



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Change Order #011: Safety Fence, Credit:Bike Rack, Seed & Boulders

TO:	City of Sandpoint 1123 Lake St. Sandpoint, Idaho 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho 83815
DATE CREATED:	5/ 15 /2025	CREATED BY:	Cory Quan (Ginno Construction Company)
CONTRACT STATUS:	Pending - Proceeding	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
CONTRACT FOR:	1:Travers Park Reno: Phase 1	TOTAL AMOUNT:	\$ 23,188.66
DESCRIPTION:			
ATTACHMENTS:			

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
052	CE #107 - Safety Fence		0.00
054	CE #113 - Credit: Bike Rack &		0.00
057	CE #118 - PR - Topsoil, Seed &		1,529.72
058	CE #117 - Additional Concrete		21,658.94
TOTAL:			\$ 23,188.66

CHANGE ORDER LINE ITEMS:

PCO # 052 : CE #107 - Safety Fence

#	Cost Code	Description	Type	Amount
1	01-4000 - Superintendent	Travers Park - Fence Labor	LABOR	\$ 520.00
2	01-7040 - Safety	Travers Park - Fence Materials	MATERIAL	\$ 295.00
3	01-4000 - Superintendent	Playground - Fence Labor	LABOR	\$ 520.00
4	01-7040 - Safety	Playground Fence Materials	MATERIAL	\$ 425.00
5	55-1000 - Contingency	Pay for with Owner Contingency	Schedule of Values	(\$1,883.20)
Subtotal:				(\$123.20)
Liability Insurance: 1.00% Includes Cost Type (5)				17.60
OH&P: 6.00% Includes Cost Type (5)				105.60
Grand Total:				\$0.00

**PCO # 054 : CE #113 - Credit: Bike Rack &**

#	Cost Code	Description	Type	Amount
1	32-3300 - Site Furnishings	Bike Rack	SUBCONTRACT	(\$2,200.00)
2	32-9000 - Planting & Landscaping	Trash Receptacle	SUBCONTRACT	(\$1,750.00)
3	55-1000 - Contingency	Add to Owner Contingency	Schedule of Values	\$ 3,950.00
Subtotal:				\$0.00
Grand Total:				\$0.00

PCO # 057 : CE #118 - PR - Topsoil, Seed &

#	Cost Code	Description	Type	Amount
1	32-9000 - Planting & Landscaping	Hydrossee Change Order	SUBCONTRACT	\$ 10,500.00
2	32-9000 - Planting & Landscaping	Boulder Placement	SUBCONTRACT	\$ 812.00
3	55-1000 - Contingency	Pay for with contingency	Schedule of Values	(\$10,574.12)
Subtotal:				\$737.88
Liability Insurance: 1.00% Includes Cost Type (5)				113.12
OH&P: 6.00% Includes Cost Type (5)				678.72
Grand Total:				\$1,529.72

PCO # 058 : CE #117 - Additional Concrete

#	Cost Code	Description	Type	Amount
1	03-3053 - Misc. Cast-In-Place Concrete	Labor to Pour	LABOR	\$ 2,250.00
2	03-3053 - Misc. Cast-In-Place Concrete	Concrete Materials	MATERIAL	\$ 1,250.00
3	32-1313 - Concrete Paving	Picnic Shelter Foundation	SUBCONTRACT	\$ 15,206.00
4	32-1313 - Concrete Paving	Pads for Benches	SUBCONTRACT	\$ 1,536.00
Subtotal:				\$20,242.00
Liability Insurance: 1.00% Includes Cost Type (5)				202.42
OH&P: 6.00% Includes Cost Type (5)				1,214.52
Grand Total:				\$21,658.94

The original (Contract Sum)	\$ 20,000.00
Net change by previously authorized Change Orders	\$ 7,489,467.43
The contract sum prior to this Change Order was	\$ 7,509,467.43
The contract sum would be changed by this Change Order in the amount of	\$ 23,188.66
The new contract sum including this Change Order will be	\$ 7,532,656.09
The contract time will not be changed by this Change Order	

Rustin Hall (ALSC Architects)
 203 N. Washington Suite 400
 Spokane Washington 99201

City of Sandpoint
 1123 Lake St.
 Sandpoint Idaho 83864

Ginno Construction Company
 3893 North Schreiber Way
 Coeur d'Alene Idaho 83815

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #052: CE #107 - Safety Fence

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	052 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	12/31 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #107 - Safety Fence

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #107 - Safety Fence
Safety Fence

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	01-4000 - Superintendent	Travers Park - Fence Labor	LABOR	\$ 520.00
2	01-7040 - Safety	Travers Park - Fence Materials	MATERIAL	\$ 295.00
3	01-4000 - Superintendent	Playground - Fence Labor	LABOR	\$ 520.00
4	01-7040 - Safety	Playground Fence Materials	MATERIAL	\$ 425.00
5	55-1000 - Contingency	Pay for with Owner Contingency	Schedule of Values	(\$1,883.20)
Subtotal:				(\$123.20)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 17.60
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 105.60
Grand Total:				\$0.00



Rustin Hall (ALSC Architects)
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Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE DATE

Jason Welker 12/31/2024
SIGNATURE DATE

SIGNATURE DATE



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #054: CE #113 - Credit: Bike Rack &

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	054 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	2/24 /2025
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #113 - Credit: Bike Rack &

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #113 - Credit: Bike Rack & Trash Receptacles
Credit for bike rack and trash receptacle that were changed to owner provided.

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	32-3300 - Site Furnishings	Bike Rack	SUBCONTRACT	(\$2,200.00)
2	32-9000 - Planting & Landscaping	Trash Receptacle	SUBCONTRACT	(\$1,750.00)
3	55-1000 - Contingency	Add to Owner Contingency	Schedule of Values	\$ 3,950.00
Subtotal:				\$0.00
Grand Total:				\$0.00

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Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE

DATE



02/26/2024

SIGNATURE

DATE

SIGNATURE

DATE



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Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560

Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #057: CE #118 - PR - Topsoil, Seed &

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	057 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	5/15 /2025
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$1,529.72

POTENTIAL CHANGE ORDER TITLE: CE #118 - PR - Topsoil, Seed &

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #118 - PR - Topsoil, Seed & Boulders

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	32-9000 - Planting & Landscaping	Hydrosee Change Order	SUBCONTRACT	\$ 10,500.00
2	32-9000 - Planting & Landscaping	Boulder Placement	SUBCONTRACT	\$ 812.00
3	55-1000 - Contingency	Pay for with contingency	Schedule of Values	(\$10,574.12)
Subtotal:				\$737.88
Liability Insurance: 1.00% Includes Cost Type (5)				\$ 113.12
OH&P: 6.00% Includes Cost Type (5)				\$ 678.72
Grand Total:				\$1,529.72

Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE



PDM2, INC.
11827 East Trent
Spokane, Washington 99206
Phone: 509.922.7168
Fax 509.926.7670

Washington Contractors License - DEWDRDS825MP
Idaho Contractors License – RCE-50333

Date: May 14, 2025

Project: TRAVERS PARK
Idaho Material tax included in bid items

Sod Change Order: **\$23,400.00**

SCOPE:

- Install Sod on hill north side of park and area disturbed near baseball fence
 - Imported topsoil @ 2" depth (85 cy)
 - Sod (13,850 sf)

Sod & Hydro-seed Change Order: **\$20,000.00**

SCOPE:

- Install Sod on hill north side of park and Hydro-seed disturbed near baseball fence
 - Imported topsoil @ 2" depth (85 cy)
 - Sod (10,100 sf)
 - Hydro-seed (3,750 sf)

Hydro-seed Change Order: **\$10,500.00**

SCOPE:

- Install Hydro-seed on hill north side of park and area disturbed near baseball fence
 - Imported topsoil @ 2" depth (85 cy)
 - Hydro-seed (13,850 sf)

Boulder Placement: **\$812.00**

SCOPE:

- Install 10 onsite boulders onto north hill.

Thank you,
David J Minick
President
Mobile 509.840.0871
david@dewdropnw.com
www.dewdropnw.com

Travers Park

Contingency Tracking & Usage

Contingency Usage

PCO No.	PCCO No.	Description	Status		Cost	Remaining Contingency
Starting Contingency =						\$56,432.00
PCO_029	PCCO_007	RFP_008B Netting & Curtains	Approved	Deduct	\$8,233.65	\$48,198.35
PCO_045	PCCO_008	CE 076 - RFP_028 - Paving & Domes	Approved	Deduct	\$11,881.28	\$36,317.07
PCO_033	PCCO_008	CE 056 - RFP_011 - Canopy Revision	Approved	Credit	-\$1,463.66	\$37,780.73
PCO_046	PCCO_008	CE_083 - Sign Type-8 Changes per ASI_002	Approved	Deduct	\$5,855.46	\$31,925.27
PCO_041	PCCO_008	CE_028 - Credit for Shower	Approved	Credit	-\$2,634.41	\$34,559.68
PCO_047	PCCO_009	CE_089 - Concrete Class B Polish	Approved	Deduct	\$16,938.10	\$17,621.58
PCO_049	PCCO_009	CE_087 - Hydroseed Stockpiled Material	Approved	Deduct	\$4,191.19	\$13,430.39
PCO_050	PCCO_009	CE_091 - RFP 29 - Concrete Ramp Add's	Approved	Deduct	\$4,923.07	\$8,507.32
PCO_052	PCCO_011	CE_107 - Safety Fence	Pending - Proceeding	Deduct	\$1,883.20	\$6,624.12
PCO_054	PCCO_011	CE_113 - Credit: Bike Rack & Trash Recept	Pending - Proceeding	Credit	-\$3,950.00	\$10,574.12
PCO_057	TBD	CE_118 - PR-Topsoil, Seed & Boulders	Pending in Review	Deduct	\$10,574.12	\$0.00
PCO_055	TBD	CE_111 - Heat Pump Changes	No Budget Available		\$10,603.70	\$0.00
PCO_053	TBD	CE_108 - Add: Keypad Readers Front Entry	No Budget Available		\$1,310.75	\$0.00
						\$0.00
Current Balance =						\$0.00

786772
783156
3616



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Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
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Prime Contract Potential Change Order #058: CE #117 - Additional Concrete

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	058 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	5/15 /2025
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$21,658.94

POTENTIAL CHANGE ORDER TITLE: CE #117 - Additional Concrete

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #117 - Additional Concrete

Add:

1. Picnic Shelter Foundation
2. Pads for Benches

ATTACHMENTS:

[Additional Concrete Pricing for Benches & Picnic Shelter.pdf](#) [_RFI2_2~1.PDF](#)

#	Cost Code	Description	Type	Amount
1	03-3053 - Misc. Cast-In-Place Concrete	Labor to Pour	LABOR	\$ 2,250.00
2	03-3053 - Misc. Cast-In-Place Concrete	Concrete Materials	MATERIAL	\$ 1,250.00
3	32-1313 - Concrete Paving	Picnic Shelter Foundation	SUBCONTRACT	\$ 15,206.00
4	32-1313 - Concrete Paving	Pads for Benches	SUBCONTRACT	\$ 1,536.00
Subtotal:				\$20,242.00
Liability Insurance: 1.00% Includes Cost Type (5)				\$ 202.42
OH&P: 6.00% Includes Cost Type (5)				\$ 1,214.52
Grand Total:				\$21,658.94



Rustin Hall (ALSC Architects)
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Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE DATE

SIGNATURE DATE

SIGNATURE DATE



Change Order

White Diamond Concrete LLC

Printed: May 14, 2025

1869 E Seltice Way Ste 526, Post Falls, ID 83854

Phone: 208-967-5660

Client Info Ginno Construction Co
3893 N Schreiber Way
Coeur D Alene, ID 83814

Job Info 2016 Pine St
Sandpoint, ID 83864

Change Order ID

CO-0014

2313 - Travers Park

CO ID	Created / Approved Date	Price
CO-0014	Created: May 14, 2025	\$15,206.00

Description
Picnic Relocation Footings & Slab

Items	Cost Types	Description	Qty / Unit	Unit Price	Price
Footings -			4 EA	\$800.00	\$3,200.00
Piers -			4 EA	\$814.00	\$3,256.00
Slab -			530 SF	\$10.00	\$5,300.00
Concrete Pumping -			3 EA	\$1,150.00	\$3,450.00

Status	Signature	Date
Approved by: _____		___/___/___

Approval Comments

I confirm that my action here represents my electronic signature and is binding.

TOTAL AMOUNT OF CHANGE ORDER:

\$15,206.00



Change Order

White Diamond Concrete LLC

Printed: May 14, 2025

1869 E Seltice Way Ste 526, Post Falls, ID 83854

Phone: 208-967-5660

Client Info Ginno Construction Co
3893 N Schreiber Way
Coeur D Alene, ID 83814

Job Info 2016 Pine St
Sandpoint, ID 83864

Change Order ID

CO-0013

2313 - Travers Park

CO ID	Created / Approved Date	Price
CO-0013	Created: May 14, 2025	\$1,536.00

Description
Added Sidewalk for Benches

Items	Cost Types	Description	Qty / Unit	Unit Price	Price
Sidewalk for Benches -			128 SF	\$12.00	\$1,536.00

Status	Signature	Date
Approved by: _____		___/___/___

Approval Comments

I confirm that my action here represents my electronic signature and is binding.

TOTAL AMOUNT OF CHANGE ORDER:

\$1,536.00

PLAYGROUND CALLOUTS

- A 5-12 PLAYGROUND EQUIPMENT TYPE A OR APPROVED EQUAL. SEE SPECIFICATIONS.
- B TYPE B 2 BAY SWING, OR APPROVED EQUAL. SEE SPECIFICATIONS.
- C TYPE C 2 BAY ZIP LINE OR APPROVED EQUAL. SEE SPECIFICATIONS.
- D TYPE D TOT SWING. SEE SPECIFICATIONS.
- E TYPE E MERRY-GO-ROUND. SEE SPECIFICATIONS.
- F TYPE F. TOT STRUCTURE. SEE SPECIFICATIONS.
- G BEAR STATUE SEE SHEET LD-3, DETAIL H.
- H COUGAR STATUE SEE SHEET LD-3, DETAIL H.

CALLOUTS

- 1 GATEWAY ELEMENT. OWNER PROVIDED, OWNER INSTALLED.
- 2 SHELTER AND CONCRETE PAD TO BE RELOCATED AS PART OF BUILDING CONSTRUCTION. BY OTHERS.
- 3 BIKE RACKS ON CONCRETE PAD. BIKE RACK: SPORTWORKS TOFINO NO SCRATCH BIKE RACK, SEE SPECIFICATIONS. OWNER PROVIDED, OWNER INSTALLED.
- 4 TRASH RECEPTACLE ON CONCRETE PAD. DUMOR #107, 22 GALLON STEEL RECEPTACLE. OWNER PROVIDED, OWNER INSTALLED.
- 5 6' BENCH ON CONCRETE PAD. DUMOR BENCH #165. DOUGLAS FIR OR THERMALLY MODIFIED RED OAK SEAT. CENTER AND END ARMREST OR APPROVED EQUAL. OWNER PROVIDED, OWNER INSTALLED.
- 6 EXISTING LIGHT AS PART OF BUILDING CONSTRUCTION TO REMAIN. PRESERVE AND PROTECT.
- 7 6" CONCRETE MOWCURB. SEE SHEET LD-2, DETAIL F.
- 8 EXISTING TREE TO REMAIN, PRESERVE AND PROTECT. LOCATION APPROXIMATE, VERIFY IN FIELD. SEE SHEET LD-2 DETAIL I.
- 9 FIRE LANE AS PART OF SPORT BUILDING CONSTRUCTION. BY OTHERS.
- 10 320 SQ IN STEEL PARK GRILL ON SINGLE POST WITH EMBEDDED MOUNTING. OWNER PROVIDED, OWNER INSTALLED.
- 11 CONCRETE HOT COAL DISPOSAL BIN. OWNER PROVIDED, OWNER INSTALLED.
- 12 SIDEWALK AS PART OF SPORT BUILDING CONSTRUCTION. BY OTHERS.
- 13 PLAY AREA CURB. TYPE SEE SHEET LD-3, DETAIL A.
- 14 SLEDDING HILL. SEE SHEET L-3 FOR ALTERNATES.
- 15 DUGOUT. PRESERVE AND PROTECT.
- 16 ADJUST GRADES AROUND EXISTING TREE AND COORDINATE WITH BASE BID GRADING AND ALTERNATE #5 IF ACCEPTED. GRADING TO BE APPROVED BY OWNER TO PRESERVE AND PROTECT TREE.

LEGEND

- ARTIFICIAL TURF SAFETY SURFACING. BASE BID. SEE SHEET LD-3, DETAIL C.
- SODDED TURF WITH AUTOMATIC OVERHEAD IRRIGATION. BASE BID.
- REPAIR AREA. SEEDDED TURF WITH AUTOMATIC OVERHEAD IRRIGATION. BASE BID. ALTERNATE #7: INSTALL SODDED TURF GRASS. SEE SPECIFICATIONS.
- PLANTER AREA WITH MINERAL MULCH TYPE 'A' OVER WEED BARRIER FABRIC. SEE PLANTING NOTES FOR TYPE.
- SPLASH PAD. SEE SHEET L-4
- 4" BROOM FINISH CONCRETE WALK.
- ASPHALT PATH. BASE BID. ALTERNATE #8: 4" CONCRETE WITH MEDIUM BROOM FINISH. SEE SPECIFICATIONS.
- LANDSCAPE AND IRRIGATION REPAIR BY OTHERS AS PART OF BUILDING CONTRACT.
- 4' TALL CHAINLINK FENCE, BLACK. SEE SPECIFICATIONS.

CONSTRUCTION NOTES

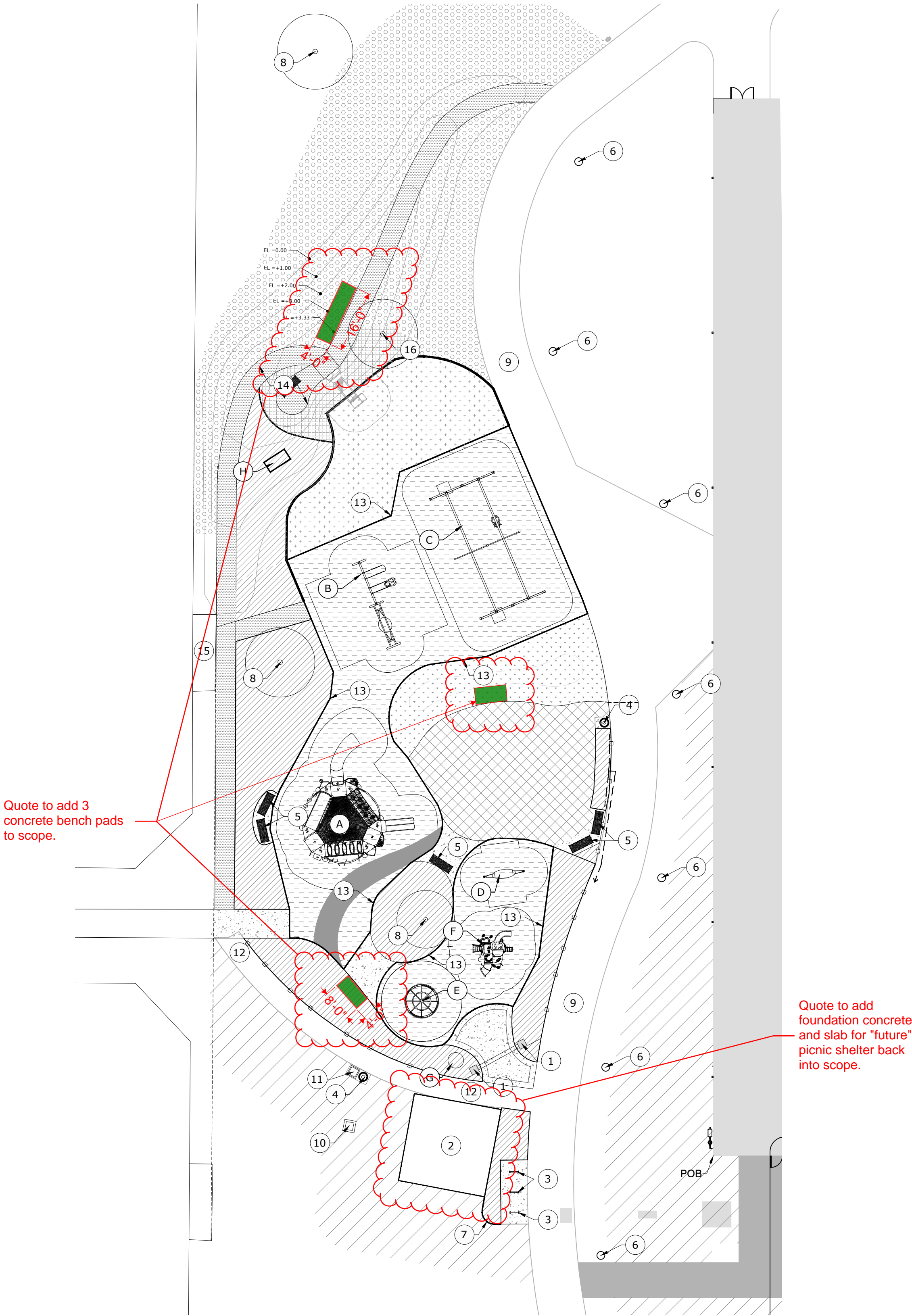
- CONTRACTOR SHALL CALL 811 TO LOCATE ALL EXISTING ABOVE OR BELOW GRADE ON-SITE UTILITIES PRIOR TO COMMENCEMENT OF WORK, INCLUDING PLANTING. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. PRESERVE AND PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE OR DISRUPTION, TYPICAL. MAINTAIN LOCATES DURING CONSTRUCTION FOR REFERENCE. CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- CONTRACTOR TO COORDINATE WITH OWNER'S MAINTENANCE PERSONNEL TO IDENTIFY AND PROTECT ANY EXISTING OWNER MAINTAINED UTILITIES, WATER LINES, IRRIGATION LINES, IRRIGATION CONTROL WIRES OR OTHER IMPROVEMENTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COORDINATE UTILITY WORK, SLEEVE AND IRRIGATION INSTALLATION TO AVOID CONFLICTS BETWEEN UTILITIES, IRRIGATION EQUIPMENT AND THE PLACEMENT OF TREES, SHRUBS AND LANDSCAPE EDGING/MOWCURBS.
- THE INFORMATION ON THIS SHEET IS INCOMPLETE UNLESS ACCOMPANIED BY THE CORRESPONDING SPECIFICATION SECTIONS AND DETAILS DEVELOPED FOR THIS PROJECT. REFER TO THOSE SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION AND NOTIFYING THE OWNER AND OWNER'S REPRESENTATIVES OF ANY DISCREPANCIES.
- CONTRACTOR TO COORDINATE THESE PLANS WITH CIVIL, ELECTRICAL AND ARCHITECTURAL PLANS. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE IF CONFLICTS BETWEEN PLANS ARE IDENTIFIED OR IF ADDITIONAL INFORMATION OR CLARIFICATION IS REQUIRED FOR COORDINATION.
- PRESERVE AND PROTECT EXISTING IMPROVEMENTS TO REMAIN. REPAIR OR REPLACE ALL CURBS AND WALKS DAMAGED DURING CONSTRUCTION.
- LAYOUT AND EXTENT OF EXCAVATION TO BE STAKED AND REVIEWED IN THE FIELD BY LANDSCAPE ARCHITECT AND/OR OWNER.
- LIABLE FOR ENCROACHMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND UNDERSTANDING THE LIMITS OR WORK. CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION OF ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHTS-OF-WAY, EASEMENTS, SET-BACKS, OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.

LAYOUT NOTES

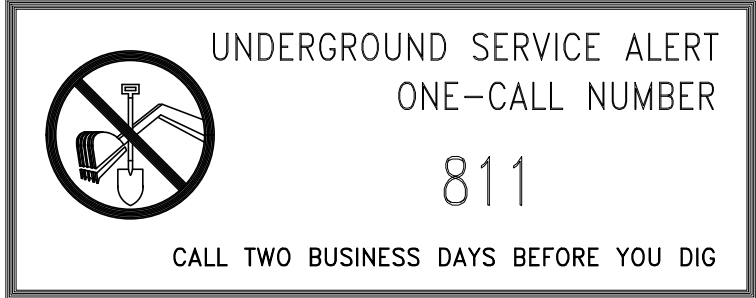
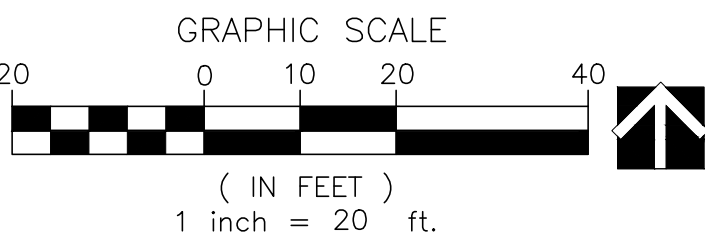
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD A DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
- LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN, SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.
- LAYOUT AND FINAL GRADES TO BE APPROVED BY OWNER'S REPRESENTATIVE. SEE SPECIFICATIONS FOR FINISH GRADE REQUIREMENTS FOR FIELDS.

