

NARRATIVE STATEMENT

Dear Sandpoint City Planning Staff,

OZ Sandpoint QOZB, LLC is the owner of property at 413 Church Street in Downtown Sandpoint, ID. We scheduled and held a pre-application meeting on January 14th, 2025 with Planning Staff, City Engineer, and Mayor Grimm to discuss our proposed development project which had positive feedback. We are designing and submitting a proposed mixed used multi-family apartment project, with Commercial Space on the first floor fronting Church Street and 48 units of residential apartments behind the commercial and on the remaining 3 floors. This is a 4-story project with approximately 618 SF of Commercial Space, 48 apartment units, and totaling just under 47' in height.

We have taken care in our design standards to stay consistent with the Sandpoint City 2024 Comprehensive Plan by making sure our project respects the town unique character in our architectural design and utilizes thoughtful density and site planning. Our project also helps to achieve the goals of the Comprehensive Plan by providing housing that is available to meet the needs of low and moderate income workers.

Based on feedback that was provided to us at the pre-application meeting, we spent a lot of time creating a building that is compatible with the surrounding downtown buildings and helps create a cohesive and connected downtown feel. We used the 301 Cedar St. building, the Cedar Street Bridge, and the Umpqua Bank Building as some inspiration for the design and character of our building. We kept our building at 47' to achieve massing that is consistent and compatible with other surrounding buildings – such as the Sandpoint Center building across the street, and the Bernklau Building just a block down on Pine Street. The exterior materials fronting Church Street and wrapping the building on both sides consist primary of brick to match surrounding buildings, some two-toned horizontal cement board panels to add variety and accent, metal trim and accents, curved metal supports and trim to match other buildings in the city, and stone columns along both sides to add architectural variety.

Our proposed multi-family apartment building is designed as a forward-thinking, sustainable development that aligns with evolving urban living trends. Our project is part of an exempted area to which we do not need to meet parking minimums. By eliminating on-site parking, this project embraces a transit-oriented

and pedestrian-friendly approach that promotes environmental responsibility, affordability, and efficient land use.

The studies we've completed for this project revealed:

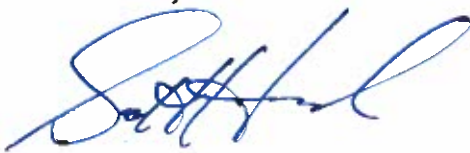
- Traffic is expected to be low, with our trip generation and distribution letter showing well below 50 peak hour trips.
- The study supports that the existing public and on-street parking will sufficiently accommodate residents.
- No additional traffic impact study or mitigation measures are needed.

City of Sandpoint Parking Study Supports Reduced Parking:

- There are 1,097 on-street parking stalls in downtown Sandpoint, including 1,052 general use stalls and 45 specialty use stalls. On-street parking occupancy increases steadily through the morning with a midweek peak occupancy rate of 57% at 12:00 PM and a weekend peak occupancy rate of 50% at 11:00 AM. The overall on-street parking occupancy is below the effective capacity of the parking supply during all hours of the day.

This project represents a modern, sustainable approach to multi-family housing, reflecting changing urban lifestyles and mobility trends. By eliminating parking, the development promotes affordability, sustainability, and efficient land use, ensuring long-term benefits for both residents and the broader community. We look forward to moving this application through the approval process and bringing a wonderful project to Downtown Sandpoint City that will benefit the community for years to come.

Sincerely,



Scott Harwood



SITE PLAN REVIEW SUBMITTAL CHECKLIST

Purpose and Applicability: Site Plan Review approval is required in advance of building permit approval for larger projects to ensure that they meet the stated purposes and standards of the corresponding zoning district and provide for the necessary public facilities associated with the development. A Site Plan Review application is required for:

- a. All commercial and industrial development where a building permit is required
- b. Expansions of commercial or industrial development that increases building size 2,000 square feet or more
- c. Residential dwellings of 4 units or more on a single lot
- d. Developments on substandard original lots of record where 4 or more units are proposed and/or if front loaded garages are proposed

Applications can be submitted by visiting www.sandpointidaho.gov/planningapply. In preparation, please gather the below documents, as applicable. If you have any questions, please feel free call us at (208) 263-3370 or contact us via our email form at www.sandpointidaho.gov/contactplanning.

☒ **Narrative Statement:** A narrative statement explaining the project shall be submitted discussing general site characteristics, the proposed project type and purpose, any measures for mitigating anticipated impacts and the project's general compatibility with other adjacent properties in the zone.

