

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 08/23/2022

Issue: NIELSEN GUESTHOUSE
CONDITIONAL USE PERMIT AND ACCESSORY DWELLING UNIT
Address: 1948 W. Ingot Way
File No: PLCUP202200159
PLALU202200118
Applicant: Lynn Nielsen

Submitted by: Damir Drozdek, Planner III

Staff Recommendation (Motion Ready): I move that the Planning Commission **approve** application:

- PLCUP202200159 to allow an existing detached accessory building (guesthouse) with the following requirements:
 - All City required permits and inspections are scheduled and passed as required by the City Building Division; and
- PLALU202200118 to allow for occupancy of above referenced guesthouse with the following requirements:
 - Fire access road is constructed as per International Fire Code and as approved by the City Fire Department,
 - ADU parking is to be provided in location where it will not impede emergency vehicle access to the guesthouse.

ACREAGE:	2 acres
CURRENT ZONE:	R-1.8 (Single-family residential, 1.8 lots per acre) Zone
CURRENT USE:	Residential
FUTURE LAND USE PLAN:	SN (Stable Neighborhood)
NEIGHBORING ZONES/USES:	North – R-1.8 / Single-family homes South – R-1.8 / Ingot Way West – R-1.8 / Vacant Lot East – R-1.8 / Single-family home

CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition on a use, the detrimental effect must be identified and be based on upon substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect.

The Planning Commission shall approve a conditional use permit application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed conditional use in accordance with applicable standards.

The Planning Commission may deny a conditional use permit application if the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards. Further, City Code § 17.18.050 provides:

I. COMPLIANCE AND REVOCATION:

1. A conditional use may be commenced and operated only upon:
 - a. compliance with all conditions of an applicable conditional use permit;
 - b. observance of all requirements of this title relating to maintenance of improvements and conduct of the use or business as approved; and
 - c. compliance with all applicable local, state, and federal laws.
2. A conditional use permit may be revoked by the City Council at any time due to the permittee's failure to commence or operate the conditional use in accordance with the requirements of subsection A of this section.

STANDARD OF REVIEW:

17.130.030.020: REVIEW PROCESS

C. Guesthouse Planning Commission Approval: In addition to the requirements of subsections A and B of this section, guesthouses that propose a floor area greater than thirty five percent (35%) of the living area for the primary dwelling or one thousand five hundred (1,500) square feet shall require review and approval by the Planning Commission.

BACKGROUND:

The applicant has applied for Conditional Use Permit (CUP) and Accessory Dwelling Unit (ADU) permit approval by the Planning Commission for an existing detached accessory building that he intends to renovate. It is located at 1948 W. Ingot Way.

The accessory building (the "Guesthouse") was originally constructed as a barn to shelter farm animals. Some time ago, the applicant converted the building into a residential living space. The City has no record of any permits being issued for the conversion, and the conversion went unnoticed until the applicant applied for a building permit to remodel the building.

The Guesthouse is located behind the main dwelling, approximately 150 feet from the street and around 90 feet from the west property line. There is a circular driveway in front of the main dwelling that provides enough room to park many vehicles. The required parking space for the ADU will be provided in the driveway but it will have to be located in a place where it will not impede emergency fire access to the Guesthouse.

The applicant will occupy the main dwelling while his son and son's family intend to occupy the Guesthouse. The main dwelling is a one-story building that is 21 feet high at the roof ridge. According to the County Assessor's records, it is 4,679 sq. ft. (2,672 sq. ft. on the main floor, and 2,007 sq. ft. in the basement). According to the applicant, the main dwelling has a fully-finished main floor with a few semi-finished bedrooms, one bathroom and no kitchen in the basement. Aside from the guesthouse ADU that the applicant is seeking a permit for, there are no other ADUs on the property.

The Guesthouse is a two-story building that is approximately 24 feet high at the ridge. Currently the Guesthouse has 1,662 sq. ft. of space on the main floor and 815 sq. ft. of space on the second floor, for a total of 2,477 sq. ft. of space. With the proposed remodel, there will be 1,896 sq. ft. of space on the main floor and 815 sq. ft. on the second floor, for a total of 2,711 sq. ft. of space. The majority of the additional space will come from enclosing the porch on the main floor. The finished product will have a total of three bedrooms, two bathrooms, a kitchen and a few multi-purpose rooms. The guesthouse will be approximately 58% the size of the main dwelling unit.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- Accessory buildings may not be higher than the main building, except as approved by the Planning Commission as a conditional use permit. In no case shall an accessory building be greater than twenty five feet (25') high. (See City Code § 17.40.020:I.3.a.)
- Guesthouse Planning Commission Approval: In addition to the requirements of subsections A and B of this section, guesthouses that propose a floor area greater than thirty five percent (35%) of the living area for the primary dwelling or one thousand five hundred (1,500) square feet shall require review and approval by the Planning Commission. (See City Code § 17.130.030.020:C.)
- The Guesthouse is an existing structure that has been used as a residential space for many years. The City has not have record of any complaints the structure or use.
- The proposed site plan will have to be modified to provide a turnaround for emergency vehicles to meet the Fire Apparatus Access Roads requirements which are included in the support materials section of the report as Appendix D.
- Staff has not identified any potential detrimental effects that the Guesthouse may cause if approved as per Staff recommendations.
- The intent of the two applications is to bring an existing Guesthouse into compliance with City Codes and allow the applicant to move forward with improving the Guesthouse.

Conclusion:

- The proposed Guesthouse does not appear to violate any health, safety or welfare standards if approved as conditioned. In addition, staff was not able to identify any detrimental effects to the adjacent properties or the general area.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

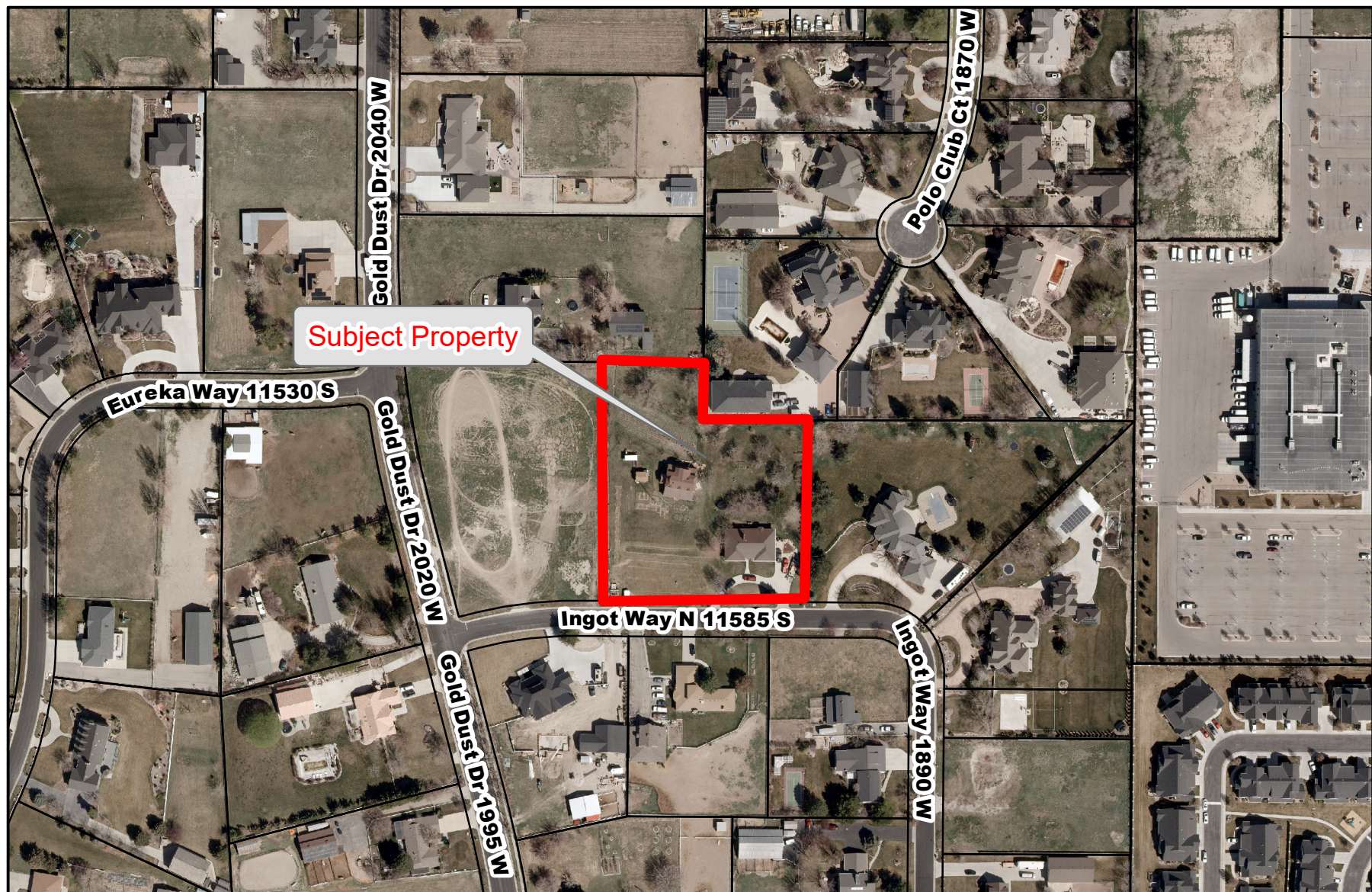
- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.