MATERIAL NOTES

- ALL REINFORCING AND FORMS SHALL BE SECURED IN PLACE AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO PLACING ANY CONCRETE.
- CONCRETE FINISHES SHALL BE AS NOTED. CONTRACTOR SHALL PROVIDE 4'X4' SAMPLES OF ALL SPECIFIED FINISHES OF CONCRETE USING THE SAME MATERIALS THAT WILL BE USED IN THE ACTUAL CONSTRUCTION FOR EACH TYPE SPECIFIED. SAMPLES SHALL BE PREPARED WELL ENOUGH IN ADVANCE OF SCHEDULED CONCRETE POUR TO ALLOW FOR REVIEW AND POSSIBLE RE-POURING OF UNACCEPTABLE SAMPLES. UNACCEPTABLE SAMPLES SHALL BE RE-PREPARED UNTIL ACCEPTED BY THE OWNER'S REPRESENTATIVE. ACCEPTED SAMPLES SHALL BE PROTECTED AND REMAIN ON SITE FOR REFERENCE UNTIL FINAL ACCEPTANCE.
- ALL FENCES AND GATES SHOWN ON PLAN ARE GRAPHIC REPRESENTATIONS; REFER TO DETAILS AND SPECIFICATIONS FOR PRECISE LOCATION AND GATE OPERATION.
- ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES AND SITE FURNISHING PADS ARE INSTALLED.
- DO NOT PLACE ANY ATHLETIC FIELD MATERIAL UNTIL SUBMITTALS ARE FULLY APPROVED. MATERIAL SUBMITTALS WILL BE COMPARED TO DELIVERED MATERIAL.

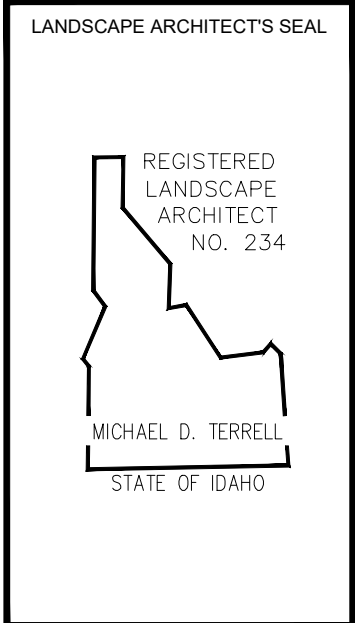


A PLAYGROUND CONSTRUCTION
PLAN BASE BID



Michael Terrell
Landscape Architecture, PLLC
1421 N. Meadowood Lane
Suite 150
Liberty Lake, WA
(509) 922-7449

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Michael Terrell - Landscape
Architecture, PLLC
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TRIVERS PARK PLAYGROUND & SPLASH PAD CONSTRUCTION
2016 PINE ST | SANDPOINT, ID
CITY OF SANDPOINT
PLAYGROUND - BASE BID

REVISION	DATE
△ ADDENDUM #2	5.17.24
△ CLARIFICATION	10.3.24
△	
△	

JOB NUMBER	22-100A
DATE	5/1/24
DRAWN BY	SLH
CHECKED BY	MDT

DRAWING 2 OF 12
L-1A



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Change Order #007: Netting & Curtains - Audio/Paging Credit

TO:	City of Sandpoint 1123 Lake St. Sandpoint, Idaho 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho 83815
DATE CREATED:	7/ 03 /2024	CREATED BY:	Cory Quan (Ginno Construction Company)
CONTRACT STATUS:	Pending - In Review	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
CONTRACT FOR:	1:Travers Park Reno: Phase 1	TOTAL AMOUNT:	\$ 0.00
DESCRIPTION:			
ATTACHMENTS:			

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
029	CE #036 - RFP_008B - Netting & Curtains		0.00
035	CE #059 - RFP_012 - Audio/Paging		0.00
TOTAL:			\$ 0.00

CHANGE ORDER LINE ITEMS:

PCO # 029 : CE #036 - RFP_008B - Netting & Curtains

#	Cost Code	Description	Type	Amount
1	11-6600 - Athletic Equipment	RFP_008B - Add: 3'-6" x 7'-0" Openings	SUBCONTRACT	\$ 1,915.00
2	11-6600 - Athletic Equipment	RFP_008B - Add Vision Panels from 4'-6" to 7'-0" AFF	SUBCONTRACT	\$ 4,715.00
3	11-6600 - Athletic Equipment	RFP_008B - Provide 13' high divider nets	SUBCONTRACT	\$ 815.00
4	11-6600 - Athletic Equipment	RFP_008B - Add: Stainless Steel Carabiners	SUBCONTRACT	\$ 250.00
5	55-1000 - Contingency	Use Contingency to Pay for PCO_029	Schedule of Values	(\$8,233.65)
Subtotal:				(\$538.65)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				76.95
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				461.70
Grand Total:				\$0.00

See Contingency Usage Tracking

Type text here



PCO # 035 : CE #059 - RFP_012 - Audio/Paging

#	Cost Code	Description	Type	Amount
1	26-1000 - Electrical	RFP_012 - Audio/Paging System	SUBCONTRACT	\$ 13,568.00
2	26-1000 - Electrical	A/V System Allowance	SUBCONTRACT	(\$20,000.00)
3	26-1000 - Electrical	Paging System Allowance	SUBCONTRACT	(\$50,000.00)
4	55-1000 - Contingency	Transfer to Contingency	Schedule of Values	\$ 56,432.00
Subtotal:				\$0.00
Grand Total:				\$0.00

The original (Contract Sum)	\$ 20,000.00
Net change by previously authorized Change Orders	\$ 7,489,467.43
The contract sum prior to this Change Order was	\$ 7,509,467.43
The contract sum would be changed by this Change Order in the amount of	\$ 0.00
The new contract sum including this Change Order will be	\$ 7,509,467.43
The contract time will not be changed by this Change Order	

See Contingency
Usage Tracking

Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815


SIGNATURE 9-13-2024 DATE

 09/13/2024
SIGNATURE DATE

SIGNATURE DATE



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560

Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #029: CE #036 - RFP_008B - Netting & Curtains

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	029 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	7/3 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	#007 - Netting & Curtains - Audio/Paging Credit
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #036 - RFP_008B - Netting & Curtains

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #036 - RFP_008 - Athletic Surfacing

RFP_008 - Athletic Surfacing

ATTACHMENTS:

[RFP 008_Athletic Flooring, Netting, and Curtains.pdf](#)

#	Cost Code	Description	Type	Amount
1	11-6600 - Athletic Equipment	RFP_008B - Add: 3'-6" x 7'-0" Openings	SUBCONTRACT	\$ 1,915.00
2	11-6600 - Athletic Equipment	RFP_008B - Add Vision Panels from 4'-6" to 7'-0" AFF	SUBCONTRACT	\$ 4,715.00
3	11-6600 - Athletic Equipment	RFP_008B - Provide 13' high divider nets	SUBCONTRACT	\$ 815.00
4	11-6600 - Athletic Equipment	RFP_008B - Add: Stainless Steel Carabiners	SUBCONTRACT	\$ 250.00
5	55-1000 - Contingency	Use Contingency to Pay for PCO_029	Schedule of Values	(\$8,233.65)
Subtotal:				(\$538.65)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 76.95
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 461.70
Grand Total:				\$0.00



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Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

 9-13-2024
SIGNATURE DATE

 09/13/2024
SIGNATURE DATE

SIGNATURE DATE



1035 E. Cataldo
Spokane, WA 99202
PH: (509) 484-2000
FX: (509) 484-8400
DU-PR-EB-S156MA
www.dupreebldg.com

RFP #008 Pricing REV #1

TO: GINNO CONSTRUCTION
ATTN: CORY QUAN

DATE: September 3, 2024
RE: RFP #008
TRAVERS PARK REC CENTER

Mezzanine "Gable Net":

- Remove From Scope: **\$6,400.00 Credit** Per REV#1 Proposal

Backdrop Curtains:

- Eliminate California Corners: See Dupree's New Door Design
- Vinyl Curtains to be Blue: See Dupree's Sample Options
- Add 3'-6" x 7'-0" Openings: Add \$1,915.00 for New Door Configuration
- Add Vision Panels from 4'-6" to 7'-0" AFF: \$4,715.00
- Bottom of Vinyl Backdrops to Sit on the Ground: N/C
- Curtain Cables to Remain at 10' High – Supported Every 20' Intervals: N/C
- Provide Minimum 8'-0" Section Movable for Pickleball Equipment: See Design Change
- Provide Pricing for Split Bracket Pulleys: Not an option
- ~~Provide Stainless Steel Cables & Hardware: Add \$4,400.00~~

Divider Nets – E-W Nets:

- Provide 13' High Divider Nets: Add \$815.00
- Provide Pricing for Split Bracket Pulleys: Not an option
- ~~Provide Stainless Steel Cables & Hardware: Add \$4,400.00~~
- Provide Stainless Steel Carabiners: Add \$250.00
- Provide Chain at Bottom Picket of Divider Nets: Cost Covered By Dupree
- Nets to Be Bi-Parting: No Change (Includes 5 Carabiners at each Bi-Part- See Design Dwgs)
- ~~Provide Tie-back Straps at Divider Nets: Add \$300.00~~

All materials are quoted FOB factory, full freight allowed to jobsite unless otherwise noted. Bids based on single shipment. Extra freight charges and storage fees will be added for multiple shipments. It is not the responsibility of DuPree Building Specialties to file freight claims on material only sales. Bid does not include pollution liability insurance. **No sales tax is included in our prices.** This quotation will remain valid for thirty (30) days only. Please call to verify price after that date. Registered and required to collect sales tax in Washington, Idaho, and California. The customer is responsible for paying sales tax directly for all other states.

TERMS: Established Accounts: Net 30 days unless otherwise agreed upon in writing.
New Accounts: Fifty percent (50%) deposit at time of order being placed with balance due prior to delivery/installation. Your signature on this letter authorizes us to begin credit information inquiries.
Payment: We accept payment via check, credit card, or ACH. A 2% surcharge fee will be added for all credit card transactions.

Proposal Accepted

Date

DuPree Building Specialties

Ben Wilson

Project Manager

**OPERABLE WALLS - FOLDING DOORS - TOILET PARTITIONS - WASHROOM ACCESSORIES - ACCESS FLOORING
ROLLING DOORS AND GRILLES - LOCKERS - ATHLETIC EQUIPMENT - SKYLIGHTS - SMOKE GUARD**



1035 E. Cataldo
Spokane, WA 99202
PH: (509) 484-2000
FX: (509) 484-8400
DU-PR-EB-S156MA
www.dupreebldg.com

Modified Tennis Nets @ Net Standards

~~— Add Qty (3) Modified Nets with Velcro or Bungee Cords: Add \$1,000.00~~

All materials are quoted FOB factory, full freight allowed to jobsite unless otherwise noted. Bids based on single shipment. Extra freight charges and storage fees will be added for multiple shipments. It is not the responsibility of DuPree Building Specialties to file freight claims on material only sales. Bid does not include pollution liability insurance. **No sales tax is included in our prices.** This quotation will remain valid for thirty (30) days only. Please call to verify price after that date. Registered and required to collect sales tax in Washington, Idaho, and California. The customer is responsible for paying sales tax directly for all other states.

TERMS: Established Accounts: Net 30 days unless otherwise agreed upon in writing.
New Accounts: Fifty percent (50%) deposit at time of order being placed with balance due prior to delivery/installation. Your signature on this letter authorizes us to begin credit information inquiries.
Payment: We accept payment via check, credit card, or ACH. A 2% surcharge fee will be added for all credit card transactions.

Proposal Accepted

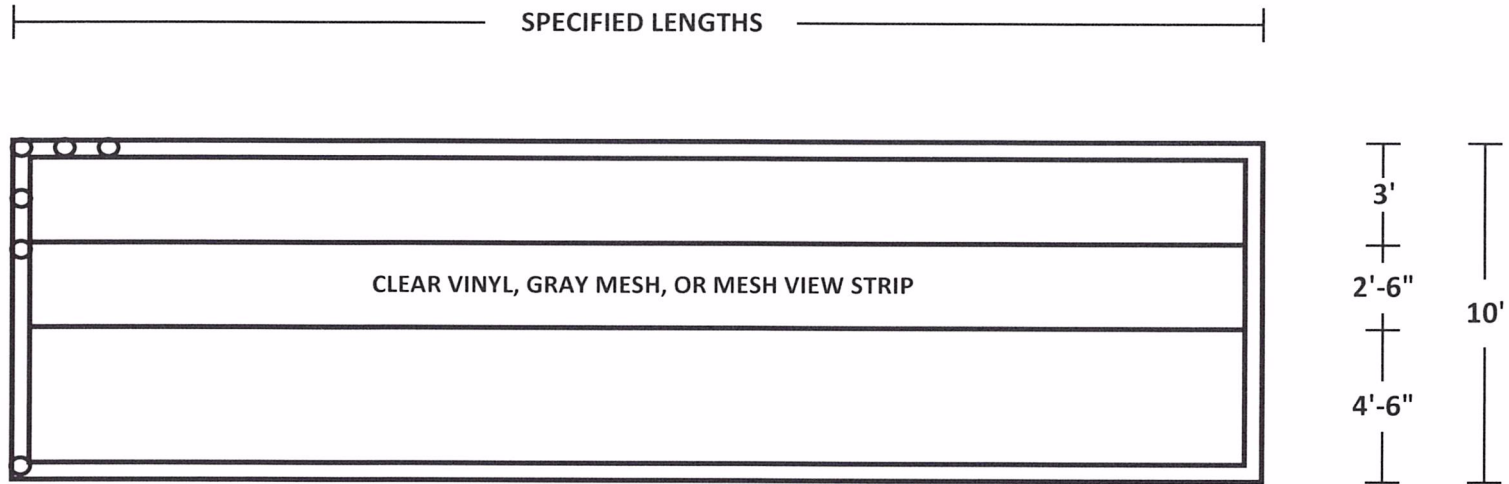
Date

DuPree Building Specialties

Ben Wilson Project Manager

~~Rolling Doors~~
**OPERABLE WALLS - FOLDING DOORS - TOILET PARTITIONS - WASHROOM ACCESSORIES - ACCESS FLOORING
ROLLING DOORS AND GRILLES - LOCKERS - ATHLETIC EQUIPMENT - SKYLIGHTS - SMOKE GUARD**

BACK DROP CURTAINS - POSSIBLE LIGHT BLUE + FABRIC MESH



18 OZ. LIGHT BLUE FIRE RETARDANT MATERIAL
WITH EITHER 2'-6" CLEAR VINYL OR MESH VIEW STRIP

2 EA: 65'-8" L
1 EA: 58'-10" L
4 EA: 55'-10" L
1 EA: 48'-10" L
1 EA: 10' L
6 EA: 6' L

[REFERENCE BACK DROP PDF](#)

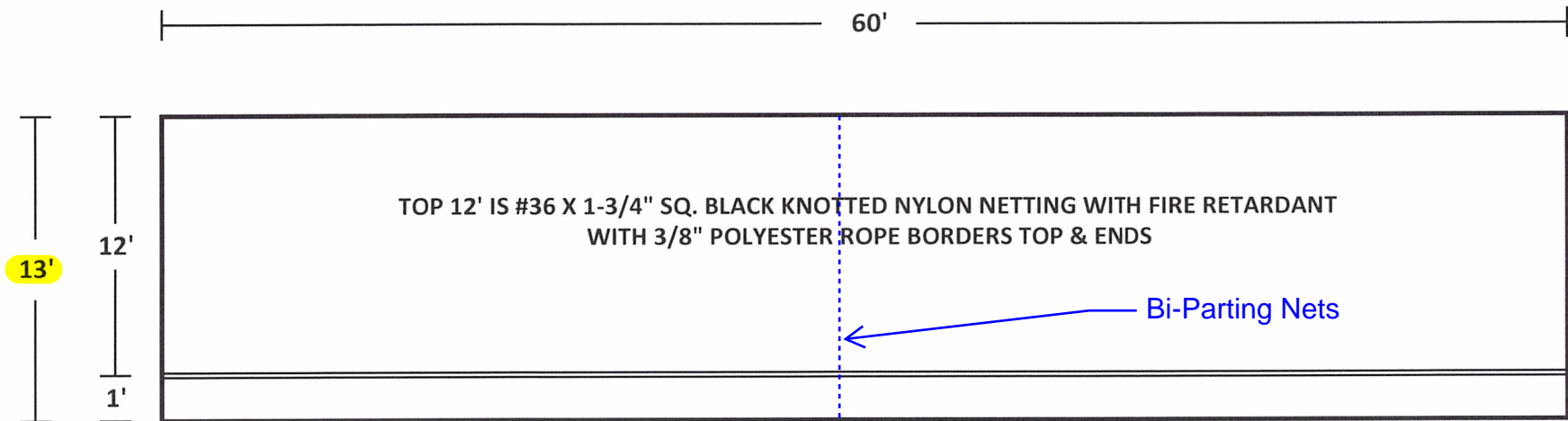


Practical Solutions for Recreational and Industrial Netting Applications

David Berggren 360-296-7056 daveberggren@lfsinc.com

18 OZ. LIGHT BLUE VINYL BACK DROPS
WELDED EDGES, GROMS @ 1' CENTERS TOP & ENDS
DUPREE / TRAVERS PARK
8/8/2024 REVISED FROM 12/22/2023

E-W COURT DIVIDERS



BOTTOM IS A 2' STRIP OF 18 OZ. LIGHT BLUE FR VINYL WITH WELDED EDGES FOLDED AND SEWN FOR 1' POCKET WITH 1/8" CHAIN (+/- .21 lbs. ft.) INSIDE

Tie Backs = Webbing & Clips

Each Net Will have x5 Carabiners



Practical Solutions for Recreational and Industrial Netting Applications

David Berggren 360-296-7056 daveberggren@lfsinc.com

E-W

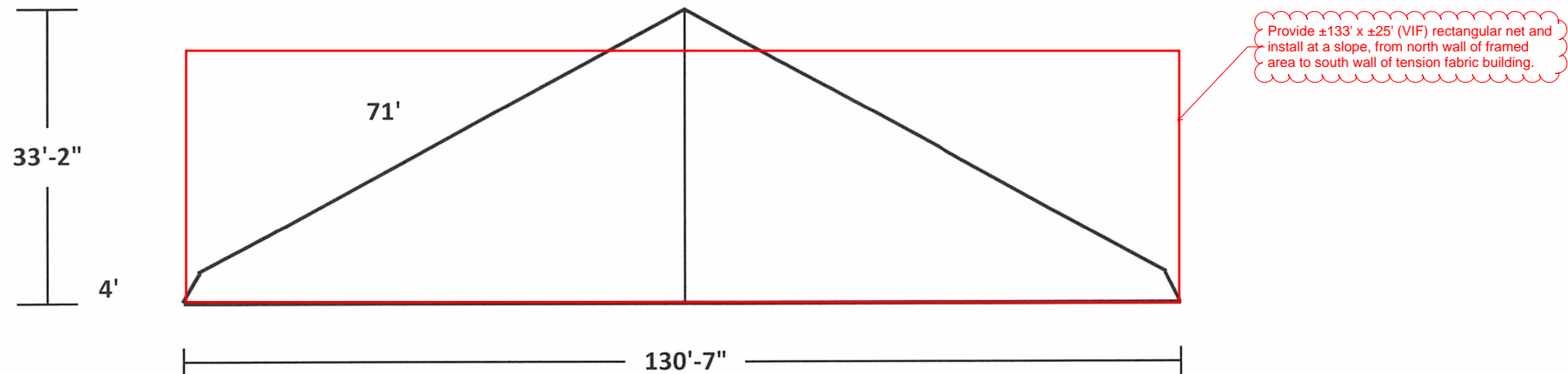
8 EA: 13' X 60' **COURT DIVIDERS**

#36 X 1-3/4" SQ. DB&FR NETTING, 18 OZ. LIGHT BLUE FR VINYL

BOTTOM SLEEVE WITH 1/8" CHAIN INSIDE

DUPREE / TRAVERS PARK 8/8/2024 REVISED FROM 12/22/2023

GABLE END NET ABOVE MEZZANINE
NO CHANGES



9-13-2024

150 EA: 9/32" SNAPS



Practical Solutions for Recreational and Industrial Netting Applications

David Berggren 360-296-7056 daveberggren@lfsinc.com

1 EA: GABLE END NET

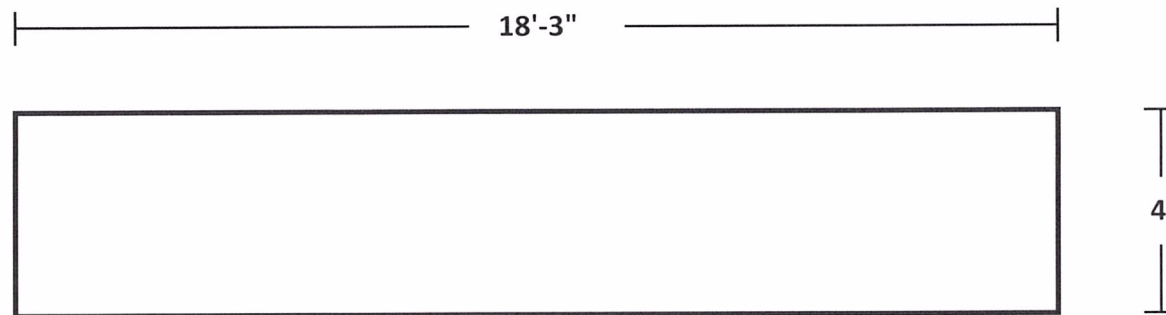
#36 X 1-3/4" FR BLACK KNOTTED NETTING WITH 3/8" BORDERS

