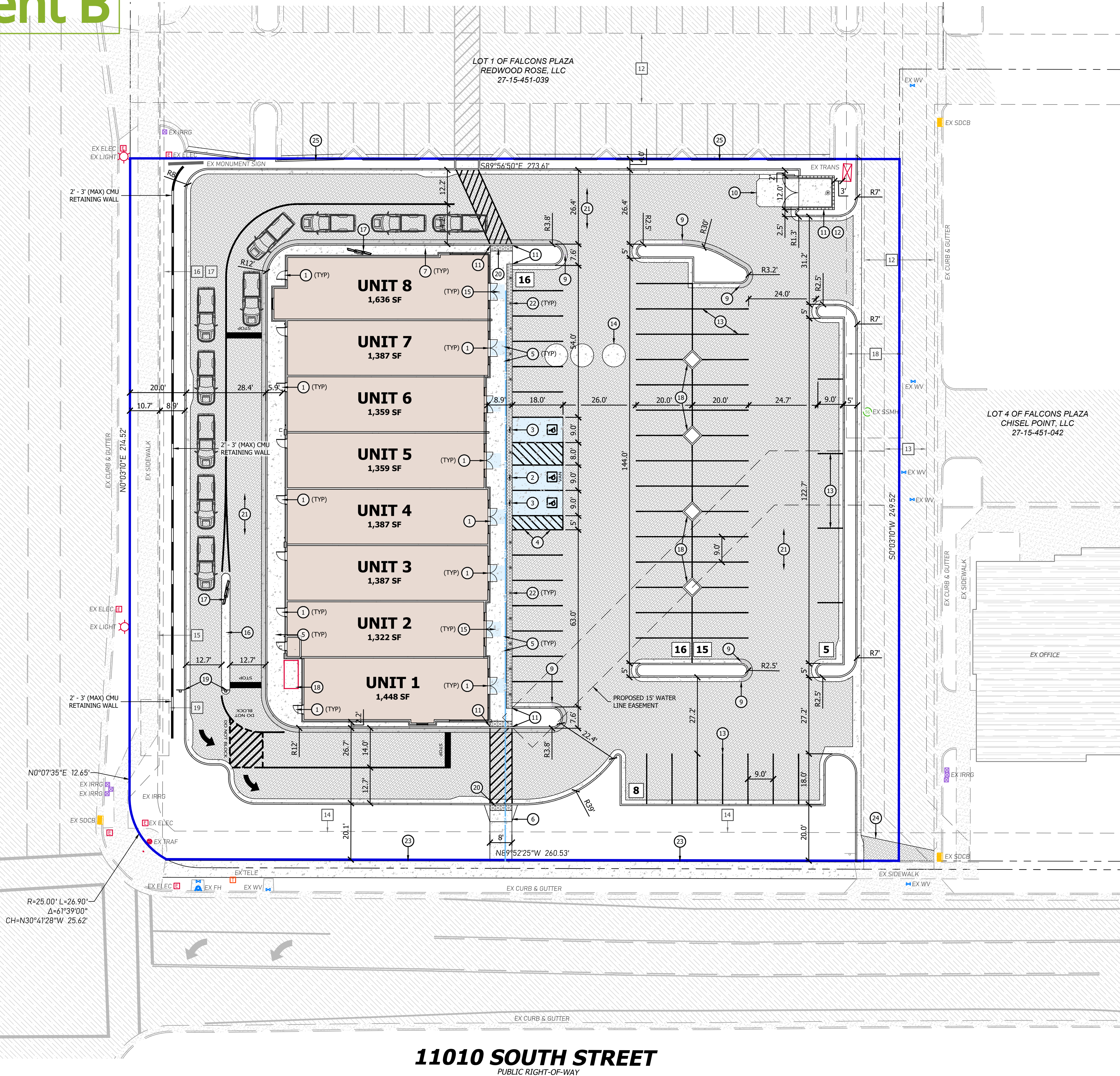
Attachment A

Location & Current Zoning Map

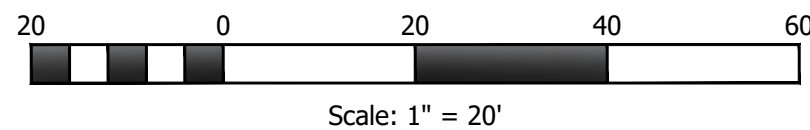
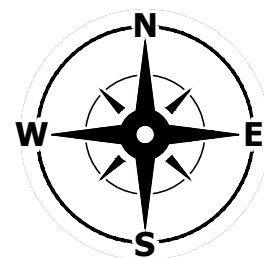


Attachment B

REDWOOD ROAD
(1700 WEST)
PUBLIC RIGHT-OF-WAY



11010 SOUTH STREET
PUBLIC RIGHT-OF-WAY



Key Notes

- BUILDING ENTRY, REFERENCE ARCHITECTURAL DRAWINGS
- ACCESSIBLE VAN PARKING SIGN, SEE DETAIL CA3 / SHEET C1.90
- ACCESSIBLE PARKING SIGN, SEE DETAIL CA3 / SHEET C1.90
- ON-SITE CONCRETE PARKING STALL, SEE DETAIL CP3 / SHEET C1.90
- ON-SITE CONCRETE WALKWAY FLUSH W/ PAVEMENT, SEE DETAIL CP8 / SHEET C1.90
- ON-SITE CONCRETE WALKWAY, SEE DETAIL CP7 / SHEET C1.90
- ON-SITE 'CATCH' CURB & GUTTER, SEE DETAIL CG1 / SHEET C1.90
- ON-SITE 'SPILL' CURB & GUTTER, SEE DETAIL CG1 / SHEET C1.90
- TRANSITION BETWEEN CURB TYPES.
- ON-SITE TRASH ENCLOSURE PAD, SEE DETAIL CP6 / SHEET C1.90
- TRASH ENCLOSURE, SEE SHEET T1.00
- TRASH ENCLOSURE FOUNDATION, REFERENCE STRUCTURAL DRAWINGS
- 4" YELLOW PAINTED STRIPING
- UTILITY CONCRETE COLLAR, SEE DETAIL CU1 / SHEET C1.90
- 5' x 5' ADA LANDING, NOT TO EXCEED GREATER THAN 1.8% IN ANY DIRECTION
- ON-SITE 6" VERTICAL CURB CONCRETE ISLAND, SEE DETAIL CG6 / SHEET C1.90
- MENU BOARD (MAXIMUM 42 S.F. IN AREA / 6.0' IN HEIGHT)
- ELECTRICAL EQUIPMENT, REFERENCE ELECTRICAL DRAWINGS
- LANE DIRECTIONAL SIGN, TYP OF 2
- TRUNCATED DOME PAD, TYP
- ON-SITE ASPHALT PAVEMENT, SEE DETAIL CP1 / SHEET C1.90
- 4" SLOWSTOP REBOUNDING BOLLARD CENTERED WITHIN PARKING STALL
- 6.0' WIDE CONCRETE SIDEWALK PER SOUTH JORDAN CITY STANDARDS, 5" THICK OVER 6" ROADBASE
- SAWCUT FOR STORM DRAIN OUTFALL, MATCH EXISTING PAVEMENT SECTION
- ON-SITE CURB & GUTTER, MATCH ADJACENT & MAINTAIN EXISTING DRAINAGE FLOWS