SUPPORT MATERIALS:

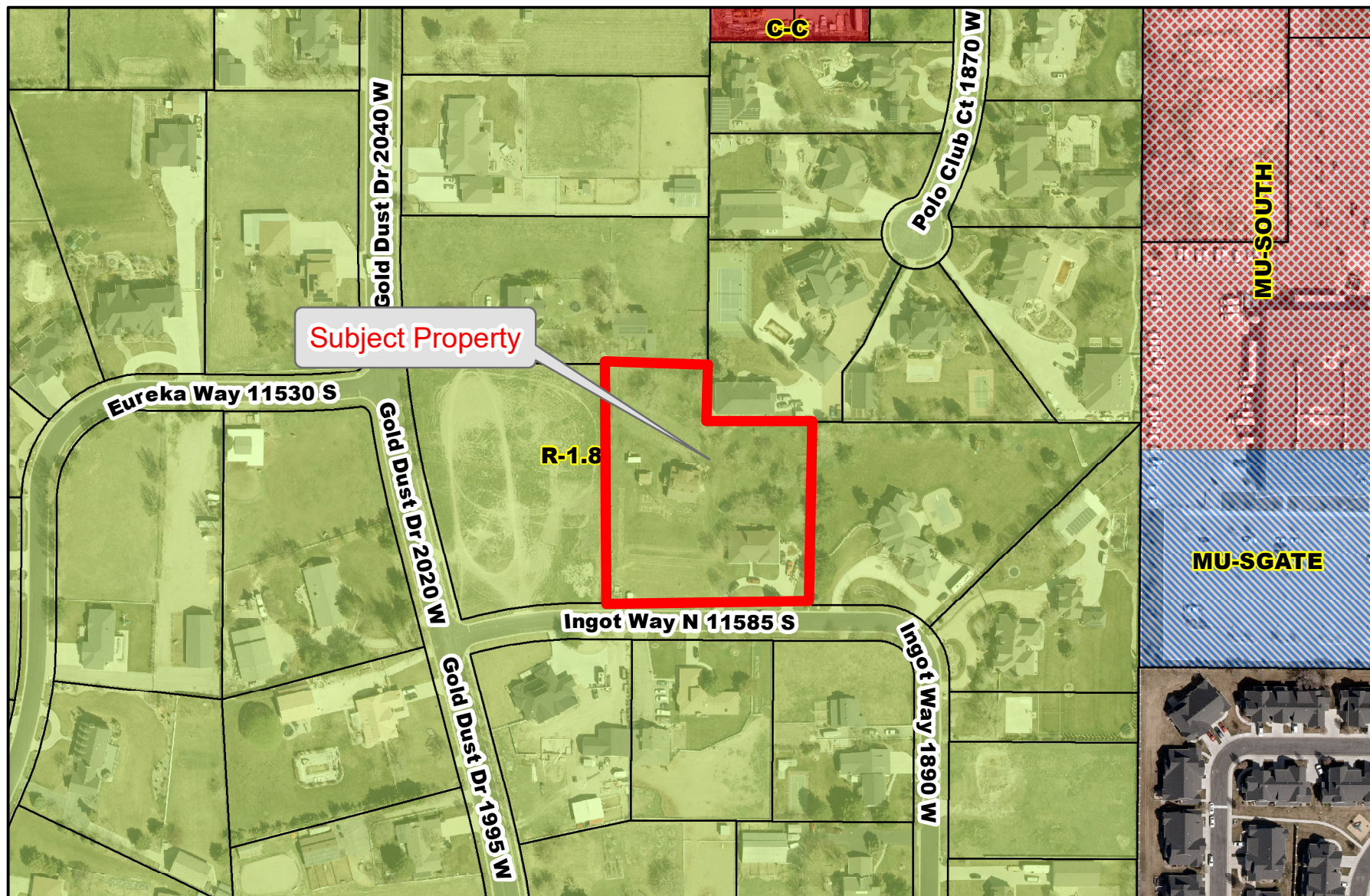
- Aerial Map
- Zoning Map
- Building Plans
- Appendix D – Fire Apparatus Access Roads
- Assessor's Information




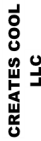
Damir Drozdek, AICP
Planner III
Planning Department



<p>Legend</p> <p>STREETS</p> <p>PARCELS</p>	<p>Aerial Map</p> <p><i>City of South Jordan</i></p>	<p>0 65 130 260 390 520 Feet</p> <p>Aerial Imagery 2021</p> 
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<p>Legend</p> <p>STREETS</p> <p>PARCELS</p>	<h2 style="text-align: center;">Zoning Map</h2> <p style="text-align: center;"><i>City of South Jordan</i></p>	<div style="display: flex; align-items: center;"><div style="flex: 1;"><p>0 65 130 260 390 520</p><p>Feet</p></div><div style="flex: 1; text-align: center;"><p>Aerial Imagery 2021</p></div><div style="flex: 0.2; text-align: center;"></div></div>
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SD STATUS

RESIDENTIAL
RENOVATION

COVER

Date	DATE
Drawn By	Author

Checked By		Checker	
REVISION	DESCRIPTION	DATE	
1	Revision 1	Date 1	

NOTES

A000

Scale $1/4" = 1'-0"$

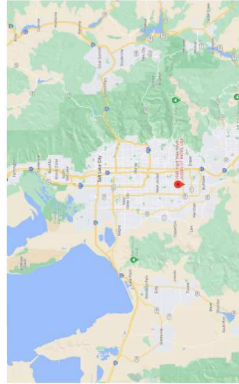
ABBREVIATIONS

PROJECT DATA

[illegible]

SYMBOLS.

VICINITY MAP



DRAWING INDEX

00 COVER	DATE	Author
01 EXISTING AND PROPOSED SITE PLAN	Drawn By	
02 EXISTING PLANS	Checked By	
03 PROPOSED PLANS	REVISION	REVISION
04 EXISTING ELEVATIONS	Revision 1	Revision 1
05 PROPOSED ELEVATIONS		
06 EXISTING AND PROPOSED SECTIONS		
07 EXISTING DETAILS		
08 EXISTING DETAILS		
09 SCHEDULES		
10 NOTES		
11 PROPOSED DETAILS		

APPLICABLE CODES

1. CONTRACTOR TO SUBMIT SIZING CALCULATION TO THE CITY INSPECTOR FOR WATER LINE TO VERIFY THAT EXISTING WATER LINE IS ADEQUATE
2. CONTRACTOR TO SUBMIT SIZING CALCULATION TO THE CITY INSPECTOR FOR SEWER LINE TO VERIFY THAT THE EXISTING SANITARY SEWER IS ADEQUATE

1	ACCESS PANEL	K.E.C.	LAVATORY	KITCHEN EQUIPMENT CONTRACTOR
2	ADJUSTABLE GIBING TILE	M.T.L.	MATERIAL	UNDER
3	ADJUSTABLE OR ADJACENT	M.A.C.	MAINTENANCE	
4	ADJUSTING	M.T.L.	MATERIAL	
5	ALTERNATE	M.T.L.	MATERIAL	
6	ANCHOR BOLTS	M.T.L.	MATERIAL	
7	AND	M.T.L.	MATERIAL	
8	APPLIANCE	N.O.M.	NOMINAL	
9	APPROXIMATELY	N.C.L.	NOT IN CONTRACT	
10	APPROXIMATELY	N.O.	NUMBER	
11	ARCHITECT	O.C.	ON CENTER	
12	BEAM	O.C.	ON CENTER	
13	BOARD	O.C.	ON CENTER	
14	BOUNDARY NAILING	O.C.	ON CENTER	
15	BUILDING	O.C.	ON CENTER	
16	CEILING	O.C.	ON CENTER	
17	CENTER LINE	O.C.	ON CENTER	
18	CLEAR	O.C.	ON CENTER	
19	COLUMN	O.C.	ON CENTER	
20	CONCRETE	O.C.	ON CENTER	
21	CORNER	O.C.	ON CENTER	
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GENERAL NOTES

25	REPAIR OR TO ADEQUATE CLOSURE TO OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS OR TO ADEQUATE CLOSURE OF ANY DAMAGE SUSTAINED AS A RESULT OF THE WORK. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.	
26	THE CONTRACTOR SHALL APPLY FOR, PAY FOR AND OBTAIN A CHECK TEST, PERMIT AND INSURANCE FOR THE USE OF ANY POWER, PNEUMATIC OR OTHER TOOLS OR EQUIPMENT, INCLUDING BUT NOT LIMITED TO, JACKS, PULLEYS, CATCHES, HOISTS, CRANES, AND LIFTING DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY DAMAGE TO THE STRUCTURE OR TO THE ADJACENT PROPERTY, AND FOR THE COST OF ANY DAMAGE TO THE ADJACENT PROPERTY, AND FOR THE COST OF ANY DAMAGE TO THE ADJACENT PROPERTY, AND FOR THE COST OF ANY DAMAGE TO THE ADJACENT PROPERTY.	
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CONFIRMANCE IN THESE DOCUMENTS.