DUPREE / TRAVERS PARK

8/8/2024 REVISED FROM 12/20/2023

Modified Tennis Nets Between Net Standards

To Be Held In Place With Velcro Straps / Bungee Cords



9-

9-13-



Practical Solutions for Recreational and Industrial Netting Applications

David Berggren 360-296-7056 daveberggren@lfsinc.com

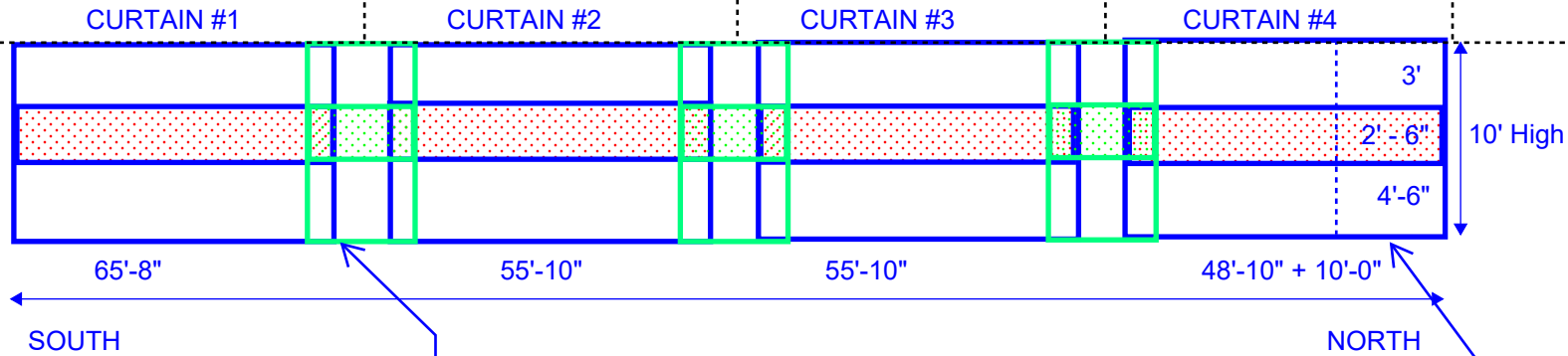
4 EA: PICKLE BALL DIVIDERS

#36 X 1-3/4" FR BLACK KNOTTED NETTING WITH 3/8" BORDERS

DUPREE / TRAVERS PARK

8/8/2024

WEST SIDE BACK DROP FIRE RATED VINYL BACKDROPS

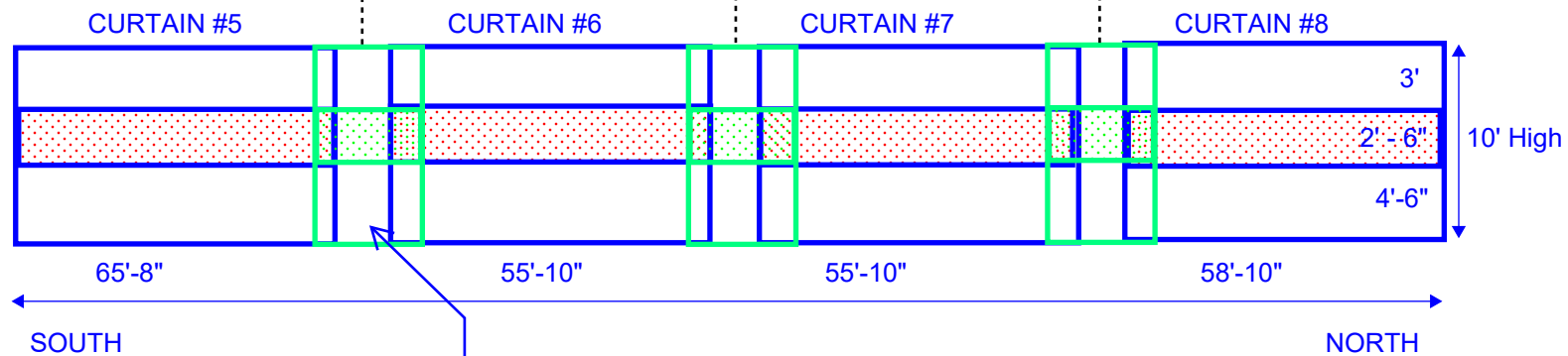


Cable to Bldg Ceiling
Every 10'-20' As Needed

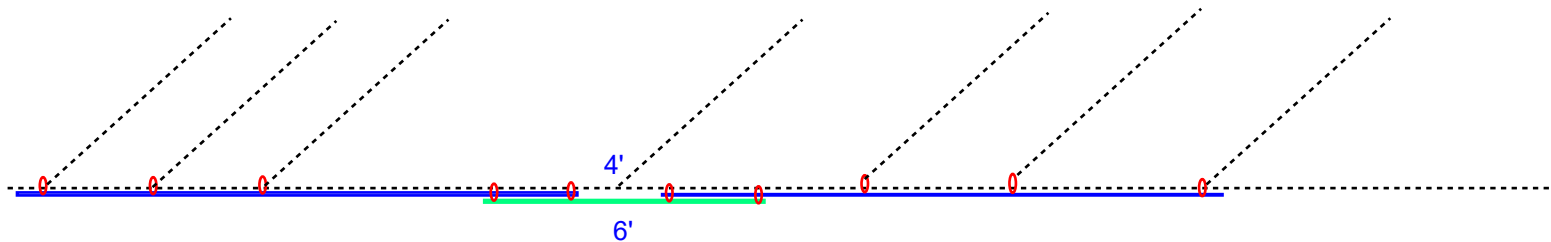
Cable to Building
@ 10' High

10' Section Will Clip
Together for PB
Equipment

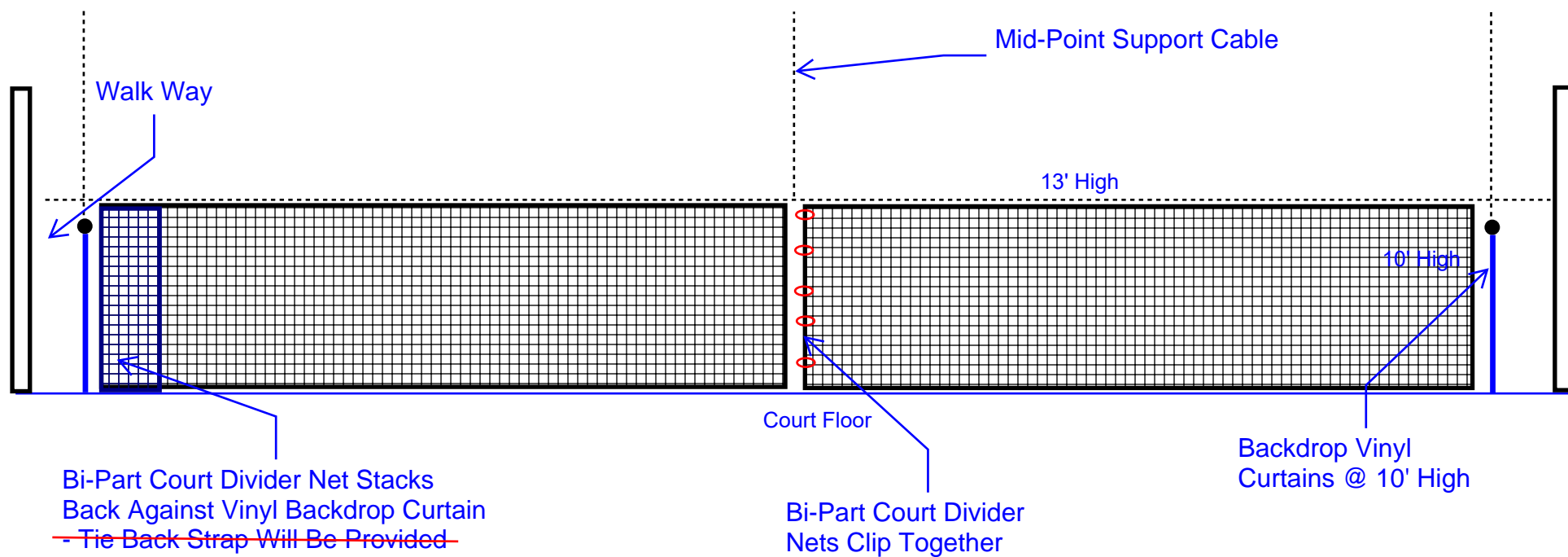
EAST SIDE BACK DROP FIRE RATED VINYL BACKDROPS

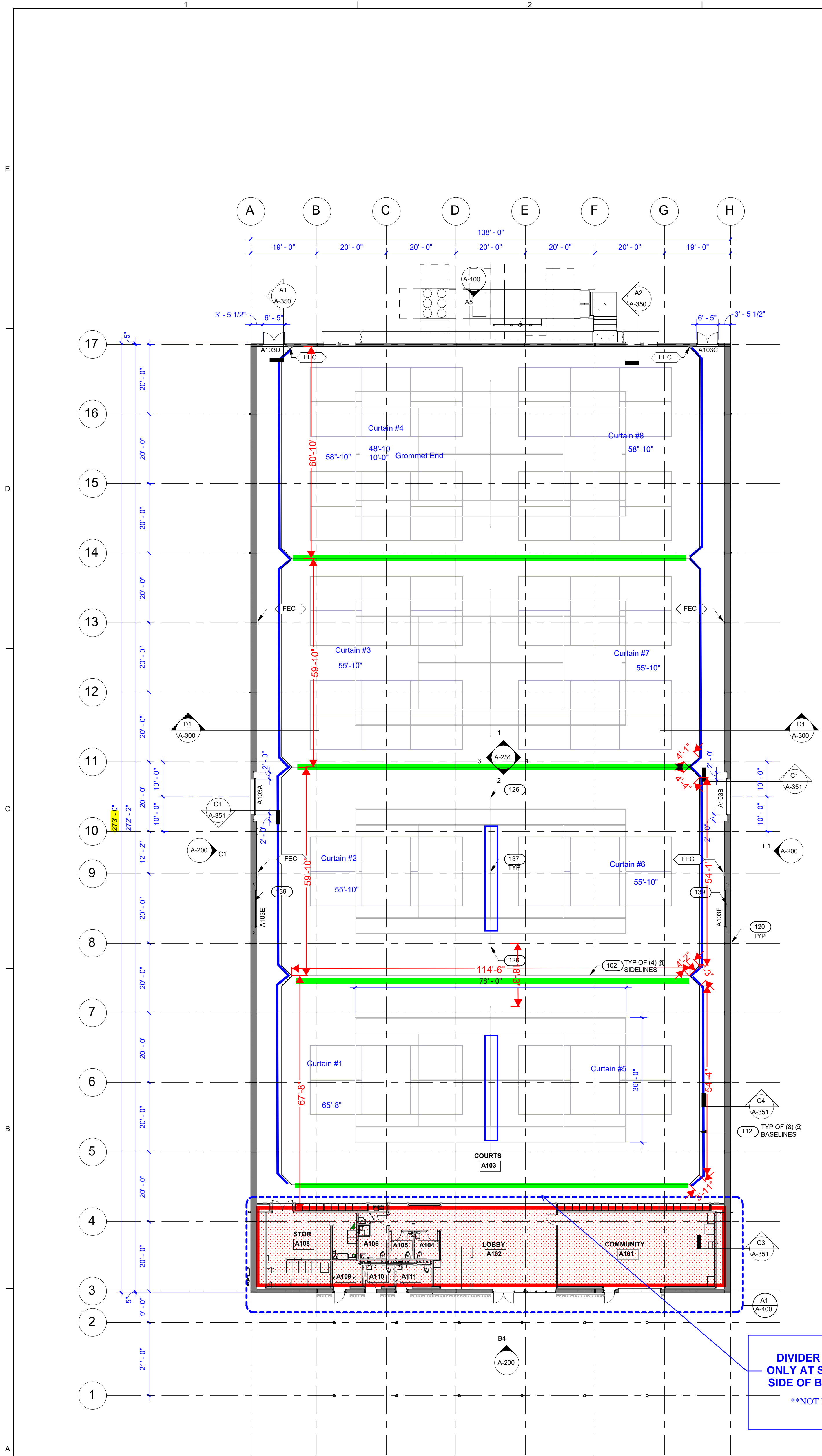


6' Wide "Door" Panels
That Match The Vinyl
Backdrops

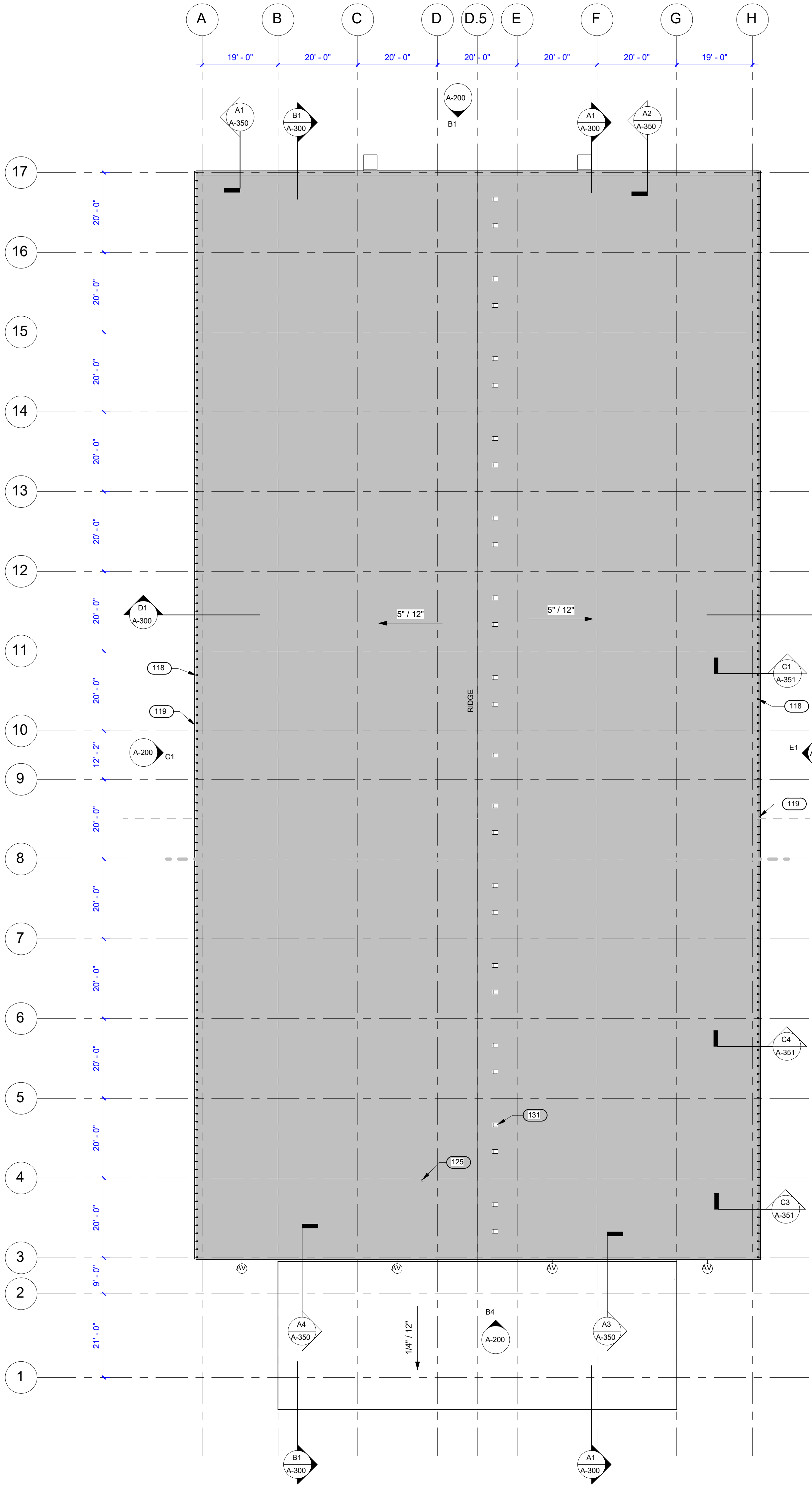


Example of Flap Door for Backdrop Curtain From Above - Looking Down





A1 LEVEL 1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



A3 ROOF - OVERALL PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTES - ROOF

- ARROWS INDICATE DIRECTION OF SLOPE.
- SEE MECHANICAL DWGS FOR MORE INFORMATION, EQUIPMENT & ROOF PENETRATIONS
- PROVIDE TAPERED INSULATION CRICKET AT ALL MECH EQUIPMENT
- SEE WALL SECTIONS FOR COPING AND EAVE INFORMATION.
- REQUIRED SOLAR ZONE PER WSEC C411 IS PROVIDED. MINIMUM AREA HAS BEEN CALCULATED THROUGH METHOD C411.2.2, 20% OF ELECTRICAL SERVICE SIZE - 33,216 SF.

ROOF LEGEND

■ xR1 PER TFB MFR - FABRIC COLOR: GRAY
□ xR2

CODED NOTES

NUMBER	DESCRIPTION
102	MESH DIVIDER CURTAIN, 10'-0" HIGH, COORDINATE PLACEMENT WITH COURT STRIPING LAYOUT.
112	SOLID VINYL BACKSTOP CURTAIN, 10'-0" HIGH, COORDINATE PLACEMENT WITH COURT STRIPING LAYOUT.
118	ICE BREAKERS @ EAVES PER TFB MFR
119	MTL GUTTER W/ HEAT TRACE, RE: ELEC
120	DOWNSPOUTS @ 40' MAX OC PER TFB MFR
125	PLUMBING VENT STACK, PER MECH COORDINATION LOCATION W/ TFB MFR AND BRACE TO STRUCTURE
126	TENNIS NET SLEEVE & STANDARD WITH FOOTING PER DETAIL A1/A-560, TYP @ (8) LOCATIONS. SEE STRIPING PLAN FOR PLACEMENT REQ'TS.
131	ROOF VENT PER TFB MFR, TYP
137	TENNIS NET CENTER STRAP ANCHOR AND FOOTING PER DETAIL B1/A-560, TYP @ (4) LOCATIONS. SEE FLOOR PLAN FOR PLACEMENT REQ'TS.
139	ALTERNATE NO. 1: PROVIDE OVERHEAD SECTIONAL DOOR WITH ROUGH-IN FOR FUTURE POWER OPERATOR.

ALSC ARCHITECTS

We bring our clients' stories to life.

203 N. Washington, Ste. 400
Spokane, WA 99201
509.838.8668
alscarchitects.com

LICENSED ARCHITECT
AR-984810

KIMBERLY A. PHELPS
STATE OF IDAHO

SANDPOINT

CITY OF SANDPOINT

TRAVERS PARK RECREATION CENTER

CONSTRUCTION DOCUMENTS

REV	DATE	DESCRIPTION
1	11/29/23	CONST DOCUMENTS

PROJ. NO. 2023-011
DRAWN RM
PROJ MNGR GS
DATE 11/29/23
© ALSA ARCHITECTS, P.S.

FLOOR & ROOF PLAN - OVERALL

A-110

REQUEST FOR PROPOSAL NO: 008B

Project Name: Travers Park Recreation Center

Owner: City of Sandpoint

Contractor: Ginno Construction Company

Job Number: 2023-011

Page 1 of _2_

TO: Ginno Construction Company, Contractor, please furnish your proposal for performing the changes outlined below and/or detailed on the attachments referred to:

Per owner's request, please make the following adjustments:

- ~~Court Layouts/Striping/Surfacing~~
 - ~~Layouts to be adjusted as shown on attached sheet.~~
 - ~~All Lines at Pickleball & Tennis Courts to be 2" wide, except for Tennis Court baselines to be 3" wide.~~
 - ~~Court surfacing to follow attached specifications.~~
 - ~~To ensure proper adhesion, follow the manufacturer's recommendation for the application process at asphalt and concrete.~~
- Back drop curtains, N/S Curtains:
 - Eliminate California corners as shown on attached sheet.
 - Vinyl curtains to be blue to match "Light blue" court color. Provide color samples to make selection.
 - Add 3'-6" x 7'-0" openings centered on south sideline of each tennis court. Provide a vinyl net "door" at opening; to be made of the same material as the vision panel described below. Overlap at 3" minimum at sides of opening. See revised plan attached.
 - Add vision panel continuously along backdrop vinyl curtains from 4'-6" AFF to 7'-0" AFF (align with top of opening. Mesh material to be vinyl coated polyester 11x11 mesh, or similar, minimizing visual access from tennis court to walking aisle. Color to match curtain; provide color samples for selection.
 - Bottom of vinyl backstops to sit on the ground. Avoid the draping/pooling on the floor.
 - Curtain cable to remain at 10'-0" and be supported at 20'-0" intervals.
 - Provide 8'-0" minimum wide section of back drop curtain to be drawn allowing movement of pickleball nets in and out of court areas.
 - Provide pricing for pulley (Split Bracket Pulley, 1 3/8").
 - Provide pricing for SS cable & Steel Carabiner.
- Divider Nets; E/W Nets:
 - Provide 13'-0" tall nets, attached to the cable to east and west walls @ 13'-0" AFF. Provide vertical cable supporting the tensioned cable at center.
 - Provide pricing stainless steel cable and aluminum carabiners.
 - Provide pricing to add Split Bracket Pulleys, 1 3/8".
 - Provide chain at bottom pocket of divider nets. Chain at bottom of divider nets to sit on ground.
 - Net to be bi-parting at center of each tennis courts; Net to open at southwest corner of south court (near the mechanical/storage room) to allow access to cleaning equipment.
 - Provide tie-back straps at divider nets to retain the curtain when open for pickleball play.
 - Provide (5) minimum carabiners at center opening at each divider net to hold nets closed.
 - Provide a modified tennis net between tennis net standards. Modified nets attach to standards with hook and loop bungee cord connection that can be removed/installed simply and stop pickleballs from rolling into the adjacent east/west courts. Net to be ±38" tall and ±17'-3" long, field verify size by what can fit between standards.

ALSC Architects, P.S.

By Gale Stanley

Date: 6/3/24

9-13-2024

PROPOSAL:

To the Owner: We propose to perform all changes described in the above request for a total ADDITION/DEDUCTION (cross out one) to the contract sum of:

Eight Thousand two hundred thirty three and 65/100 \$ \$8,233.65

(not including Sales Tax)

We have attached cost estimate detail sheets, and the foregoing amount covers all direct and indirect costs related to this proposal and to the effect of the proposal on the remainder of the project. All other provisions of the contract remain in full force and effect. We request the completion date be EXTENDED/REDUCED (cross one out) _____ calendar days because of this work. The Contractor agrees to be bound to this proposal quotation for sixty (60) days after this date.

Ginno Construction By Cory Quan Date 9.10.24
Contractor

RECOMMENDATION:

TO: Owner, we have examined the foregoing proposal and find it to be appropriate for the request. We recommend its acceptance.

ALSC Architects, P.S. By _____ Date: _____

PROPOSAL ACCEPTANCE:

Maeve and I just met and reviewed the PCO. Can you provide us a little more breakdown as follows: Provide a pricing for a credit for the gable net that will block balls from going over community room/lobby.

Provide a breakdown of the pricing for the add of the 3'-6"x7'-0" openings vs. the credit of the California corners.

Provide price for vision panels in "doors". What if they were solid?

Provide a breakdown for the vision panel costs. Is it possible to derive a linear ft cost? Is it half the cost if we only install half the length of vision panel?

Provide a breakdown of the stainless steel cable for both curtains and nets. Confirm the material that is currently in the bid for cable and the hardware.

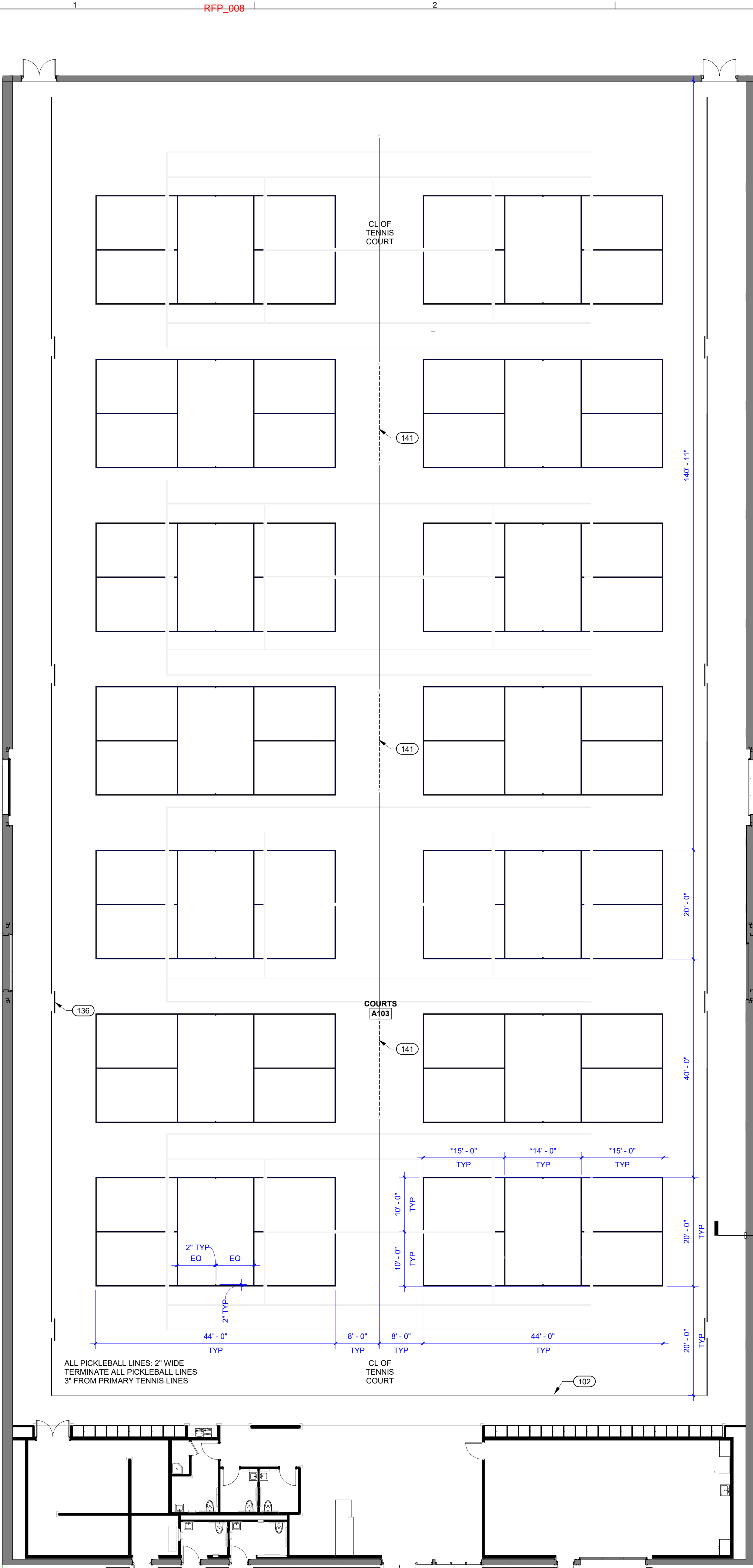
We will likely not accept the Tie-back straps nor the modified tennis nets. We also want to remove the steel cable, but may want to keep the stainless steel hardware at the nets, but not the curtains.

If you want to hop on a call with us and Dupree we can review and discuss further. Just let me know.