Easement Schedule

- FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMITMENT DATE: DECEMBER 14, 2022 AT 1:00 AM
ORDER NUMBER: FTUT20203949-MB
- THE RIGHTS OF OTHERS TO USE A 25 FOOT WIDE INGRESS/EGRESS SHARED ACCESS EASEMENT ALONG THE EAST SIDE OF THE SUBJECT LAND AS SHOWN ON THE OFFICIAL PLAT RECORDED AS ENTRY NO. 12287282, BOOK 2016P, PAGE 115. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - A 15 FOOT WIDE WATER LINE EASEMENT DEDICATED TO SOUTH JORDAN CITY ALONG THE EAST SIDE OF THE SUBJECT LAND AS SHOWN ON THE OFFICIAL PLAT RECORDED AS ENTRY NO. 12287282, BOOK 2016P, PAGE 115. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - A 10 FOOT WIDE PUBLIC UTILITY EASEMENT TRAVERSING THE SOUTH BOUNDARY OF THE SUBJECT LAND AS SET FORTH ON THE OFFICIAL PLAT RECORDED AS ENTRY NO. 12287282, BOOK 2016P, PAGE 115. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - A 10 FOOT WIDE PUBLIC UTILITY AND PUBLIC ACCESS EASEMENT TRAVERSING THE WEST SIDE OF THE SUBJECT LAND AS SET FORTH ON THE OFFICIAL PLAT RECORDED AS ENTRY NO. 12287282, BOOK 2016P, PAGE 115. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - EASEMENT CONVEYED TO UTAH DEPARTMENT OF TRANSPORTATION, A PERPETUAL IRRIGATION AND SLOPE EASEMENT FOR THE PURPOSE OF CONSTRUCTING THEREON AN IRRIGATION FACILITY, CUT AND/OR FILL SLOPES, AND APPURTENANT PARTS, RECORDED JUNE 9, 2005, AS ENTRY NO. 9399853, BOOK 9142, PAGE 8461, OF OFFICIAL RECORDS. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - EASEMENT CONVEYED TO UTAH DEPARTMENT OF TRANSPORTATION, A PERPETUAL IRRIGATION AND SLOPE EASEMENT FOR THE PURPOSE OF CONSTRUCTING THEREON AN IRRIGATION FACILITY, CUT AND/OR FILL SLOPES, AND APPURTENANT PARTS, RECORDED JUNE 9, 2005, AS ENTRY NO. 9399850, BOOK 9142, PAGE 8454, OF OFFICIAL RECORDS. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - EASEMENT IN FAVOR OF SOUTH VALLEY SEWER DISTRICT, A BODY POLITIC FOR A PERPETUAL RIGHT-OF-WAY AND EASEMENT TO CONSTRUCT, MAINTAIN, OPERATE, REPAIR, INSPECT, PROTECT, INSTALL, REMOVE AND REPLACE SEWER PIPELINES, VALVES, VALVE BOXES AND OTHER SEWER TRANSMISSION AND DISTRIBUTION STRUCTURES AND FACILITIES, RECORDED SEPTEMBER 23, 2015, AS ENTRY NO. 12137472, BOOK 10363, PAGE 8738, OF OFFICIAL RECORDS. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)
 - EASEMENT CONVEYED TO PACIFICORP, D/B/A ROCKY MOUNTAIN POWER, FOR OPERATION AND MAINTENANCE OF UNDERGROUND ELECTRIC POWER TRANSMISSION, DISTRIBUTION AND COMMUNICATION LINES, RECORDED AUGUST 6, 2007, AS ENTRY NO. 10184999, BOOK 9500, PAGE 2390, OF OFFICIAL RECORDS. (AFFECTS SUBJECT PARCEL AS SHOWN HEREON)

Development Summary

LOCATION:	SOUTH JORDAN, SALT LAKE COUNTY		
ZONING:	C-C, COMMERCIAL CORRIDOR		
INTENDED USE:	RESTAURANT / RETAIL		
PARCEL AREA:	68,142 SF	1.56 AC	(100%)
BUILDING AREA:	12,237 SF	0.28 AC	(18%)
IMPERVIOUS AREA:	45,873 SF	1.05 AC	(67%)
LANDSCAPE AREA:	10,032 SF	0.23 AC	(15%)
PARKING:	57 PARKING STALLS PROVIDED		
	3 ADA STALL PROVIDED		
	60 TOTAL PARKING STALLS PROVIDED		

Legend

- ADA = ACCESSIBLE PATH
- AREAS TO COMPLY WITH ADA STANDARDS
- SPILL CURB, SEE APPLICABLE CURBING DETAIL
- # = PARKING STALL QUANTITY

Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE OWNER / ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

SOUTH JORDAN RETAIL
REDWOOD RD & 11010 SOUTH ST
SOUTH JORDAN CITY, UT
LOCATED IN THE SE QUARTER OF SECTION 15
TOWNSHIP 3S, RANGE 1E, 3L BASE AND MERIDIAN

PROJECT TITLE

REVISIONS

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" = 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Date: 09 / 13 / 2024
Proj. No. 146 - 05

SHEET TITLE

**PROPOSED
SITE PLAN**




SHEET NO.