ALL WORK SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND STANDARDS:

CODES AND STANDARDS:

2015 UTAH RESIDENTIAL CODE (IRC 2015)
2018 UTAH BUILDING CODE (IBC 2018)

2017 UTAH ELECTRICAL CODE (NEC 2017)
2018 UTAH MECHANICAL CODE (IMC 2018)

2018 UTAH PLUMBING CODE (IPC 2018)

2018 UTAH ENERGY CONSERVATION CODE (IECC 2018)
2018 UTAH FIRE CODE (IFC 2018)

2018 UTAH FIRE AND GAS CODE (IFGC 2018)
2018 UTAH EXISTING BUILDINGS CODE (IEBC 2018)

SD
STATUS

RESIDENTIAL
RENOVATION

EXISTING AND
PROPOSED SITE
PLAN

[illegible]

SHEET NUMBER

A100

Scale As indicated

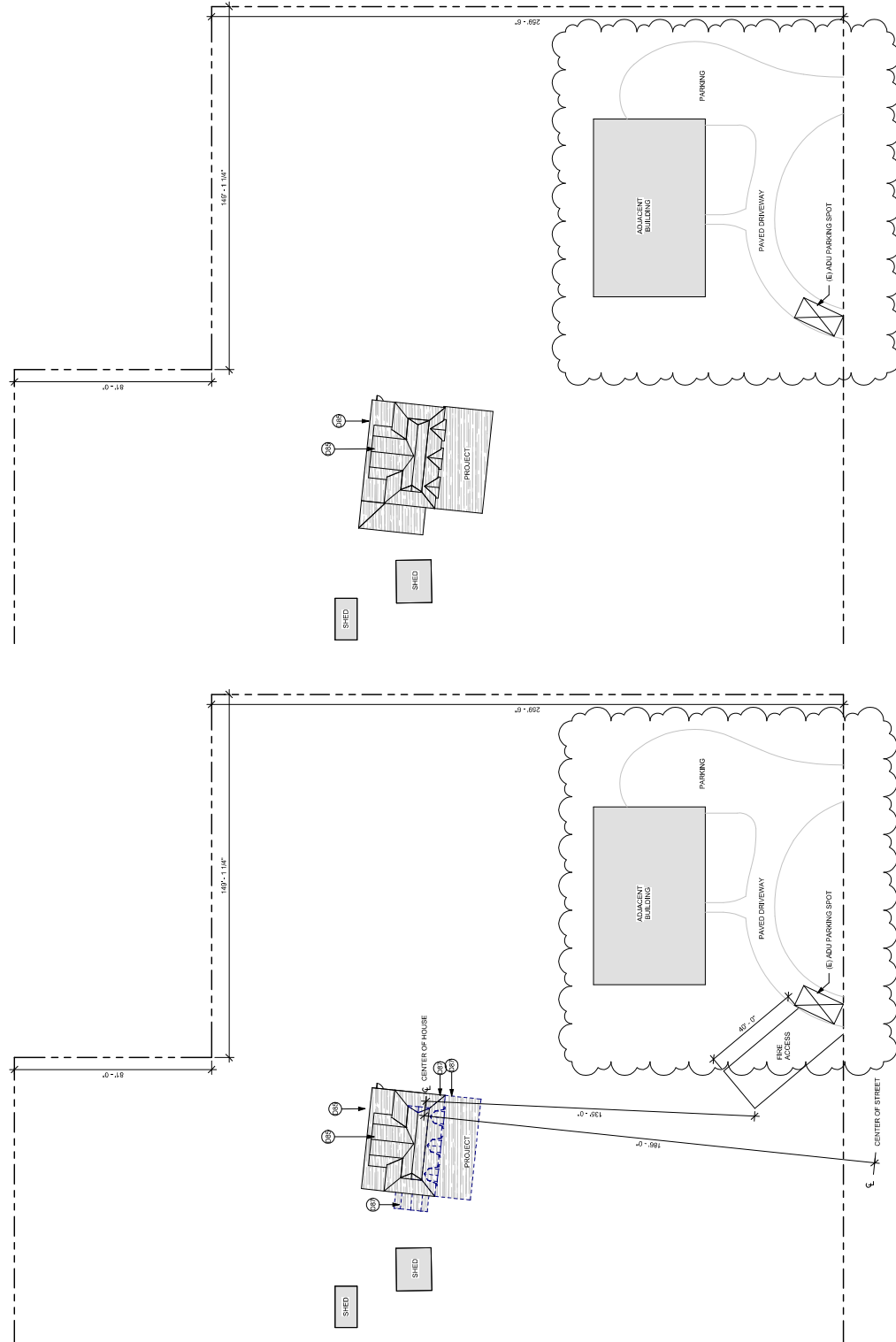
SHEET NOTES

KEY NOTES

D85 (E) ROOF TO REMAIN AND PROTECT.
D87 REMOVE PORTIONS OF (E) ROOFING, FINISH, FLASHING AND UNDERLAYMENT

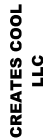
SHEET LEGEND

NOT IN CONTRACT
ADJACENT BUILDING



① (E) SITE PLAN
3/64" = 1'-0"

② (N) SITE PLAN
3/64" = 1'-0"



STATUS	SD
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RENOVATION

RENOVATION

EXISTING PLANS

[illegible]

SHEET NUMBER

A101

As indicated
Scale

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY IN A SYSTEMATIC MANNER
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SAME. THE CONTRACTOR SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE

5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL BUILDING CODE.

6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.

7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY THE LOCAL GOVERNING AGENCY'S RULES AND REGULATIONS.

8. REMOVE ALL ABANDONED MATERIALS, DEVICES, FIXTURES, PIPES, CONDUITS, WIRES, ETC. FROM PREMISES.

9. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF OFF-SITE PER 2015 CALGREEN STANDARDS FOR CONSTRUCTION WASTE AND ANY LOCAL CODES & ORDINANCES.

10. CONTRACTOR SHALL PROTECT PUBLIC SPACES DURING OPERATIONS INCLUDING PUBLIC SIDEWALKS, ACCESS WALKWAYS, ROADS AND PARKING AREAS.

11. NO CUTTING OR CHANNELING OF BUILDING STRUCTURE TO BE PERMITTED WITHOUT APPROVAL BY STRUCTURAL ENGINEER.

12. CONTRACTOR SHALL PROVIDE A DEMOLITION DEBRIS RECOVERY PLAN IF REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

13. OWNER TO PROVIDE HAZARDOUS MATERIALS ABATEMENT AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

14. REMOVE PORTION OF (E) INTERIOR FINISHES AS REQUIRED TO INSTALL (N) PARTITION WALLS, SEE FLOOR PLAN

KEY NOTES

046 REMOVE (E) INTERIOR NON-STRUCTURAL PARTITION WALLS

047 REMOVE PORTIONS OF (E) INTERIOR PARTITIONS AS REQUIRED

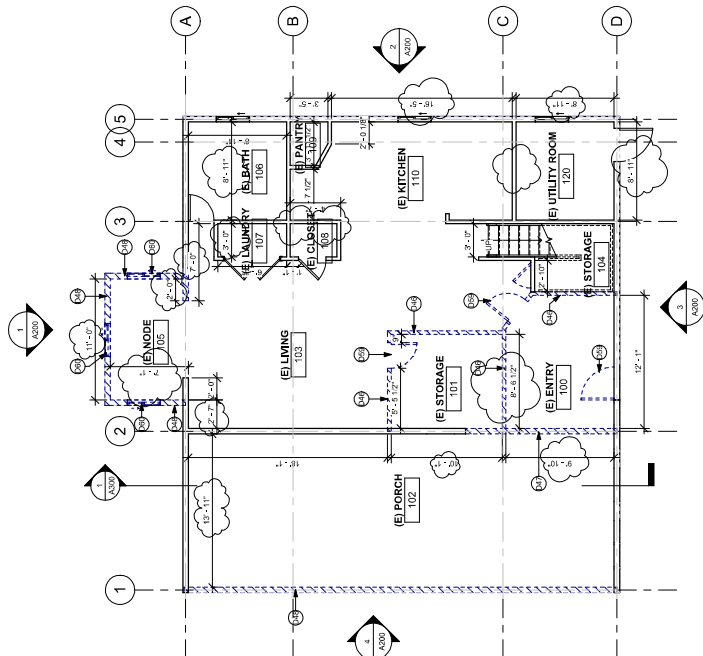
D48 REMOVE PORTIONS OF (E) EXTERIOR WALLS.