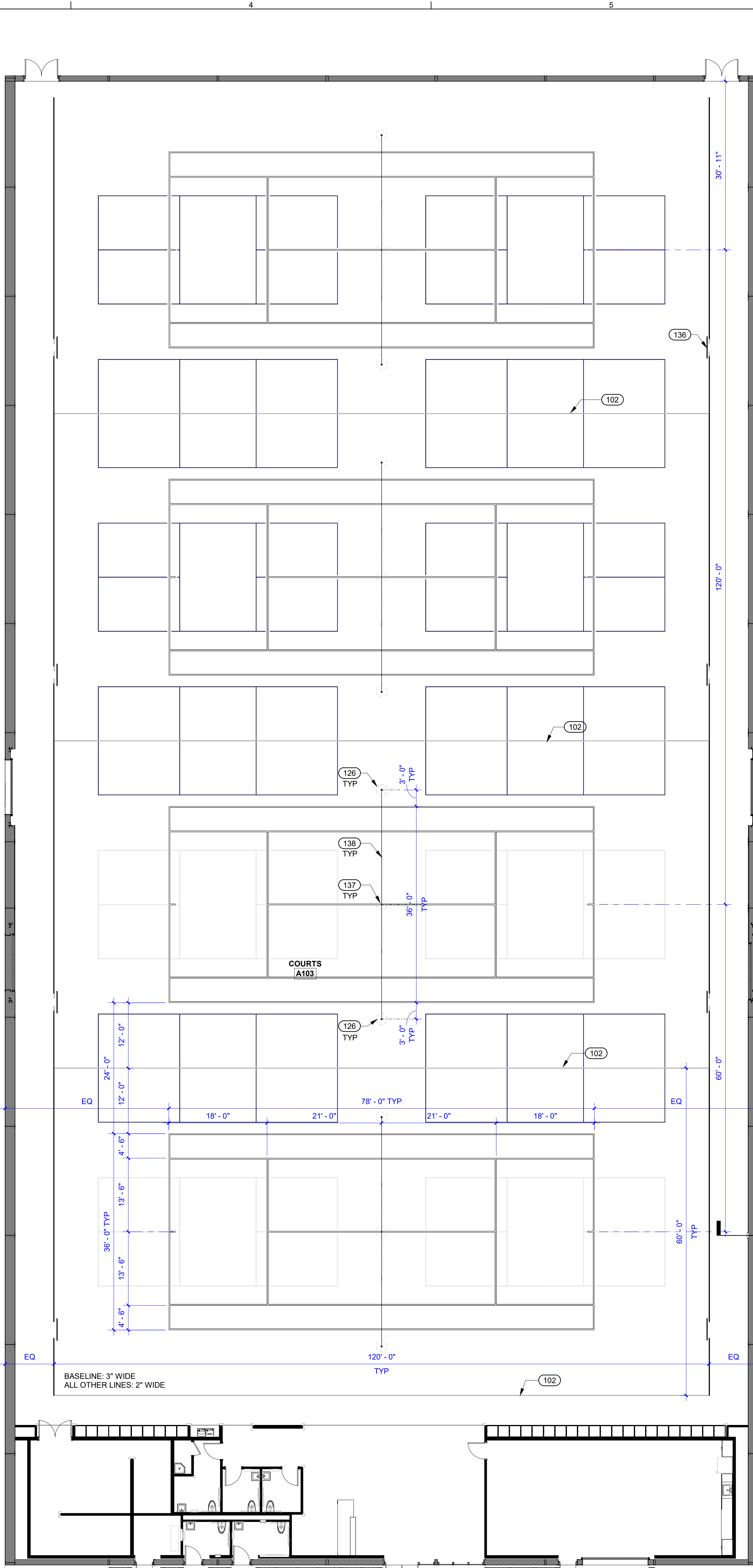
Thanks,

Jeff Slichter, AIA

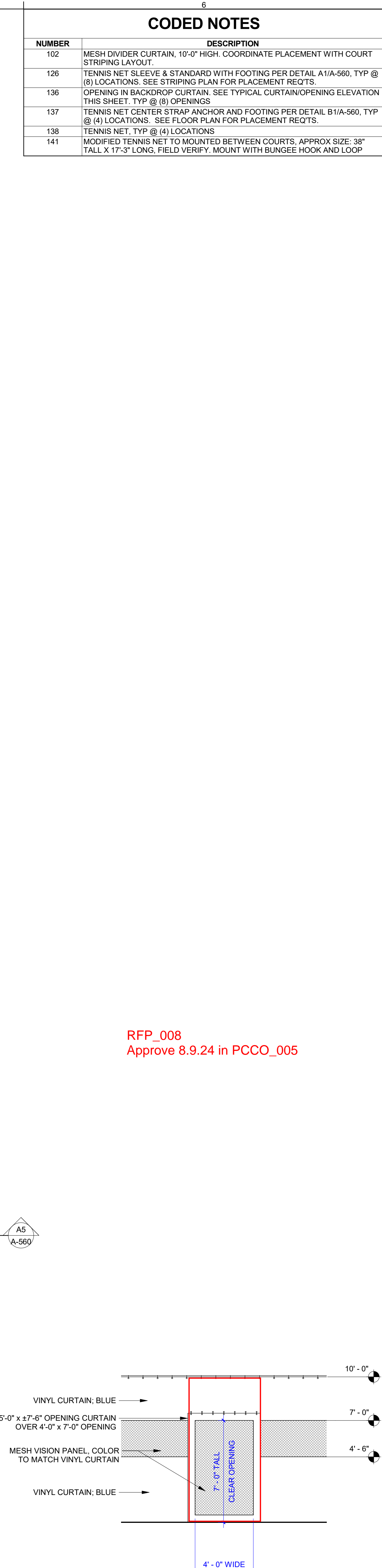
509.838.8568



1 FLOOR PLAN - PICKLEBALL COURT DIMENSIONS
SCALE: 3/32" = 1'-0"



2 FLOOR PLAN - TENNIS COURT DIMENSIONS
SCALE: 3/32" = 1'-0"



3 TYP CURTAIN/OPENING
SCALE: 1/4" = 1'-0"

CODED NOTES	
NUMBER	DESCRIPTION
102	MESH DIVIDER CURTAIN, 10'-0" HIGH. COORDINATE PLACEMENT WITH COURT STRIPING LAYOUT.
126	TENNIS NET SLEEVE & STANDARD WITH FOOTING PER DETAIL A1/A-560, TYP @ (8) LOCATIONS. SEE STRIPING PLAN FOR PLACEMENT REQ'TS.
136	OPENING IN BACKDROP CURTAIN. SEE TYPICAL CURTAIN/OPENING ELEVATION THIS SHEET. TYP @ (8) OPENINGS.
137	TENNIS NET CENTER STRAP ANCHOR AND FOOTING PER DETAIL B1/A-560, TYP @ (4) LOCATIONS. SEE FLOOR PLAN FOR PLACEMENT REQ'TS.
138	TENNIS NET, TYP @ (4) LOCATIONS.
141	MODIFIED TENNIS NET TO MOUNTED BETWEEN COURTS, APPROX SIZE: 38" TALL X 17'-3" LONG. FIELD VERIFY. MOUNT WITH BUNGEE HOOK AND LOOP.

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CITY OF SANDPOINT

TRAVERS PARK RECREATION CENTER

CONSTRUCTION DOCUMENTS

REV	DATE	DESCRIPTION
1	12/15/23	ADDENDUM 2

PROJ. NO. 2023-011
DRAWN RM/JTS
PROJ MNGR GS
DATE 11/29/23
© ALSC ARCHITECTS, P.S.

TYPICAL COURT CLEARANCE PLAN

A-150

SECTION 09 67 66**FLUID APPLIED ATHLETIC SURFACING****PART 1 - GENERAL****1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes:

- 1. Textured acrylic surfacing for asphalt tennis and court areas.

- B. Related requirements:

- 1. Section 11 66 23 "Gymnasium Equipment" for tennis net posts and sleeves.
 - 2. Section 11 66 53 "Gymnasium Dividers" for divider net and backstop curtains.
 - 3. Section 32 12 16.40 "Asphalt Paving for Indoor Tennis Courts" for asphalt floor surface.

1.3 REFERENCES:

- A. American Sports Builders Association (ASBA) Tennis Court Construction Guidelines Section I - General Guidelines, and Section II - Tennis Court Guidelines, and other applicable sections including but not limited to:

- 1. Standard Classification for Tennis Court Surfacing Systems
 - 2. Hot Mix Asphalt for Tennis Courts
 - 3. Acrylic Color Finish Systems for Tennis Courts

- B. USA Pickleball Association (USAPA) Rules of Pickleball

- C. National Asphalt Paving Association (NAPA)

- D. United States Tennis Association (USTA)

- E. International Tennis Federation (ITF)

1.4 PREINSTALLATION MEETING

- A. Preinstallation Conference: Conduct at project site.

1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.

- B. Samples for Initial Selection: For each type of material requiring color selection.
- C. Shop Drawings:
 - 1. Court layout plans and details, drawn to scale, and coordinated with floor inserts, divider, and backstop curtains.

1.6 QUALITY ASSURANCE

- A. All surface coatings shall be supplied by a single manufacturer.
 - 1. The contractor shall record the batch number of each product used on the site and maintain it through the warranty period.
 - 2. The contractor shall provide the inspector, upon request, an estimate of the volume of each product to be used on the site.
- B. Contractor Qualifications:
 - 1. The Contractor shall be an authorized applicator of the specified system.
 - 2. The Contractor shall provide the inspector, upon request, an estimate of the volume of each product to be used on the site.
 - 3. The Contractor must be experienced in installation of tennis court surfacing with personnel, facilities and equipment adequate for the work specified.
- C. Surface shall conform to the guidelines of the ASBA for planarity. Testing shall be done under the supervision of the Contractor and in accordance with the contract documents. Refer to paragraph 3.02 this section for water testing.

1.7 SUBMITTALS INFORMATIONAL: The Contractor shall submit to the Architect and Owner's representative, materials containing the following information:

- A. General:
 - 1. Authorized Applicator certificate from the surface system manufacturer.
 - 2. Reference list from the installer of at least five (5) projects of similar scope done in the past three (3) years. Contractor to have installed a minimum of five (5) multi-court (no less than four adjoining courts). The list shall include dates, dollar value of Contractor's work, location, and project owner with current contact information.
 - 3. Provide documentation that the system to be installed has been classified as a medium pace surface.
 - 4. Procedures to be used in the construction of Tennis Court(s) with regard to the division of labor and responsibility of the Contractor and all sub-contractors involved.
 - 5. Materials to be used, color chart and the proposed method of application and procedures to be followed.
 - a. Manufacturers Material Safety Data Sheets (MSDS) for all coatings and Paints, prior to their delivery to the site.
 - b. Manufacturers recommended methods of installation for all coatings and paints, for approval prior to the commencement of the work.
 - 6. ITF classification certificate for the system to be installed.

- B. Operations and Maintenance Manual: The Contractor shall provide the Architect with a complete typewritten set of maintenance and repair procedures on 8-1/2" x 11" heavy weight plastic coated sheets. Furnish minimum of two hard copies and one electronic copy in pdf form.
- C. The manufacturer's representative shall be available to help resolve material questions.

1.8 EXTRA STOCK:

- A. At the Project Close Out, prior to Physical Completion the Contractor shall provide the following:
 - 1. A one (1) gallon container, premixed with texture sand (Sealed), for each color, obtained on site.
 - 2. Product information, including MSDS per requirements for the Operation and Maintenance Manual.
 - 3. Label each container with the color, project location, and date. The container shall also display the manufacture and their contact information.

1.9 WARRANTY

- A. Provide a guarantee against defects in the materials and workmanship for a period of one year from the date of substantial completion.

PART 2 - PRODUCTS

2.1 TENNIS COURT SURFACING, GENERAL

- A. Basis of Design: SportMaster Sport Surfaces: PO Box 2277, 2520 South Campbell Street, Sandusky, Ohio 44870. Toll Free 800-326-1994. Fax 877-825-9226. Website www.sportmaster.net. E-mail moreinfo@sportmaster.net.

- 1. All other brands must be pre-approved by the Architect/Owner.

- B. Court Colors:

- 1. Field Color - Area surrounding courts and interior court color: Color to be Light Blue, selected and Approved by Owner from manufacturer's standard color palette.
- 2. Striping Color:
 - a. Tennis Court Striping: Color to be White, selected and approved by Owner from manufacturer's standard color palette.
 - b. Pickleball Court Striping: Color to be Ice Blue, selected and approved by Owner from manufacturer's standard color palette.
 - c. Tennis Court Striping to be prioritized at areas of overlap. Pickleball court lines (secondary lines) shall terminate 3" from tennis court lines (priority lines).

9-13-2024

2.2 MATERIALS:

- A. Asphalt Court Surface Color Coating System: (Basis of Design) PickleMaster Surfacing System by SportMaster Sport Surfaces
 - 1. Finished Surface shall have a Tennis (USTA) speed rating of Medium, ie: (3).

- B. Crack Sealant: (Basis of Design) SportMaster “Crack Magic”.
1. 100 percent acrylic emulsion elastomeric crack sealant.
 2. Seals cracks up to 1/2 inch wide in asphalt pavement.
 3. Weight per Gallon at 77 Degrees F: 8.8 lbs., plus or minus 0.5 lbs.
 4. Non-Volatile Material: 61 percent, plus or minus 5 percent.
 5. Color: [Neutral].
- C. Crack Filler: (Basis of Design) SportMaster “Acrylic Crack Patch”.
1. 100 percent acrylic emulsion trowel-grade crack filler.
 2. Fills cracks in asphalt pavement up to 1 inch wide.
 3. Chemical Characteristics, by Weight, Minimum:
 - a. Acrylic Emulsion: 10.0 percent.
 - b. Hiding Pigment: 0.2 percent.
 - c. Mineral Inert Fillers: 78.0 percent.
 - d. Film Formers, Additives: 1.8 percent.
 - e. Water: 8.5 percent.
 4. Weight per Gallon at 77 Degrees F: 15.2 lbs., plus or minus 1.0 lbs.
 5. Non-Volatile Material: 80 percent, plus or minus 5 percent.
 6. Color: [Neutral].
- D. Patch Binder: (Basis of Design) SportMaster “Acrylic Patch Binder”.
1. 100 percent acrylic emulsion liquid binder.
 2. Mix on-site with sand and cement.
 3. Levels and repairs low spots and depressions up to 3/4 inch deep in asphalt pavement.
 4. Fills Cracks in Asphalt up to 1” in width.
 5. Weight per Gallon at 77 Degrees F: 8.8 lbs., plus or minus 0.5 lbs.
- E. Adhesion Promoter: (Basis of Design) SportMaster “Acrylic Adhesion Promoter”.
1. Acrylic emulsion primer.
 2. Primes concrete surface and promotes adhesion of color coating system materials.
 3. Weight per Gallon at 77 Degrees F: 8.7 lbs., plus or minus 0.5 lbs.
- F. Filler Course: (Basis of Design) SportMaster “Acrylic Resurfacer”.
1. 100 percent acrylic emulsion resurfacer.
 2. Mix on-site with silica sand.
 3. Apply to asphalt surfaces or previously colored acrylic surfaces in preparation of color coating system.
 4. Chemical Characteristics, by Weight, Minimum:
 - a. Acrylic Emulsion: 44.0 percent.
 - b. Hiding Pigment: 2.0 percent.
 - c. Mineral Inert Fillers: 5.0 percent.
 - d. Film Formers, Additives: 0.2 percent.
 - e. Water: 45.0 percent.
 5. Weight per Gallon at 77 Degrees F: 8.5 lbs., plus or minus 0.5 lbs.
 6. Non-Volatile Material: 27.5 percent, plus or minus 5.0 percent.
 7. Color: [Black].

- G. Color Coating: (Basis of Design) SportMaster "PickleMaster".
 - 1. 100% acrylic emulsion fortified with specialty aggregate for non-aggressive texture
 - 2. Mix on-site with ColorPlus Pigment and water.
 - 3. Specialized coating system for court surfaces.
 - 4. Weight per Gallon at 77 Degrees F: 12 lbs., plus or minus 0.5 lbs.
 - 5. Colors: Light Blue

- H. Line Markings Primer: (Basis of Design) SportMaster "Stripe-Rite".
 - 1. 100 percent acrylic emulsion primer, clear drying.
 - 2. Primes line markings and prevents bleed-under for sharp lines.
 - 3. Chemical Characteristics, by Weight, Nominal:
 - a. Acrylic Emulsion: 38.0 percent.
 - b. Hiding Pigment: 0.0 percent.
 - c. Mineral Inert Fillers: 7.0 percent.
 - d. Film Formers, Additives: 1.5 percent.
 - e. Water: 50.0 percent.
 - 4. Weight per Gallon at 77 Degrees F: 8.9 lbs., plus or minus 0.5 lbs.
 - 5. Non-Volatile Material: 29 percent, plus or minus 5 percent.

- I. Line Paint: (Basis of Design) SportMaster "Textured Line Paint".
 - 1. Pigmented, 100 percent acrylic emulsion line paint.
 - 2. Line marking on asphalt courts.
 - 3. Chemical Characteristics, by Weight, Nominal:
 - a. Acrylic Emulsion: 25.89 percent.
 - b. Pigment: 14.90 percent.
 - c. Mineral Inert Fillers: 13.12 percent.
 - d. Additives: 4.73 percent.
 - e. Water: 41.36 percent.
 - 4. Weight per Gallon at 77 Degrees F: 10.65 lbs., plus or minus 0.75 lbs.
 - 5. Non-Volatile Material: 45.17 percent, plus or minus 5 percent.
 - 6. Color: White at Tennis Courts; Ice Blue at Pickleball Courts.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine asphalt court surfaces to receive color coating system.
- B. Verify asphalt courts meet ASBA & USTA requirements.
- C. Notify Architect of conditions that would adversely affect application or subsequent use.
- D. Do not begin surface preparation or application until unacceptable conditions are corrected.

3.2 SURFACE PREPARATION

- A. Protection of In-Place Conditions: Protect adjacent surfaces and landscaping from contact with asphalt court surface color coating system.
- B. Prepare surfaces in accordance with manufacturer's instructions.
- C. Cure new asphalt surfaces a minimum of 30 days before application of asphalt court surface color coating system. Note: This will match the acrylic to concrete application.
- D. Remove dirt, dust, debris, oil, grease, vegetation, loose materials, and other surface contaminants which could adversely affect application of asphalt court surface color coating system. Pressure wash entire surface. Remove pressure wash residual water immediately after application to minimize absorption.
- E. Repair cracks, depressions, and surface defects in accordance with manufacturer's instructions before application of filler course and color coating.
- F. Level depressions 1/8 inch and deeper with patch binder in accordance with manufacturer's instructions.
- G. Apply 2 coats of filler course as required by surface roughness and porosity to provide smooth underlayment for application of color coating. Standard with new asphalt surface.
- H. Ensure surface repairs are flush and smooth to adjoining surfaces.
- I. New Concrete:
 - 1. Cure new concrete surfaces a minimum of 28 days before application of concrete court surface color coating system.
 - 2. Provide medium broom finish or similar roughened texture.
 - 3. Do not steel trowel finish.
 - 4. Acid etch surface per manufacturers specifications, then rinse thoroughly.
 - 5. Apply adhesion promoter over entire concrete surface in accordance with manufacturer's instructions.

3.3 APPLICATION

- A. Apply asphalt court surface color coating system in accordance with manufacturer's instructions at locations indicated on the Drawings.
- B. Mix materials in accordance with manufacturer's instructions.
- C. Apply Filler Course and Color Coating with a 50-60 durometer, soft rubber squeegee.
- D. Filler Course:
 - 1. Apply 2 coats on new asphalt or existing acrylic surfaces with extensive cracks or low spot repair.
- E. Color Coating: Apply a minimum of 2 coats of color coating to prepared surfaces in accordance with manufacturer's instructions.
- F. Allow material drying times in accordance with manufacturer's instructions before applying other materials or opening completed surface to foot traffic.

3.4 LINE MARKINGS

- A. Lay out court line markings in accordance with USAPA Rules of Pickleball and USTA Rules of Tennis.
- B. Apply line markings primer, after masking tape has been laid, to seal voids between masking tape and court surface to prevent bleed-under when line paint is applied.
- C. Apply a minimum of 1 coat of line paint in accordance with manufacturer's instructions.

3.5 PROTECTION

- A. Allow a minimum of 24 hours curing time before opening courts for play.
- B. Protect applied asphalt court surface color coating system to ensure that, except for normal weathering, coating system will be without damage or deterioration at time of Substantial Completion.
- C. Repair any inconsistencies to finished surface occurring during construction prior to final acceptance.

END OF SECTION 09 67 66

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Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #035: CE #059 - RFP_012 - Audio/Paging

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	035 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	7/17 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	#007 - Netting & Curtains - Audio/Paging Credit
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #059 - RFP_012 - Audio/Paging

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #059 - RFP_012 - Audio/Paging System

RFP_012 - Audio/Paging System

- Deduct: \$50,000 allowance for Paging System
- Deduct: \$20,000 allowance for Audio/Visual Raceway System
- Add: \$13,568 for Pathways and Boxes in walls for paging, speaker and audio system for future use

ATTACHMENTS:

[RFP 012.pdf](#)

#	Cost Code	Description	Type	Amount
1	26-1000 - Electrical	RFP_012 - Audio/Paging System	SUBCONTRACT	\$ 13,568.00
2	26-1000 - Electrical	A/V System Allowance	SUBCONTRACT	(\$20,000.00)
3	26-1000 - Electrical	Paging System Allowance	SUBCONTRACT	(\$50,000.00)
4	55-1000 - Contingency	Transfer to Contingency	Schedule of Values	\$ 56,432.00
Subtotal:				\$0.00
Grand Total:				\$0.00



Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE DATE

Jason Welker 09/13/2024
SIGNATURE DATE

SIGNATURE DATE



Change Order Proposal

From:	Summit Electric LLC PO Box 3187 Post Falls, ID 83877			509-922-3187
Date:	<u>9/9/24</u>			
Customer:	<u>Ginno Construction</u> <u>3893 N Schreiber Way</u> <u>Coeur d'Alene, ID 83815</u>	Project:	<u>Travers Park</u> <u>2016 Pine Street</u> <u>Sanpoint, ID 83864</u>	
Phone:	<u>208-667-5560</u>	Contract #:	<u>2310-SUMM</u>	
Fax:	<u></u>	COP#	<u>7</u>	

It is hereby agreed the changes and additions in the Scope of Work noted below shall constitute an Extra to the contract in the amount noted on this form.

The sum shall be added to the original value of the above numbered contract.

Change Order Description:
RFP-012

Scope of Work:	<u>Deduct \$50,000.00 allowance for Paging System</u>
	<u>Deduct \$20,000.00 allowance for A/V Systems pathways and boxes</u>
	<u>Add \$13,568.00 for pathways and boxes in walls for A/V system for future use</u>

Price of Above Work: (\$56,432.00)

The above price includes all applicable taxes: Yes

All work performed hereunder shall be in accordance with the terms and conditions of the base contract in effect as to the day of this proposal.

Customer Signature

Signature	<u>Jason Welker</u>
Name	<u>Jason Welker</u>
Title	<u>Community Planning & Development Director</u>

Summit Electric Signature

Signature	<u></u>
Name	<u>Dan Gonzalez</u>
Title	<u>Estimator/Project Manager</u>



SPOKANE

203 N Washington

Suite 400

Spokane, WA

99201

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alscarchitects.com

REQUEST FOR PROPOSAL NO: 012

Project Name: Travers Park Recreation Center

Owner: City of Sandpoint

Contractor: Ginno Construction Company

Job Number: 2023-011

Page 1 of _1_

TO: Ginno Construction Company, Contractor, please furnish your proposal for performing the changes outlined below and/or detailed on the attachments referred to:

Provide pathways and boxes in walls for paging, speaker, and audio system. Provide credit for remaining allowance.

ALSC Architects, P.S.

By Gale Stanley

Date: 7/16/24

PROPOSAL:

To the Owner: We propose to perform all changes described in the above request for a total ~~ADDITION~~/DEDUCTION (cross out one) to the contract sum of:

Fifty six thousand four hundred thirty two and 00/100

\$ 56,432.00

(not including Sales Tax)

We have attached cost estimate detail sheets, and the foregoing amount covers all direct and indirect costs related to this proposal and to the effect of the proposal on the remainder of the project. All other provisions of the contract remain in full force and effect. We request the completion date be EXTENDED/REDUCED (cross one out) _____ calendar days because of this work. The Contractor agrees to be bound to this proposal quotation for sixty (60) days after this date.

Summit Electric

By Dan Gonzalez

Date 7/29/2024

Contractor

RECOMMENDATION:

TO: Owner, we have examined the foregoing proposal and find it to be appropriate for the request. We recommend its acceptance.

ALSC Architects, P.S.

By _____

Date: _____

PROPOSAL ACCEPTANCE:

The Owner hereby accepts the foregoing proposal. This instrument, when signed below, constitutes the conditions upon which a Change Order will be issued.

Jason Welker
Owner

By Jason Welker

Date 09/13/2024

SECTION 28 05 28

AUDIO-VISUAL SYSTEM RACEWAY

PART 1 - GENERAL

1.1 DESCRIPTION

- A. A/V system design is by others. The contractor shall carry an allowance of \$20,000 to provide a complete raceway system for the A/V system.
- B. Provision of all grounding, line and low voltage conduit, boxes, sleeves, shelves, materials, backboards, labor, all items of a miscellaneous nature required for a complete raceway system are included as part of the work of this section. Provide blank cover plates for all installed junction boxes and outlet back boxes.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. All cabling shall be installed in a raceway using EMT where exposed and PVC below slab. Refer to 26 05 30 for additional details regarding allowable usage of raceway types.
 - 1. Cabling may be installed without a raceway, when concealed AND accessible. Where cable is installed without a raceway it shall be provided with appropriate hangers as necessary to support cable adequately and independently.
- B. Metallic conduit shall be standard electrical steel conduit, galvanized inside and outside and shall be as manufactured by:
 - 1. Allied Tube and Conduit
 - 2. Wheatland Tube
 - 3. Republic Conduit
 - 4. Western Tube and Conduit
 - 5. Or equivalent acceptable to the Owner
- C. Conduit sweeps shall be of similar construction to the conduit and shall be long radius.
- D. Fittings for steel conduit shall be galvanized or cadmium plated steel and shall be threaded. Locknuts and bushings shall be steel or malleable iron. Bushings shall be furnished with nylon insulated throats.
- E. Boxes shall galvanize, not smaller than 4-inch square, shall accommodate the devices to be installed and shall be sized as required by the applicable codes for number and size of conduits and conductors entering and leaving. Provide a single gang ring and a blank trim plate on each box. Round or octagon boxes shall not be used unless specifically called for in the documents.
- F. Provide a grounding electrode at each A/V equipment backboard and connect to the closest grounding bus with a #6AWG copper grounding conductor in ¾ inch steel conduit and an approved grounding clamp. Ground conductors shall be insulated and color-coded green.
- G. Plywood backboards shall be a minimum ¾ inch thick and shall be finished with fire retardant coating and one finish coat of interior paint.