C1.00



Know what's below.
Call before you dig.

Attachment C

EXTERIOR MATERIAL LEGEND	
	STUCCO SHERWIN WILLIAMS "ALABASTER"
	NICHIHA VINTAGEWOOD "CEDAR" OR AZEK TIMBERTECH "DARK ROAST"
	CREATIVE MINES "GREYPEARL"

EXTERIOR MATERIAL COVERAGE CALCS				
MATERIAL	FRONT ELEVATION	RIGHT ELEVATION	REAR ELEVATION	LEFT ELEVATION
STONE/MASONRY	30%	37%	51%	48%
GLAZING	37%	9%	1%	10%
WOOD SIDING	15%	21%	17%	15%
STUCCO	8%	24%	22%	17%
METAL / ACCENTS	10%	9%	9%	10%
TOTAL %	100%	100%	100%	100%

- EXTERIOR ELEVATION GENERAL NOTES
- REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 OR THIS SHEET FOR FURTHER INFORMATION.
 - CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
 - ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
 - CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDING'S STREET FRONTAGE.
 - SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
 - SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.
 - ALL NEW CMU TO BE PAINTED TO MATCH EXISTING.

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION

Element
design collective

470 North 500 West
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801.698.6685
JON@ELEMENT-DESIGN.CO

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATIONS & MODELS THEREOF ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM CW URBAN

4 REAR ELEVATION

1/8" = 1'-0"

EXTERIOR WALLS OF BUILDINGS THAT ARE LONGER THAN SIXTY FEET (60') IN LENGTH SHALL HAVE RELIEF FEATURES AT LEAST FOUR INCHES (4") DEEP AT PLANNED INTERVALS, TYP.

2 LEFT ELEVATION

1/8" = 1'-0"

3 RIGHT ELEVATION

1/8" = 1'-0"

1 FRONT ELEVATION

1/8" = 1'-0"

PROJECT:
10983 S. REDWOOD RD.

REVISIONS:

A	Planning Review	11/27/24
B	Plan Review 2	12/16/24
C	DRC REVISIONS	01/16/25

TITLE:
EXTERIOR
ELEVATIONS

SHEET:

A200

DATE: 1/16/2025 5:18:24 PM

PERMIT SET

Attachment C



1 NORTH-EAST VIEW



2 NORTH-WEST VIEW



3 SOUTH-WEST VIEW



4 SOUTH-EAST VIEW

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PROJECT:
10983 S. REDWOOD RD.

REVISIONS:

TITLE:
PERSPECTIVES

SHEET:
A201

DATE: 1/16/2025 5:18:28 PM

PERMIT SET

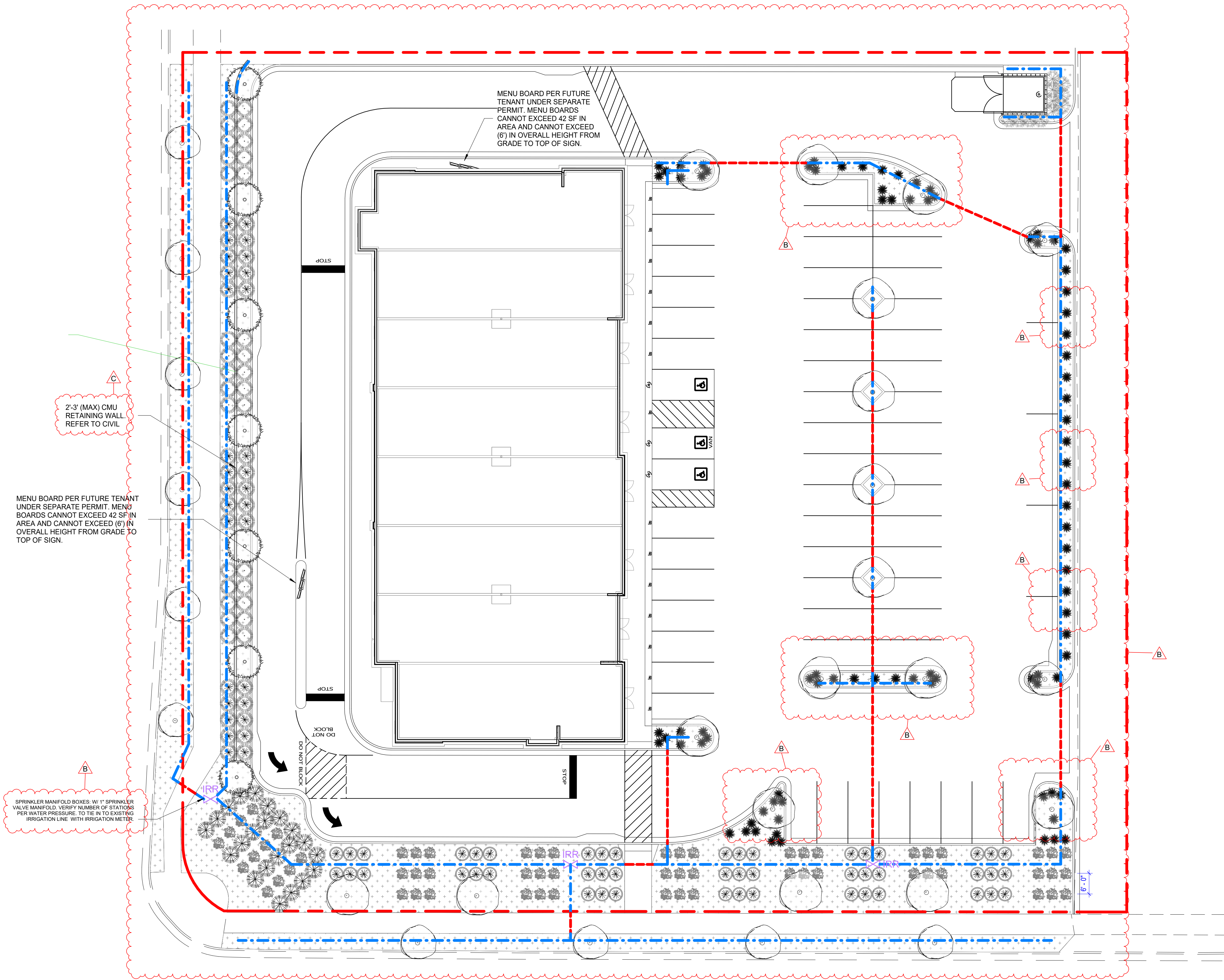
Attachment D

D

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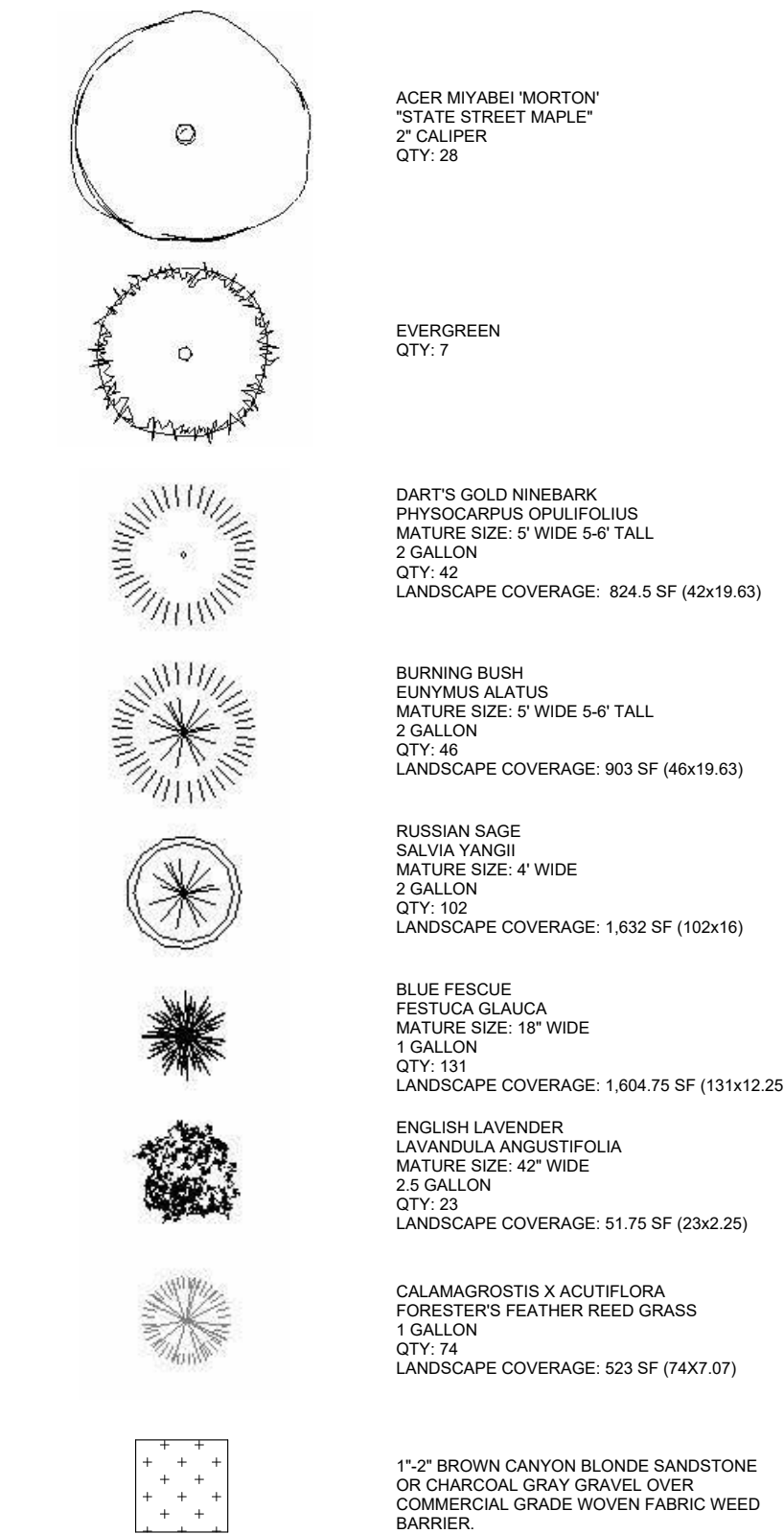


1 LANDSCAPING PLAN
1/16" = 1'-0"

GENERAL PLANTING NOTES:

A. ALL TREES TO BE PLANTED BY EXCAVATING A HOLE TWICE THE SIZE OF THE ROOT BALL. MIX IN PROPER SOIL ADDITIVES TO REDUCE THE TRANSPLANT IMPACT ON TREE.
B. ALL TURF GRASS TO BE PLANTED OVER 4" OF SCREENED TOP SOIL.

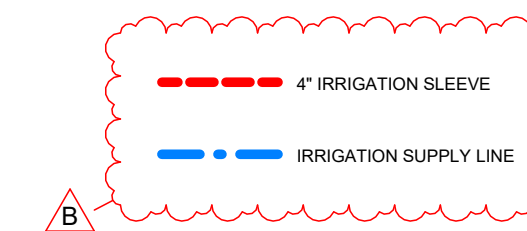
PLANTING LEGEND:



TOTAL LANDSCAPED AREA:	10,545 SF
SHADE TREES: 1 PER 500 SF	REQUIRED: 15
	ACTUAL: 17
EVERGREEN TREES: 30% OF TOTAL	REQUIRED: 7
	ACTUAL: 7
TOTAL TREES:	REQUIRED: 22
	ACTUAL: 24
50% PLANTING COVERAGE	REQUIRED: 5422.5 SF
	ACTUAL: 5339 SF

GENERAL IRRIGATION NOTES:

A. ALL LANDSCAPING TO BE DESIGNED/INSTALLED WITH A DRIP EMITTING SYSTEM AT SHRUBS AND AS NOTED IN TURF AREAS BY LANDSCAPE CONTRACTOR
B. IRRIGATION CONTROLLERS TO BE INSTALLED ON THE FRONT AND REAR OF THE BUILDING(S) AS ANNOTATED ON THE PLANS
C. FOR ALL DRIP IRRIGATION SYSTEMS, A REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY (RPB) TO BE INSTALLED AT POINT OF CONNECTION
D. EACH DRIP STATION TO IRRIGATE A MAX OF 340 GPH @ 4 GPM
E. EACH TURF GRASS STATION TO HAVE A MAXIMUM OF 8 SPRINKLERS
F. DRIP EMITTERS TO BE INSTALLED AT EACH TREE.