060 REMOVE (E) WINDOW, FRAME, AND RELATED HARDWARE, TYP.

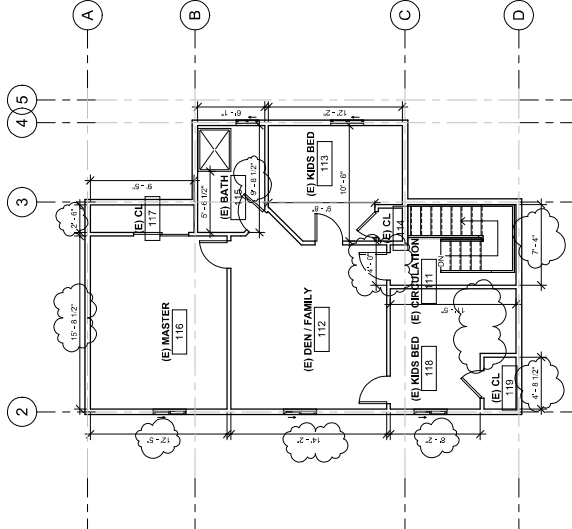
SHEET LEGEND

NEW WALL
EXISTING WALL
DEMO WALL

NUMBER	NAME	AREA
100	1. ENTRY	11.56
101	2. HALL	11.56
102	3. PORCH	50.39
103	4. BATH	57.89
104	5. STORAGE	59.59
105	6. KITCHEN	166.59
106	7. BATH	57.89
107	8. HALLWAY	192.59
108	9. CLOSET	17.57
109	10. CLOSET	17.57
110	11. KITCHEN	166.59
111	12. ENTRY ROOM	89.59
112		1162.39
113	13. CIRCULATING	11.56
114	14. DEN/FAMILY	218.59
115	15. KIDS BED	115.59
116	16. BATH	57.89
117	17. MASTER	192.59
118	18. HALL	11.56
119	19. KIDS BED	28.57
120	20. KIDS BED	28.57
121	21. HALL	11.56
122		1162.39



1 (E) FIRST FLOOR PLAN
3/16" = 1'-0"



② (E) SECOND FLOOR PLAN
3/16" = 1'-0"

SD
STATUS

RESIDENTIAL
RENOVATION

ROOF PLANS

Date	04/14/22
Drawn By	Author <i>[Signature]</i>

Checked By		Checker	
REVISION	DESCRIPTION	DATE	
1	Revision 1	Date 1	

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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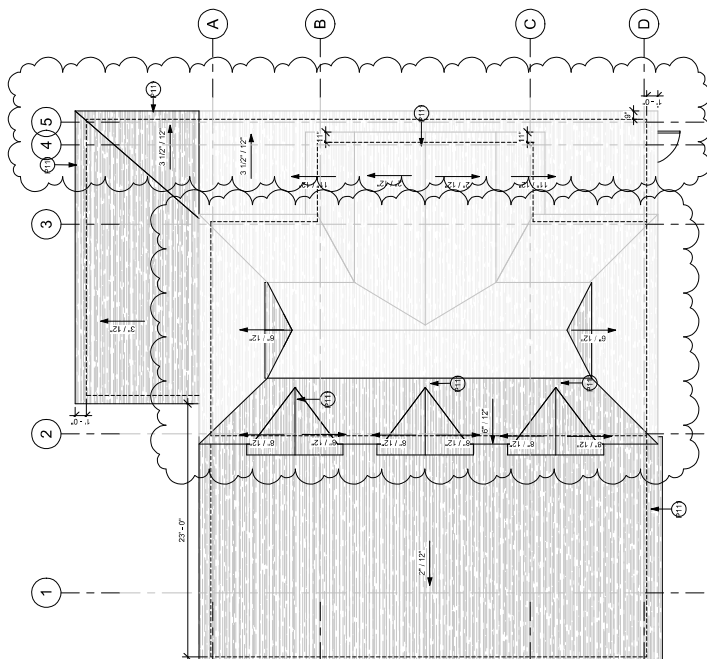
SHEET NUMBER

A103

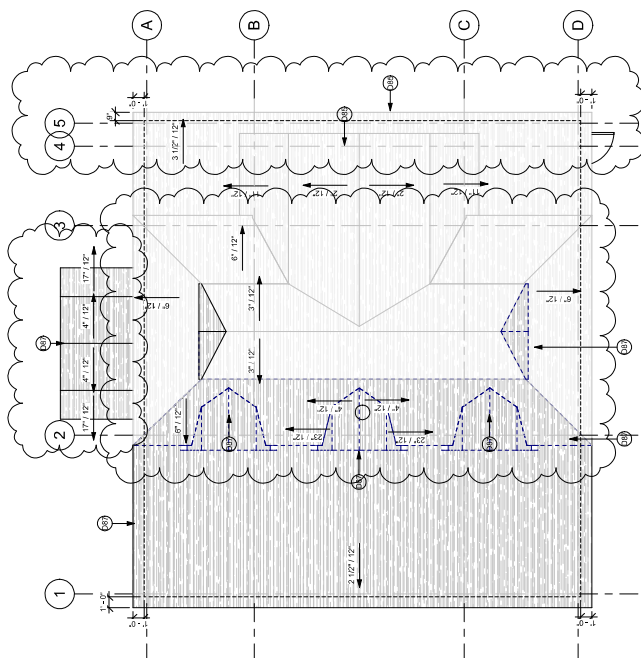
Scale $3/16" = 1'-0"$

KEY NOTES

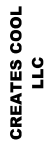
085 (E) ROOF TO REMAIN AND PROTECT.
087 REMOVE PORTIONS OF (E) ROOFING, FINISH, FLASHING AND UNDERLAYMENT
0111 (N) ROOF.



② (N) ROOF
3/16" = 1'-0"



1 (E) ROOF
3/16" = 1'-0"



RESIDENTIAL
RENOVATION

Date	DATE
Drawn By	Author

[illegible]

SHEET NUMBER

A104






1/4" = 1'-0"

RCP NOTES

- [illegible]

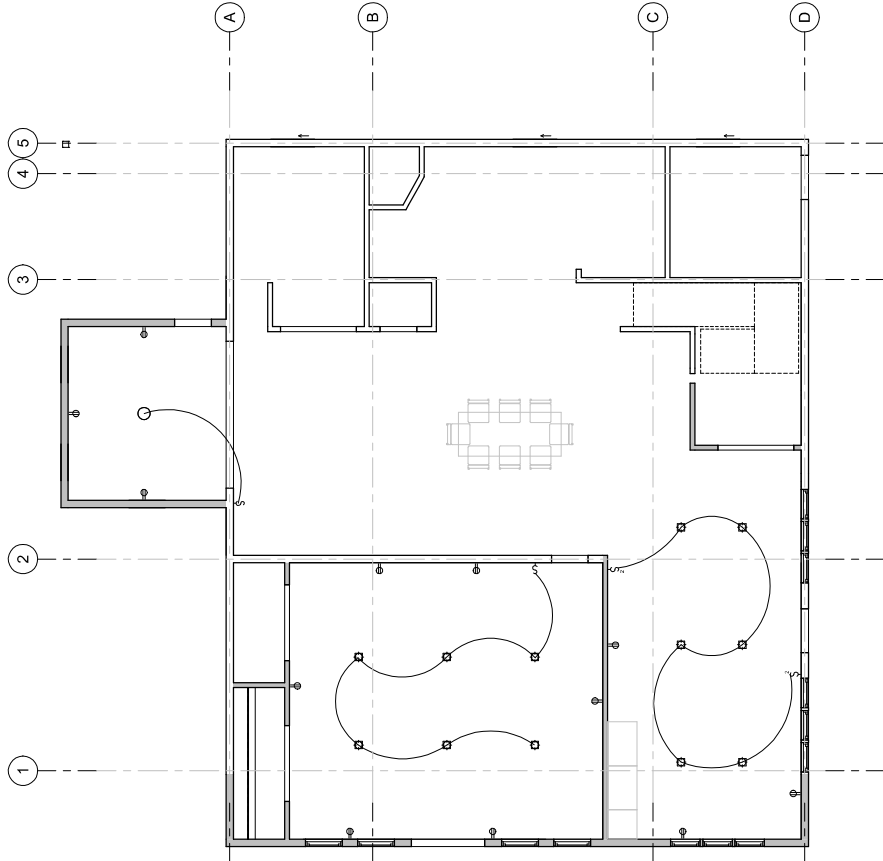
KEY NOTES

LIGHT FIXTURE LEGEND

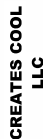
-  CEILING LIGHT - LINEAR BOX
 DOWNLIGHT - SHOWER
 DOWNLIGHT - RECESSED LED
 DOWNLIGHT - LIGHT FAN COMBINATION
 SCONCE LIGHT

SHEET LEGEND

- NEW WALL
EXISTING WALL
DEMO WALL



① (N) FIRST FLOOR RCP
1/4" = 1'-0"



STATUS	SD
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RESIDENTIAL RENOVATION

PROPOSED
ELEVATIONS[illegible]