☒ **Site Plan:** Provide a scaled plan (minimum scale is 1" = 100') including, but not limited to, location and dimensions of the following:

- | | |
|---|--|
| 1) Property lines and all building setbacks | 5) Outdoor storage areas |
| 2) Road Frontage | 6) Dumpster and enclosure location |
| 3) Impervious Surfaces | 7) Existing and/or Proposed Utility or Other Easements |
| 4) Lot size and Total Building Floor Area | 8) Proposed Signs, murals, and other artistic elements |

N/A

☐ **Parking Lot:** Provide a scaled plan (minimum scale is 1" = 100') including, but not limited to, location and dimensions of the following:

- | | |
|---|---|
| 1) Existing and/or Proposed Curb Cuts | 5) Traffic Circulation Patterns |
| 2) Customer and Employee Parking | 6) Snow Removal and Storage Plan |
| 3) Loading and Service Areas | 7) Parking Lot Pedestrian Access Pathways |
| 4) Interior / Street Sidewalks and Curb Ramps | 8) Parking Lot Lighting |

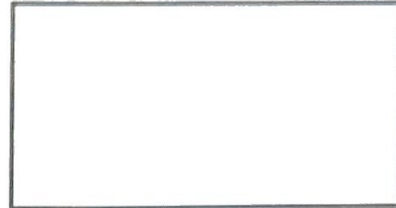
☒ **Landscape Plan:** Provide a scaled landscape plan (minimum scale is 1"=100') including the following:

- 1) Existing vegetation
- 2) Proposed plantings for parking lot and Public right-of-way

- ☒ **Building Plans:** Provide a scaled floor plan (minimum scale is 1"=100') including the following:
- 1) Floor plans
 - 2) Elevations - front, side & rear
(Include proposed building materials)
 - 3) Roof line dimensions
 - 4) Seating capacity for churches or other general assembly areas
 - 5) Exterior Building Lighting
- ☒ **Stormwater Management Plan:** May be applicable to all development activities that require grading, site development, parking lot paving construction, street improvement, or building permits (must meet requirements of Stormwater Management Ordinance, Title 11, Chapter 3).
- 1) Project summary narrative with supporting design calculations
 - 2) Site plan, not greater than a scale of 1"=100'
 - 3) Erosion and sediment control plan
 - 4) Operation and maintenance plan
- ☒ **Trip Generation and Distribution Letter:** The purpose of a TG&D letter is intended to help the City determine whether a traffic impact study will be required for the development. TG&D letters shall include (for specifics reference Appendix H of the Urban Area Transportation Plan):
- 1) Project Location
 - 2) Project Action
 - 3) Trip Generation
 - 4) Trip Distribution and Assignment
- N/A ☐ **Property Owner Consent Letter:** If the owner is not the applicant, a letter signed by the property owner consenting to the application.
- ☒ **Provide proof of ownership** in the form of a copy of the title report or the deed of record for the site of the proposed project. A sale agreement may be acceptable. If property is to be rented or leased, please provide written authorization of the record owner for processing of the application.
- N/A ☐ **FAA Form 7460** may be required if the development is within the airport overlay.
- ☒ **Application Fee:** Please call Planning & Building Services at 208-263-3370 or consult the Planning & Building Applications webpage at www.sandpointidaho.gov/planbuildapps.



SITE PLAN REVIEW APPLICATION



File #: _____

Please read and complete the application carefully. Failure to provide all required information could result in a delay in processing your application.

Applicant Information:

Applicant's Name: OZ Sandpoint QOZB, LLC / Scott Harwood
Address: 195 N. State Street, Lindon UT 84042
Phone: (H) (801) 573-7231 (W) _____
E-mail: scott.harwood@oz-dev.com

Holder of Legal Title: OZ Sandpoint QOZB, LLC
Address: 195 N. State Street, Lindon UT 84042
Phone: (H) (801) 573-7231 (W) _____
E-mail: scott.harwood@oz-dev.com

Representative Information:

Business Name: OZ Development / Scott Harwood
Surveyor: _____
Address: 195 N. State Street, Lindon UT 84042
Phone: (H) (801) 573-7231 (W) _____
E-mail: scott.harwood@oz-dev.com

Project Information:

Legal Description of Site: Lot(s) 4 Block # 9 Addition Farmin's Addition
(or) _____
Section _____ Township _____ Range _____
Total Size of Parcel: 0.163 Acres / 7095 SF

Current Zoning:

- | <u>Residential</u> | <u>Commercial</u> | <u>Industrial</u> |
|---|--|--|
| <input type="checkbox"/> Rural Residential RR2 | <input checked="" type="checkbox"/> Commercial A | <input type="checkbox"/> Industrial General (IG) |
| <input type="checkbox"/> Rural Residential RR1 | <input type="checkbox"/> Commercial B | <input type="checkbox"/> Industrial Business Park (IBP) |
| <input type="checkbox"/> Residential Single-Family (RS) | <input type="checkbox"/> Commercial C | <input type="checkbox"/> Industrial General w / IBP uses allowed |
| <input type="checkbox"/> Residential Multi-Family (RM) | <input type="checkbox"/> Mixed-use Residential | <input type="checkbox"/> Industrial Technology Park (ITP) |

Current Comprehensive Plan Designation:

Future Land Use Categories

- | | | |
|--|--|--|
| <input type="checkbox"/> Low Density Clustered Residential | <input type="checkbox"/> Low Density Residential | <input type="checkbox"/> Medium Density Residential |
| <input type="checkbox"/> High Density Residential | <input type="checkbox"/> Neighborhood Mixed Use | <input type="checkbox"/> Mixed Use Corridor |
| <input checked="" type="checkbox"/> Downtown | <input type="checkbox"/> Public/Quasi Public | <input type="checkbox"/> Light Industrial/Commercial |
| <input type="checkbox"/> Parks and Open Space | | |

Airport Safety Zones

- | | |
|---|--|
| <input type="checkbox"/> Inner Critical Zone | <input type="checkbox"/> Lateral Safety Zone |
| <input type="checkbox"/> Runway Protection Zone | <input checked="" type="checkbox"/> N/A |

What land uses border the site? Describe lot sizes, structures and uses:

North: Sandpoint Center - 1.793 Acres, 86,000 SF Class A Office, 3 Story
South: Access Alley is Single Family Home - 0.128 Acres, Home
East: Home w/ Business - Mark Hall Real Estate, 0.163 Acres
West: Vacant Lot owned by Karen Wilkinson, 0.163 Acres

What Zones border the project site?

North CA South CA East CA West CA

Existing Structure(s) (Number of Buildings/Units, Size, & Use): Existing Structure is a Single Family Home with a small Shed in the Backyard. Two Buildings with the home; Shed used as a residential home.

Proposed Structure(s) (Number of Buildings/Units, Size, Use, and Architectural Style): Proposed structure is a 4-Story Building with 618 SF of Commercial Space on the first floor fronting Church Street; 48 Residential Apartment Units in the remaining part of the Building. Total SF for the building is 21,247 SF. Architectural Style to match existing Buildings in Downtown Sandpoint City.

Utility Information:

Power will be provided by:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Avista Utilities | <input type="checkbox"/> Northern Lights Inc |
|--|--|

Water will be supplied by:

- | |
|---|
| <input checked="" type="checkbox"/> Existing public or community system |
| <input type="checkbox"/> Individual well |
| <input type="checkbox"/> Proposed public or community system |

Sewage disposal will be provided by:

- | |
|---|
| <input checked="" type="checkbox"/> Existing community system |
| <input type="checkbox"/> Individual system |
| <input type="checkbox"/> Proposed community system |

Parking Information:

Number of parking stalls proposed: 0

Number of parking stalls required by City Code: 0

Number of parking stalls proposed for parking in lieu (if applicable) NA

Site Information:

Provide detailed descriptions on the following:

1. Topography (lay of land), including estimated maximum slope, rock outcroppings, benches, etc.: Flat - See Attached Boundary Survey ; Topography for the property.
2. Water courses (springs, streams, rivers, etc.): No water courses onsite at this property.
3. Land cover (timber, pasture, etc.): House / Shed with Trees ; Grass.
4. Other pertinent information: See Narrative Statement Attached with Application.

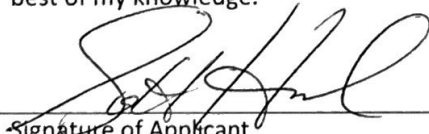
The Planning Director may request additional information in specific circumstances in order to assist in the review of this application, including the relationship of the proposed use to the Comprehensive Plan. A copy of the Sandpoint Comprehensive Plan may be obtained from the Planning and Zoning Department.

The Planning Director reserves the right to **not** officially accept this application until all of the above required information is submitted.

The Planning Director reserves the right to refer this application to the Planning Commission.

Appeals to the requirements placed on proposals during the site plan review process may be referred to the Planning Commission.