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PROJECT:
10983 S. REDWOOD RD.

REVISIONS:

A	Planning Review	11/27/24
B	Plan Review 2	12/16/24
C	DRC REVISIONS	01/16/25

TITLE:
ARCHITECTURAL
SITE / LANDSCAPE
PLAN

SHEET:

A001

DATE: 2/28/2025 5:00:05 PM

PERMIT SET

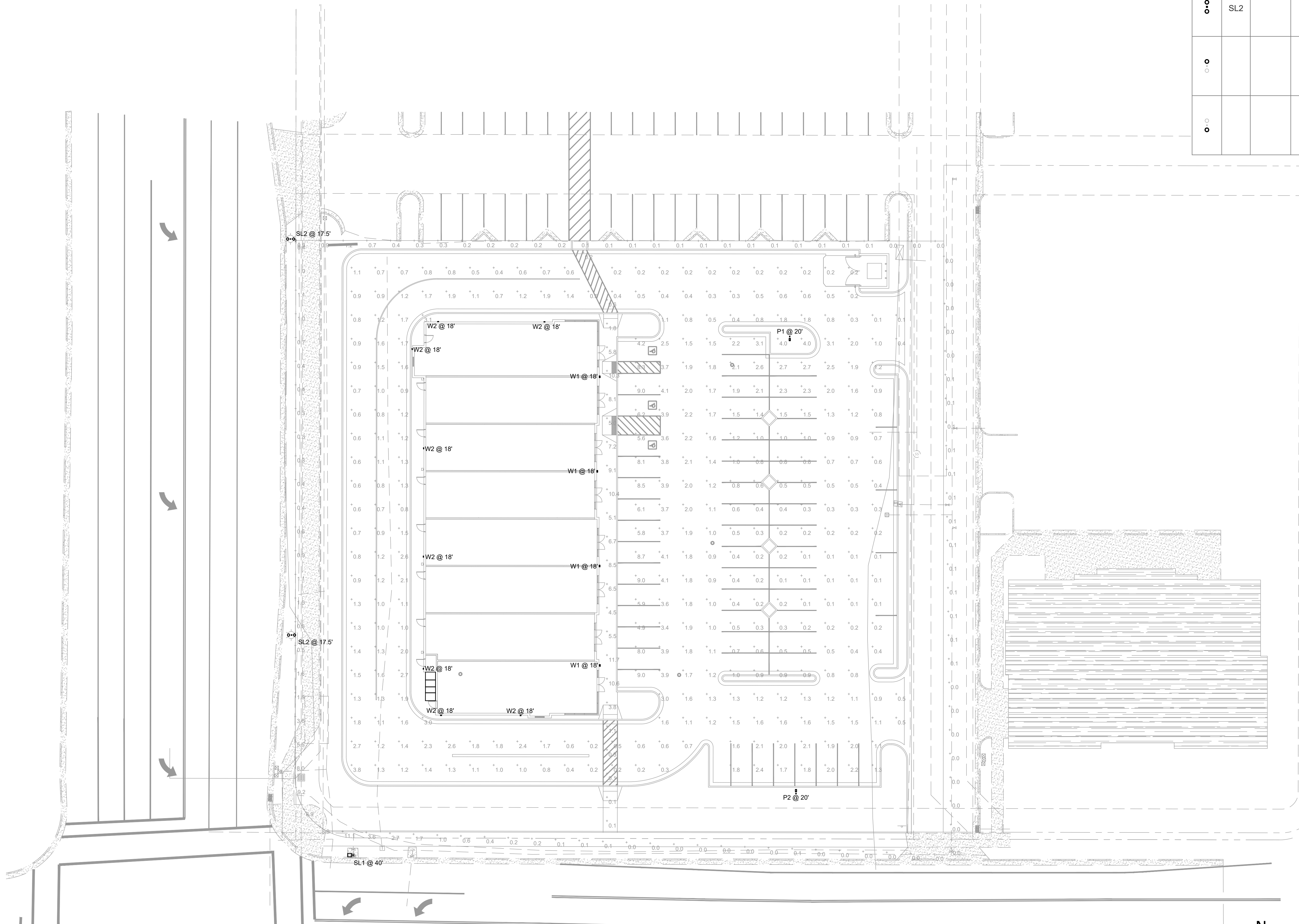
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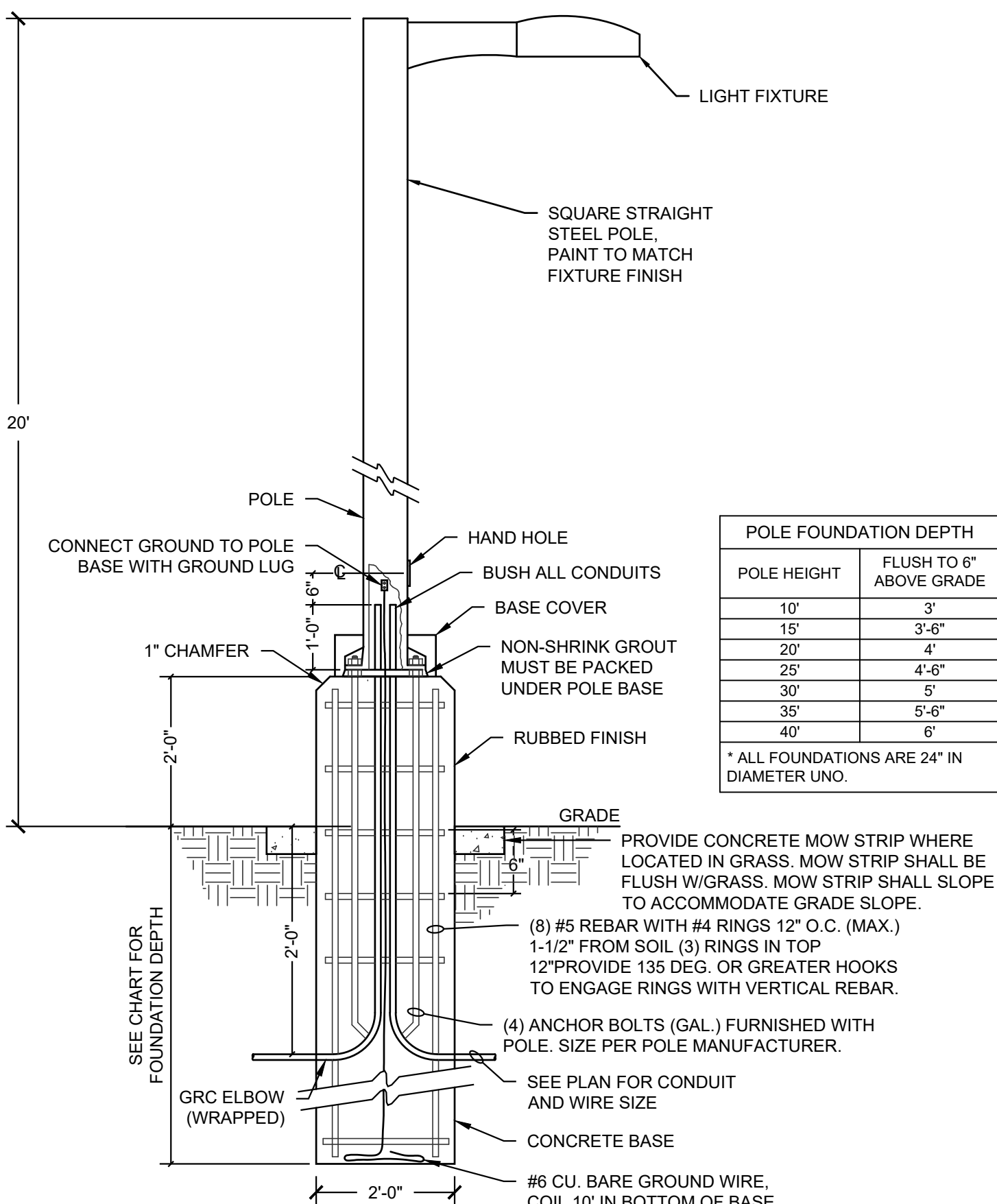
Attachment E