SHEET NUMBER

A201

As indicated

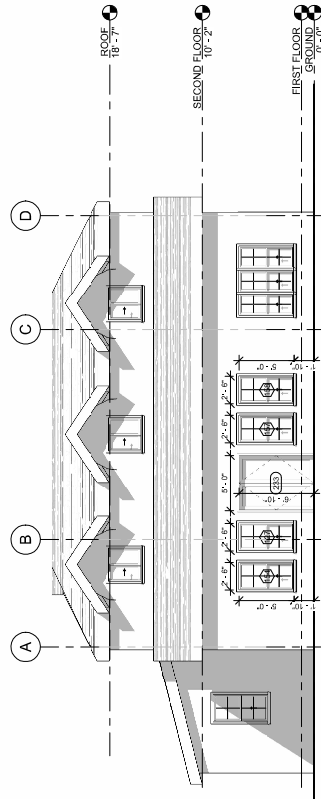
SHEET NOTES

[illegible]

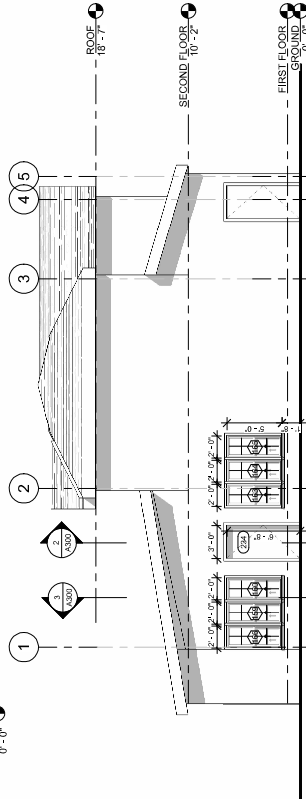
KEY NOTES

SHEET LEGEND

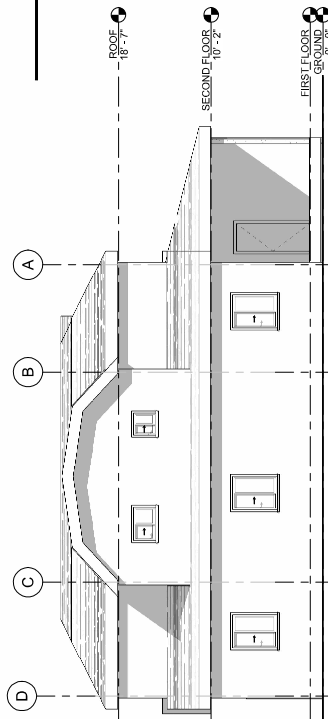
- NOT IN CONTRACT
ADJACENT BUILDING



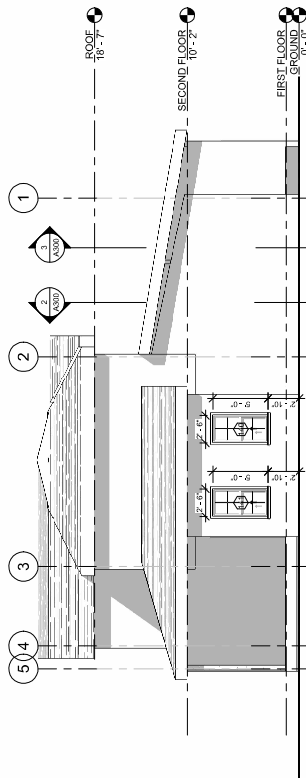
④ (N) SOUTH ELEVATION
3/16" = 1'-0"



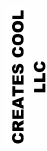
③ (N) EAST ELEVATION
3 1/16" = 1'-0"



② (N) NORTH ELEVATION
3/16" = 1'-0"



1 (N) WEST ELEVATION
3/16" = 1'-0"



RESIDENTIAL
RENOVATION

EXISTING AND PROPOSED SECTIONS	SECTION	DATE	BY	CHKD	APP'D	REV

[illegible]

SHEET NUMBER

A300

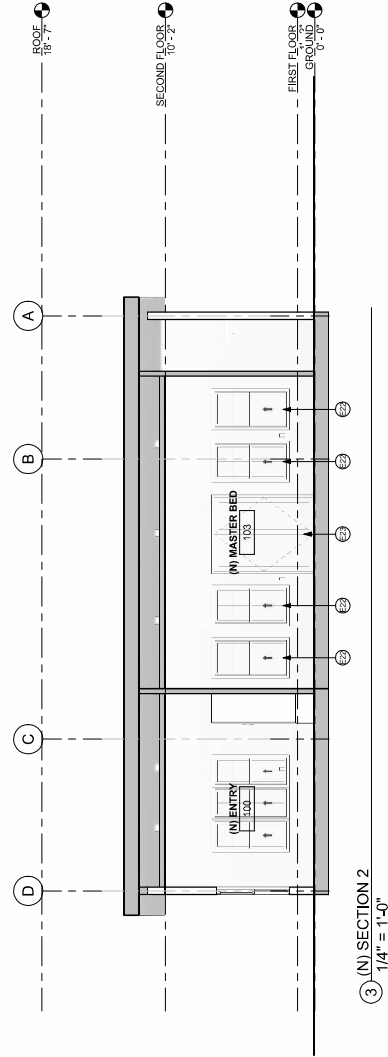
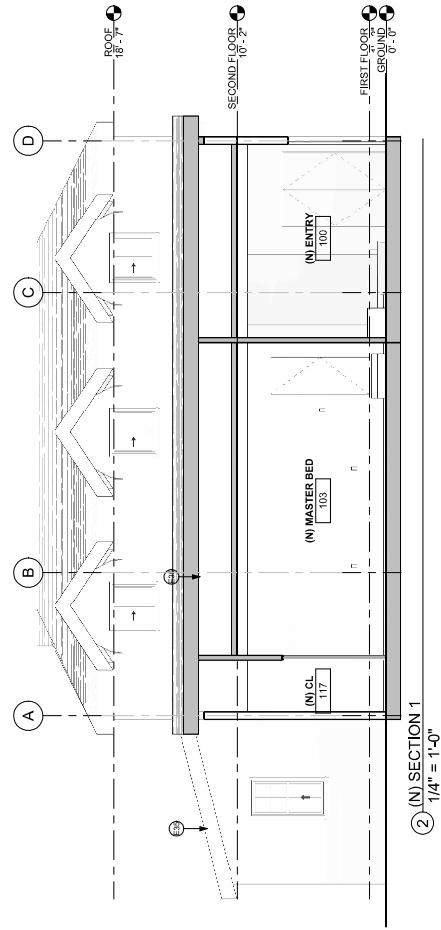
$$\underline{1/4" = 1'-0"}$$

KEY NOTES

D48 REMOVE PORTIONS OF (E) EXTERIOR WALLS.
D60 REMOVE (E) WINDOW, FRAME, AND RELATED HARDWARE, TYP.
D87 REMOVE PORTIONS OF (E) ROOFING, FINISH, FLASHING AND UNDERLAYMENT
E22 (N) WINDOW AS SCHEDULED, TYP.
E23 (N) DOOR AS SCHEDULED, TYP.
E35 (N) ROOF.

SHEET LEGEND

- NEW WALL
EXISTING WALL
DEMO WALL





STATUS	SD
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RESIDENTIAL
RENOVATION
1948 INGOT WAY, SOUTH JORDAN, UT
840905

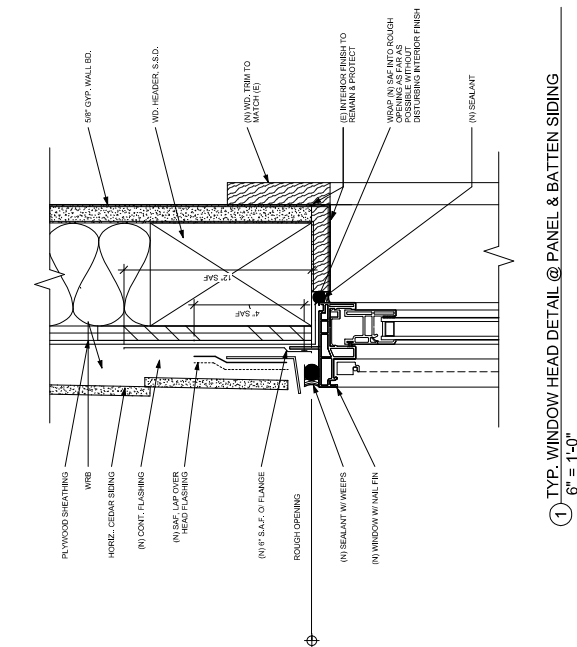
EXTERIOR DETAILS

[illegible]

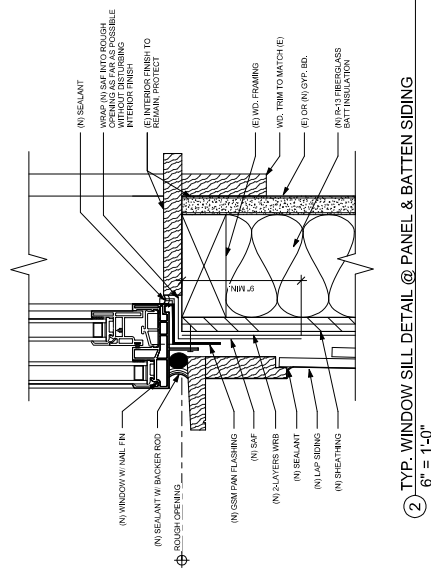
SHEET NUMBER

A500

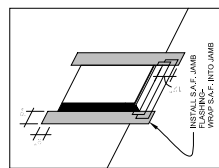
6" = 1'-0"