I hereby certify that all information and attachments submitted herewith are true and correct to the best of my knowledge.


Signature of Applicant

3/6/25
Date



SITE PLAN REVIEW APPLICATION



File #: _____

Please read and complete the application carefully. Failure to provide all required information could result in a delay in processing your application.

Applicant Information:

Applicant's Name: OZ Sandpoint 2 QOZB, LLC
Address: 195 N. State Street, Lindon UT 84042
Phone: (H) (801) 573-7231 (W) _____
E-mail: scott.harwood@oz-dev.com

Holder of Legal Title: Karen Wilkinson
Address: 417 Church Street, Sandpoint ID
Phone: (H) (208) 304-9709 (W) _____
E-mail: karenreggleston@gmail.com

Representative Information:

Business Name: OZ Development / Scott Harwood
Surveyor: _____
Address: 195 N. State Street, Lindon UT 84042
Phone: (H) (801) 573-7231 (W) _____
E-mail: scott.harwood@oz-dev.com

Project Information:

Legal Description of Site: Lot(s) 5 Block # 9 Addition Farmin's Addition
(or) _____

Section _____ Township _____ Range _____
Total Size of Parcel: 0.163 Acres / 7095 SF

Current Zoning:

- | <u>Residential</u> | <u>Commercial</u> | <u>Industrial</u> |
|---|--|---|
| <input type="checkbox"/> Rural Residential RR2 | <input checked="" type="checkbox"/> Commercial A | <input type="checkbox"/> Industrial General (IG) |
| <input type="checkbox"/> Rural Residential RR1 | <input type="checkbox"/> Commercial B | <input type="checkbox"/> Industrial Business Park (IBP) |
| <input type="checkbox"/> Residential Single-Family (RS) | <input type="checkbox"/> Commercial C | <input type="checkbox"/> Industrial General w / IBP
uses allowed |
| <input type="checkbox"/> Residential Multi-Family (RM) | <input type="checkbox"/> Mixed-use Residential | <input type="checkbox"/> Industrial Technology Park (ITP) |

Current Comprehensive Plan Designation:

Future Land Use Categories

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| <input type="checkbox"/> Low Density Clustered Residential | <input type="checkbox"/> Low Density Residential | <input type="checkbox"/> Medium Density Residential |
| <input type="checkbox"/> High Density Residential | <input type="checkbox"/> Neighborhood Mixed Use | <input type="checkbox"/> Mixed Use Corridor |
| <input checked="" type="checkbox"/> Downtown | <input type="checkbox"/> Public/Quasi Public | <input type="checkbox"/> Light Industrial/Commercial |
| <input type="checkbox"/> Parks and Open Space | | |

Airport Safety Zones

- | | |
|---|--|
| <input type="checkbox"/> Inner Critical Zone | <input type="checkbox"/> Lateral Safety Zone |
| <input type="checkbox"/> Runway Protection Zone | <input checked="" type="checkbox"/> N/A |

What land uses border the site? Describe lot sizes, structures and uses:

North: Sandpoint Center - 1.793 Acres, 86,000 SF Class A Office, 3 Story
South: Across Alley is Single Family Home, 0.128 Acres
East: Single Family Home, 0.163 Acres
West: Byczek & Associates C.P.A., Business Bldg., 0.162 Acres

What Zones border the project site?

North CA South CA East CA West CA

Existing Structure(s) (Number of Buildings/Units, Size, & Use): Empty Lot with a small shed structure on the back of the lot near the Alley used for some storage.

Proposed Structure(s) (Number of Buildings/Units, Size, Use, and Architectural Style): Proposed structure is a 4-Story Building with 2000 SF of Commercial Space on the first floor fronting Church Street. 41 Residential Apartment Units in the remaining part of the Building. Total SF for the Building is 20,898. Architectural Style to match other buildings in Downtown Sandpoint City.

Utility Information:

Power will be provided by:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Avista Utilities | <input type="checkbox"/> Northern Lights Inc |
|--|--|

Water will be supplied by:

- | |
|---|
| <input checked="" type="checkbox"/> Existing public or community system |
| <input type="checkbox"/> Individual well |
| <input type="checkbox"/> Proposed public or community system |

Sewage disposal will be provided by:

- | |
|---|
| <input checked="" type="checkbox"/> Existing community system |
| <input type="checkbox"/> Individual system |
| <input type="checkbox"/> Proposed community system |

Parking Information:

Number of parking stalls proposed: 3

Number of parking stalls required by City Code: 0

Number of parking stalls proposed for parking in lieu (if applicable)

NA

Site Information:

Provide detailed descriptions on the following:

1. Topography (lay of land), including estimated maximum slope, rock outcroppings, benches, etc.: Flat vacant lot.
2. Water courses (springs, streams, rivers, etc.): No water courses onsite.
3. Land cover (timber, pasture, etc.): Grass / Shed in Back of Property.
4. Other pertinent information: See Narrative Statement Attached with Application.