1 SITE PHOTOMETRIC PLAN
ES001
SCALE: 1" = 20'-0"

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	W1		4	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR12B-W	CROSSTOUR 102W WALL MOUNT LED	1	12036	0.9	102
	P1		1	COOPER LIGHTING SOLUTIONS - MCGRAW-HILL EDISON (FORMERLY EATON)	GALN-SA2C-840-U-T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (2) 80 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	32	370	0.9	108
	W2		8	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR3B-W	CROSSTOUR 28W WALL MOUNT LED	1	2709	0.9	25.5
	P2		1	COOPER LIGHTING SOLUTIONS - MCGRAW-HILL EDISON (FORMERLY EATON)	GALN-SA2C-840-U-T4FT-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (2) 80 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS WITH HOUSE SIDE SHIELD	32	267	1	108
	SL1		1	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	GLAN-SA9C-730-U-AFL-GRSWH	GALLEON AREA AND ROADWAY LUMINAIRE (8) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND AUTOMOTIVE FRONTLINE OPTICS WITH WHITE GLARE REDUCTION SHIELD	144	364	1	481
	SL2		2	Holophane	ARUE3 P30 40K GL3	Arlington Utility Gen 3, P30 Performance Package, 4000K, 70 CRI, Type 3 Glass refractor	1	5514	1	101.241
	SL2			Holophane	ARUE3 P30 40K GL3	Arlington Utility Gen 3, P30 Performance Package, 4000K, 70 CRI, Type 3 Glass refractor	1	5514	1	50.6205
	SL2			Holophane	ARUE3 P30 40K GL3	Arlington Utility Gen 3, P30 Performance Package, 4000K, 70 CRI, Type 3 Glass refractor	1	5514	1	50.6205

Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Property Line	+	0.8 fc	11.1 fc	0.0 fc	N/A
Submain	+	5.1 fc	11.7 fc	0.1 fc	51.01
Parking and Drive	+	1.5 fc	9.0 fc	0.1 fc	15.01



2 LIGHT POLE BASE DETAIL
ES001
NO SCALE

SOUTH JORDAN RETAIL
10983 S. REDWOOD ROAD
SOUTH JORDAN, UTAH

STAMP

NOT FOR
CONSTRUCTION

REVISIONS




PROJECT #: 24074
DRAWN BY: AP
CHECKED BY: AP
DATE: 8/27/2024
AMP ELECTRICAL ENGINEERING, LLC - 2024
SHEET TITLE:

SITE PHOTOMETRIC
PLAN

ES001

Attachment E


Project	Catalog #	Type	P1 & P2
Prepared by	Notes	Date	
			

McGraw-Edison






GALN Galleon II




Area / Site Luminaire

Product Features

-  **BAA** Approved

Product Certifications

Description

The patented Lumarc Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

DESCRIPTION

The patented Lumarc Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

EMERGENCY EGRESS

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel metal hydride battery pack. The separate emergency lighting LED is wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

FINISH

Crosstour MAXX is protected with rugged Crosstour MAXX powder coat. Super 100% powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed options. Options to meet Buy American and other domestic preference requirements.

WARRANTY

Five-year warranty.

Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 5](#)
- Product Specifications [page 6](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 11](#)

Connected Systems

- WaveLinx Lite
- WaveLinx

Quik Facts

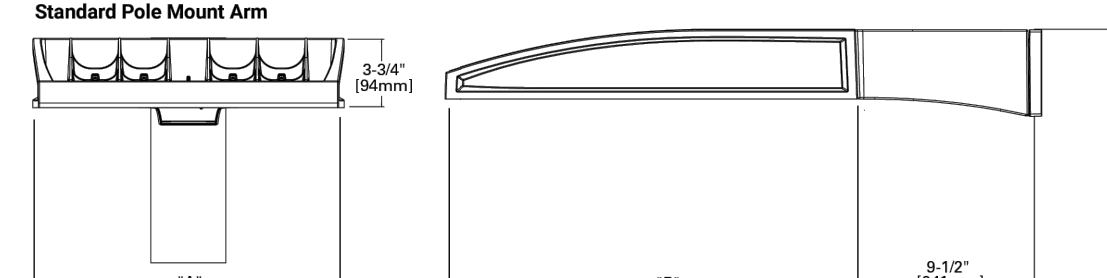
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING

Dimensional Details

Standard Pole Mount Arm

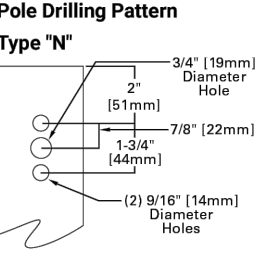


Number of Led Sources	Width "A"	Housing Length "H"	Weight with Standard or 0-24 Arm	EPA with Standard 0-24 Arm
1-4	16"	22"	29 1/2	0.95
5-6	22"	22"	39 1/2	0.95
7-9	22"	28-1/8"	48 1/2	1.1

NOTES:
1. For selection requirements and additional details see our mounting details section.
2. Weight shown does not include accessories for complete applications. All product variations are UL ETL qualified.
3. Die cast housing (2000-107) has a separate IP66 rated mounting system.