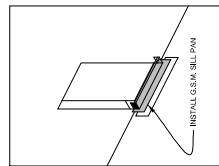
1 TYP. WINDOW HEAD DETAIL @ PANEL & BATTEN SIDING
6" = 1'-0"



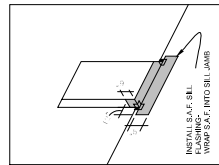
2 TYP. WINDOW SILL DETAIL @ PANEL & BATTEN SIDING
6" = 1'-0"



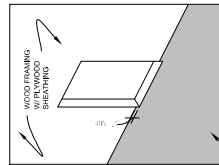
④



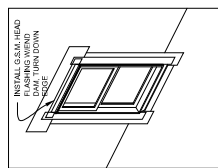
①



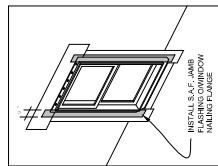
Ⓜ



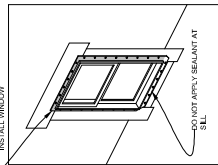
A



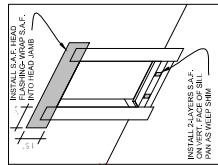
II



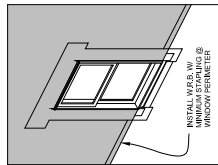
©



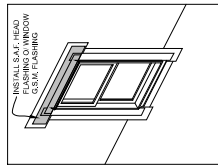
④



③

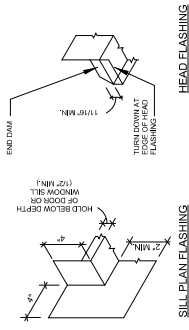


②



①

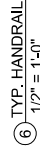
FLASHING PROGRESSIONS



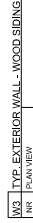
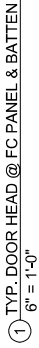
5 TYPICAL SILL PAN FLASHING PROFILES
3-147

HEAD FLASHING

DOOR DETAILS

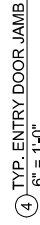
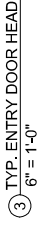


DOOR DETAILS



WALL AND ROOF DETAILS

DOOR DETAILS



INTERIOR DETAILS

[illegible]

SHEET NUMBER

A501

Scale

As indicated

FINISH SCHEDULE							NOTES
NUMBER	ROOM	FLOOR	BASE	TRIM	WALLS	CEILING	
FIRST FLOOR							
100	(N) ENTRY						
101	(N) STORAGE						
103	(N) MASTER BED						
106	(N) CL - HERS						
107	(N) STOVE						
108	(N) EXTERIOR STORAGE/ COVERED PORCH						
109	(E) BATH						
110	(N) FAMILY ROOM						
111	(E) KITCHEN						
112	(E) CLOSET						
113	(E) CLOSET						
114	(E) PANTRY						
115	(E) UTILITY ROOM						
117	(N) CL						
SECOND FLOOR							
118	(N) KIDS BED						
119	(E) DEN / FAMILY						
120	(E) KIDS BED						
121	(E) CL						
122	(N) SCHOOL ROOM						
123	(E) CL						
124	(E) BATH						
125	(E) CL						
126	(E) CIRCULATION						

APPLIANCE SCHEDULE					REQUIREMENTS & NOTES	
TYPE		MANUFACTURER / MODEL TYPE	FINISH / MODEL NUMBER	L x W x H		







PLUMBING SCHEDULE					NOTES	
RM	FIXTURE	MANUFACTURER	MODEL NUMBER	FINISH		
124	Shower Base-3D					

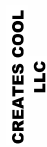
FINISH LEGEND							COMMENTS	
KEY	DESCRIPTION	COLOR / STYLE	FINISH	SIZE	MANUF.			
B-1	1x6 WD BASE, PAINT							
B-2	CERAMIC TILE, COVED		SEM-GLOSS					
C-1	GYP. BD. CEILING, LEVEL IV, PAINTED		SEM-GLOSS					
C-2	GYP. BD. CEILING, LEVEL III, FINISH, PAINTED							
C-3	NATURAL STAIN ON 1x6 WOOD BOARDS							
F-1	CERAMIC TILE, PLANK							
T-1	1x1 WD. CASING							
T-2	CERAMIC TILE BACK SPLASH		EGGSHELL					
W-1	GYP. BD. WALL, LEVEL IV, FINISH, PAINTED		EGGSHELL					
W-2	GYP. BD. WALL, LEVEL IV, PAINTED		EGGSHELL					
W-3	GREEN BOARD OR CONCRETE BACK BOARD		EGGSHELL					
W-4	CERAMIC TILE							

DOOR SCHEDULE									
DOOR NUMBER	TYPE	HEIGHT	WIDTH	THICK	STYLE	DOOR	WALL TYPE	GLAZING	LOC.
GROUND									
233	10	6'-10"	8'-0"	2"					
234	77	6'-10"	8'-0"	1.50"					
244	1	7'-0"	8'-0"	1.50"					
245	1	7'-0"	8'-0"	1.50"					
FIRST FLOOR									
239	2	6'-0"	2'-0"	2"	SINGLE SWING FLUSH				(N) STOVE
240	1	6'-0"	2'-0"	2"	SINGLE SWING FLUSH				(N) STOVE
250	1	7'-0"	5'-0"	1.50"					(N) CL - HERS
SECOND FLOOR									
115	20	3'-0"	3'-0"	3'-0"	GENERIC				
116	20	3'-0"	3'-0"	3'-0"	GENERIC				
117	20	3'-0"	3'-0"	3'-0"	GENERIC				
118	10	2'-0"	2'-0"	2'-0"	GENERIC				
119	7	3'-0"	3'-0"	2'-0"	GENERIC				

WINDOW SCHEDULE									
Schedule - Windows									
LOCATION	ROOM	TYPE	(E)(N)	WIDTH	HEIGHT	MANUFACTURER	EXTERIOR MATERIAL	INTERIOR MATERIAL	GLAZING
GROUND									
127		15	2'-0"	5'-0"	5'-0"	GENERIC			6'-10" 1'-10"
150		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-8" 1'-8"
160		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-8" 1'-8"
163		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-8" 1'-8"
164		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-8" 1'-8"
167		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-10" 1'-10"
168		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-10" 1'-10"
169		21	2'-0"	5'-0"	5'-0"	GENERIC			6'-10" 1'-10"
FIRST FLOOR									
113		6	3'-0"	4'-0"	4'-0"	GENERIC			7'-0" 3'-0"
120		6	3'-0"	4'-0"	4'-0"	GENERIC			7'-0" 3'-0"
121		6	3'-0"	4'-0"	4'-0"	GENERIC			7'-0" 3'-0"
122		6	3'-0"	4'-0"	4'-0"	GENERIC			7'-0" 3'-0"
139		15	2'-0"	5'-0"	5'-0"	GENERIC			8'-0" 3'-0"
140		15	2'-0"	5'-0"	5'-0"	GENERIC			8'-0" 1'-8"
141		15	2'-0"	5'-0"	5'-0"	GENERIC			8'-0" 1'-8"
154		15	2'-0"	5'-0"	5'-0"	GENERIC			5'-8" 0'-8"
157		15	2'-0"	5'-0"	5'-0"	GENERIC			5'-8" 0'-8"
158		15	2'-0"	5'-0"	5'-0"	GENERIC			5'-8" 0'-8"
165		21	2'-0"	5'-0"	5'-0"	GENERIC			5'-8" 0'-8"
166		21	2'-0"	5'-0"	5'-0"	GENERIC			5'-8" 0'-8"
SECOND FLOOR									
115		20	3'-0"	3'-0"	3'-0"	GENERIC			8'-8" 5'-8"
116		20	3'-0"	3'-0"	3'-0"	GENERIC			8'-8" 5'-8"
117		20	3'-0"	3'-0"	3'-0"	GENERIC			8'-8" 5'-8"
118		10	2'-0"	2'-0"	2'-0"	GENERIC			7'-0" 5'-0"
119		7	3'-0"	3'-0"	2'-0"	GENERIC			7'-0" 5'-0"