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560

Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #041: CE #028 - ASI-002 - Credit for Deleting SH-1 Shower

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	041 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	8/12 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #028 - ASI-002 - Credit for Deleting SH-1 Shower

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #028 - ASI-002 - VE Efforts
ASI-002 - VE Efforts

ATTACHMENTS:

[SKM_C451i24081210400 \(1\).pdf](#) [_Delete Shower Overlay.pdf](#) [_ASI-002_Combined.pdf](#)

#	Cost Code	Description	Type	Amount
1	22-1000 - Plumbing	Deduct: SH-1 and associated 2" FD-1. Delete 1/2" HW, 1/2" CW, 2" Waste and 2" Vent Branches back to nearest main.	SUBCONTRACT	(\$2,634.41)
2	55-1000 - Contingency	Add: to Contingency Fund	Schedule of Values	\$ 2,634.41
Subtotal:				\$0.00
Grand Total:				\$0.00

Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE



- PLUMBING
- HEATING
- BUILDING SOLUTIONS
- DESIGN BUILD SPECIALIST

Change order proposal

To: Ginno construction

Attn: Cory Quan

Job Name: Travers Park

Re: This deductive change order is for deleting the sh-1 shower.

Labor hrs.4 @ 78.00	(\$312.00)
Shower/materials	(\$2,322.41)
Subtotal	(\$2,634.41)
Total	<u>(\$2,634.41)</u>

Call me if you have any questions.

Mike Wirth
Project Manager



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #033: CE #056 - RFP_011 - Canopy Revisions

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	033 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	7/3 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #056 - RFP_011 - Canopy Revisions

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #056 - RFP_011 - Canopy Revisions

RFP_011 - Canopy Revisions

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	06-1000 - Rough Carpentry	Deduct for Lumber	MATERIAL	(\$29,000.00)
2	06-1000 - Rough Carpentry		MATERIAL	\$ 17,500.00
3	09-9100 - Painting	Fire Suppression	SUBCONTRACT	\$ 9,626.44
4	21-1000 - Water Based Fire Suppression	Deduct: Fire Sprinklers no longer needed	SUBCONTRACT	(\$5,395.00)
5	07-5000 - Membrane Roofing	Fascia Metal	SUBCONTRACT	\$ 6,800.00
6	07-5000 - Membrane Roofing	5" K-style gutters and (2) Downspouts	SUBCONTRACT	\$ 4,500.00
7	09-9100 - Painting	Credit: Clear Coat no longer required	SUBCONTRACT	(\$3,494.10)
8	26-1000 - Electrical	Provide Pathways and Boxes for Canopy Speakers	SUBCONTRACT	\$ 1,350.00
9	26-1000 - Electrical	Credit for light fixture less: 50% restocking fee	SUBCONTRACT	(\$3,351.00)
10	55-1000 - Contingency	Add to Contingency Balance	Schedule of Values	\$ 1,463.66
Subtotal:				\$0.00
Grand Total:				\$0.00



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Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

 10-18-2024
SIGNATURE DATE

 10-18-2024
SIGNATURE DATE

SIGNATURE DATE

RE: Travers - SPI Fixtures Type V

From Dan Gonzalez <Dan@summitelectricnw.com>
Date Thu 10/10/2024 1:12 PM
To Cory Quan <cory@ginnoconstruction.com>
Cc Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>

Cory,
Finally got a reply.
The factory is willing to take it back with a 50% restocking fee and we would be responsible for shipping fees.
Credit of \$3,351.00.
We can also install it if they want us to.
Let us know.
Thanks,

Dan Gonzalez
Summit Electric LLC
509.922.3187



From: Cory Quan <cory@ginnoconstruction.com>
Sent: Wednesday, October 9, 2024 2:22 PM
To: Dan Gonzalez <Dan@summitelectricnw.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: Re: Travers - SPI Fixtures Type V

If this item is not returnable for a credit the owner was wondering how much more to just have installed as it was originally planned?



Cory Quan (Phillips)
Ginno Construction Co. | Project Manager
Cell: 509.362.5853 | Office: 208.667.5560
3893 N. Schreiber Way | Coeur d'Alene, ID 83815
www.ginnoconstruction.com

From: Dan Gonzalez <Dan@summitelectricnw.com>
Sent: Tuesday, October 8, 2024 6:12 AM
To: Cory Quan <cory@ginnoconstruction.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: RE: Travers - SPI Fixtures Type V

Let me ping our distributor
Thanks,

Dan Gonzalez
Summit Electric LLC
509.922.3187



From: Cory Quan <cory@ginnoconstruction.com>
Sent: Monday, October 7, 2024 4:44 PM
To: Dan Gonzalez <Dan@summitelectricnw.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: Re: Travers - SPI Fixtures Type V

I don't suppose any update on this Dan? Just curious. I'm trying to discuss with owner tomorrow

Thanks!



Cory Quan (Phillips)
Ginno Construction Co. | Project Manager
Cell: 509.362.5853 | Office: 208.667.5560
3893 N. Schreiber Way | Coeur d'Alene, ID 83815
www.ginnoconstruction.com

From: Dan Gonzalez <Dan@summitelectricnw.com>
Sent: Thursday, September 12, 2024 9:46 AM
To: Cory Quan <cory@ginnoconstruction.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: RE: Travers - SPI Fixtures Type V

Checking again, I'll let you know.
Thanks,

Dan Gonzalez
Summit Electric LLC
509.922.3187



From: Cory Quan <cory@ginnoconstruction.com>
Sent: Wednesday, September 11, 2024 1:54 PM
To: Dan Gonzalez <Dan@summitelectricnw.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: Re: Travers - SPI Fixtures Type V

Any update here Dan?

Get [Outlook for iOS](#)

From: Cory Quan <cory@ginnoconstruction.com>
Sent: Wednesday, September 4, 2024 3:33:30 PM
To: Dan Gonzalez <Dan@summitelectricnw.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: Re: Travers - SPI Fixtures Type V

Dan, give me a ring when you get a moment. What is value of those fixtures out of curiosity? I Have a couple thoughts on this

Thanks!



Cory Quan (Phillips)
Ginno Construction Co. | Project Manager
Cell: 509.362.5853 | Office: 208.667.5560
3893 N. Schreiber Way | Coeur d'Alene, ID 83815
www.ginnoconstruction.com

From: Dan Gonzalez <Dan@summitelectricnw.com>
Sent: Tuesday, September 3, 2024 8:29 AM
To: Cory Quan <cory@ginnoconstruction.com>
Cc: Isaiah Yandt <isaiah@ginnoconstruction.com>; Tim Yount <Tim@summitelectricnw.com>; Todd Gropp <Todd@summitelectricnw.com>
Subject: FW: Travers - SPI Fixtures Type V

Cory,

Please see below regarding fixture type V for the building sing we wanted deleted and cancelled. We were asked to let the Mfr. know as they did not want to hold it past endo of August, I sent the cancellation request August 22 but they ended up shipping it.

Unfortunately they will not be providing a credit.

Please let us know what to do with the fixture, we would normally hand it over to the customer.

Thanks,

Dan Gonzalez
Summit Electric LLC
509.922.3187



From: Craig, Jamie <JCraig@wescodist.com>
Sent: Thursday, August 29, 2024 3:46 PM
To: Dan Gonzalez <Dan@summitelectricnw.com>
Cc: Date, Kimberly <kdate@wesco.com>
Subject: Travers - SPI Fixtures Type V

Can you call me so we can talk about this. What I know is that these fixtures were near the end of being produced and when we asked for them to be cancelled they said yes but with a fee. But by the time we got back to them to cancel the order they had already shipped. The factory will not take these back and I have been going back and forth with Doug Wright on how to correct it. Doug wanted me to ask you if there was any possible way to tell the customer that by the time we were notified to cancel them , that it was to late and is there any way that they could use them on the job ?



Jamie Craig
Senior Sales Rep
Wesco | Anixter

PLEASE NOTE OUR NEW ADDRESS!

o. 509-456-7501 | m. 509-990-4834 | jcraig@Wesco.com
111 N. Haven St., Spokane, WA 99202

10/10/2024



Outlook

Additional Canopy Materials

From Isaiah Yandt <isaiah@ginnoconstruction.com>

Date Tue 9/24/2024 9:50 PM

To Cory Quan <cory@ginnoconstruction.com>

Hi Cory,

See the material list below with pricing that I said I'd send to you later today. We can discuss any clarification tomorrow as needed.

Option 1. 120 Sheets 1/2"x4x8 Fire treated plywood \$45.84 ea. With tax = \$5831 (recommended)

Option 2. 120 Sheets 7/16" x4x8 OSB \$21.41 ea. With tax = \$2724, but would require apx 62 gallons of fire treatment for additional \$4000 plus labor to apply

Hangers, nuts washers, fasteners \$2000

Fire treatment product for framing lumber 55 gallon drum \$3300 (does not include any of Ginno labor to apply)

Fire treatment product for soffit material 82 gallons \$5400 (no labor to apply)

Option 1. \$5831 + Hardware \$2000 + Fire Treatment Lumber \$3300 + Fire Treatment Soffit \$5400 = Total
\$16531

Thank you.



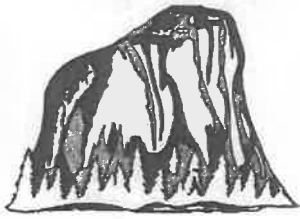
Isaiah Yandt

Ginno Construction Co. | *Project Superintendent*

Cell: 208.676.6696 | Office: 208.667.5560

3893 N. Schreiber Way | Coeur d'Alene, ID 83815

www.ginnoconstruction.com



GRANITE ENTERPRISES, INC.

☺ Family Owned and Operated

P.O. Box 505, Rathdrum, ID 83858
Ph: (208) 687-4277; Fx: (208) 687-3907

ID RCE-375 WA GRANIEI066JA IDPW 13095-B-4(07400,07700) Carlisle Certified Installer

CHANGE ORDER

Submitted To: Ginno Construction
Mailing Address:
City/State/Zip :
Contact: Cory Quan

Ph/Cell:
Fax: cory@ginnoconstruction.com
Description: black 5" K gutters/24 gauge black fascia
Job Site: Travers Park

WE HEREBY PROPOSE

DATE: 9/24/24

Bid based on entry canopy roof only

Supply and install black 5-inch steel K style gutters

1. 2 drops included with standard downspout

Gutters \$4,500.00

Supply and install 24-gauge western states matte black fascia metal

Fascia \$6,800.00

Base Bid: \$11,300.00

☒ includes

☐ does not include sales tax on materials.

Alternates: NA

EXCLUSIONS: Nailers, wood furring and/or framing
Masonry flashings
Ice and/or snow removal, temporary heat, tenting and utilities
Ice Dam removal / Ice Dams are not covered under any warranty

BY USING OUR PROPOSAL, YOU AGREE TO THE FOLLOWING TERMS AND CONDITIONS AS PART OF ANY SUBCONTRACT:

- This proposal is good for fifteen (15) days. If a subcontract is issued and/or executed later than 15 days, Contractor agrees to pay Granite Enterprises for any increase in material costs.
- Interest rate on late payments will be charged at 12% per annum.
- The scope of work shall include only the work set forth in this Proposal whether or not this Proposal is attached to the Subcontract. Any conflicts between the description of work in the Subcontract and this Proposal, shall be resolved in favor of this Proposal.
- Contractor warrants the sufficiency, accuracy, and completeness of the plans and specifications. This proposal quotes work that is shown on the plans and specifications only. Granite Enterprises is not responsible for costs of work caused by improper scaling, missing or incorrect details, or work or materials not specifically shown on the plans.
- This proposal is subject to mutual approval of final construction schedule where work phasing will allow all activities proposed herein to be performed continuously and substantially without interruption caused by Owner or Prime Contractor.
- Contractor is to give Granite Enterprises 30 days advanced notice of the date Granite is required to begin its work.

- Conflicts between requirements in the contract documents and those of the approved manufacturer shall be resolved in favor of approved manufacturer's standard system requirements.
- Contractor to provide secured lay down area for materials. Granite Enterprises is not responsible for materials stolen from the jobsite.
- Contractor to ensure adequate roof access around building for loading of all materials.
- No back charge or claim of Contractor shall be valid unless Granite Enterprises has been given advanced written notice and reasonable time has been provided to correct any deficiency. Contractor may reject the Subcontract Work only for demonstrated non-compliance with the contract documents provided to Granite Enterprises and only if so, stated by the Architect/Engineer.
- Granite Enterprises will not be liable for any consequential damages.
- Granite Enterprises will not agree to any payment clause which puts the risk of the Owner's non-payment to Contractor on Granite Enterprises or which makes Owner's payment to Contractor a condition precedent to Contractor's obligation to make payment to Granite Enterprises, except when Granite Enterprises' work is the reason for non-payment. Granite Enterprises may suspend performance of its work if it is not timely paid.
- All disputes to be resolved by litigation and the substantially prevailing party shall be entitled to an award of its attorney fees and costs.
- All material is guaranteed to be as specified by the manufacturer. All work will be completed in a good and workmanlike manner. No warranty on blow offs unless improperly fastened. **Except as otherwise provided, there are no warranties or obligations either expressed or implied, and all such warranties are excluded including the implied warranty of fitness for a particular purpose and the warranty of merchantability.**

We appreciate the opportunity to be of service to you. Feel free to contact us with any questions you may have.

Please go to our web site to learn more about us **www.graniteroofing.com**



11406 E MONTGOMERY DR
SPOKANE, WA 99206
509-891-4959

Estimate

Date	Estimate #
10/2/2024	111394

Name / Address
GINNO CONSTRUCTION CO. 3893 N Schreiber Way COEUR D'ALENE, ID 83814 or 11502 E Montgomery Ste. B

Terms	Project
30 NET	FLAME STOP II

Description	Total
WORK TO BE COMPLETED AT ACI FINISH SHOP	
INCLUSIONS: APPLY FLAME STOP II TO ALL SIDES OF 3,100 LINEAR FEET OF 2X8 MATERIAL ALL LABOR, MATERIALS, AND SUNDRIES NEEDED	
EXCLUSIONS: PICK UP AND DELIVERY OF MATERIALS ANY ITEMS NOT LISTED IN INCLUSIONS, ARE NOT ASSUMED INCLUDED	
LABOR TO APPLY FLAME STOP II PER PRODUCT SPECIFICATIONS	3,400.00
FLAME STOP II MATERIALS	5,400.00T
SUNDRIES	474.00T
TOTAL W/O SALES TAX	9,274.00
IF NO CLEAR COAT IS REQUESTED ON TOP OF THIS THEN THE CREDIT OF \$3,494.10 WOULD COME OFF OF THIS TOTAL.	
<p>As for the switching to the Flame Stop II product, it is the same application as the previous product but substantially lower in the coverage rate per gallon and priced higher. I will revise the change order and send it over. Just as a heads up, FlameOFF FR clear was \$190 per 5 gallon pail (plus shipping) and went 300 sq/ft per gallon and this new product called out is \$500.00 per 5 gallon bucket and goes 125 sq/ft per gallon.</p>	

Thank you for considering ACI Coatings llc.	Subtotal	\$9,274.00
Thank you for your business! You can now pay your invoices online at www.ACICoatings.com/make-a-payment .	Sales Tax (6.0%)	\$352.44
	Total	\$9,626.44

FLAME STOP® II

PRODUCT DATA SHEET



DESCRIPTION:

Flame Stop II is a water-based, post-treatment, interior/exterior fire retardant, and wood preservative that penetrates the material and bonds with the cellular structure. The penetrant protects the substrate by developing a self-extinguishing reaction when the treated material comes in contact with an open flame. When properly applied on certain untreated woods such as Douglas fir, the wood shall have a Class A rating. Flame Stop II contains polymers that maintain the fire retardation for up to five years for exterior applications. Flame Stop II is non-toxic, non-combustible, non-carcinogenic, easy to apply, and contains no PDBE's.

BASIC USES:

Flame Stop II protects exterior and interior woods such as: porous woods, cedar shake shingles, decking, and structural lumber.

ADVANTAGES:

Flame Stop II is a Class A, one-coat system with a Flame Spread of 25 and Smoke Developed of 25 on Douglas fir. Since Flame Stop II penetrates and forms a molecular bond with the substrate, the life of the flame retardation shall be indefinite for most interior applications. For exterior applications, it is recommended that the Flame Stop II be reapplied after five years. Flame Stop II will not alter the structural integrity of wood, such as pressure treatment does, and is preferred, because it is user-friendly, functions as a wood preservative, dries clear, and can be easily applied by spraying, immersing, brushing, or rolling. Flame Stop II contains mold and mildew inhibitors which are effective against black mold. Once cured for 48 hours, the treated material may be painted with most latex-based paints.

LIMITATIONS:

Storage Range: 45 – 110 degrees Fahrenheit (7 – 43 Celsius)
Shelf Life: One year, if kept within storage range.
A compatibility test is strongly recommended.
Moisture content should be 5 – 15% before treatment.
Do not dilute.

TECHNICAL SUPPORT

Total solids: 15%

Wt per gallon: 9 Lbs.

Average ph: 7.0

Color: White - cures Clear

Solvents: Water

**Bacterial: Good
resistance**

**Fungus: Good
resistance**

Volatility: None

Toxic: No

Biodegradable: Yes

**Corrosive: Mildly corrosive
on unplated steel**

Linear shrinkage: None

**Insects, rodents
and mold: Excellent
resistance**

**Distributed by:
RDR Technologies
835 SE 30th, Suite C
Oklahoma City, OK 73129
405-306-3062
rdrtechnologies.com**

APPLICABLE STANDARDS:

Flame Stop II has been tested to the following standards: ASTM E-84, NFPA 255, UL 723: U.S. Testing #LA 62466, Omega Point Laboratories #8746-108578 Class A Rating.

APPLICATION:

Ensure that all materials are clean prior to application. Apply Flame Stop II as is by spraying, brushing, rolling, or immersing at the rate of 125 square feet per gallon. If spraying onto a vertical surface where runoff could occur, multiple applications may be necessary. When doing multiple coats, wait until the first coat has penetrated before beginning the next application. One coat will require a 48-hour curing period. For spray application, use a .012 tip size and a low-pressure airless sprayer.

**** After treatment a 48-hour conditioning period is necessary before testing ****

TESTING:

A small-scale test can be preformed with the utilization of a sample of the treated material and a small flame (butane lighter or match). Hold a 4" x 12" piece of the treated material vertically and apply the flame to the lower portion for 10 seconds, and then remove the ignition source. The flame must self-extinguish within two (2) seconds. This test is similar to the small-scale NFPA 701 field test.

FLAMESPREAD 25 AND SMOKE DEVELOPED 25 PER ASTM-E84 February, 2010



TESTED BY:
U.S. TESTING COMPANY INC. (SGS NORTH AMERICA)
OMEGA (INTERTEK) COMMERCIAL TESTING

C-14401

NOTES:



WARRANTY:

Seller's and manufacturer's only obligation shall be to replace such quantity of the product proved to be defective. Neither seller nor manufacturer shall be liable for any injury, loss or damage, direct or consequential, arising out of the use or the inability to use the product. Before using, user shall determine the suitability of the product for his intended use, and user assumes all risk and liability whatsoever in connection therewith.



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560

Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #045: CE #076 - RFP_028 - Add Paving

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	045 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	10/9 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #076 - RFP_028 - Add Paving

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #076 - RFP_028 - Add Paving & Detectable Warning Mat
RFP_028 - Add Paving & Detectable Warning Mat

ATTACHMENTS:

[2_Woods Pricing.pdf](#) [_RFP-028 - Add Paving & Detectable Warning Mats.pdf](#) [_23-10-Travers_Park_Reno_Phase_1-RFI_57-Detectable_Warning_Surfaces-2024-10-04.pdf](#)

#	Cost Code	Description	Type	Amount
1	32-1313 - Concrete Paving	Detectable Warning Mat	SUBCONTRACT	\$ 1,122.00
2	32-1313 - Concrete Paving	Concrete to Install Domes	SUBCONTRACT	\$ 1,174.00
3	32-1216 - Asphalt Paving	Pave	SUBCONTRACT	\$ 5,508.00
4	32-1216 - Asphalt Paving	(City of Sandpoint Shop Paving)	SUBCONTRACT	\$ 3,300.00
5	55-1000 - Contingency	Pay for PCO out of Contingency	Schedule of Values	(\$11,881.28)
Subtotal:				(\$777.28)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 111.04
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 666.24
Grand Total:				\$0.00



Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

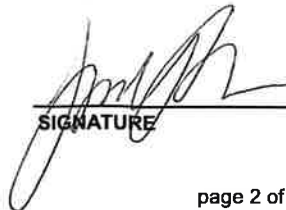
City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE _____ DATE _____

Ginno Construction Company

SIGNATURE _____ DATE _____

 10/10/24

page 2 of 2

SIGNATURE _____ DATE _____

Printed On: 10/9/ 2024 01 :28 PM



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #046: CE #083 - Sign Type-8 Changes

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	046 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	10/15 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #083 - Sign Type-8 Changes

CHANGE REASON: Design Development

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #083 - Sign Type-8 Changes Per ASI_002

Sign Type-8 Changes Per ASI_002

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	10-1400 - Signage	Sign Type-8 Changes Per ASI_002	SUBCONTRACT	\$ 2,122.40
2	07-5000 - Membrane Roofing	Sign Type-8 Changes Per ASI_002	SUBCONTRACT	\$ 3,000.00
3	06-2013 - Exterior Finish Carpentry	Pay for with Owner Contingency	LABOR	\$ 225.00
4	06-2013 - Exterior Finish Carpentry	Materials for Curb (4x6 lumber & Fasteners)	MATERIAL	\$ 125.00
5	55-1000 - Contingency	Pay for CO with Contingency	Schedule of Values	(\$5,855.46)
Subtotal:				(\$383.06)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 54.72
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 328.34
Grand Total:				\$0.00



Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE

DATE

Jason Welker

10/22/2024

SIGNATURE

DATE

Cory Quan

SIGNATURE

DATE



6824 N Market St
Spokane, WA 99217
(509) 489-4200

Quick Turns, Perfect Color, Outstanding Service
www.SignsForSuccess.BIZ

CHANGE ORDER

EST-69573

Payment Terms: Net 30

Created Date: 10/9/2024

DESCRIPTION: Travers Park Change Order #01 - brackets

Bill To: Ginno Construction
3893 N. Schreiber Way
Coeur D' Alene, ID 83815
US

Pickup At: Signs for Success
6824 N Market St
Spokane, WA 99217
US

Requested By: Cory Quan
Email: cory@ginnoconstruction.com
Work Phone: (208) 667-5560
Cell Phone: (509) 362-5853

Salesperson: Theresa Simmons
Work Phone: 509-489-4200

NO.	Product Summary	QTY	UNIT PRICE	AMOUNT
1	**C/O** Fabricated mount	1	\$2,002.26	\$2,002.26
Subtotal:				\$2,002.26
Taxes:				\$120.14
Grand Total:				\$2,122.40

MATERIALS
TBD

DESIGN NOTE:
ADJUSTMENTS TO DESIGN WERE MADE
TO COMPLY WITH ADA STANDARDS

- (B)

Sign Type 2:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD
- (C)

Sign Type 3:
1/8" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD
- (D)

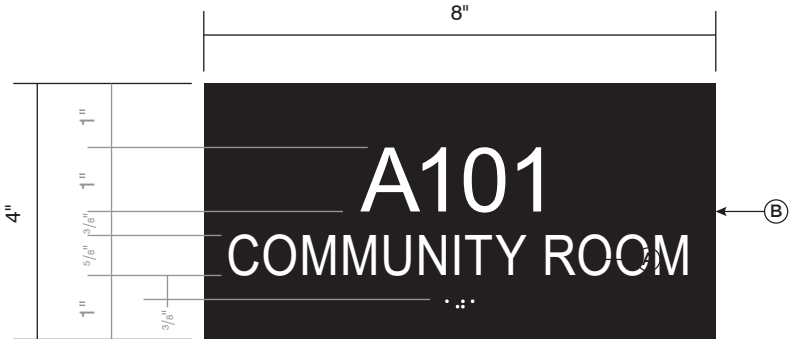
Sign Type 4:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

Raised Text
Color to match P-4
or green
(TBD upon clarity)

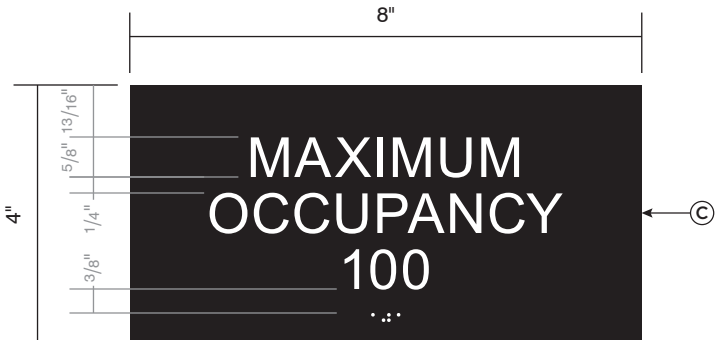
Rasters
Color TBD



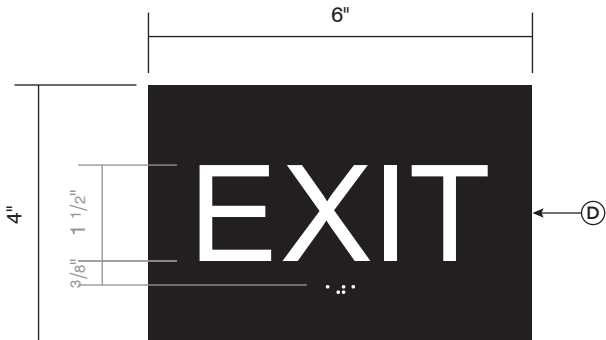
SIGNS FOR
SUCCESS



Qty: 2



Qty: 1



Qty: 2

① **ADA-Compliant Signage - Artwork View - ROOM A101**
Scale: 1:3

Client:
Ginno Construction

Contact:
Cory Quan

Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

Designer:
Eric Miller

Job Number:
69531

Customer Approval:

Date:

Description:

Eighteen (18) ADA-Compliant Signs
One (1) Cast Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

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MATERIALS
TBD

DESIGN NOTE:
ADJUSTMENTS TO DESIGN WERE MADE
TO COMPLY WITH ADA STANDARDS

- (B)

Sign Type 2:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD
- (C)

Sign Type 3:
1/8" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD
- (D)

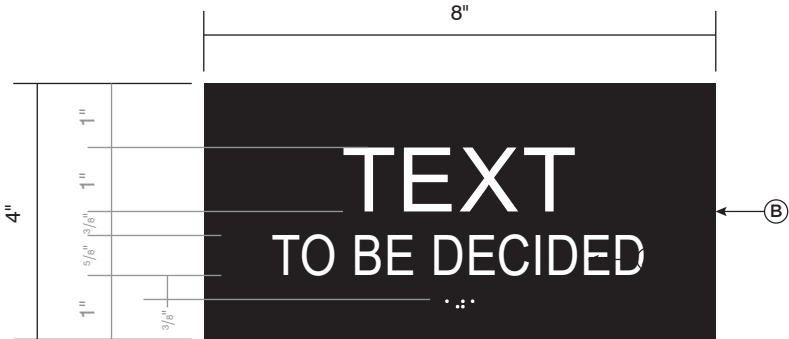
Sign Type 4:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

Raised Text
Color to match P-4
or green
(TBD upon clarity)

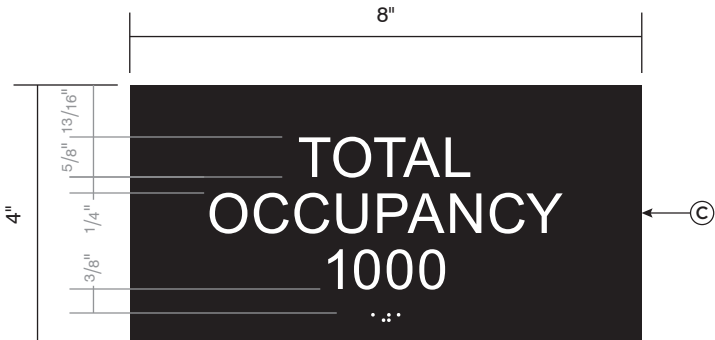
Rasters
Color TBD



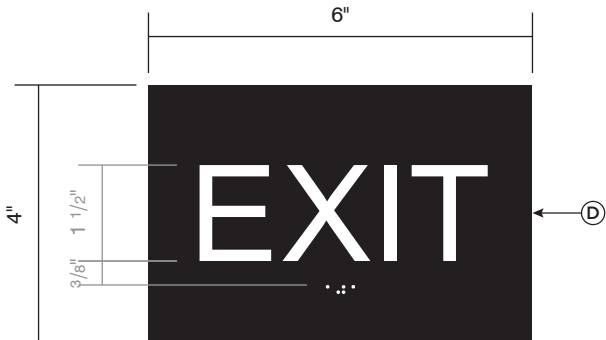
SIGNS FOR
SUCCESS



Qty: 1



Qty: 1



Qty: 1

① **ADA-Compliant Signage - Artwork View - ROOM A102**
Scale: 1:3

Client:
Ginno Construction

Contact:
Cory Quan

Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

Designer:
Eric Miller

Job Number:
69531

Customer Approval:

Date:

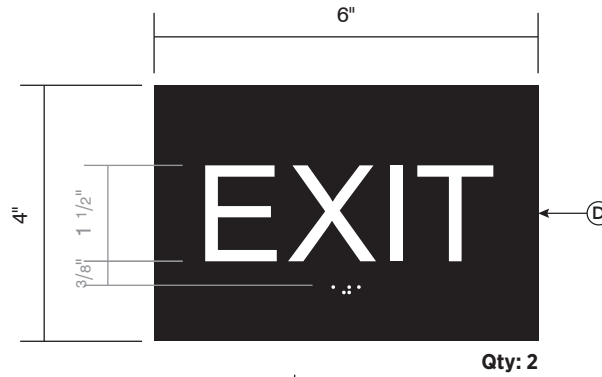
Description:

Eighteen (18) ADA-Compliant Signs
One (1) Cast Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

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MATERIALS
TBD

DESIGN NOTE:
ADJUSTMENTS TO DESIGN WERE MADE TO COMPLY WITH ADA STANDARDS



④
Sign Type 4:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
P-3
(TBD upon clarity)

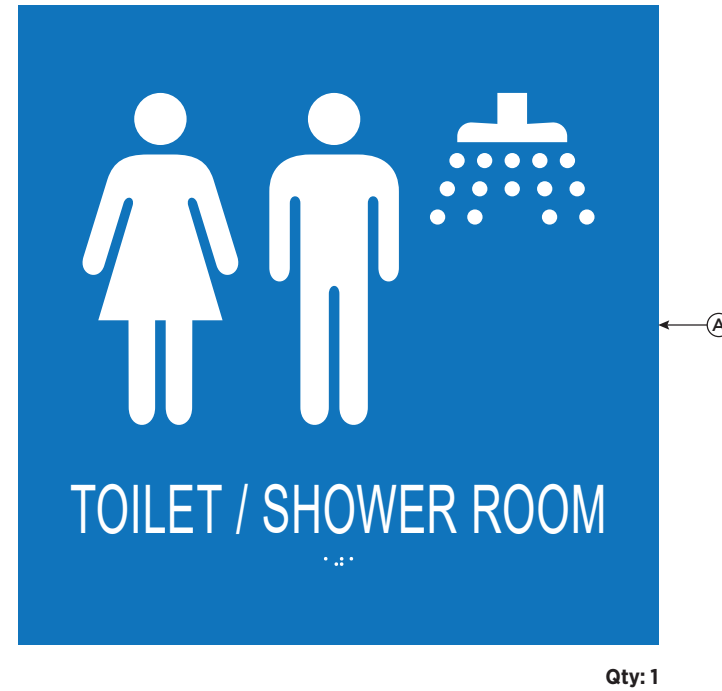
Raised Text
Color to match P-4
or green
(TBD upon clarity)

Rasters
Color TBD

⑤
Sign Type 1:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
Safety Blue

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD



① **ADA-Compliant Signage - Artwork View - ROOM A103, A104, A105, A106, A110, A111**
Scale: 1:3



**SIGNS FOR
SUCCESS**

Client:
Ginno Construction

Contact:
Cory Quan

Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

Designer:
Eric Miller

Job Number:
69531

Customer Approval:

Date:

Description:

Signs for Success will not accept liability for errors overlooked at this stage of proofing. Any changes from your previously approved copy will be charged according to both time and materials. **NOTE:** The colors on this proof do not represent exact final processed output color. If exact color-match is required, please request press proof. All vehicle wraps are subject to a 3" variance in all directions to account for stretch and curves in the vehicle's body.

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Eighteen (18) ADA-Compliant Signs
One (1) Cast Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

MATERIALS
TBD

DESIGN NOTE:
ADJUSTMENTS TO DESIGN WERE MADE
TO COMPLY WITH ADA STANDARDS

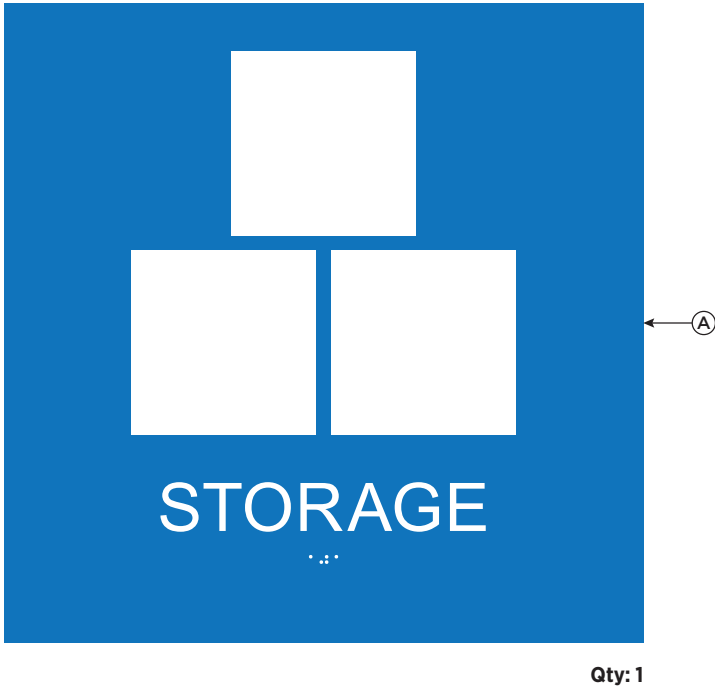
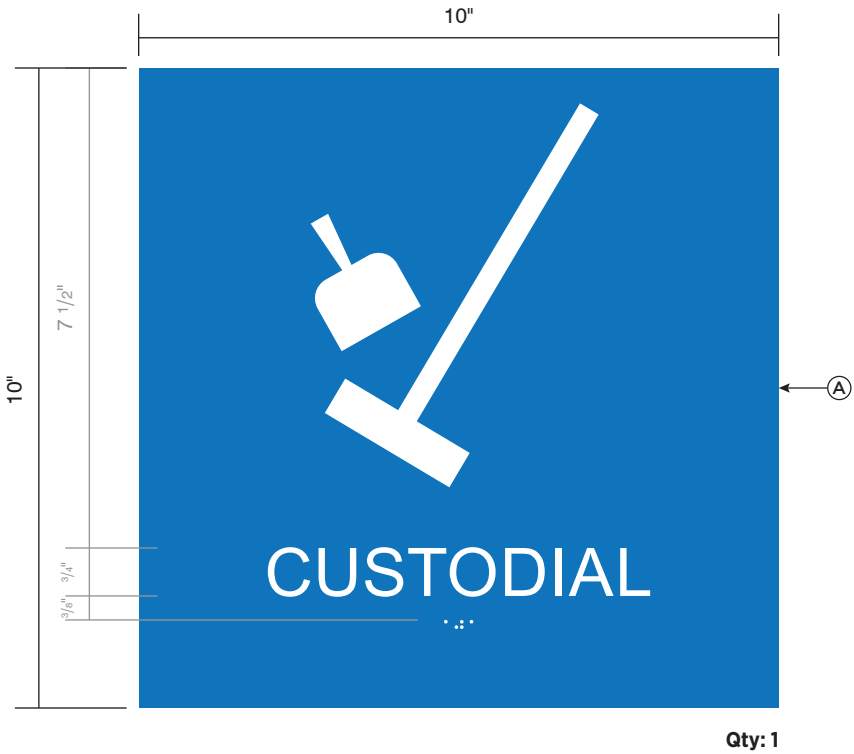
(A)
Sign Type 1:
1/4" Non-Glare
Clear Acrylic
Backpainted to match
Safety Blue

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD



**SIGNS FOR
SUCCESS**



① **ADA-Compliant Signage** - Artwork View - ROOM A107, A108
Scale: 1:3

Client:
Ginno Construction

Contact:
Cory Quan

Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

Designer:
Eric Miller

Job Number:
69531

Customer Approval:

Date:

Description:

Signs for Success will not accept liability for errors overlooked at this stage of proofing. Any changes from your previously approved copy will be charged according to both time and materials. **NOTE:** The colors on this proof do not represent exact final processed output color. If exact color-match is required, please request press proof. All vehicle wraps are subject to a 3" variance in all directions to account for stretch and curves in the vehicle's body.
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Eighteen (18) ADA-Compliant Signs
One (1) Cast Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

MATERIALS
TBD

DESIGN NOTE:
ADJUSTMENTS TO DESIGN WERE MADE
TO COMPLY WITH ADA STANDARDS

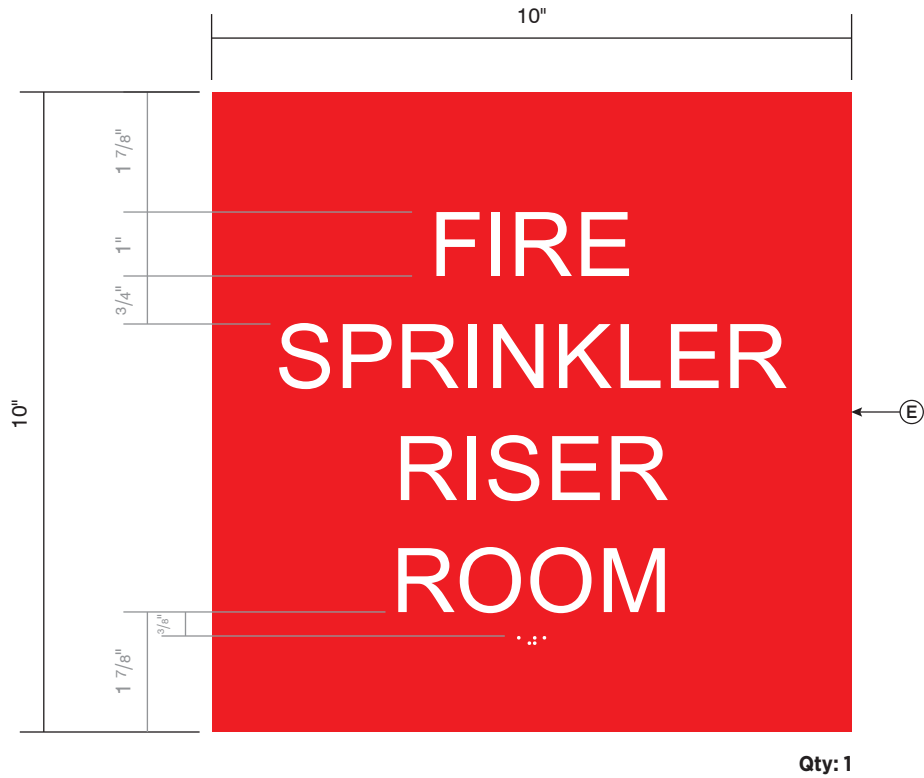
Ⓔ
Sign Type 5:
THK TBD Non-Glare
Clear Acrylic
Backpainted to match
Safety Red

Raised Text
Color to match P-4
(TBD upon clarity)

Rasters
Color TBD



**SIGNS FOR
SUCCESS**



① **ADA-Compliant Signage - Artwork View - ROOM A109**
Scale: 1:3

Client:
Ginno Construction

Contact:
Cory Quan

Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

Designer:
Eric Miller

Job Number:
69531

Customer Approval:

Date:

Description:

Signs for Success will not accept liability for errors overlooked at this stage of proofing. Any changes from your previously approved copy will be charged according to both time and materials. **NOTE:** The colors on this proof do not represent exact final processed output color. If exact color-match is required, please request press proof. All vehicle wraps are subject to a 3" variance in all directions to account for stretch and curves in the vehicle's body.
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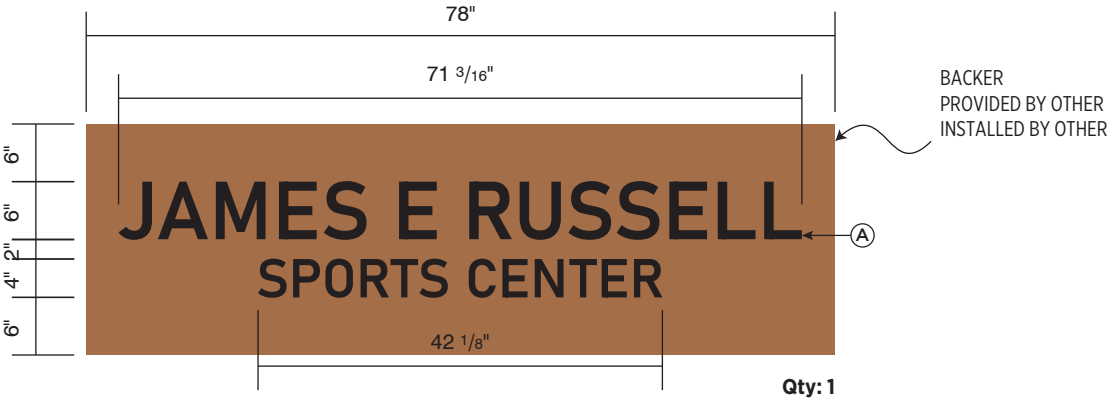
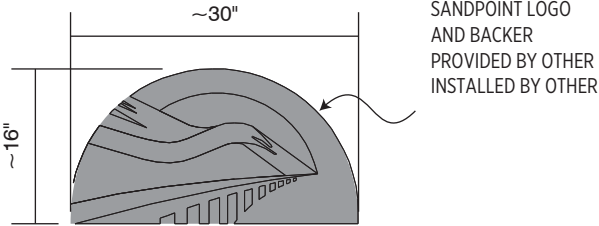
Eighteen (18) ADA-Compliant Signs
One (1) Cast Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

COLORS/MATERIALS PALETTE

1/4" Aluminum Letters
Matte Black Finish

Interior Signage:
1/4" Aluminum Letters
Matte Black Finish

Stud-Mounted
Flush to surface



1 ADA-Compliant Signage - Artwork View - ROOM A109
Scale: 1:3

Customer Approval:

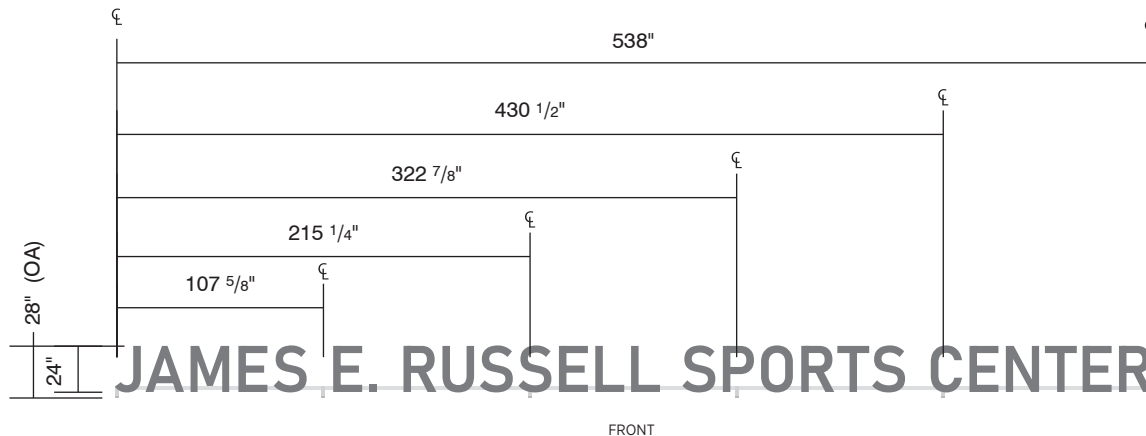
Date:

Description:
Eighteen (18) ADA-Compliant Signs
One (1) Cast Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

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**SIGNS FOR
SUCCESS**



① **Dimensional Letter Support - Artwork View**
Scale: 1:100

Qty: 1

Client:

Ginno Construction

Contact:

Cory Quan

Project type:

Travers Park
Cast Aluminum
Dimensional

Estimator:

Theresa Simmons

Designer:

Eric Miller

Job Number:

69531

Customer Approval:

Date:

Description:

Eighteen (18) ADA-Compliant Signs
One (1) Flat-Cut Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

Signs for Success will not accept liability for errors overlooked at this stage of proofing. Any changes from your previously approved copy will be charged according to both time and materials. **NOTE:** The colors on this proof do not represent exact final processed output color. If exact color-match is required, please request press proof. All vehicle wraps are subject to a 3" variance in all directions to account for stretch and curves in the vehicle's body.

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**SIGNS FOR
SUCCESS**

Client:
Ginno Construction

Contact:
Cory Quan

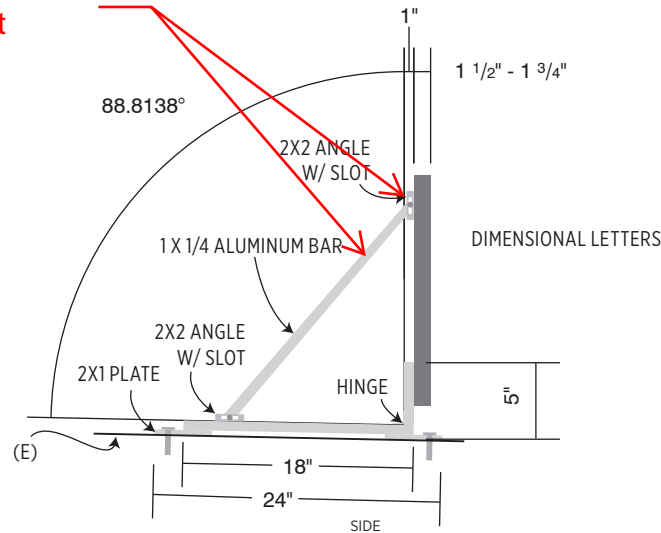
Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

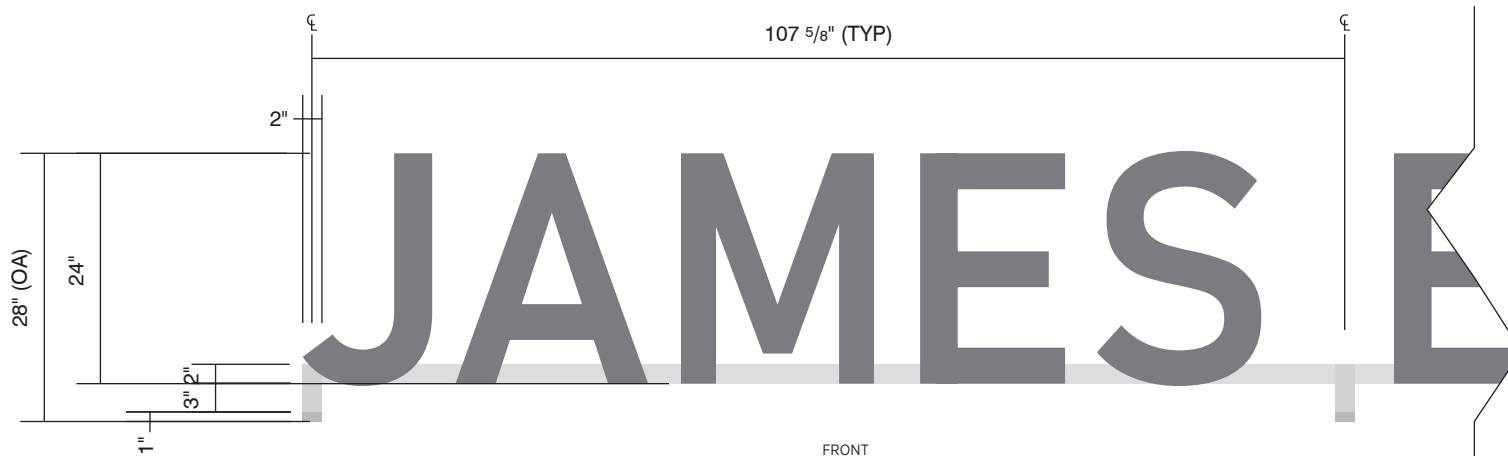
Designer:
Eric Miller

Job Number:
69531

1x Al Bar and 2x2
angle hidden behind
vertical letters at
every letter



107 5/8" (TYP)



① **Dimensional Letter Support - Detail View**
Scale: 1:20

Qty: 1

Customer Approval:

Date:

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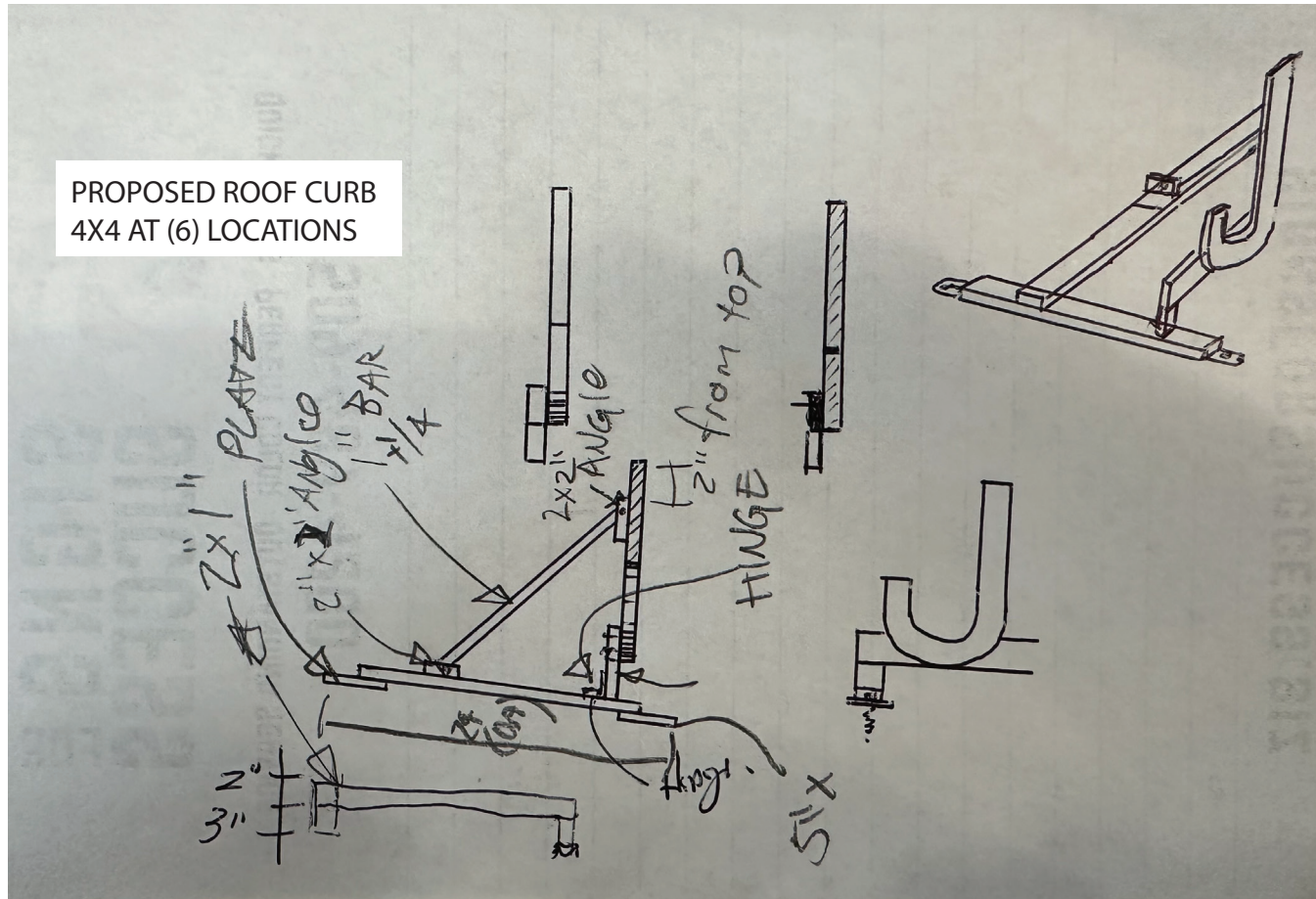
Description:

Eighteen (18) ADA-Compliant Signs
One (1) Flat-Cut Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters



**SIGNS FOR
SUCCESS**

PROPOSED ROOF CURB
4X4 AT (6) LOCATIONS



Client:
Ginno Construction

Contact:
Cory Quan

Project type:
Travers Park
Cast Aluminum
Dimensional

Estimator:
Theresa Simmons

Designer:
Eric Miller

Job Number:
69531

Customer Approval:

Date:

Description:

Eighteen (18) ADA-Compliant Signs
One (1) Flat-Cut Aluminum Dimensional Character Support Structure
One (1) Interior Sign, Dimensional Letters

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GEMINI STANDARD COLORS



Please select a paint color for the Exterior Sign from this color chart



5687 WHITE



2025 BLACK



0222 EMERALD GREEN



0259 FEDERAL GREEN



2108 LIGHT GREEN



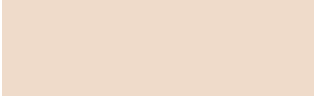
2030 DARK GREEN



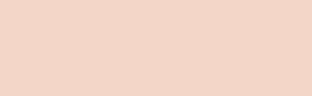
0209 GRAY



4310 DOVE GRAY



2718 IVORY



4660 DESERT SAND



2162 HUNTER GREEN



2418 BROWN



8090 SAFETY GREEN



2037 LEMON YELLOW



2000 YELLOW



0217 CITRUS YELLOW



2018 SUNDANCE YELLOW



0254 MANGO



2119 ORANGE



2662 RED/ORANGE



0256 RAMPART ORANGE



2793 RED



1875 BRICK RED



2280 BLACK CHERRY



2240 MAROON



2410 MAGENTA



2287 PURPLE



0246 VIOLET TONER



2767 MIDNIGHT BLUE



2050 DARK BLUE



2860 MEDIUM BLUE



3000 BLUE



2648 LIGHT BLUE



5425 MARINE REEF BLUE



3210 TEAL BLUE



3555 SPRING GREEN

METALLICS



0400 BRILLIANT GOLD



2756 METALLIC GOLD



0401 AZTEC GOLD



0253 COPPER



0402 AZTEC COPPER



3120 MEDIUM BRONZE



4195 LEGACY BRONZE



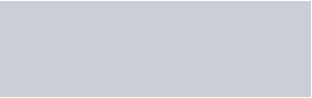
0314 OLD COPPER



3130 DURANODIC BRONZE



1315 DARK OXIDE



8886 METALLIC SILVER

FINISHES



GLOSS FINISH



SATIN FINISH



MATTE FINISH

RE: Travers Sign VE

From Josh <josh.graniteroofing@gmail.com>
Date Mon 10/14/2024 12:17 PM
To Cory Quan <cory@ginnoconstruction.com>

If we are going to wrap out 6 locations of 4x4 deck mounted wood that should be quick. Lets just go with \$3,000 for this added work and make sure those get pre mounted prior to us starting roofing.

Josh Ragan

Vice President

Granite Enterprises Inc.

www.graniteroofing.com

PO Box 505 Rathdrum, ID 83858

P:208-687-4277 C:208-819-9682



From: Cory Quan <cory@ginnoconstruction.com>
Sent: Monday, October 14, 2024 11:48 AM
To: Josh Ragan <josh.graniteroofing@gmail.com>
Subject: Travers Sign VE



Cory Quan (Phillips)

Ginno Construction Co. | *Project Manager*

Cell: 509.362.5853 | Office: 208.667.5560

3893 N. Schreiber Way | Coeur d'Alene, ID 83815

www.ginnoconstruction.com



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Change Order #008: Canopy Changes, Paving, Sign Add, Shower Credit

TO:	City of Sandpoint 1123 Lake St. Sandpoint, Idaho 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho 83815
DATE CREATED:	8/ 26 /2024	CREATED BY:	Cory Quan (Ginno Construction Company)
CONTRACT STATUS:	Approved	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	10/23 /2024
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
CONTRACT FOR:	1:Travers Park Reno: Phase 1	TOTAL AMOUNT:	\$ 0.00
DESCRIPTION:			
ATTACHMENTS:			

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
033	CE #056 - RFP_011 - Canopy Revisions		0.00
041	CE #028 - ASI-002 - Credit for Deleting SH-1 Shower		0.00
045	CE #076 - RFP_028 - Add Paving		0.00
046	CE #083 - Sign Type-8 Changes		0.00
TOTAL:			\$ 0.00

CHANGE ORDER LINE ITEMS:

PCO # 033 : CE #056 - RFP_011 - Canopy Revisions

#	Cost Code	Description	Type	Amount
1	06-1000 - Rough Carpentry	Deduct for Lumber	MATERIAL	(\$29,000.00)
2	06-1000 - Rough Carpentry		MATERIAL	\$ 17,500.00
3	09-9100 - Painting	Fire Suppression	SUBCONTRACT	\$ 9,626.44
4	21-1000 - Water Based Fire Suppression	Deduct: Fire Sprinklers no longer needed	SUBCONTRACT	(\$5,395.00)
5	07-5000 - Membrane Roofing	Fascia Metal	SUBCONTRACT	\$ 6,800.00
6	07-5000 - Membrane Roofing	5" K-style gutters and (2) Downspouts	SUBCONTRACT	\$ 4,500.00
7	09-9100 - Painting	Credit: Clear Coat no longer required	SUBCONTRACT	(\$3,494.10)
8	26-1000 - Electrical	Provide Pathways and Boxes for Canopy Speakers	SUBCONTRACT	\$ 1,350.00
9	26-1000 - Electrical	Credit for light fixture less: 50% restocking fee	SUBCONTRACT	(\$3,351.00)
10	55-1000 - Contingency	Add to Contingency Balance	Schedule of Values	\$ 1,463.66
Subtotal:				\$0.00
Grand Total:				\$0.00



PCO # 041 : CE #028 - ASI-002 - Credit for Deleting SH-1 Shower

#	Cost Code	Description	Type	Amount
1	22-1000 - Plumbing	Deduct: SH-1 and associated 2" FD-1. Delete 1/2" HW, 1/2" CW, 2" Waste and 2" Vent Branches back to nearest main.	SUBCONTRACT	(\$2,634.41)
2	55-1000 - Contingency	Add: to Contingency Fund	Schedule of Values	\$ 2,634.41
Subtotal:				\$0.00
Grand Total:				\$0.00

PCO # 045 : CE #076 - RFP_028 - Add Paving

#	Cost Code	Description	Type	Amount
1	32-1313 - Concrete Paving	Detectable Warning Mat	SUBCONTRACT	\$ 1,122.00
2	32-1313 - Concrete Paving	Concrete to Install Domes	SUBCONTRACT	\$ 1,174.00
3	32-1216 - Asphalt Paving	Pave	SUBCONTRACT	\$ 5,508.00
4	32-1216 - Asphalt Paving	(City of Sandpoint Shop Paving)	SUBCONTRACT	\$ 3,300.00
5	55-1000 - Contingency	Pay for PCO out of Contingency	Schedule of Values	(\$11,881.28)
Subtotal:				(\$777.28)
Liability Insurance: 1.00% Includes Cost Type (5)				111.04
OH&P: 6.00% Includes Cost Type (5)				666.24
Grand Total:				\$0.00

PCO # 046 : CE #083 - Sign Type-8 Changes

#	Cost Code	Description	Type	Amount
1	10-1400 - Signage	Sign Type-8 Changes Per ASI_002	SUBCONTRACT	\$ 2,122.40
2	07-5000 - Membrane Roofing	Sign Type-8 Changes Per ASI_002	SUBCONTRACT	\$ 3,000.00
3	06-2013 - Exterior Finish Carpentry	Pay for with Owner Contingency	LABOR	\$ 225.00
4	06-2013 - Exterior Finish Carpentry	Materials for Curb (4x6 lumber & Fasteners)	MATERIAL	\$ 125.00
5	55-1000 - Contingency	Pay for CO with Contingency	Schedule of Values	(\$5,855.46)
Subtotal:				(\$383.06)
Liability Insurance: 1.00% Includes Cost Type (5)				54.72
OH&P: 6.00% Includes Cost Type (5)				328.34
Grand Total:				\$0.00

The original (Contract Sum)	\$ 20,000.00
Net change by previously authorized Change Orders	\$ 7,489,467.43
The contract sum prior to this Change Order was	\$ 7,509,467.43
The contract sum will not be changed by this Change Order in the amount of	\$ 0.00
The new contract sum including this Change Order will be	\$ 7,509,467.43
The contract time will not be changed by this Change Order	

Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE	DATE	SIGNATURE	DATE	SIGNATURE	DATE
-----------	------	-----------	------	-----------	------



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Change Order #009: Grind and Polish, Hydroseed & Concrete Add's

TO:	City of Sandpoint 1123 Lake St. Sandpoint, Idaho 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho 83815
DATE CREATED:	12/ 05 /2024	CREATED BY:	Cory Quan (Ginno Construction Company)
CONTRACT STATUS:	Approved	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	12/05 /2024
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
CONTRACT FOR:	1:Travers Park Reno: Phase 1	TOTAL AMOUNT:	\$ 0.00
DESCRIPTION:			
ATTACHMENTS:			

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
047	CE #089 - Concrete Class B Polish		0.00
049	CE #087 - Hydroseed Stockpiled		0.00
050	CE #091 - RFP 29 - Concrete Ad		0.00
TOTAL:			\$ 0.00

CHANGE ORDER LINE ITEMS:

PCO # 047 : CE #089 - Concrete Class B Polish

#	Cost Code	Description	Type	Amount
1	03-3543 - Polished Concrete Finishing	Concrete Grind & Polish/Seal	SUBCONTRACT	\$ 14,249.00
2	03-3543 - Polished Concrete Finishing	Clean & Fill Sawcuts	SUBCONTRACT	\$ 1,581.00
3	55-1000 - Contingency	Deduct from Contingency Allowance	Schedule of Values	(\$16,938.10)
Subtotal:				(\$1,108.10)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				158.30
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				949.80
Grand Total:				\$0.00

PCO # 049 : CE #087 - Hydroseed Stockpiled

#	Cost Code	Description	Type	Amount
1	32-9000 - Planting & Landscaping	Hydroseed Stockpiled Material West of Ballfields	SUBCONTRACT	\$ 3,917.00
2	55-1000 - Contingency	Pay for with Contingency	Schedule of Values	(\$4,191.19)
Subtotal:				(\$274.19)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				39.17
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				235.02
Grand Total:				\$0.00



PCO # 050 : CE #091 - RFP 29 - Concrete Ad

#	Cost Code	Description	Type	Amount
1	32-1313 - Concrete Paving	RFP 29 - ADA Concrete at Skatepark	SUBCONTRACT	\$ 3,641.00
2	32-1313 - Concrete Paving	RFP 29 - Donor Recognition Wall Foundation	SUBCONTRACT	\$ 960.00
3	55-1000 - Contingency	Pay for with Contingency	Schedule of Values	(\$4,923.07)
Subtotal:				(\$322.07)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				46.01
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				276.06
Grand Total:				\$0.00

The original (Contract Sum)	\$ 20,000.00
Net change by previously authorized Change Orders	\$ 7,489,467.43
The contract sum prior to this Change Order was	\$ 7,509,467.43
The contract sum will not be changed by this Change Order in the amount of	\$ 0.00
The new contract sum including this Change Order will be	\$ 7,509,467.43
The contract time will not be changed by this Change Order	

Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE	DATE	SIGNATURE	DATE	SIGNATURE	DATE
-----------	------	-----------	------	-----------	------



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #047: CE #089 - Concrete Class B Polish

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	047 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	11/11 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #089 - Concrete Class B Polish

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #089 - Entry Mat & Concrete Grind & Polish/Seal
Concrete Grind & Polish/Seal

Option to Clean & Seal ONLY: Deduct (\$7,516.75) = **\$9,421.35**

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	03-3543 - Polished Concrete Finishing	Concrete Grind & Polish/Seal	SUBCONTRACT	\$ 14,249.00
2	03-3543 - Polished Concrete Finishing	Clean & Fill Sawcuts	SUBCONTRACT	\$ 1,581.00
3	55-1000 - Contingency	Deduct from Contingency Allowance	Schedule of Values	(\$16,938.10)
Subtotal:				(\$1,108.10)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 158.30
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 949.80
Grand Total:				\$0.00



Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

11/12/2024

SIGNATURE DATE

Jason Welker

SIGNATURE DATE

SIGNATURE DATE

PROPOSAL

PROJECT: Travers Park Recreation Center

DATE: 11/11/24

To: **Ginno Construction**

EXPOSED CONCRETE FLOOR FINISH OPTIONS

SCOPE:

The following proposal is to provide labor, equipment and materials to clean & seal or provide a grind and polish to approximately 1,989sf of interior floor.

The clean & seal option will consist of scrubbing the floor, applying a densifier treatment followed by a penetrating stain repellant treatment. This will be a better long-term option compared to a basic topical sealer that will wear and scratch. Note that the cleaning will not remove stains, paint, rough texture or other surface defects.

The grind & polish option will consist of a Class B grind (light sand exposure) and polishing to the 400grit level (low to medium gloss). The application of the densifier and stain repellant treatment are also included.

Cleaning and installing sawcut joint filler is optional.

All of the area is to be completed at the same time.

Clean & seal	\$7,224
Class B 400grit polish	\$14,249
Clean & fill sawcuts	Add \$1,581

Full Class B Polish (Salt & Pepper Sand Exposure)

EXCLUSIONS:

- Fresh water supply, 110-volt power, area lighting
- Slip resistance testing
- Finished floor protection
- Seasonal heat (slab & air temperatures must be above 55 degrees for proper results)
- Protection of adjoining wall and horizontal surfaces both finished and unfinished beyond tape & plastic
- Adjacent wall, paint, tile, Schluter strip or aluminum store front damage

If slab is exceptionally flat we could go Class A Polish (Cream Polish) which would save approx \$1/SF. Will need to inspect on site to confirm

BID SUPPLEMENT

- Proposed work must be completed prior to other final finishes
- The equipment is large and not controllable to a fine degree
- The consistency of the aggregate exposure depends upon the flatness of the slab
- Concrete slurry environmentally safe treatment and disposal is included
- Installed drywall should be held ¼" off the concrete floor due to the grinding being done wet
- Doors & jambs should not be installed prior to polishing
- The polyurea sawcut filler may split if the slab has not finished shrinking. The slab sawcuts can increase in width beyond the product's elongation capabilities. This is not a product failure and is not part of the warranty unless the product was installed improperly.
- This quote is subject to acceptance within 30 days
- Idaho material tax is included

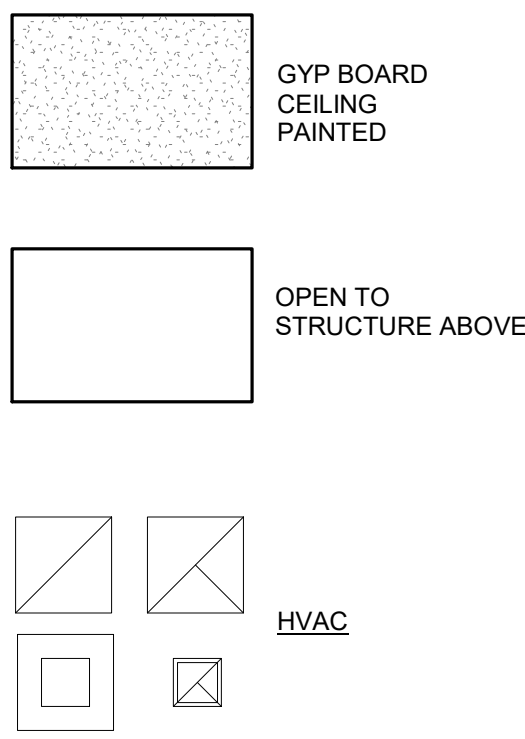
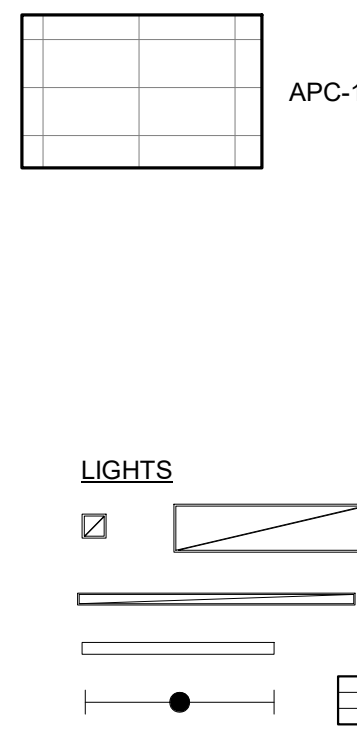


309 N Park Rd
Spokane Valley, WA 99212-1128
P: 509.466.5555 F: 509.468.3719
CRconcrete.pro

WA LIC# CAMERRL942NU
ID LIC# PWC-C-12153-UNLIMITED-4
OR LIC# 202351
"An Equal Opportunity Employer"

RFP_007

CEILING TYPE LEGEND



GENERAL NOTES - CEILING

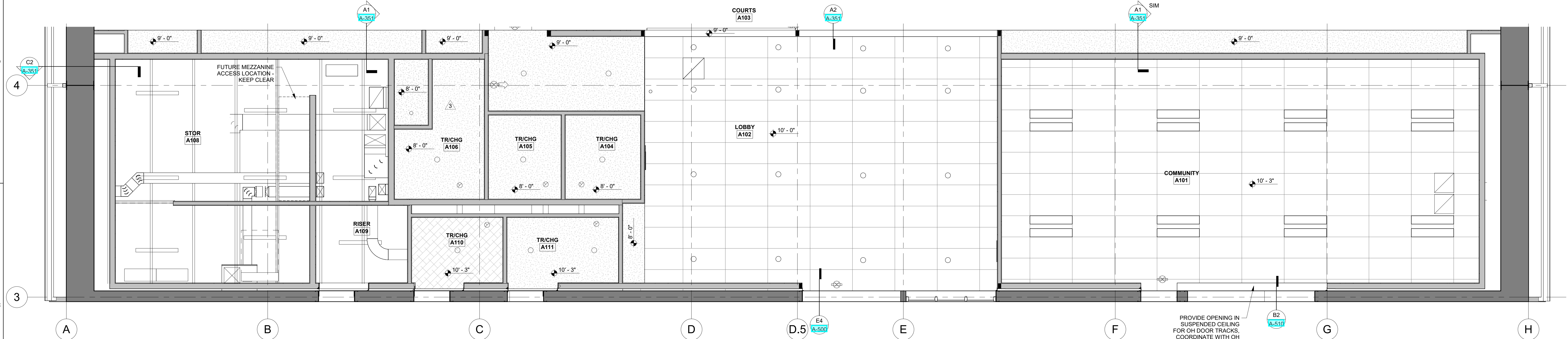
- ALL CEILING HEIGHTS LISTED ARE AFF. UNO
- ACOUSTICAL PANEL CEILINGS AT 10'-0" AFF. UNO
- GYP BD. CEILINGS AND SOFFITS PAINTED P-3, UNO
- AT ROOMS INDICATED IN FINISH SCHEDULE, PAINT OUT ALL VISIBLE CEILING ELEMENTS INCLUDING, BUT NOT LIMITED TO, STRUCTURE, MECHANICAL EQUIPMENT, DUCTS, PIPES, ETC. PAINT COLOR AS IDENTIFIED IN FINISH SCHEDULE.
- AT ROOMS WITH EXPOSED STRUCTURE AND/OR CEILING CLOUDS, EXTEND GYP BD AT WALLS TO ROOF DECK ABOVE.
- ALL GYP BD WALLS & SOFFITS EXPOSED TO VIEW &/OR ADJACENT TO CEILING CLOUDS SHALL BE PAINTED TO UNDERSIDE OF STRUCTURE. MATCH COLOR OF GYP BD HORIZ SURFACE TO VERT SURFACE

GENERAL NOTES - FLOOR PLAN

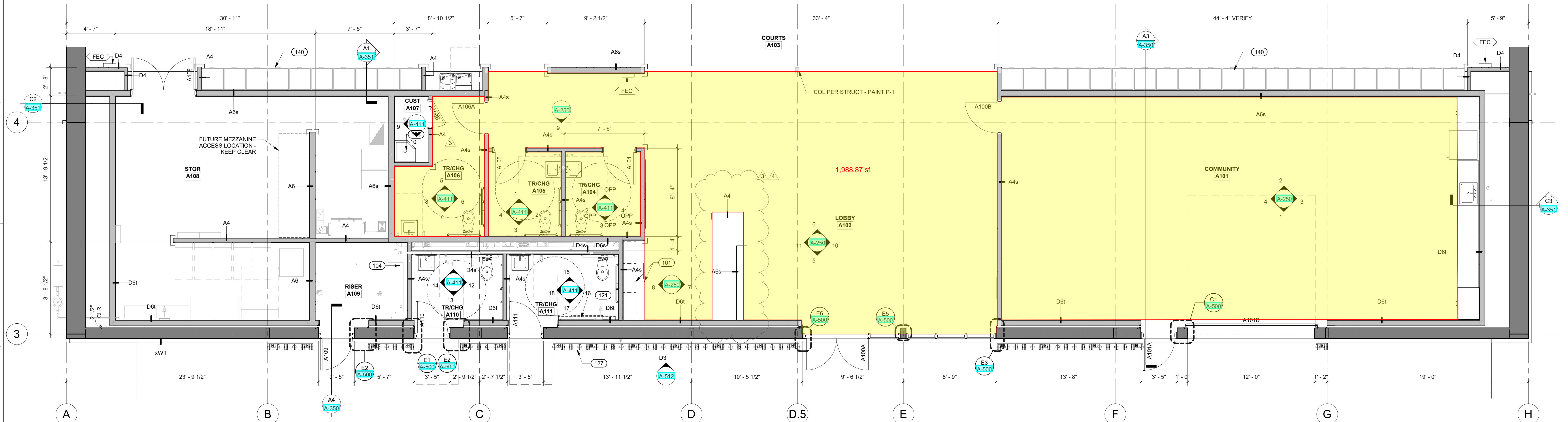
- DIMENSIONS ARE TO FACE OF STUD AT PARTITIONS, GRID LINES, FACE OF CMU, AND CENTERLINE OF COLUMNS UNO
- CLR DIMENSIONS INDICATE CLEAR DIMENSIONS FROM FACE OF WALL FINISH
- WALL TYPES DEFINE THE ENTIRE LENGTH OF A WALL ON THE WALL SIDE NOTED FROM CORNER TO CORNER UNO. SEE SHEET A-051 FOR WALL TYPES LEGEND.
- ALL WALLS NOT DESIGNATED WITH A WALL TYPE OR NOTED OTHERWISE SHALL BE A6s.
- SEE DOOR SCHEDULE FOR DOOR AND RELITE FRAME TYPES AND DETAIL REFERENCES
- SEE GLAZING SCHEDULES FOR CURTAIN WALL AND INTERIOR AND EXTERIOR STOREFRONT SIZES AND INFORMATION
- SEE ENLARGED PLANS FOR ADDITIONAL NOTES, INTERIOR ELEVATION CALLOUTS AND OTHER DETAILS WITHIN THE CALLOUT AREA.
- PROVIDE WOOD WALL BLOCKING AT WALL MOUNTED DOOR STOPS. SEE DOOR SCHEDULE AND A-051.