Pole Drilling Pattern

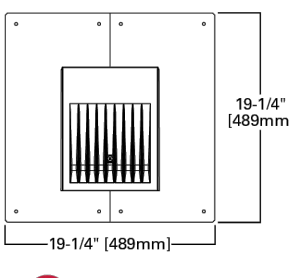
Type "H"




Dimensions

Full Cut Off	Deep Back Box	Refractive Lens	Deep Back Box
3'-3 1/2" (1016mm)	6'-1/4" (1880mm)	3'-3 1/2" (1016mm)	6'-1/4" (1880mm)

ESCUITECHEN PLATES



Project	Catalog #	Type	W1 & W2
Prepared by	Comments	Date	
			

Description

The patented Lumarc Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

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XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING

Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Distributions [page 5](#)
- Product Specifications [page 6](#)
- Energy and Performance Data [page 6](#)
- Control Options [page 11](#)

Connected Systems

- WaveLinx Lite
- WaveLinx

Quik Facts

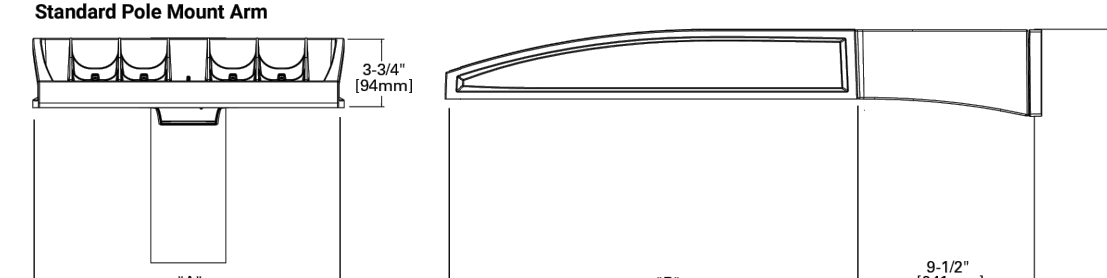
- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 17 optical distributions
- Efficacy up to 159 lumens per watt

XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING

Dimensional Details

Standard Pole Mount Arm



Number of Led Sources	Width "A"	Housing Length "H"	Weight with Standard or 0-24 Arm	EPA with Standard 0-24 Arm
1-4	16"	22"	29 1/2	0.95
5-6				

SOUTH JORDAN RETAIL

STAM

NOT FOR
CONSTRUCTION

[illegible]

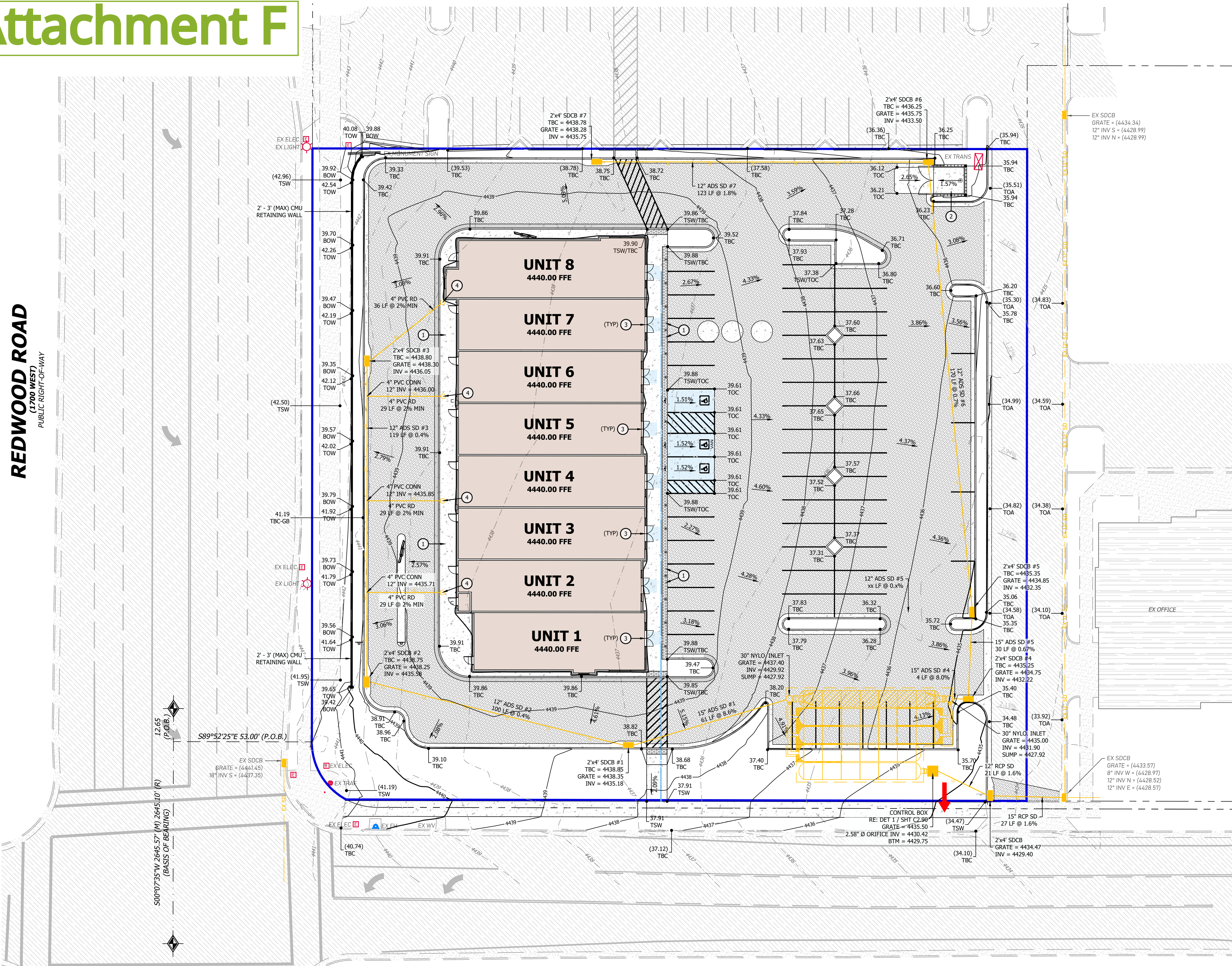
PROJECT #:	2407
DRAWN BY:	A
CHECKED BY:	A
DATE:	8/27/2021
AMP ELECTRICAL ENGINEERING, LLC. - 2021	
SHEET TITLE:	