DOOR LEGEND									
	DOOR TYPE 1	ENTRY DOOR		DOOR TYPE 2	ENTRY DOOR		DOOR TYPE 3	DOUBLE SLIDING CLOSET	DOOR TYPE 4
	DOOR TYPE 5	POCKET DOOR		DOOR TYPE 6	DOUBLE SLIDING CLOSET		DOOR TYPE 7	GARAGE DOOR	DOOR TYPE 8
	DOOR TYPE 9	DOUBLE SLIDING CLOSET		DOOR TYPE 10	DOUBLE SLIDING CLOSET		DOOR TYPE 11	DOUBLE SLIDING CLOSET	DOOR TYPE 12
	DOOR TYPE 13	DOUBLE SLIDING CLOSET		DOOR TYPE 14	DOUBLE SLIDING CLOSET		DOOR TYPE 15	DOUBLE SLIDING CLOSET	DOOR TYPE 16
	DOOR TYPE 17	DOUBLE SLIDING CLOSET		DOOR TYPE 18	DOUBLE SLIDING CLOSET		DOOR TYPE 19	DOUBLE SLIDING CLOSET	DOOR TYPE 20
	DOOR TYPE 21	DOUBLE SLIDING CLOSET		DOOR TYPE 22	DOUBLE SLIDING CLOSET		DOOR TYPE 23	DOUBLE SLIDING CLOSET	DOOR TYPE 24
	DOOR TYPE 25	DOUBLE SLIDING CLOSET		DOOR TYPE 26	DOUBLE SLIDING CLOSET		DOOR TYPE 27	DOUBLE SLIDING CLOSET	DOOR TYPE 28
	DOOR TYPE 29	DOUBLE SLIDING CLOSET		DOOR TYPE 30	DOUBLE SLIDING CLOSET		DOOR TYPE 31	DOUBLE SLIDING CLOSET	DOOR TYPE 32
	DOOR TYPE 33	DOUBLE SLIDING CLOSET		DOOR TYPE 34	DOUBLE SLIDING CLOSET		DOOR TYPE 35	DOUBLE SLIDING CLOSET	DOOR TYPE 36
	DOOR TYPE 37	DOUBLE SLIDING CLOSET		DOOR TYPE 38	DOUBLE SLIDING CLOSET		DOOR TYPE 39	DOUBLE SLIDING CLOSET	DOOR TYPE 40
	DOOR TYPE 41	DOUBLE SLIDING CLOSET		DOOR TYPE 42	DOUBLE SLIDING CLOSET		DOOR TYPE 43	DOUBLE SLIDING CLOSET	DOOR TYPE 44
	DOOR TYPE 45	DOUBLE SLIDING CLOSET		DOOR TYPE 46	DOUBLE SLIDING CLOSET		DOOR TYPE 47	DOUBLE SLIDING CLOSET	DOOR TYPE 48
	DOOR TYPE 49	DOUBLE SLIDING CLOSET		DOOR TYPE 50	DOUBLE SLIDING CLOSET		DOOR TYPE 51	DOUBLE SLIDING CLOSET	DOOR TYPE 52
	DOOR TYPE 53	DOUBLE SLIDING CLOSET		DOOR TYPE 54	DOUBLE SLIDING CLOSET		DOOR TYPE 55	DOUBLE SLIDING CLOSET	DOOR TYPE 56
	DOOR TYPE 57	DOUBLE SLIDING CLOSET		DOOR TYPE 58	DOUBLE SLIDING CLOSET		DOOR TYPE 59	DOUBLE SLIDING CLOSET	DOOR TYPE 60
	DOOR TYPE 61	DOUBLE SLIDING CLOSET		DOOR TYPE 62	DOUBLE SLIDING CLOSET		DOOR TYPE 63	DOUBLE SLIDING CLOSET	DOOR TYPE 64
	DOOR TYPE 65	DOUBLE SLIDING CLOSET		DOOR TYPE 66	DOUBLE SLIDING CLOSET		DOOR TYPE 67	DOUBLE SLIDING CLOSET	DOOR TYPE 68
	DOOR TYPE 69	DOUBLE SLIDING CLOSET		DOOR TYPE 70	DOUBLE SLIDING CLOSET		DOOR TYPE 71	DOUBLE SLIDING CLOSET	DOOR TYPE 72
	DOOR TYPE 73	DOUBLE SLIDING CLOSET		DOOR TYPE 74	DOUBLE SLIDING CLOSET		DOOR TYPE 75	DOUBLE SLIDING CLOSET	DOOR TYPE 76
	DOOR TYPE 77	DOUBLE SLIDING CLOSET		DOOR TYPE 78	DOUBLE SLIDING CLOSET		DOOR TYPE 79	DOUBLE SLIDING CLOSET	DOOR TYPE 80
	DOOR TYPE 81	DOUBLE SLIDING CLOSET		DOOR TYPE 82	DOUBLE SLIDING CLOSET		DOOR TYPE 83	DOUBLE SLIDING CLOSET	DOOR TYPE 84
	DOOR TYPE 85	DOUBLE SLIDING CLOSET		DOOR TYPE 86	DOUBLE SLIDING CLOSET		DOOR TYPE 87	DOUBLE SLIDING CLOSET	DOOR TYPE 88
	DOOR TYPE 89	DOUBLE SLIDING CLOSET		DOOR TYPE 90	DOUBLE SLIDING CLOSET		DOOR TYPE 91	DOUBLE SLIDING CLOSET	DOOR TYPE 92
	DOOR TYPE 93	DOUBLE SLIDING CLOSET		DOOR TYPE 94	DOUBLE SLIDING CLOSET		DOOR TYPE 95	DOUBLE SLIDING CLOSET	DOOR TYPE 96
	DOOR TYPE 97	DOUBLE SLIDING CLOSET		DOOR TYPE 98	DOUBLE SLIDING CLOSET		DOOR TYPE 99	DOUBLE SLIDING CLOSET	DOOR TYPE 100

WINDOW LEGEND		
MEDIA/NOTES		
1.	VERIFY ALL INSTALLATION REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION	
2.	CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT	
3.	VERIFY ROUGH OPENINGS PRIOR TO ORDERING WINDOWS	
		
		
		



STATUS	SD
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RESIDENTIAL
RENOVATION

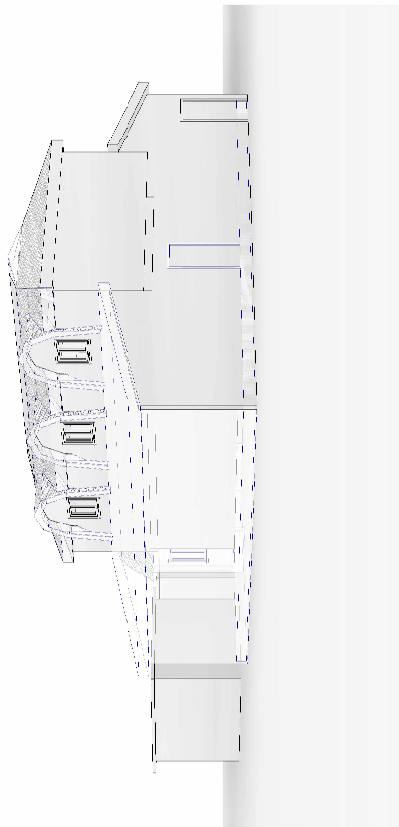
EXTERIOR PERSPECTIVES

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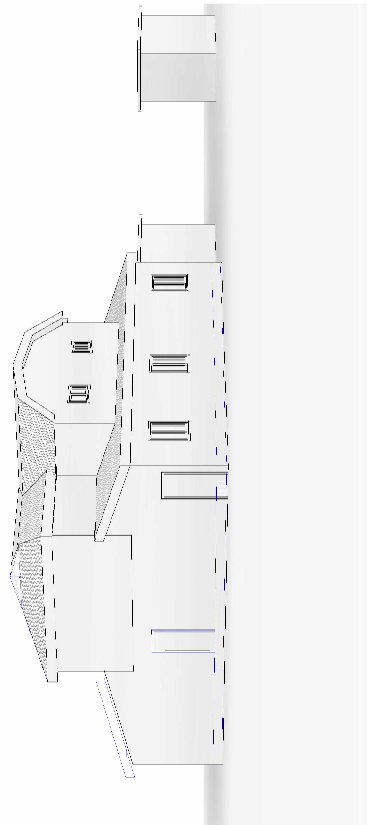
SHEET NUMBER

A900

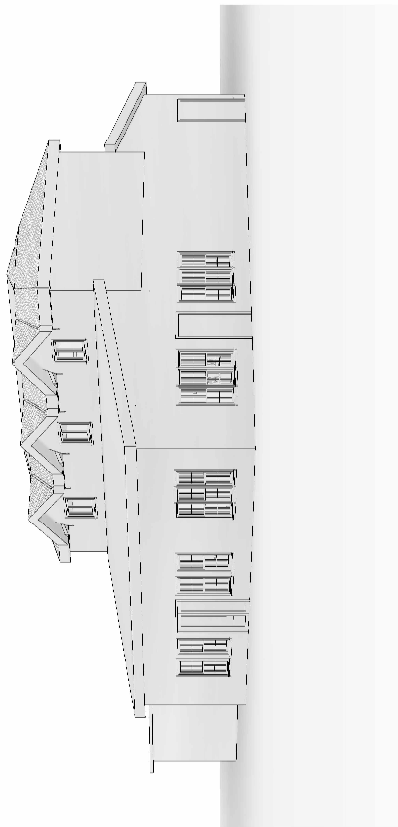
sale



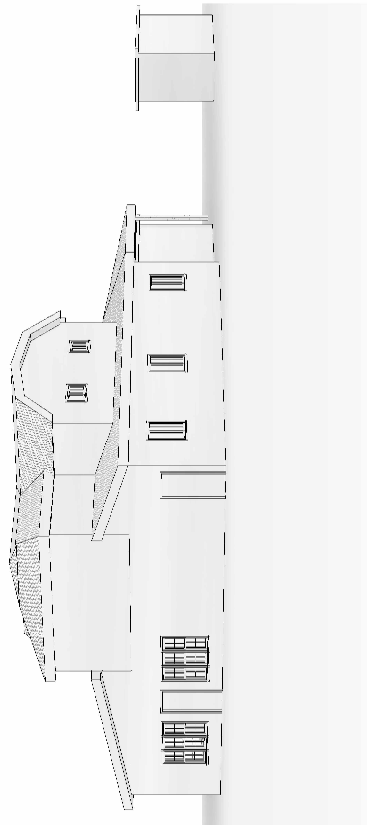
1 (E) EXTERIOR VIEW 1



② (E) EXTERIOR VIEW 2



③ (N) EXTERIOR VIEW 1



4 (N) EXTERIOR VIEW 2

APPENDIX D

FIRE APPARATUS ACCESS ROADS

The provisions contained in this appendix are not mandatory unless specifically referenced in the adopting ordinance.