CODED NOTES

NUMBER	DESCRIPTION
101	CASEWORK
104	WATER RISER, SEE PLUMBING
108	JANITOR SINK, SEE PLUMBING
121	ADULT CHANGING TABLE, OFCI, PROVIDE AND INSTALL BACKING - COORDINATE REQ'D EXTENTS W/ OWNER.
127	WOOD SLAT WALL - SEE DETAILS ON SHEET A-512
140	EXISTING CASEWORK LOCKERS TO BE RELOCATED, OFCI - TYP OF (31)



C1 LEVEL 1 - REFLECTED CEILING PLAN - ENLARGED
SCALE: 1/4" = 1'-0"



A1 RESTROOM ENLARGED PLAN
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
1	11/29/23	CONST DOCUMENTS
2	12/15/23	ADDENDUM 2
3	04/01/24	ASH-002
4	07/19/24	RFP 007

PROJ. NO.	2023-011
DRAWN	RP.GS
PROJ MNGR	GS
DATE	11/29/23
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Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #049: CE #087 - Hydroseed Stockpiled

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	049 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	11/11 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #087 - Hydroseed Stockpiled

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #087 - Hydroseed Stockpiled Material West of Ballfields
Hydroseed Stockpiled Material West of Ballfields

ATTACHMENTS:

#	Cost Code	Description	Type	Amount
1	32-9000 - Planting & Landscaping	Hydroseed Stockpiled Material West of Ballfields	SUBCONTRACT	\$ 3,917.00
2	55-1000 - Contingency	Pay for with Contingency	Schedule of Values	(\$4,191.19)
Subtotal:				(\$274.19)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 39.17
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 235.02
Grand Total:				\$0.00

Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

11/12/2024

SIGNATURE

DATE

SIGNATURE

DATE

SIGNATURE

DATE

Travers Park hydro seed

From David Minick <david@dewdropnw.com>
Date Mon 11/11/2024 1:41 PM
To Cory Quan <cory@ginnoconstruction.com>
Cc Isaiah Yandt <isaiah@ginnoconstruction.com>

Cory,

To hydroseed the 23,310 sf of spoilage pile of dirt would be \$3,917.00. There would not be an extra fee for mobilization.

Thanks

David J Minick
President
11827 E. Trent Ave
Spokane Valley, WA 99206
Office: 509.922.7168
Mobile 509.840.0871
david@dewdropnw.com
www.dewdropnw.com



11/11/2024



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Potential Change Order #050: CE #091 - RFP 29 - Concrete Ad

TO:	City of Sandpoint 1123 Lake St. Sandpoint Idaho, 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho, 83815
PCO NUMBER/REVISION:	050 / 0	CONTRACT:	1 - Travers Park Reno: Phase 1
REQUEST RECEIVED FROM:		CREATED BY:	Cory Quan (Ginno Construction Company)
STATUS:	Pending - In Review	CREATED DATE:	11/11 /2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: CE #091 - RFP 29 - Concrete Ad

CHANGE REASON: Proposal Request

POTENTIAL CHANGE ORDER DESCRIPTION: *(The Contract Is Changed As Follows)*

CE #091 - RFP 29 - Concrete Add's
RFP 29 - Concrete Add's

Add Option: Detectable Warning Surface if required = \$1,344

ATTACHMENTS:

[RFP-029 - Concrete Add's.pdf](#)

#	Cost Code	Description	Type	Amount
1	32-1313 - Concrete Paving	RFP 29 - ADA Concrete at Skatepark	SUBCONTRACT	\$ 3,641.00
2	32-1313 - Concrete Paving	RFP 29 - Donor Recognition Wall Foundation	SUBCONTRACT	\$ 960.00
3	55-1000 - Contingency	Pay for with Contingency	Schedule of Values	(\$4,923.07)
Subtotal:				(\$322.07)
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 46.01
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				\$ 276.06
Grand Total:				\$0.00



Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

City of Sandpoint
1123 Lake St.
Sandpoint Idaho 83864

Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene Idaho 83815

SIGNATURE DATE

Jason Welker
SIGNATURE

11/12/2024
DATE

SIGNATURE DATE



Change Order

White Diamond Concrete LLC

Printed: Nov 11, 2024

1869 E Seltice Way Ste 526, Post Falls, ID 83854

Phone: 208-967-5660

Owner Info Ginno Construction Co
3893 N Schreiber Way
Coeur D Alene, ID 83814

Job Info 2016 Pine St
Sandpoint, ID 83864

Change Order ID

CO-0012

2313 - Travers Park

CO ID	Created / Approved Date	Price
CO-0012	Created: Nov 11, 2024	\$5,945.00

Description
RFP #29 Add ADA ramp Add footing for donor recognition wall

Items	Cost Types	Description	Qty / Unit	Unit Price	Price
Concrete Ramp -			210 SF	\$14.60	\$3,066.00
Ped Curb -			23 FT	\$25.00	\$575.00
Donor Recognition Footing -			24 SF	\$40.00	\$960.00
Detectable Warning Surface -		ADD ALT	28 SF	\$48.00	\$1,344.00

Status	Signature	Date
Approved by: _____		___/___/___

Approval Comments

I confirm that my action here represents my electronic signature and is binding.

TOTAL AMOUNT OF CHANGE ORDER:

\$5,945.00



SPOKANE

203 N Washington

Suite 400

Spokane, WA

99201

P 509.838.8568

alscarchitects.com

REQUEST FOR PROPOSAL NO: 029

Project Name: Travers Park Recreation Center

Owner: City of Sandpoint

Contractor: Ginno Construction Company

Job Number: 2023-011

Page 1 of _1_

TO: Ginno Construction Company, Contractor, please furnish your proposal for performing the changes outlined below and/or detailed on the attachments referred to:

Per Owner's request and direction:

1. Add concrete ramp, landings, and curbs at skatepark as shown in the attached marked up photo. Note this must meet ADA requirements, allowing accessible access from the asphalt at the parking lot down to the asphalt at the skatepark; ± 6 " difference. Demo bollards and existing asphalt as needed to complete the work.
2. Add concrete foundation for donor wall. Size and location described on attached site plan.

ALSC Architects, P.S.

By Gale Stanley

Date: 11/7/24

PROPOSAL:

To the Owner: We propose to perform all changes described in the above request for a total ADDITION/DEDUCTION (cross out one) to the contract sum of:

\$ _____

(not including Sales Tax)

We have attached cost estimate detail sheets, and the foregoing amount covers all direct and indirect costs related to this proposal and to the effect of the proposal on the remainder of the project. All other provisions of the contract remain in full force and effect. We request the completion date be EXTENDED/REDUCED (cross one out) _____ calendar days because of this work. The Contractor agrees to be bound to this proposal quotation for sixty (60) days after this date.

By _____

Date _____

Contractor

RECOMMENDATION:

TO: Owner, we have examined the foregoing proposal and find it to be appropriate for the request. We recommend its acceptance.

ALSC Architects, P.S.

By _____

Date: _____

PROPOSAL ACCEPTANCE:

The Owner hereby accepts the foregoing proposal. This instrument, when signed below, constitutes the conditions upon which a Change Order will be issued.

By _____

Date _____

Owner



REMOVE BOLLARDS

FLUSH WITH ASPHALT

UPPER LANDING
RAMP

±2'-6"

MAX SLOPE 1:12
MEET ADA REQUIREMENTS

6" WIDE CURB, 6" TALL
ABOVE RAMP SURFACE

6" WIDE CURB, 6" TALL
ABOVE RAMP SURFACE

LANDING

CURB BREAK TO ALLOW
WATER TO FLOW INTO
ADJACENT LANDSCAPING

WATER TO SLOPE TO BREAK IN CURB
2% MAX

5'-0" MIN

±14'-6" VIF

CITY OF
SANDPOINTTRAVERS
PARK
RECREATION
CENTERCONSTRUCTION
DOCUMENTS

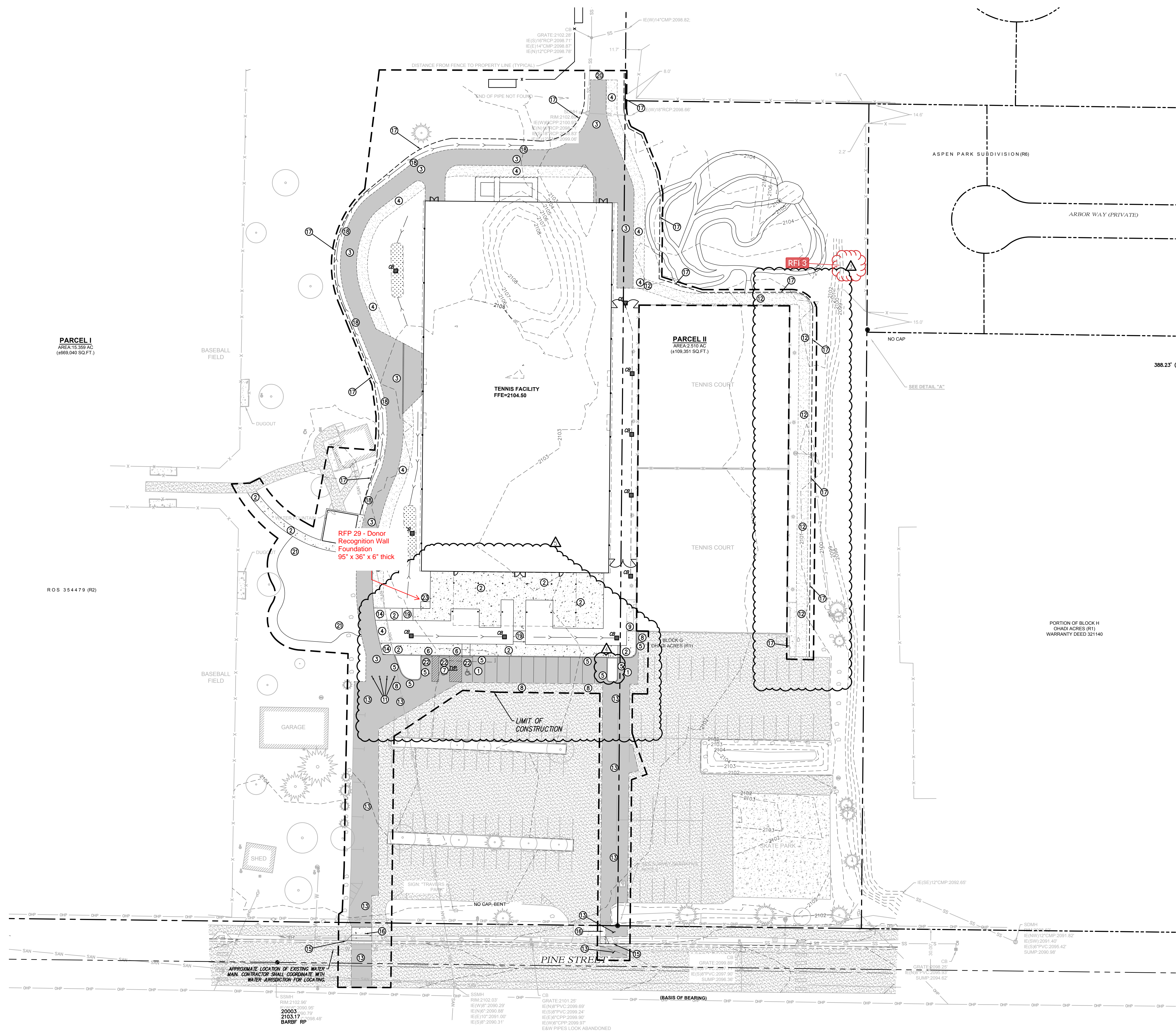
REV	DATE	DESCRIPTION
1	9/15/2023	ADDENDUM 1
2	10/25/2023	CCD-1
3	11/07/2023	RFI-3
4	11/29/2023	CONSTRUCTION DOCS
5	12/15/2023	ADDENDUM NO. 2

PROJ. NO.	2023-011
DRAWN	NJM
PROJ MNGR	SDM
DATE	11/29/23

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CIVIL SITE
PLAN

C130



REFERENCE NOTES:

1. PROVIDE NEW ASPHALT PAVEMENT PER DETAIL 4/C500.
2. PROVIDE NEW ON-SITE CONCRETE SIDEWALK PER DETAIL 6/C500.
3. PROVIDE NEW ASPHALT SIDEWALK PER DETAIL 5/C500.
4. PROVIDE NEW HEAVY DUTY GRAVEL SIDEWALK PER DETAIL 12/C500.
5. PROVIDE NEW TYPE 2 CONCRETE CURB PER ITS STANDARD PLAN 615-1. SEE DETAIL 7/C500.
6. PROVIDE NEW TYPE "S" FLUSH CONCRETE CURB PER DETAIL 5/C501.
7. PROVIDE NEW ADA STALL STRIPING AND SIGNAGE PER DETAIL 8/C500.
8. TIE INTO EXISTING ASPHALT PAVEMENT. MATCH EXISTING ELEVATION AT CONNECTION.
9. TIE INTO EXISTING CONCRETE SIDEWALK. MATCH EXISTING ELEVATION AT CONNECTION.
10. NOT USED.
11. PROVIDE NEW CONCRETE BOLLARD. CONCRETE BOLLARD TO BE 6"x36" GLOBAL INDUSTRIES REMOVABLE SAFETY BOLLARD OR APPROVED EQUAL. SEE DETAIL 11/C500.
12. PROVIDE NEW LIGHT-DUTY GRAVEL SIDEWALK PER DETAIL 13/C500.
13. REMOVE AND REPLACE EXISTING ASPHALT PAVEMENT FOR UTILITY ROUTING. MATCH EXISTING PAVEMENT SECTION. EXTENT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR TO REMOVE AND REPLACE ON AN AS-NEEDED BASIS.
14. PROVIDE NEW REINFORCED CONCRETE PAVEMENT. SEE DETAIL 4/C501.
15. REMOVE AND REPLACE EXISTING CONCRETE CURB AND GUTTER PER ITS STANDARD PLAN 615-1 TYPE 2. EXTENT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR TO REMOVE AND REPLACE ON AN AS-NEEDED BASIS AND MATCH EXISTING GUTTER PAN WIDTH.
16. REMOVE AND REPLACE EXISTING CONCRETE SIDEWALK WITH 6" REINFORCED CONCRETE PER CITY OF SANDPOINT STANDARD PLANS. EXTENT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR TO REMOVE AND REPLACE ON AN AS-NEEDED BASIS.
17. CONTRACTOR TO TIE-INTO EXISTING GRADE AT OR NEAR PROPOSED DAYLIGHT LINE. SEE PLANS FOR LOCATION.
18. PROVIDE NEW LANDSCAPE DEPRESSION FOR RUNOFF CONVEYANCE.
19. PROVIDE NEW CUSTOM LENGTH PRECAST CONCRETE STORMWATER PASS THROUGH UNDER PROPOSED WALKWAY. CONCRETE PASS THROUGH SHALL MATCH PROPOSED WIDTH OF SIDEWALK.
20. TIE INTO EXISTING GRADE. MATCH EXISTING ELEVATION AT CONNECTION.
21. PROVIDE NEW PLAYGROUND AREA. COORDINATE WITH LANDSCAPE PLANS AND DETAILS.
22. PROVIDE NEW CONCRETE WHEEL STOPS PER DETAIL 14/C500.
23. PROVIDE NEW DRINKING FOUNTAIN. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS.

ENGINEER'S NOTES:

1. ALL DRAINAGE AND UTILITY STRUCTURES SHALL BE INSTALLED SO THAT FIN ELEVATIONS OF CAN BE ADJUSTED ± 0.5 FEET TO MATCH FINISHED GRADE.
2. FINISHED SURFACE ELEVATIONS (LANDSCAPE AND LANDSCAPING) SHALL BE SLOPED AWAY FROM BUILDING FOR A MINIMUM OF 5 FEET.
3. REFER TO SHEET "C150 - ALTERNATE ONE" FOR BID ALTERNATE REGARDING REVISIONS TO EXISTING TENNIS COURT.

FOR BID
(NOT FOR CONSTRUCTION)

THESE DRAWINGS HAVE BEEN RELEASED AT THE REQUEST OF THE CLIENT FOR THE PURPOSE OF BIDDING. THESE DRAWINGS ARE NOT INTENDED FOR PURPOSES OF OBTAINING A PERMIT OR CONSTRUCTION.

CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER

811

CALL TWO BUSINESS DAYS
BEFORE YOU DIG

CITY OF
SANDPOINTTRAVERS
PARK
RECREATION
CENTERCONSTRUCTION
DOCUMENTS

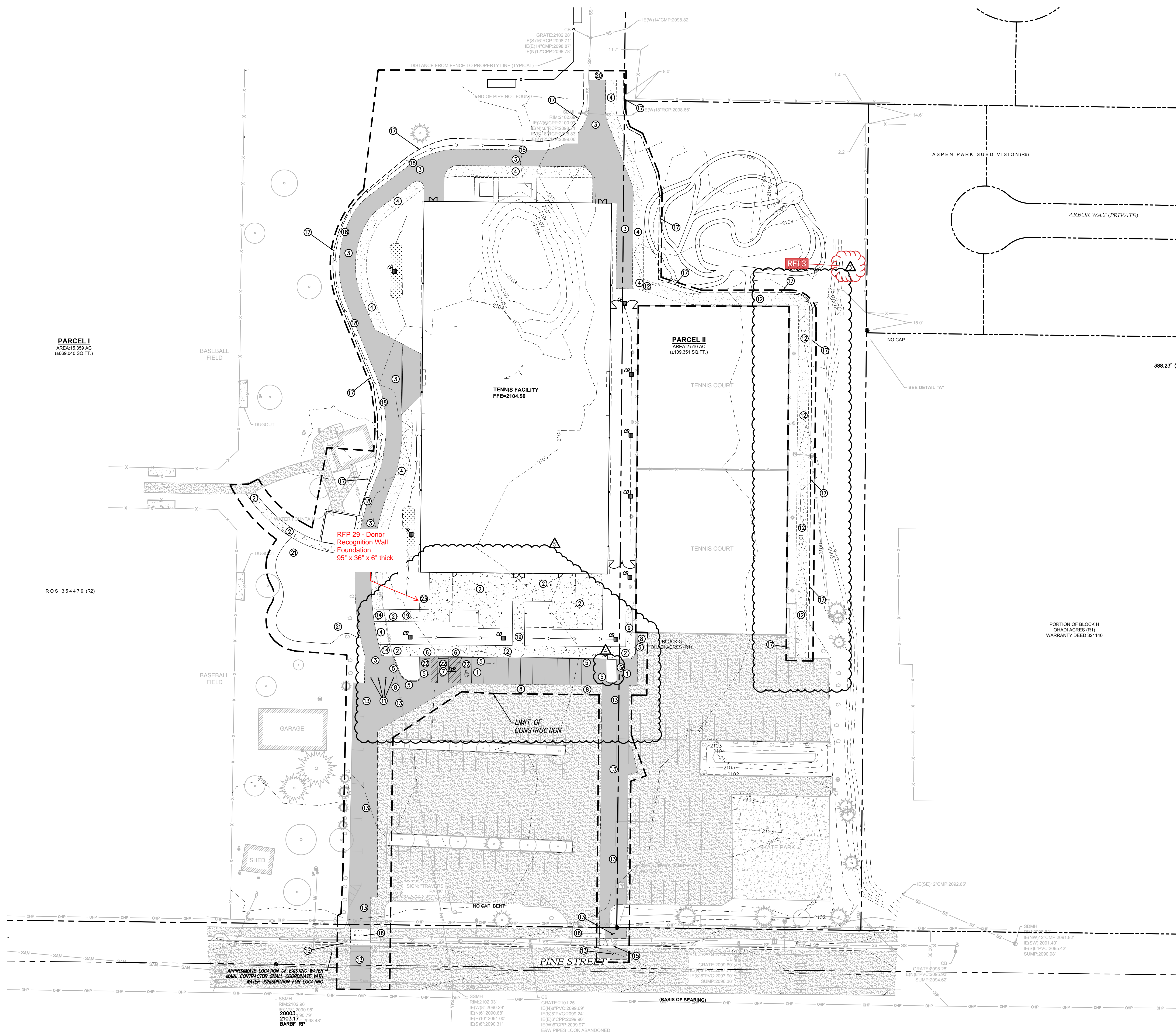
REV	DATE	DESCRIPTION
1	9/15/2023	ADDENDUM 1
2	10/25/2023	CCD-1
3	11/07/2023	RFI-3
4	11/29/2023	CONSTRUCTION DOCS
5	12/15/2023	ADDENDUM NO. 2

PROJ. NO.	2023-011
DRAWN	NJM
PROJ MNGR	SDM
DATE	11/29/23

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CIVIL SITE
PLAN

C130



REFERENCE NOTES:

1. PROVIDE NEW ASPHALT PAVEMENT PER DETAIL 4/C500.
2. PROVIDE NEW ON-SITE CONCRETE SIDEWALK PER DETAIL 6/C500.
3. PROVIDE NEW ASPHALT SIDEWALK PER DETAIL 5/C500.
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7. PROVIDE NEW ADA STALL STRIPING AND SIGNAGE PER DETAIL 8/C500.
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16. REMOVE AND REPLACE EXISTING CONCRETE SIDEWALK WITH 6" REINFORCED CONCRETE PER CITY OF SANDPOINT STANDARD PLANS. EXTENT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR TO REMOVE AND REPLACE ON AN AS-NEEDED BASIS.
17. CONTRACTOR TO TIE-INTO EXISTING GRADE AT OR NEAR PROPOSED DAYLIGHT LINE. SEE PLANS FOR LOCATION.
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19. PROVIDE NEW CUSTOM LENGTH PRECAST CONCRETE STORMWATER PASS THROUGH UNDER PROPOSED WALKWAY. CONCRETE PASS THROUGH SHALL MATCH PROPOSED WIDTH OF SIDEWALK.
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21. PROVIDE NEW PLAYGROUND AREA. COORDINATE WITH LANDSCAPE PLANS AND DETAILS.
22. PROVIDE NEW CONCRETE WHEEL STOPS PER DETAIL 14/C500.
23. PROVIDE NEW DRINKING FOUNTAIN. COORDINATE WITH ARCHITECTURAL AND PLUMBING PLANS.

ENGINEER'S NOTES:

1. ALL DRAINAGE AND UTILITY STRUCTURES SHALL BE INSTALLED SO THAT FIN ELEVATIONS OF CAN BE ADJUSTED ± 0.5 FEET TO MATCH FINISHED GRADE.
2. FINISHED SURFACE ELEVATIONS (HARDSCAPE AND LANDSCAPING) SHALL BE SLOPED AWAY FROM BUILDING FOR A MINIMUM OF 5 FEET.
3. REFER TO SHEET "C150 - ALTERNATE ONE" FOR BID ALTERNATE REGARDING REVISIONS TO EXISTING TENNIS COURT.

FOR BID
(NOT FOR CONSTRUCTION)

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CONTRACTOR NOTE

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UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
811
CALL TWO BUSINESS DAYS
BEFORE YOU DIG

11/11/2024



Ginno Construction Company
3893 North Schreiber Way
Coeur d'Alene, Idaho 83815
Phone: (208) 667-5560



Project: 23-10 - Travers Park Reno: Phase 1
2016 Pine Street
Sandpoint, Idaho 83864

Prime Contract Change Order #010: Contract Date Extension

TO:	City of Sandpoint 1123 Lake St. Sandpoint, Idaho 83864	FROM:	Ginno Construction Company 3893 North Schreiber Way Coeur d'Alene Idaho 83815
DATE CREATED:	12/ 20 /2024	CREATED BY:	Cory Quan (Ginno Construction Company)
CONTRACT STATUS:	Pending - In Review	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:	174 days	EXECUTED:	No
CONTRACT FOR:	1:Travers Park Reno: Phase 1	TOTAL AMOUNT:	\$ 0.00

DESCRIPTION:
Add days to contract for Winter Shut Down for Landscaping Items.

Revised contract date: June 15th, 2025

ATTACHMENTS:

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
051	CE #105 - Contract Date Extens	174 days	0.00
TOTAL:			\$ 0.00

CHANGE ORDER LINE ITEMS:

PCO # 051 : CE #105 - Contract Date Extens

#	Cost Code	Description	Type	Amount
1	01-4000 - Superintendent	Contract Date Extension	LABOR	\$ 0.00
Subtotal:				\$0.00
Liability Insurance: 1.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				0.00
OH&P: 6.00% Applies to OTHER, MATERIAL, LABOR, RENTAL, and SUBCONTRACT.				0.00
Grand Total:				\$0.00

The original (Contract Sum)	\$ 20,000.00
Net change by previously authorized Change Orders	\$ 7,489,467.43
The contract sum prior to this Change Order was	\$ 7,509,467.43
The contract sum would be changed by this Change Order in the amount of	\$ 0.00
The new contract sum including this Change Order will be	\$ 7,509,467.43
The contract time will be increased by this Change Order by 174 days	



Rustin Hall (ALSC Architects)
203 N. Washington Suite 400
Spokane Washington 99201

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SIGNATURE DATE

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