SITE PHOTOMETRIC
PLAN SPEC SHEETS

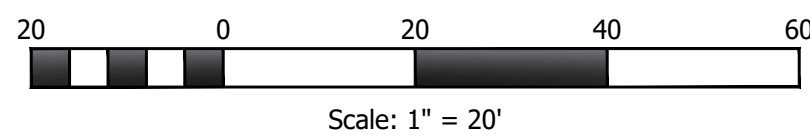
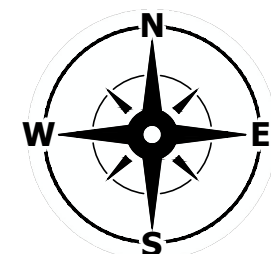
ES002

Attachment F

REDWOOD ROAD
(1700 WEST)
PUBLIC RIGHT-OF-WAY



11010 SOUTH STREET
PUBLIC RIGHT-OF-WAY



Scale: 1" = 20'

General Notes

- 1. SITE STRIPING OTHER THAN PROVIDED PARKING HAS BEEN REMOVED FOR CLARITY. REFERENCE SHEET C1.00 FOR SITE STRIPING DESIGN.
- 2. CONTRACTOR TO PROVIDE SNOUT OIL-WATER DEBRIS SEPARATOR FOR ALL ON-SITE CATCH BASINS.
- 3. REFERENCE SHEET C2.90 FOR ADDITIONAL REQUIRED STORM DRAIN CALCULATIONS.

Key Notes

- 1. ENSURE SIDEWALKS ABUTTING BUILDING DRAIN AWAY FROM STRUCTURE AT 1.5% MINIMUM, NOT TO EXCEED 2%.
- 2. ENSURE TRASH ENCLOSURE PAD DOES NOT EXCEED 2% IN ANY DIRECTION.
- 3. 5' x 5' ADA LANDING, NOT TO EXCEED GREATER THAN 1.8% IN ANY DIRECTION.
- 4. CLEAN-OUT FRAME & COLLAR, SEE DETAIL CU2 (TYP)

Cut / Fill Quantities

TOTAL AREA = 65,292 SF | CUT = 307 CU YD | FILL = 3,376 CU YD | NET = 3,070 (FILL)

NOTE: QUANTITIES DO NOT ACCOUNT FOR COMPACTION OR SHRINKAGE, UTILITY TRENCHING, OR BUILDING FOOTINGS.

Benchmark and Basis of Bearing

DESC: FOUND STANDARD FLAT BRASS MONUMENT
N: 7369893.682
E: 1518516.267
ELEV: 4,442.20
THE BASIS OF BEARING IS THE THE LINE BETWEEN THE NORTH 1/4 CORNER OF SECTION 22, TOWNSHIP 3 SOUTH, RANGE 1 WEST AND THE CENTER OF SECTION 22, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, WHICH BEARS SOUTH 00°07'35" WEST.

Flood Zone

THIS PROPERTY LIES WITHIN FLOOD ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. INFORMATION OBTAINED FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 49035C0437G, EFFECTIVE DATE: SEPTEMBER 25, 2009.

Development Summary

LOCATION: SOUTH JORDAN, SALT LAKE COUNTY
ZONING: C-C, COMMERCIAL CORRIDOR
INTENDED USE: RESTAURANT / RETAIL

PARCEL AREA:	68,142 SF	1.56 AC	(100%)
BUILDING AREA:	12,237 SF	0.28 AC	(18%)
IMPERVIOUS AREA:	45,873 SF	1.05 AC	(67%)
LANDSCAPE AREA:	10,032 SF	0.23 AC	(15%)

PARKING: 57 PARKING STALLS PROVIDED
3 ADA STALL PROVIDED
60 TOTAL PARKING STALLS PROVIDED

Legend

- ADA — ACCESSIBLE PATH
- AREAS TO COMPLY WITH ADA STANDARDS
- SPILL CURB, SEE APPLICABLE CURBING DETAIL
- GRADE BREAK
- OVERFLOW FLOWPATH FOR 100-YEAR STORM EVENT

Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE OWNER / ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.



HUNT · DAY
3445 Antelope Drive, St 200
Syracuse, UT 84075
PH: 801.664.4724
EM: Thomas@HuntDay.co

PROJECT TITLE
SOUTH JORDAN RETAIL
REDWOOD RD & 11010 SOUTH ST
SOUTH JORDAN CITY, UT
LOCATED IN THE SE QUARTER OF SECTION 15
TOWNSHIP 3S, RANGE 1E, 3L BASE AND MERIDIAN

REV.	DATE	DESCRIPTION
4	03-26-2025	CITY COMMENTS TP
3	02-01-2025	CITY COMMENTS TP
2	12-23-2024	CITY COMMENTS TP
1	11-08-2024	CITY COMMENTS TP
0	09-27-2024	INITIAL SUBMITTAL TP

SEAL



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1" 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROJECT INFO.

Engineer: T. Hunt
Drawn: T. Pridemore
Date: 09 / 13 / 2024
Proj. No. 146 - 05

SHEET TITLE

SITE GRADING PLAN

SHEET NO.

C2.00



Know what's below.
Call before you dig.