SECTION D101 GENERAL

D101.1 Scope. Fire apparatus access roads shall be in accordance with this appendix and all other applicable requirements of the *International Fire Code*.

SECTION D102 REQUIRED ACCESS

D102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an *approved* fire apparatus access road with an asphalt, concrete or other *approved* driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg).

SECTION D103 MINIMUM SPECIFICATIONS

D103.1 Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1).

D103.2 Grade. Fire apparatus access roads shall not exceed 10 percent in grade.

Exception: Grades steeper than 10 percent as *approved* by the fire chief.

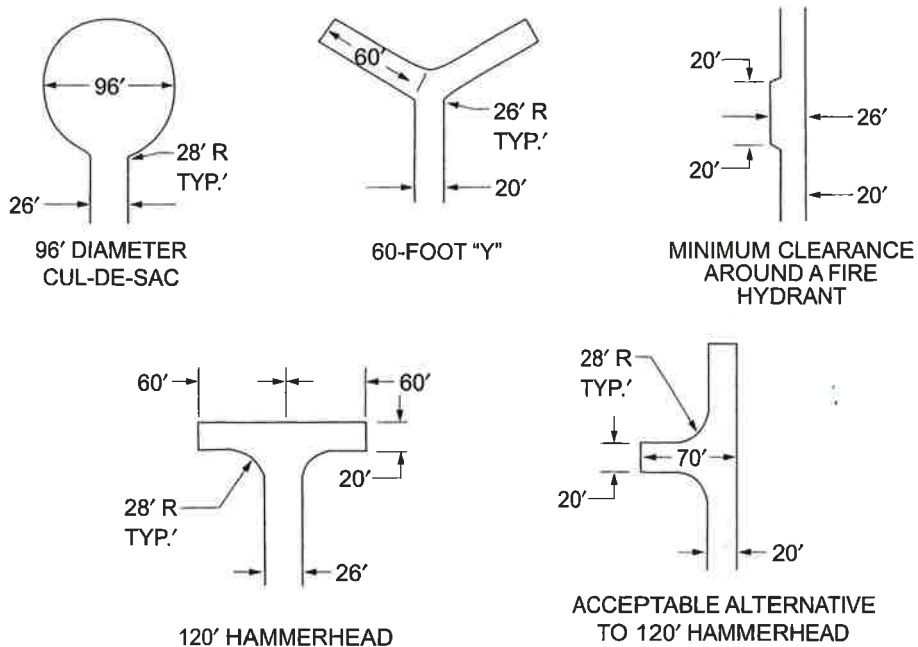
D103.3 Turning radius. The minimum turning radius shall be determined by the *fire code official*.

D103.4 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table D103.4.

**TABLE D103.4
REQUIREMENTS FOR DEAD-END
FIRE APPARATUS ACCESS ROADS**

LENGTH (feet)	WIDTH (feet)	TURNAROUNDS REQUIRED
0-150	20	None required
151-500	20	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac in accordance with Figure D103.1
501-750	26	120-foot Hammerhead, 60-foot "Y" or 96-foot diameter cul-de-sac in accordance with Figure D103.1
Over 750		Special approval required

For SI: 1 foot = 304.8 mm.



For SI: 1 foot = 304.8 mm.

**FIGURE D103.1
DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND**



Assessor

SLCo > Assessor > Parcel Search > [Parcel 27223020060000](#)

Parcel Details

Parcel Search form

This page shows the assessor's CAMA data, as it was, on May 22, 2022.

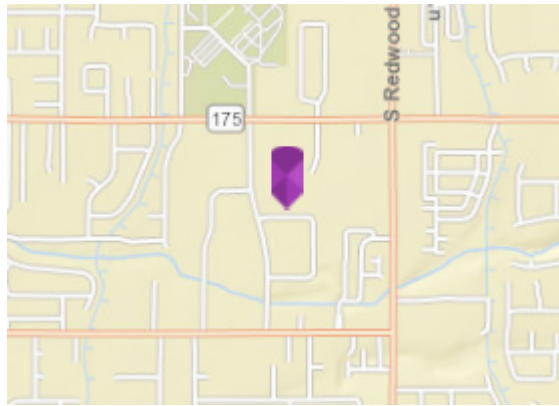
Parcel	27-22-302-006-0000
Owner	NIELSEN, LYNN S & GAYLA M; JT
Address	1948 W INGOT WY
Total Acreage	2.00
Above Grade sqft.	2672
Property Type	103 - SNGL FAM RES
Tax District	38
2022 Land Value	\$ 500,000

2022 Building Value

\$ 390,400

2022 Market Value

\$ 890,400



40.541262420
-111.943433630

Value History

		Land Value	Building Value	Market Value
2021	1	\$ 390,990	\$ 304,000	\$ 694,990
2020	1	\$ 390,990	\$ 266,800	\$ 657,790
2019	1	\$ 368,890	\$ 264,100	\$ 632,990
2018	1	\$ 368,890	\$ 220,900	\$ 589,790
2017	1	\$ 368,890	\$ 145,700	\$ 514,590

Land Record

27-22-302-006-0000

Record ID	1	2
Lot Use	RESIDENTIAL	RESIDENTIAL
Lot Type	PRIMARY-LOT	SECNDRY-ACRE
Land Class		
Income Flag		
Seasonal use	N	N
Influence Type		
Influence Effect		
L Assessment Class	RES-PRIMARY	RES-SECONDRY
Lot Depth		
Acres	1.00	1.00

Land Record**27-22-302-006-0000**

Record ID	1	2
Zone	1114	1114
Sewer	PUBLIC	PUBLIC
Number Lots	1	
Lot Shape	IRREGULAR	HIGHLY IRREG
Lot Location	INTERIOR	INTERIOR
Neighborhood	885	885
Nbhd Type	STATIC	STATIC
Nbhd Effect	TYPICAL	TYPICAL
Topography	LEVEL	LEVEL
Traffic	LIGHT	LIGHT
Traffic Influence	TYPICAL	TYPICAL
Street type	TWO-WAY	TWO-WAY
Street Finish	PAVED	PAVED
Curb Gutter	Y	Y
Sidewalk	N	N

Residence Record**27-22-302-006-0000**

Building Style	RN
Assessment Classification	P
Exterior Wall Type	BRICK
Roofing	ASPHALT-SHNG
Central AC	NO
Heating	PRIMRY-CNTRL
Owner Occupied	
Number of Stories	1.0
Total Rooms	11
Bedrooms	3
Full Baths	1
3/4 Baths	1

Half Baths	1
Number of Kitchens	1
Finished Fire places	1
Year Built	1986
Effective Year Built	2006
Interior Grade	GOOD
Exterior Grade	AVERAGE
Overall Grade	AVERAGE
Interior Condition	GOOD
Exterior Condition	GOOD
Overall Condition	GOOD
Visual Appeal	AVERAGE
Maintenance	MINIMUM
Conformity	EQUAL-IMPRVD
Livability	AVERAGE
Primary Kitchen Quality	STANDARD
Primary Bath Quality	MODERN
Percent Complete	100
Main Floor Area	2672
Upper Floor Area	
Finished Attic Area	
Above Ground Area	2672
Basement Area	2007
Finished Basement Area	
Finished Basement Grade	
Carport Surface Area	
Attached Garage S. Area	
Builtin Garage S. Area	
Basement Garage S. Area	

Above Grade Area + Basement Area: **4679**

Detached Structures

27-22-30

Record ID	1	2
Structure	BARN-GP-1STY	FIN-UPPR-FL
Description		
Assessment Class	RES-PRIMARY	RES-PRIMARY RES
Units	SQUARE- FEET	SQUARE- FEET
Measure 1	36	20
Measure 2	40	20
Effective Year Built	2009	2009
Actual Year Built	1995	1995
Quality	AVERAGE	AVERAGE
Condition	GOOD	GOOD E
Income Flag		
Replacement Cost New	\$ 42,149	\$ 39,480
Replacement Cost New, Less Depreciation	\$ 29,926	\$ 35,532
Sound Value	\$ 0	\$ 0
Building Number	1	1

Legal Description

27-22-302-006-0000

LOT 15, BONANZA ACRES #3 5715-1115 5758-1093 5447-209

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