The Planning Director may request additional information in specific circumstances in order to assist in the review of this application, including the relationship of the proposed use to the Comprehensive Plan. A copy of the Sandpoint Comprehensive Plan may be obtained from the Planning and Zoning Department.

The Planning Director reserves the right to **not** officially accept this application until all of the above required information is submitted.

The Planning Director reserves the right to refer this application to the Planning Commission.

Appeals to the requirements placed on proposals during the site plan review process may be referred to the Planning Commission.

I hereby certify that all information and attachments submitted herewith are true and correct to the best of my knowledge.


Signature of Applicant

4/22/25
Date

April 22, 2025

NARRATIVE STATEMENT

Dear Sandpoint City Planning Staff,

OZ Sandpoint 2 QOZB, LLC is under contract with Karen Wilkinson to purchase property at 417 Church Street in Downtown Sandpoint, ID. This project will be Phase 2 of our proposed project next door at 413 Church Street. We are designing and submitting a second proposed mixed used multi-family apartment project, with Commercial Space on the first floor fronting Church Street and 41 units of residential apartments behind the commercial and on the remaining 3 floors. This is a 4-story project with approximately 2000 SF of Commercial Space, 41 apartment units, and totaling 45' in height. There will be three parking spaces at the back of the project on the Alley side.

We have taken care in our design standards to stay consistent with the Sandpoint City 2024 Comprehensive Plan by making sure our project respects the town unique character in our architectural design and utilizes thoughtful density and site planning. Our project also helps to achieve the goals of the Comprehensive Plan by providing housing that is available to meet the needs of low and moderate income workers.

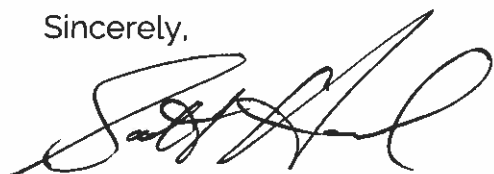
Based on feedback from Planning Staff, we spent a lot of time creating a building that is compatible with the surrounding downtown buildings and helps create a cohesive and connected downtown feel. We used the 301 Cedar St. building, the Cedar Street Bridge, and the Umpqua Bank Building as some inspiration for the design and character of our building. We kept our building at 45' to achieve massing that is consistent and compatible with other surrounding buildings – such as the Sandpoint Center building across the street, and the Bernklau Building just a block down on Pine Street. The exterior materials fronting Church Street and wrapping the building on both sides consist primarily of brick to match surrounding buildings, some two-toned horizontal cement board panels to add variety and accent, metal trim and accents, curved metal supports and trim to match other buildings in the city, and stone columns along both sides to add architectural variety. We added elements of brick detailing including a water table at the base of the building, architrave's around the windows at the front of the building, and enhanced the crown or cornice from two to three courses and stepped it out from the top of the building to enhance the proportions and the historical character of the building.

Our proposed multi-family apartment building is designed as a forward-thinking, sustainable development that aligns with evolving urban living trends. Our project is part of an exempted area to which there are no parking minimums. By reducing on-site parking, this project embraces a transit-oriented and pedestrian-friendly approach that promotes environmental responsibility, affordability, and efficient land use.

We have included a letter from our Civil Engineer addressing our approach to Stormwater, and they are also working through the Trip Generation Letter which given the proximity and similarities of the projects will be consistent with what was completed for Phase 1. Landscaping is extremely limited on the site – but the 5' between building and property line to Phase 1 will be combined with both phases to make a 10' area to accommodate storm drainage and limited landscaping.

This project represents a modern, sustainable approach to multi-family housing, reflecting changing urban lifestyles and mobility trends. By reducing parking, the development promotes affordability, sustainability, and efficient land use, ensuring long-term benefits for both residents and the broader community. We look forward to moving this application through the approval process and bringing a wonderful project to Downtown Sandpoint City that will benefit the community for years to come.

Sincerely,

A handwritten signature in black ink, appearing to read 'Scott Harwood', with a stylized, flowing script.

Scott Harwood